

CONSU	LTANTS
STRUCTURAL	CIVIL
MEP	LANDSCAPE ALL LANDSCAPE DATA, INC 9737 NW 41 STREET - SUITE 919 MIAMI, FLORIDA 33178 P: 305.303.7059

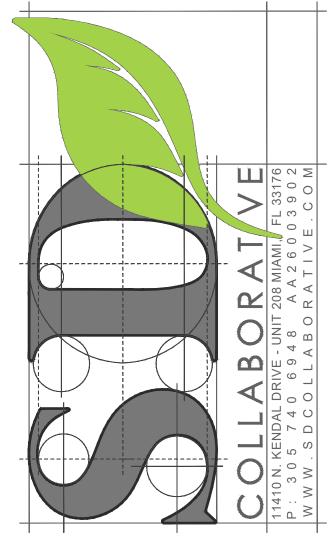
SCOPE OF WORK:

The subject project is within Miami Dade County, Florida and is approximately .92 Gross acres; .38 Net Acre site composed of 5 parcels. The site is located at 5050 NW 22nd Ave. Through verbal conversations and our initial conceptual site planning efforts we understand the proposed project program to be as follows:

- Zoning: MDC MCUCD-MC 90-2-10
- Site: .92 Gross Acres; .38 Net Acres
- Height: 8 stories (includes a mezzanine floor between floors 1 & 2)
- Density: 90 du/ac (82 units total proposed)
 Ground Floor Retail: 1,151 sf
- Parking: 17 spaces

The existing site is a green field and the proposed project is a new ground-up construction.

CODES	
ZONING CODE: - MDC Code of Ordinacnes: N	ICUCD-MC
FLORIDA BUILDING CODES (- FBC - Building (2020 / 7th E - FBC - MECHANICAL (2020 - FBC - PLUMBING (2020 / 7t - Florida Fire Prevention Code	dition) / 7th Edition) th Edition)
NATIONAL FIRE PROTECTION (NFPA): - National Sprinkler Code (NF - National Electric Code (NFP - National Fire Alarm (NFPA 7 - Life Safety Code (NFPA 101 - All other applicable NFPA C Standards and recommended	PA 13, 2016 Edition) A 70, 2017 Edition) '2, 2016 Edition) , 2018 Edition) hapters, Codes,





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1. AIA DOCUMENTS A201, "GENERAL CONDITIONS OF THE CONTRACT FOR
CONSTRUCTION, LATEST EDITION," SHALL GOVERN ALL WORK UNDER THIS
CONTRACT AND SHALL APPLY TO ALL TRADES AND IS HEREBY INCORPORATED
INTO THESE DOCUMENTS.

- 2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL CODES, THE LATEST EDITION OF THE FLORIDA BUILDING CODE (HEREIN ALSO REFEREED TO AS F.B.C.), AND UPDATED LOCAL ZONING ORDINANCES. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES OR NEEDED INTERPRETATIONS PRIOR TO COMMENCING CONSTRUCTION.
- 3. OMISSIONS FROM DRAWINGS AND/OR MISDESCRIPTION OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT INTENT OF DRAWINGS OR ARE CUSTOMARILY PERFORMED SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OR WORK, BUT SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN DRAWINGS USING MOST APPROPRIATE METHOD, WITH FINAL APPROVAL ISSUED BY ARCHITECT TO ALLEVIATE CONFLICTS OF SCHEDULING, DRAWINGS, DETAILS, AND/OR SPECIFICATIONS.
- 4. ALL WORK SHALL BE PERFORMED IN THE BEST AND MOST PROFESSIONAL MANNER BY 24. UTILITY NOTES: MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR QUALITY AND PERFORMANCE OF ALL MATERIALS, APPLIANCES, AND WORK. ALL MATERIALS, EQUIPMENT, AND SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE STANDARDS AND MANUFACTURERS WRITTEN SPECIFICATIONS, INSTRUCTIONS, AND RECOMMENDATIONS. CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS SUCH AS AND NOT LIMITED TO ROOF TRUSSES, DOORS, WINDOWS AND HARDWARE. CONTRACTOR WILL INFORM THE ARCHITECT OF ANY ITEM WHICH DEVIATES FROM THE WORKING DRAWINGS.
- 6. THESE PLANS MAY BE USED ONLY UNDER SUCH CONDITIONS IN WHICH ALL APPLICABLE SAFETY LAWS, RULES AND REGULATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 7. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS.
- 8. CONTRACTOR IS RESPONSIBLE THAT EASEMENTS AND SETBACKS ARE NOT ENCROACHED.
- 9. COORDINATE ARCHITECTURAL DRAWINGS WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO BIDDING AND WORK.
- 10. CONTRACTOR SHALL VERIFY AND COORDINATE ALL ROUGH OPENINGS FOR SCHEDULED DOORS, WINDOWS, AND HARDWARE, CLEARANCES FOR ALL EQUIPMENT AND APPLIANCES TO BE PART OF THE WORK, AND FIXTURE LOCATIONS AND CLEARANCES.
- 11. TYPICALLY ALL WINDOWS AND DOORS TO BE IN ACCORDANCE TO THAT SPECIFIED IN THE DRAWINGS AND APPLICABLE ITEMS OF CHAPTER 24 OF THE 2007 FLORIDA BUILDING CODE (FIRST EDITION).
- 12. PROVIDE ALL SITE CLEARING, EXCAVATING TO REQUIRED GRADES AND LINES, BACK FILL, GRADING FILL, COMPACTION AND DEWATERING AS REQUIRED TO EXECUTE THE WORK. ALL FILL UNDER SLABS SHALL BE COMPACTED WITH FINE SAND FILL SET IN 6" LAYERS TO 95% DENSITY ASTM 1157. VERIFY AGAINST STRUCTURAL DRAWINGS. PRESERVE ALL EXISTING TREES AND SHRUBS UNLESS OTHERWISE SPECIFIED BY OWNER.
- 13. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND LEAVE THE SITE GRADED AS INDICATED ON THE SITE PLAN OR AS SPECIFIED BY ARCHITECT/OWNER.
- 14. ALL CONCRETE WORK AT GROUND LEVEL SHALL HAVE 6 MIL THICK VISQEEN VAPOR BARRIER, OR APPROVED EQUAL. LAP VISQUEEN BY MIN. 6" FULLY DUCT TAPE ALONG LENGTH OF LAP.
- 15. FINISH GRADE SHALL SLOPE AWAY FROM BUILDING WALLS AND PROPERTY LINES. REFER TO SITE PLAN.

16. NOT USED

General Notes

SCALE: NTS

		A
$\begin{pmatrix} 1 \end{pmatrix}$	W1 - WINDOW TYPE (NU L1 - LOUVER TYPE	
	(NUMBER)	
CODED NOTE	WINDOW AND LOUVER No.	INTERIOF

 $\begin{pmatrix} 1 \end{pmatrix}$ DEMO No.

WALL SECTIONS 00

$\underline{1}$			
REV. No.			

DOOR No.

FIXTURE No.

RENO. No.

〈 1 〉

WALL

TYPES

123

3

MATCH LINE

(1)

 $\left(1\right)$

DETAIL No. *∕* +00'−0" (D001) ARROW SHOULD BE

∖a000/

USED FROM DIMSTYLES SPOT ELEVATION (EXISTING) EGRESS DIRECTION

(EL. 0'-0') ARROW SHOULD BE USED

+----

FROM DIMSTYLES SPOT ELEVATION (PROPOSED) RM. OCCUP LOAD

EL.= ELEVATION DESCRIPTION 25 50

EXIT CAPACITY (CABNO)

DWGNO F.F. & E (NIC)



00

(A000

MATCH LINE

MATCH LINE

BLDG ELEV TAG

PAINT COLOR GRID TAGS

A

ELEVATION TAG

00 A000 BUILDING SECTION

MATCH LINE 17. ALL GATES TO BE SELF CLOSING AND LATCHING (IF APPLICABLE).

18. NOT USED.

- 19. REFER TO ENGINEERING DRAWINGS FOR ALL ENGINEERING INFORMATION (COORDINATE AGAINST ARCHITECTURAL).
- 20. RAINWATER SHALL DIRECT ITSELF TO EXISTING CATCH BASINS OR BE RETAINED ON SITE.
- 21. ALL WORK SHALL COMPLY WITH CHAPTER 10 (MEANS OF EGRESS) OF THE FLORIDA BUILDING CODE AND NFPA 101. TYPICAL THROUGHOUT THESE DOCUMENTS.
- 22. ELEVATIONS SHOWN ON THE PLAN REFER TO NATIONAL GEODETIC VERTICAL DATUM 36. E (N.G.V.D.)
- 23. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION -- ALL NEW STRUCTURES SHALL COMPLY TO SECTION 1B16 OF F.B.C.
- A. GENERAL CONTRACTOR TO VERIFY EXACT LOCATIONS OF THE FOLLOWING OUTSIDE THE PROPERTY LINE: 1. ELECTRIC SERVICE. 2. GAS 3. WATER MAIN. 4. TELEPHONE.
- B. ALL ABOVE AND ASSOCIATED WORK UTILITIES SHALL BE AS PER ENFORCED EDITION OF THE FLORIDA BUILDING CODE F.B.C. AND ALL APPLICABLE CODES. C. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES, OVERHEAD AND UNDERGROUND, PRIOR TO CONSTRUCTION AND COORDINATE WITH
- ARCHITECT/OWNER PRIOR TO START OF WORK. D. ELECTRICAL POWER, TELEPHONE. WATER AND GAS SHALL BE RUN AS
- REQUIRED TO MEET EXISTING SERVICE. ALL TO BE VERIFIED WITH
- ARCHITECT/OWNER. THE CONTRACTOR SHALL COORDINATE TIE-INS AND SERVICE WITH UTILITY COMPANIES PRIOR TO START OF WORK.
- 25. ALL PRE-MANUFACTURED ITEMS SUCH AS EXTERIOR SHUTTERS AND DOORS, BUT NOT LIMITED TO THESE, SHALL BE UNDER A SEPARATE PERMIT IF REQUIRED. GENERAL CONTRACTORS AND ANY SUBCONTRACTOR PROVIDING THE ABOVE ITEMS SHALL PROVIDE SIGNED AND SEALED CALCULATIONS AND SHOP DRAWINGS, ALL SUBMISSIONS SHALL BE ACCORDING TO N.F.P.A. 101 AND THE LATEST EDITION OF THE F.B.C. FOR A/E APPROVAL PRIOR TO FABRICATION AND ORDERING. ALL MANUFACTURED ITEMS SHALL MEET HIGH VELOCITY HURRICANE ZONE (HVHZ) PRIOR TO ORDERING AND WORK, TYPICAL THROUGHOUT PROJECT. REFER TO STRUCTURAL ENGINEERING SHEETS FOR APPLICABLE INFORMATION, I.E. WIND PRESSURE CALCULATIONS, ETC.
- 26. TYPICAL THROUGHOUT PROJECT: WHERE SLOPE IS INDICATED WITH AN ARROW, CONTRACTOR TO PROVIDE 1/4" PER FT. MIN. SLOPE OR AS NOTED.
- 27. FOR SEPTIC TANK AND DRAIN FIELD REFER TO PLUMBING DRAWINGS (IF APPLICABLE).
- 28. EVERY CLOSET DOOR LATCH SHALL BE OPERABLE BY A CHILD FROM INSIDE THE CLOSET.
- 29. EVERY BATHROOM DOOR SHALL BE OPENABLE FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED. PER LIFE SAFETY CODE 21.2.4.4
- 30. ALL WINDOW SHUTTERS TO HAVE CURRENT MIAMI DADE COUNTY APPROVAL.
- 31. ALL GLAZING WITHIN 60" OF TUB OR SHOWER SHALL HAVE SAFETY GLAZING PER SECTION 2411.62 F.B.C. - TYPICAL
- 32. THE PLANS AND SPECIFICATIONS ARE NOT INTENDED TO DEPICT EACH AND EVERY DETAIL AS THE PARTY IN THE FIELD. THE CONTRACTOR IS IN THE BEST POSITION TO VERIFY THAT ALL CONDITIONS ARE COMPLETED TO PROVIDE A WATERTIGHT STRUCTURE.

33. FEMA NOTES:

PROJECTED LINE ABOVE

EXISTING CONSTRUCTION TO REMAIN (COLOR - LT. GRAY# 9)

NEW INTERIOR PARTITIONS (COLOR - GREEN # 3)

CMU WALL (COLOR - MAGENTA # 6) WALL PATTERN COLOR - LT. GRAY

CONCRETE WALL (COLOR - # 42)

FURNITURE, FIXTURE OR

FURNITURE, FIXTURE OR

(NIC) (COLOR - RED # 1)

WALL PATTERN COLOR - LT. GRAY #

EQUIPMENT IN CONTRACT (COLOR

COLOR - Yellow # 2)

DEMO WALL (COLOR - # 5 BLUE)

#9)

- RED # 1)

_ _ _ _ EQUIPMENT BY OWNER

INTERIOR ELEV.

RMNM.

123

DWGNO. SQFT.

ROOM NAME

NORTH ARROW

¹²⁵

ALL AREAS BELOW FEMA ELEVATION SHALL MEET THE REQUIREMENTS OF CHAPTER 11C: DEVELOPMENT WITHIN FLOOD HAZARD DISTRICTS. A. ALL WALLS BELOW BASE FLOOD ELEVATION SHALL RECEIVE M.R. GYPSUM WALL BOARD & 1 COAT PLASTER FINISH

B. ALL ELECTRICAL, MECHANICAL & PLUMBING SHALL BE ABOVE BASE FLOOD
ELEVATION.

GRAPHIC SCALE GRAPHIC SCALE	FLORIDA BUILDING CODES (FB - FLORIDA BUILDING COE - FLORIDA BUILDING COE
DWGTITLE	- FLORIDA BUILDING COE - FLORIDA FIRE PREVEN
SCALE: DWGSCALE DET/SEC A500 SCALE: SCALE DESC DRAWING TITLES	NATIONAL FIRE PROTECTION A - FIRE CODE (NFPA 1, 201 - NATIONAL SPRINKLERS - NATIONAL ELECTRIC CO - NATIONAL FIRE ALARM - LIFE SAFETY CODE (NFI - ALL OTHER APPLICABLE
CENTER LINE / GRID LINE (COLOR - DRK. GRAY # 8)	RECOMMENDED PRACT

Drawing Symbols SCALE: NTS

34.	BA

34. BACKING FOR WALL HUNG FIXTURE NOTES: WHERE WALL-HUNG FIXTURES ARE PROVIDED 2" X 4" BRACING BETWEEN STUDS AT POINT OF ATTACHMENT OF FIXTURE SHALL BE PROVIDED TO WITHSTAND 200 LB. FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S REQUIREMENT)
35. EGRESS WINDOW SPECIFICATION: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENINGOF NOT LESS THAN 20 INCH IN WIDTH AND 24 IN IN HEIGHT AND 5.75 SQ. FT IN AREA. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR.ALL WINDOWS TO BE PROTECTED WITH DADE COUNTY PRODUCT CONTROL APPROVED STORM SHUTTERS.
36. EGRESS DOOR SAFETY NOTE: NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCATED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES THAT IMPEDE OR PROHIBIT EGRESS OR THAT CANNOT BE EASILY DISENGAGED SHALL BE PROHIBITED.
37. APPLICABLE ITEMS OF CHAPTER .24 OF FBC. REGARDING DOORS AND OPERABLE WINDOWS IN EXTERIOR WALLS: THE DESIGN AND APPROVAL OF SLIDING DOORS, SWINGING DOORS AND OPERABLE WINDOWS IN EXTERIOR WALLS, INCLUDING THE SUPPORTING MEMBERS SHALL BE BASED ON THE PROPOSED USE-HEIGHT ABOVE GRADE IN ACCORDANCE WITH CHAPTER 16 (HIGH VELOCITY HURRICANE ZONES). MAXIMUM GLASS SIZE SHALL COMPLY WITH FIG. 2405.3 FBC GLAZING IN SLIDING AND SWINGING DOORS SHALL BE SAFETY-GLAZING COMPLYING WITH 16CFR 1201 SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS, CONSUMER PRODUCT SAFETY COMMISSION AND AS DESCRIBED IN 2411.3.1.3.1 THRU 2411.3.1.3.5 DOORS CONTAINING GLAZING MATERIALS NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II GLAZING

38. ZONING DISTRICT

WITH THE GLASS.

SITE TO BE FILLED TO COUNTY FLOOD ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.

PRODUCTS SHALL BE CAPABLE OF WITHSTANDING A 400 LB. - FT. (543 NM) IMPACT

TEST. DOORS SHALL BE DESIGNED TO BE READILY OPERATIVE WITHOUT CONTACT

PRODUCTS. CATEGORY | GLAZING PRODUCTS SHALL BE CAPABLE OF

WITHSTANDING A 150 LB. - FT. (102 NM) IMPACT TEST.CATEGORY II GLAZING

3C): DE - BUILDING (2020 / 7TH EDITION) DE - MECHANICAL (2020 / 7TH EDITION) DE - PLUMBING (2020 / 7TH EDITION) TION CODE (2018 / 7TH EDITION)

ASSOCIATION (NFPA): 18 EDITION)

S CODE (NFPA 13, 2016 EDITION) ODE (NFPA 70, 2017 EDITION)

(NFPA 72, 2016 EDITION)

PA 101, 2018 EDITION)

E NFPA CHAPTERS, CODES, STANDARDS AND TICES

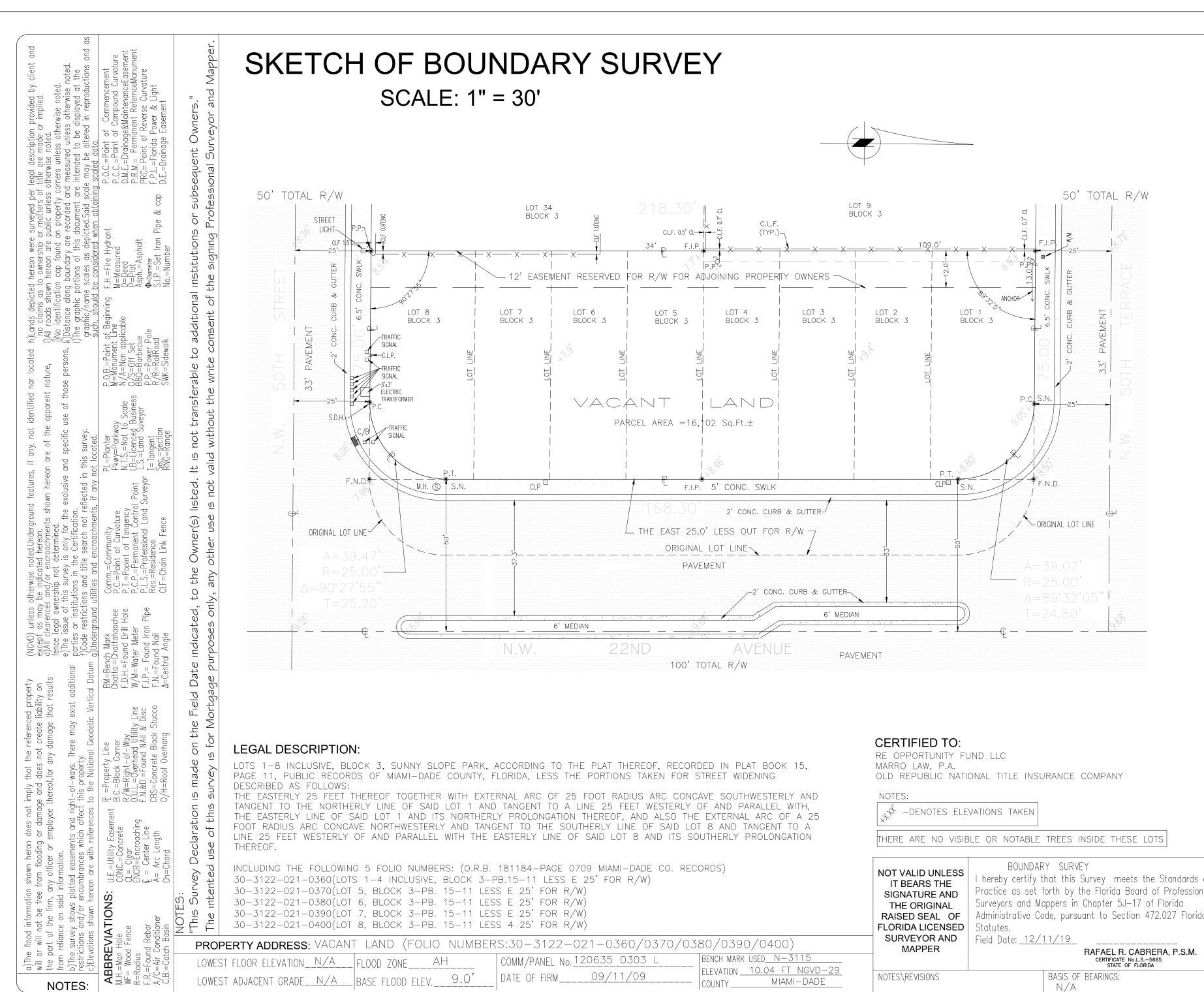
@ A.B.	AT ANCHOR BOLT	INSUL. INT.	INSULATION INTERIOR			23				
A/C ACOUST. ADJ.	AIR CONDITIONING ACOUSTICAL ADJACENT	JT. L LLH	JOINT ANGLE LONG LEG HORIZONTAL	ARC	CHITECTURAL DRAWINGS:	12/15/2023				
A.F.F. A.I.A.	BOVE FINISHED FLOOR MERICAN INST. OF ARCHITECTS	LLV LAM.	LONG LEG VERTICAL LAMINATE		DRAWING SHEET TITLE			_		
AISC ALT. ALUM.	AMERICAN INST. OF STEEL CONSTRUCTION ALTERNATE ALUMINUM	LAV. LOUV. MATL.	LAVATORY LOUVER MATERIAL	A000	Cover Sheet					
APPROX. ARCH.	APPROXIMATE ARCHITECT	MAX. MECH.	MAXIMUM MECHANICAL	A001 A002	Index Sheet/General Notes Survey/Aerials			_		
ASTM AUTO.	AMERICAN SOCIETY OF TESTING MATLOS AUTOMATIC	MFR. MIN	MANUFACTURER MINIMUM	A003	Area Photos					
BO. BF B.F.A.	BOARD BOARD FOOT BARRIER FREE ACCESSIBLE	MISC. M.O. MOD.	MISCELLANEOUS MASONRY OPENING MODIFIED	A100 A100a	Site Plan-Zoning Analysis Site Details					
B.F.A. BLKG B.O.C.	BARRIER FREE ACCESSIBLE BLOCKING BOTTOM OF CURB	MOD. M.R. MTL.	MODIFIED MOISTURE RESISTANT MATERIAL	A101	Site Plan-Site Diagram/Tabulations					
BM BRK.	BEAM BRICK	MTD. NIC	MOUNTED NOT IN CONTRACT	A102 A103	Site Plan-Building Diagrams/Tabulations Site Plan-NW 22 Ave Street Section					<u>₹ 2 2 6</u>
BTWN. C	BETWEEN CHANNEL	NTS OPNG.	NOT TO SCALE OPENING	A104	Site Plan-NW 50 St/51 St Street Sections					FL 33
C TO C CC C.I.P.	CENTER TO CENTER COLOR CHANGE CAST-IN-PLACE	O.C. O/ PFT	ON CENTER OF PORCELAIN FLOOR TILE	A105 A106	Site Plan-MCUCD Maps Site Plan-Site Accessible Routes			6		
CAB CJ	CABINET CONTROL JOINT	PL PLAS.LAM.	PLATE PLASTIC LAMINATE	A200	Floor Plan-1st Floor					
CLG. CER.	CEILING CERAMIC	PLMB. PLYWD	PLUMBING PLYWOOD	A201	Floor Plan-Mezzanine Floor					DRIVE -1 0 6 9 4
CMU COL. CONC.	CONCRETE MASONRY WALL COLUMNS CONCRETE	PT. QT. R.	PAINT OR PRESSURE TREATED QUARRY TILE RISER	A202 A203	Floor Plan-2nd thru 4th Floor Floor Plan-5th Floor					LL KENDAL F 5 7 4 0 S D C C
CONC. CONT. C.O.	CONCRETE CONTINUOUS CLEAN OUT	RAD. RCP	RADIUS REFLECTED CEILING PLAN	A204	Floor Plan-6th thru 8th Floor					
CSI C.T.	CONSTRUCTION SPECIFICATIONS INST CERAMIC TILES	REINF. REGD	REINFORCE REQUIRED	A205 A206	Floor Plan-Lower Roof Floor Plan-Upper Roof					06 W W
DET. DBL	DETAILS DOUBLE	R.J. R.O.	RAKED JOINT ROUGH OPENING	A300	New Elevation-East					015803 R00144
DO DWG.	DITTO DRAWING DOWNSPOUT	RTD. S.A.B. S.C.	RATED SOUND ATTENUATION BATT SOLID CORE	A301 A302	New Elevation-West New Elevation-North/South			_		DULCE M. CONDE, RA ARCHITECT AR0015803 PRIMITIVO E. CONDE, RA ARCHITECT AR00144
DS D4S ELEC.	DOWNSPOOT DRESSED FOUR SIDES ELECTRICAL	S.C. SHT. SHLV.	SULD CORE SHEET SHELVES	A302 A400	Building Sections					CHITEC
EFC EQ.	EPOXY FLOOR COATING EQUAL	SM. S.J.	SIMILAR SAW CUT JOINT	A401	Building Sections					RA AR DE, RA
EQUIP. ES	EQUIPMENT EACH SIDE	SQ. STD.	SQUARE STANDARD	A900 A901	3d Massing-Looking NW 3d Massing-Looking SW			_		ONDE, CONE
EW E.B.	EACH WAY EXPANSION BOLT	STL. STR. STOR.	STEEL STAIR STORAGE	A902	3d Massing-Looking SE					CE M. C
EJ or EXP.JT. EXT. EXP.	EXPANSION JOINT EXTERIOR EXPANSION	STRUCT. SUB.	STUCAGE STRUCTURE OR STRUCTURAL SUBCONTRACTOR	A903	3d Massing-Looking NE			_		DULC
F TO F. FAB.	FACE TO FACE FABRICATE	SUSP. S.P.	SUSPENDED STANDPIPE	CIVI	L DRAWINGS:			DOCU INSTRU	ERSHIP AND USE IMENTS & SPECIFI JMENTS OF SERVICE A	ICATIONS AS ARE AND SHALL
F.E. FIN.	FIRE EXTINGUISHER FINISH	S4S T&B	SMOOTH FOUR SIDES TOP AND BOTTOM	C-1	1			FOR IS	N THE PROPERTY OF T HER THE PROJECT TH S EXECUTED OR NOT E USED BY THE OWNE	HEY ARE MADE T. THEY SHALL
FIN.FLR. FLR.	FINISH FLOOR FLOOR	TELE. TEXT.	TELEPHONE TEXTURE	C-1	-			ON OT TO THI	HER PROJECTS OR FOR THE OWNER OF	OR ADDITIONS RS, EXCEPT BY
F.O. F.R.GWB. FTG.	FACE OF FIRE RATED GYPSUM WALLBOARD FOOTING	T&G TOHOLD T.J.	TONGUE AND GROOVE THRESHOLD TOOL JOINT					APPR	OPRIATE COMPEN ARCHITECT.	
F.V. GA	FIELD VERIFY GUAGE	ТНК. Т.О.	THICKNESS TOP OF			<u> </u>		_		
GALV. G.C.	GALVANIZED GENERAL CONTRACTOR	T.O.A. T.O.M.	TOP OF CURB TOP OF MASONRY	LAN	DSCAPE DRAWINGS:	15/2023		0		
GTTR. G.W.B.	GUTTER GYPSUM WALLBOARD	TYP. U.N.O.	TYPICAL UNLESS NOTED OTHERWISE	L-100	Landscape Plan	12/1				
GYP.BD.	GYPSUM WALLBOARD	V.B. V.C.T.	VAPOR BARRIER VINYL CERAMIC TILE					Ξ		
H.B. Hgt	HOSE BIBB HEIGHT			L-101	Landscape Details			Σ		
h.d. Hgt. Horiz. Opp.hand	HEIGHT HORIZONTAL	V.U.T. V.W.C. VENT. WWF or WWM	VINTE CELOWIC TIEL VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH	L-101	Landscape Details			COMMENTS		
HGT. HORIZ.	HEIGHT	V.W.C. VENT.	VINYL WALL COVERING VENTILATION	L-101	Landscape Details					
HGT. HORIZ.	HEIGHT HORIZONTAL	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH	L-101	Landscape Details			DATE COM		
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH					ATE		
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HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR				3 REV NO. DATE	SIDENCES D-USE)	22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR				3 REV NO. DATE	ESIDENCES (ED-USE)	22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR				T 12-21-2023 REV NO. DATE	RESIDENCE IXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR				PR SET 12-21-2023 REV NO. DATE	RESIDENCE IXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR				PR SET 12-21-2023 REV NO. DATE	RESIDENCE IXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				PR SET 12-21-2023 REV NO. DATE	5050 RESIDENCES (MIXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				PR SET 12-21-2023 REV NO. DATE	RESIDENCE IXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				PR SET 12-21-2023 REV NO. DATE	RESIDENCE IXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				ASPR SET 12-21-2023 REV NO. DATE	5050 RESIDENCE (MIXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	STR S-1				ASPR SET 12-21-2023 REV NO. DATE	5050 RESIDENCE (MIXED-USE)	5050 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				ASPR SET 12-21-2023 REV NO. DATE	5050 RESIDENCE (MIXED-USE)	5050 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				20-004-00 ASPR SET 12-21-2023 REV NO. DATE	AS NOTED AS NOTED MIXED-USE)	0 NW 22nd
HGT. HORIZ. OPP.HAND	HEIGHT HORIZONTAL OPPOSITE HAND	V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1				T NO.: 20-004-00 ASPR SET 12-21-2023 REV NO. DATE	AS NOTED AS NOTED MIXED-USE)	C: PEC/JCC 5050 NW 22nd
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HGT. OPP.HAND		V.W.C. VENT. WWF or WWM W/	VINYL WALL COVERING VENTILATION WELDED WIRE FABRIC OR MESH WITH PER FOOT	S-1	PFP DRAWINGS:			T NO.: 20-004-00 ASPR SET 12-21-2023 REV NO. DATE	ISSUE DATE: 04-05-2021 SCALE: AS NOTED (MIXED-USE)	DRAWN BY: PEC/JCC 5050 NW 22nd CHECKED: DC/PEC





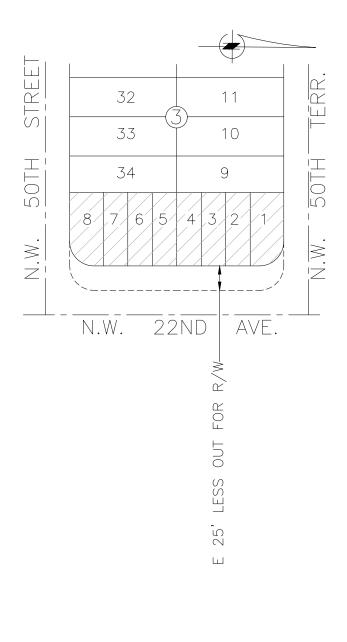






Property Survey NTS

LOCATION SKETCH (N.T.S.)



ND , 25	CERTIFIED TO: RE OPPORTUNITY FU MARRO LAW, P.A. OLD REPUBLIC NATI NOTES: $\dot{\psi}$ -DENOTES ELE	ONAL TITLE INSURANCE COMPANY
25 A N	× [†] .	BLE OR NOTABLE TREES INSIDE THESE LOTS
	NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF FLORIDA LICENSED	BOUNDARY SURVEY I hereby certify that this Survey meets the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J—17 of Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

CABRERA CONSULTING SERVICES Land Planning-Surveying-Mapping CERTIFICATE No. L.B.-7102, STATE OF FLORIDA d of Professional 472.027 Florida 682 East 21st Street,Hialeah, FL 33013 (305)333-3328 Cell guerreropsm@aol.com

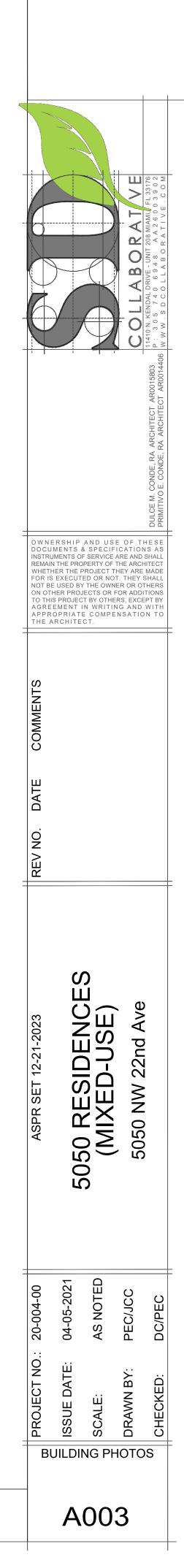
SCALE:	1"=30'	JOB No. GG-1912-1172 UPDATE OF GG-1602-4

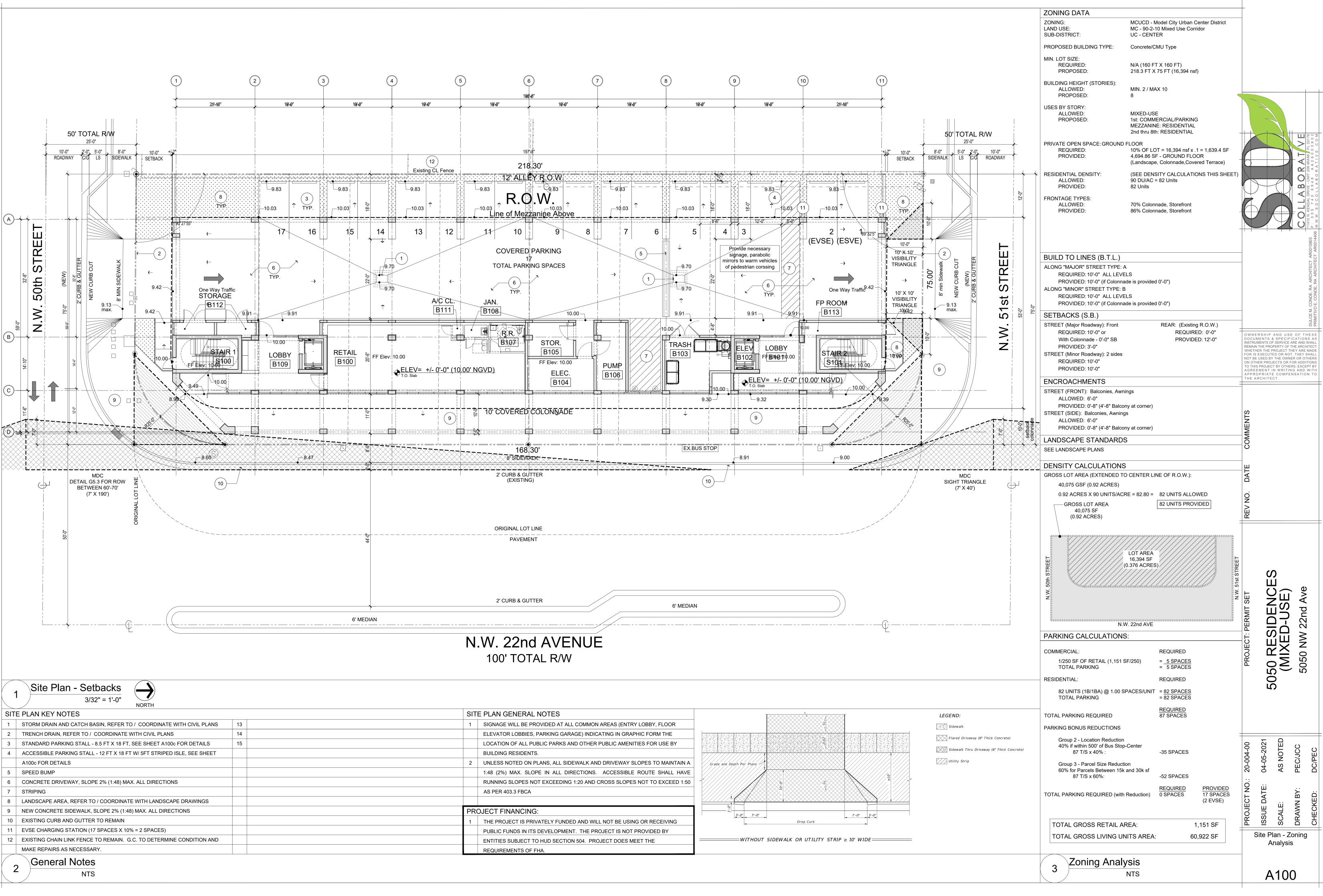


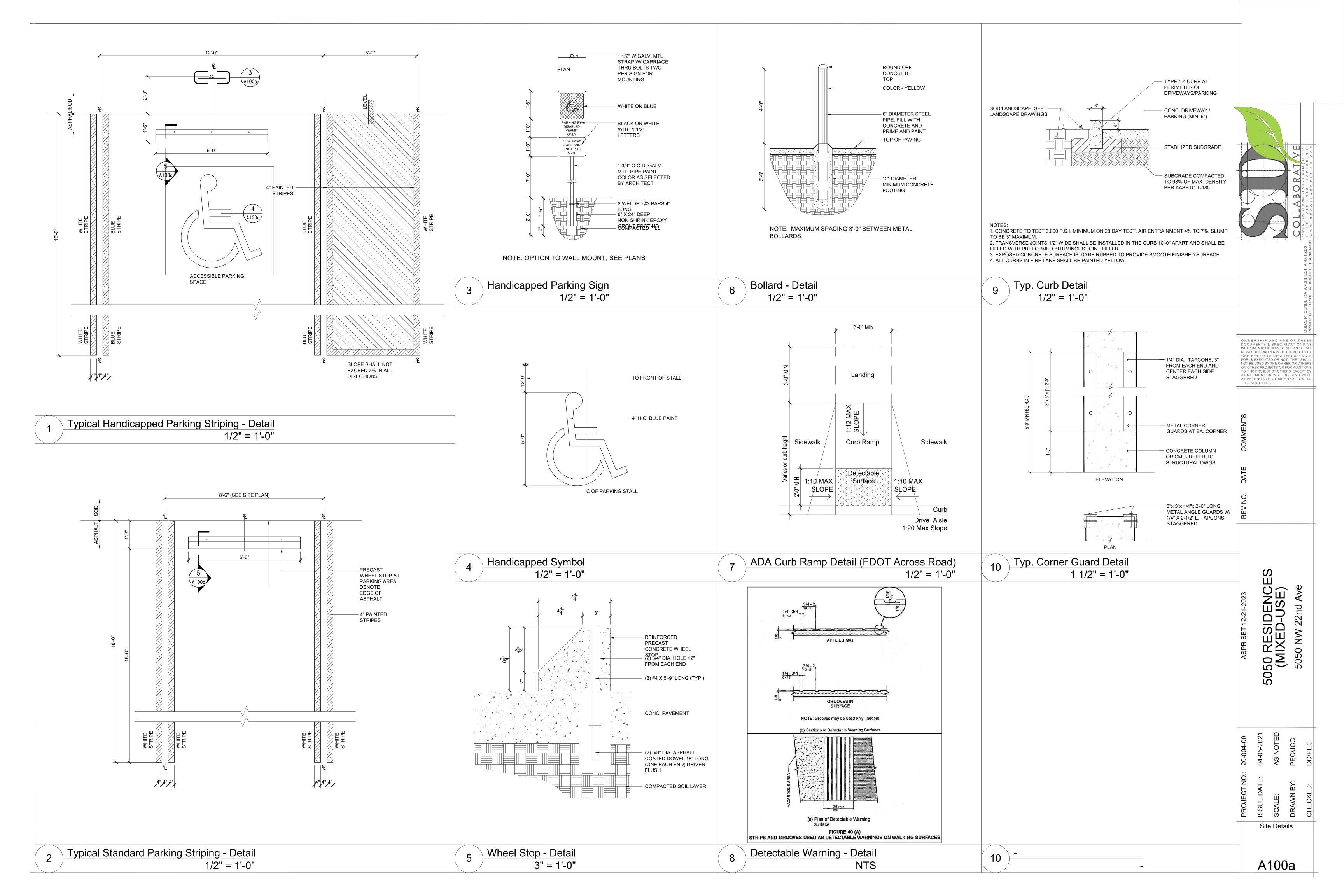


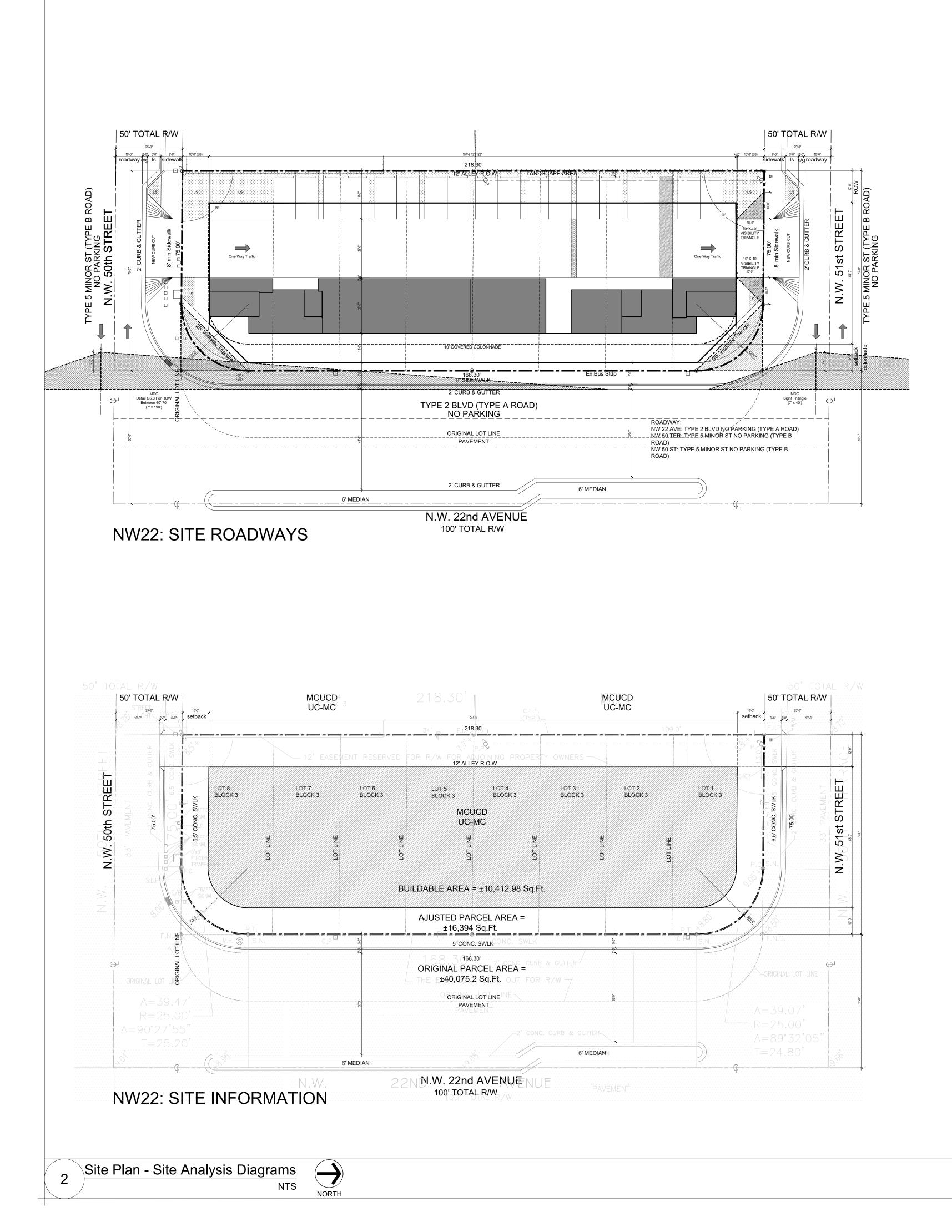
AERIAL SITE PLAN

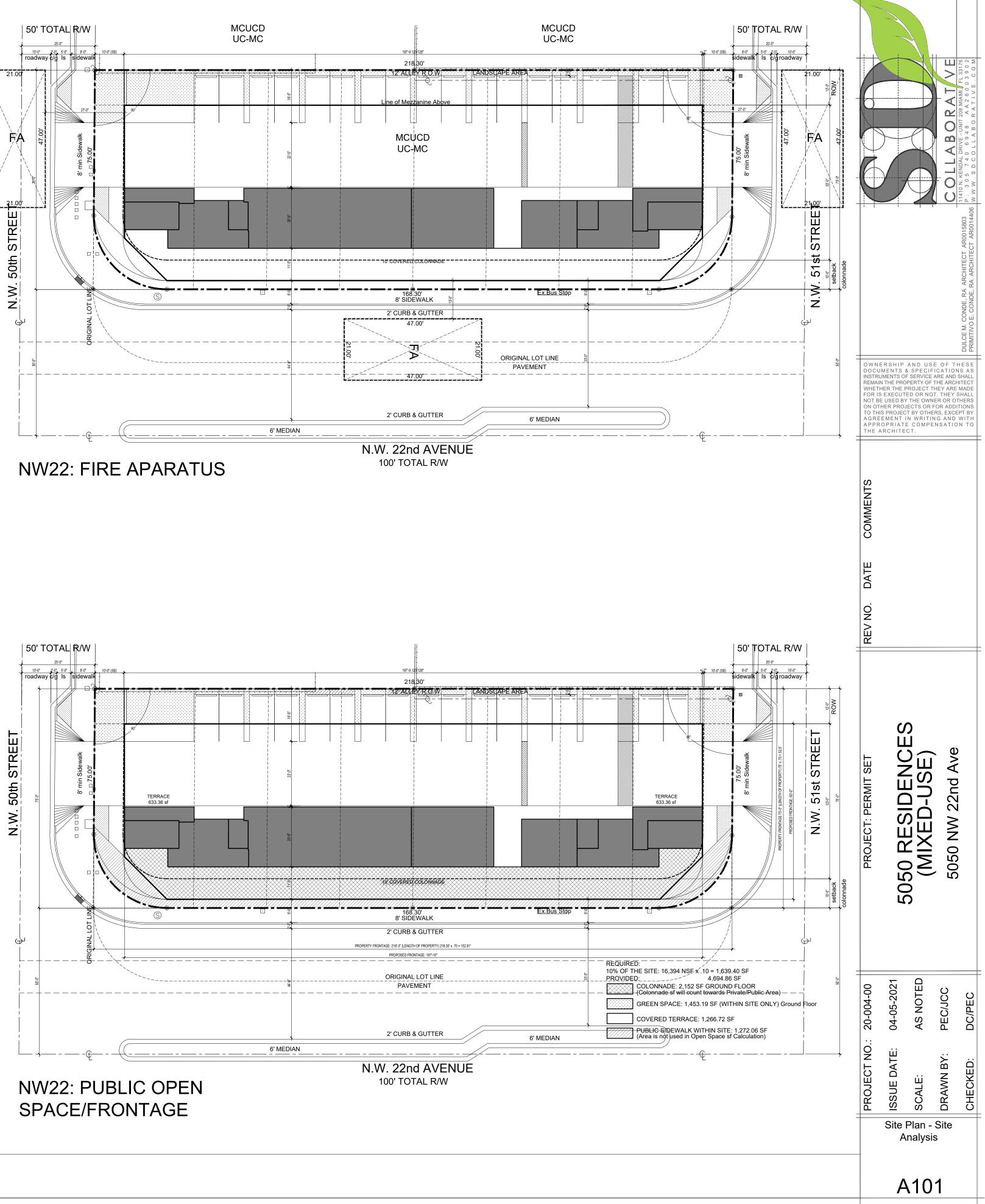
VIEW LOOKING NORTH TOWARDS THE SITE



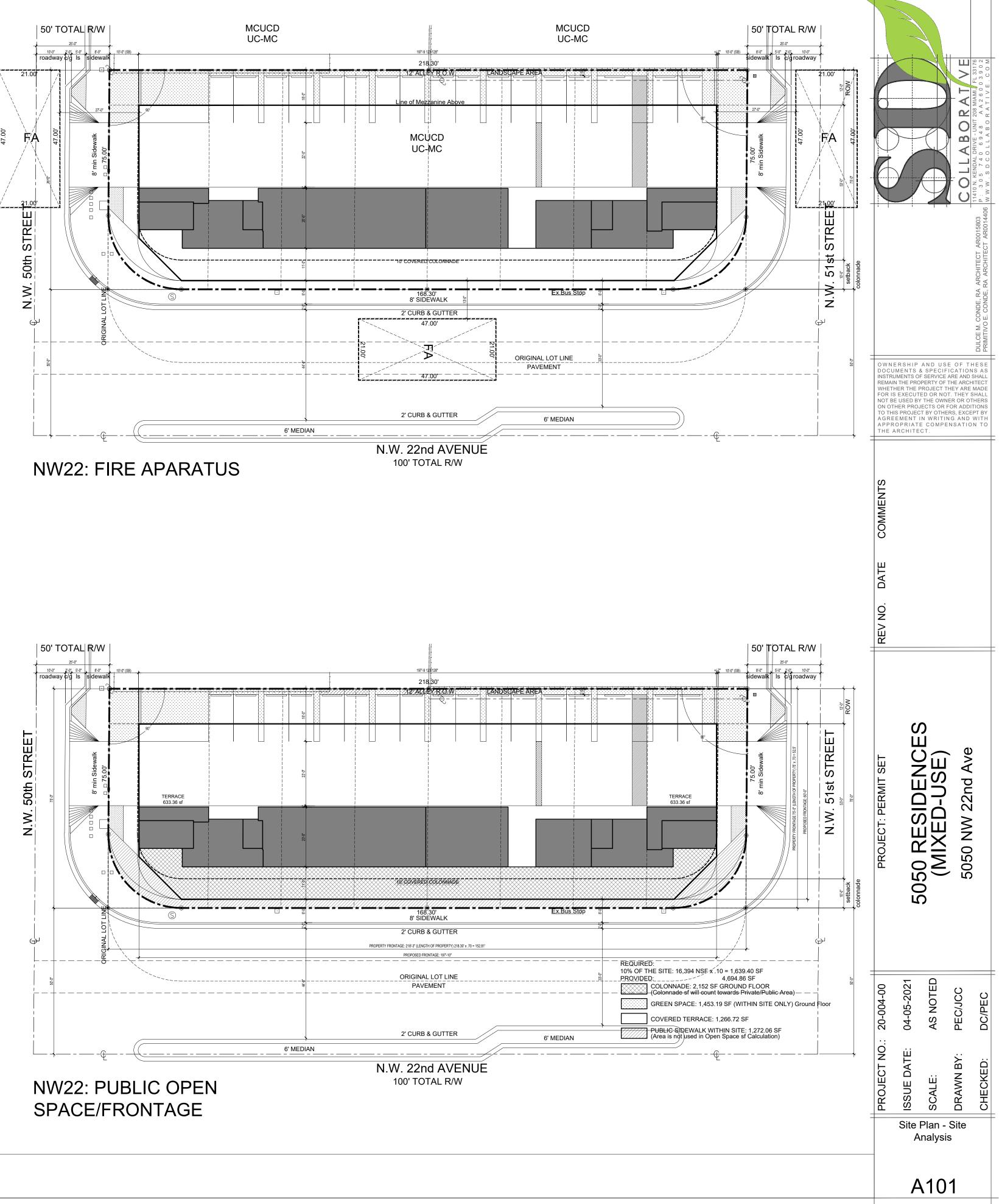




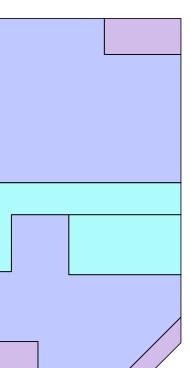


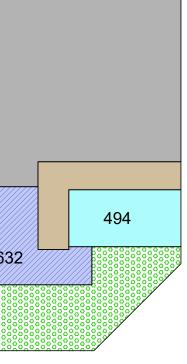


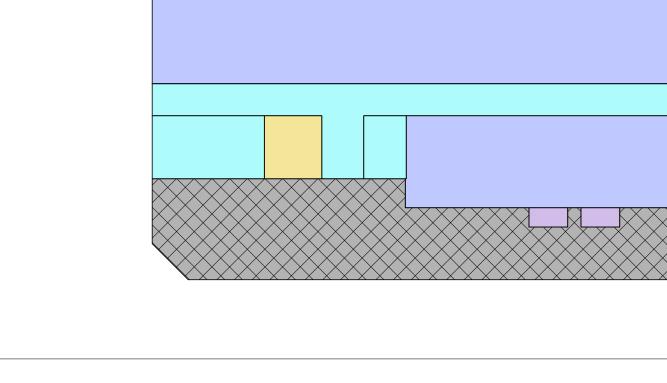




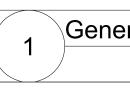
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22: evel	1/16" = 1'-0" NORTH Mixed-Use Residential F Description Retail/Lobby/Parking Residential/BOH	G Project Retail SF	ROUND FLC Resident SF 4,332	DOR		Parking Sf	632 5000000000000000000000000000000000000	BOH/M SF 888 81
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22: evel 1ez	1/16" = 1'-0" NORTH Mixed-Use Residential F Description Retail/Lobby/Parking Residential/BOH Residential Residential	G Project Retail SF 1,151	ROUND FLC Resident SF 4,332 9,582 9,582 9,582 6,961 6,96 6,961 6,96 6,961	DOR Lobby 632	2,152	Parking Sf 6,057	632 632 Support 276 277 277 277 277 277 277 274 244 24	BOH/M SF 888 81 81 81 81 81 81 201 201 201 201







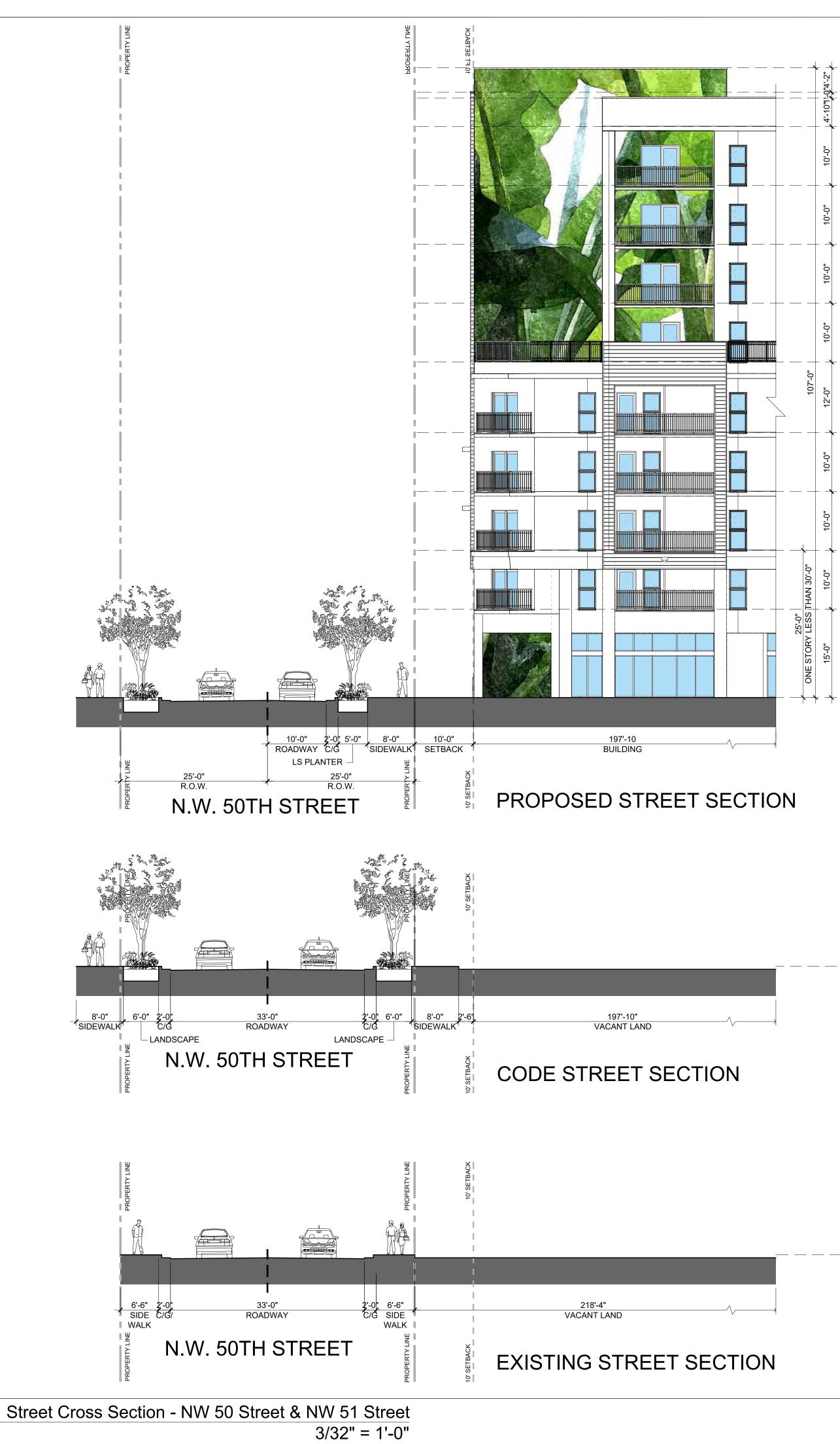
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	L					BALCONY/TE	RRACE/DECK							OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT
=		183	34									6TH - 8TH FLOOR		WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO
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Lobby	Arcade	Parking Sf	Support	BOH/M SF	Cir/VC	Roof SF	Deck	Bal/Ter SF		v. Date: Parking	12/7/2023 GSF			ROJECT: F ROJECT: F AIXEC 50 NW
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			24	201	1,742			432	10		9,360			: 20-00/ AS NC PEC/J DC/PE
632	2,152	6,057	480	2,016	14,402 569	- 8,377		3,106	82	17	93,579 9,277			ATE: BY: ED:
632	2,152	6,057		2,347	14,971	8,377 8,377		3,106		17	102,856			PROJECT N ISSUE DATE SCALE: DRAWN BY: CHECKED:
								Min	. Intensity (1.75 Brovided					Image: Construction Image: Construction Imag
									Provided	mensity	93,579			Site Plan - Blog SF Breakdown
												1 General Notes		
												NTS		A102



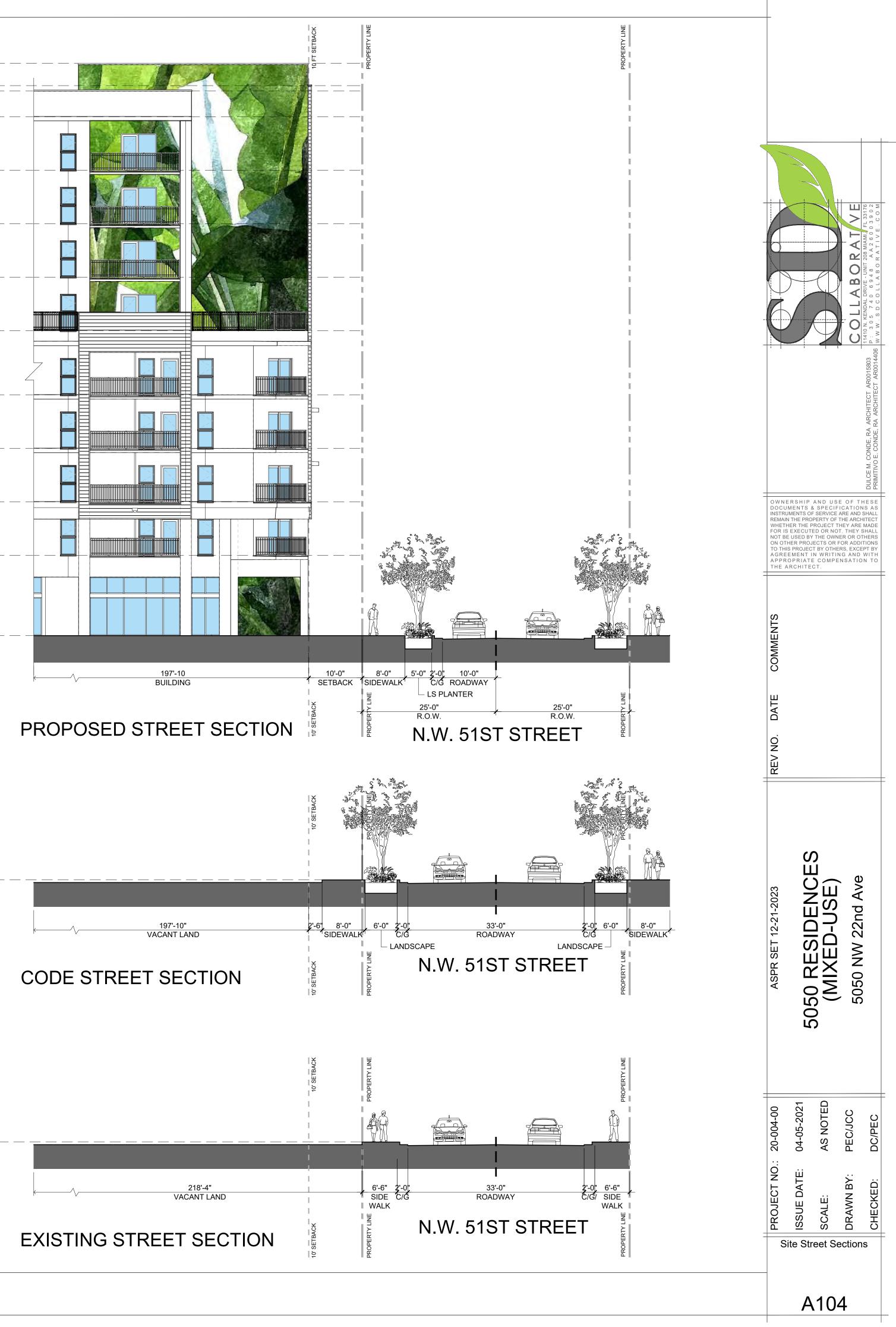


3/32" = 1'-0"

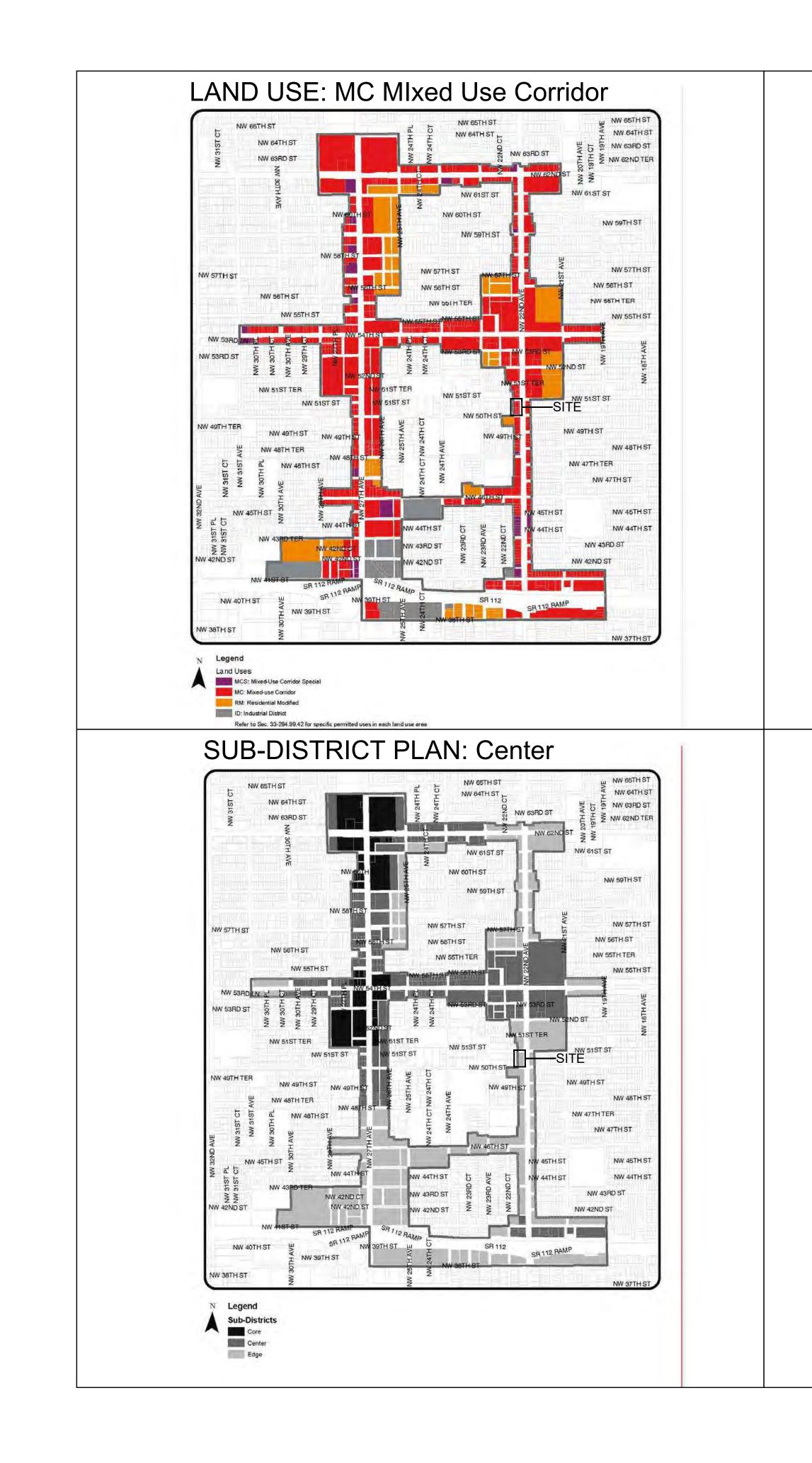
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6-0" SIDEWALK	OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
PROPERTY LINE	S REV NO.
6'-0" 8'-0" SIDEWALK	ASPR SET 12-21-2023 5050 RESIDENCES (MIXED-USE) 5050 NW 22nd Ave
	PROJECT NO.: 20-004-00 ISSUE DATE: 04-05-2021 SCALE: AS NOTED DRAWN BY: PEC/JCC CHECKED: DC/PEC
	A103

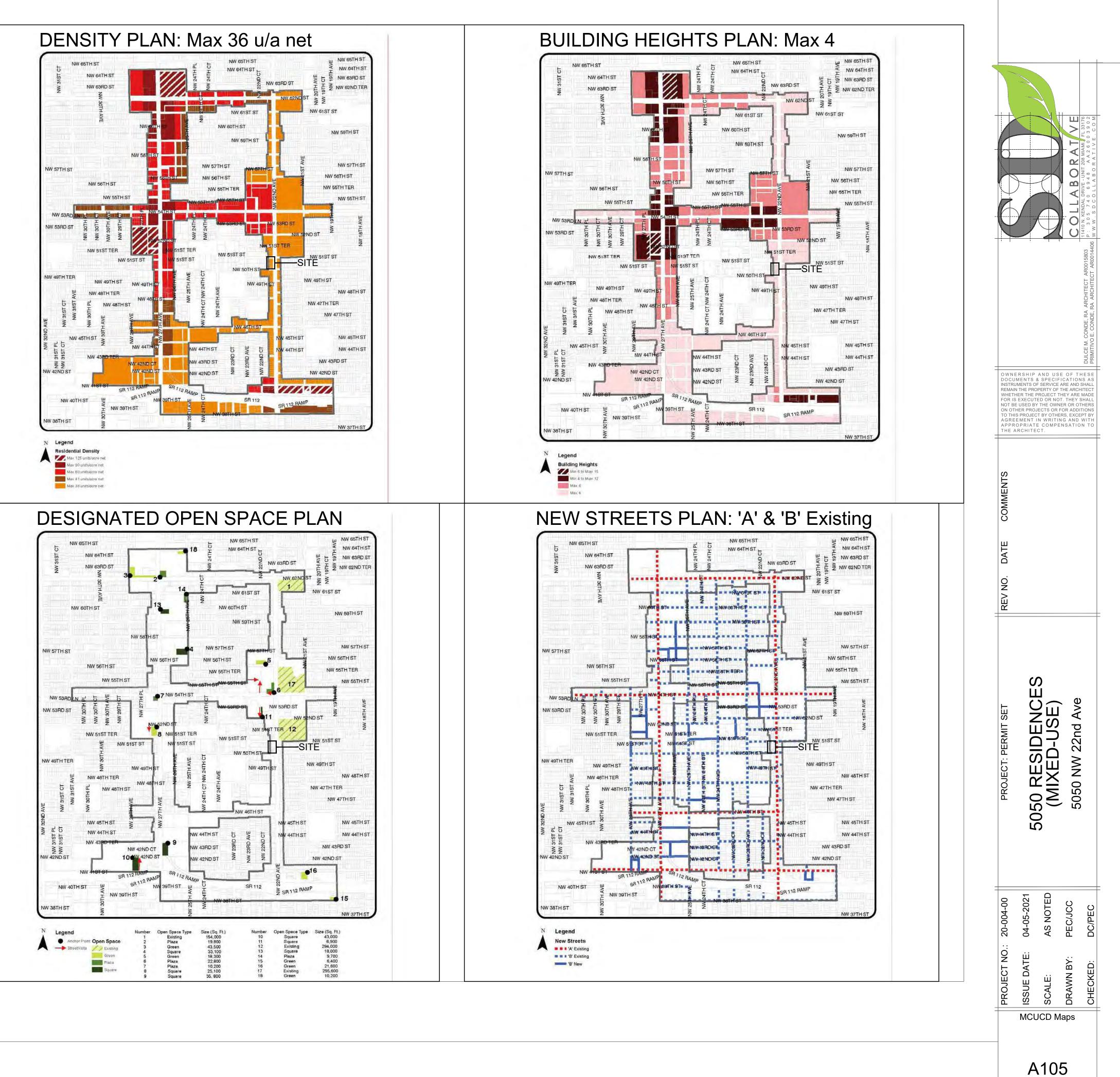


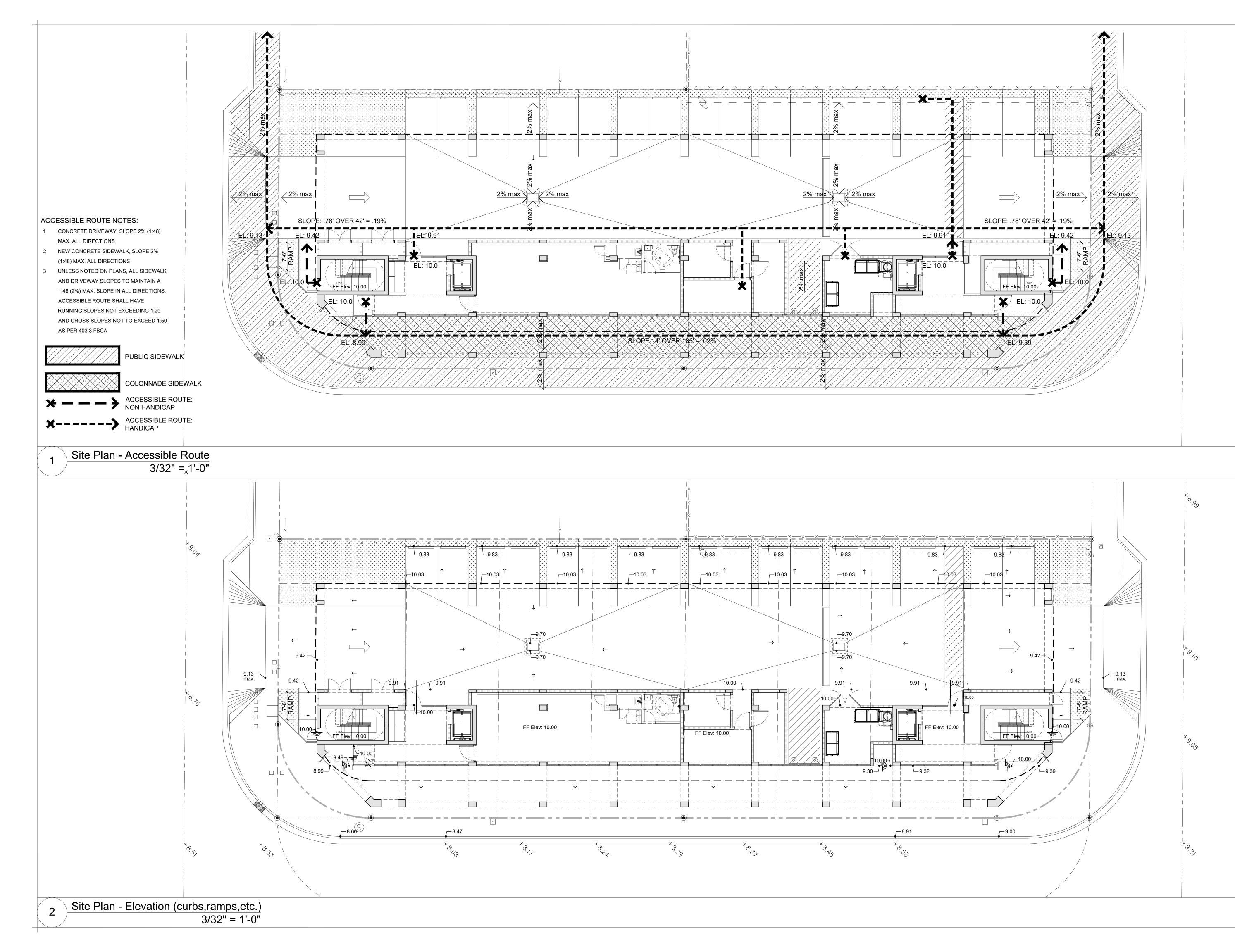
• ELEV=107'-0" • ELEV=102'-10" T.O. Parapet •ELEV=101'-10" •ELEV=97'-0" ELEV=87'-0" • ELEV=77'-0" • ELEV=67'-0" • ELEV=57'-0" • ELEV=45'-0" • ELEV=35'-0" €LEV=25'-0" ELEV=15'-0" Cround Floor

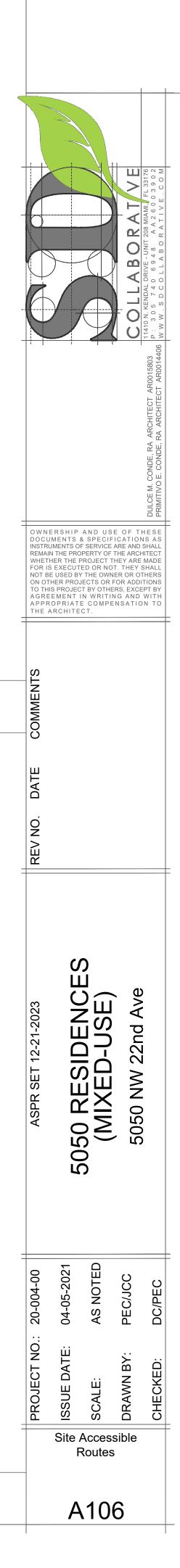


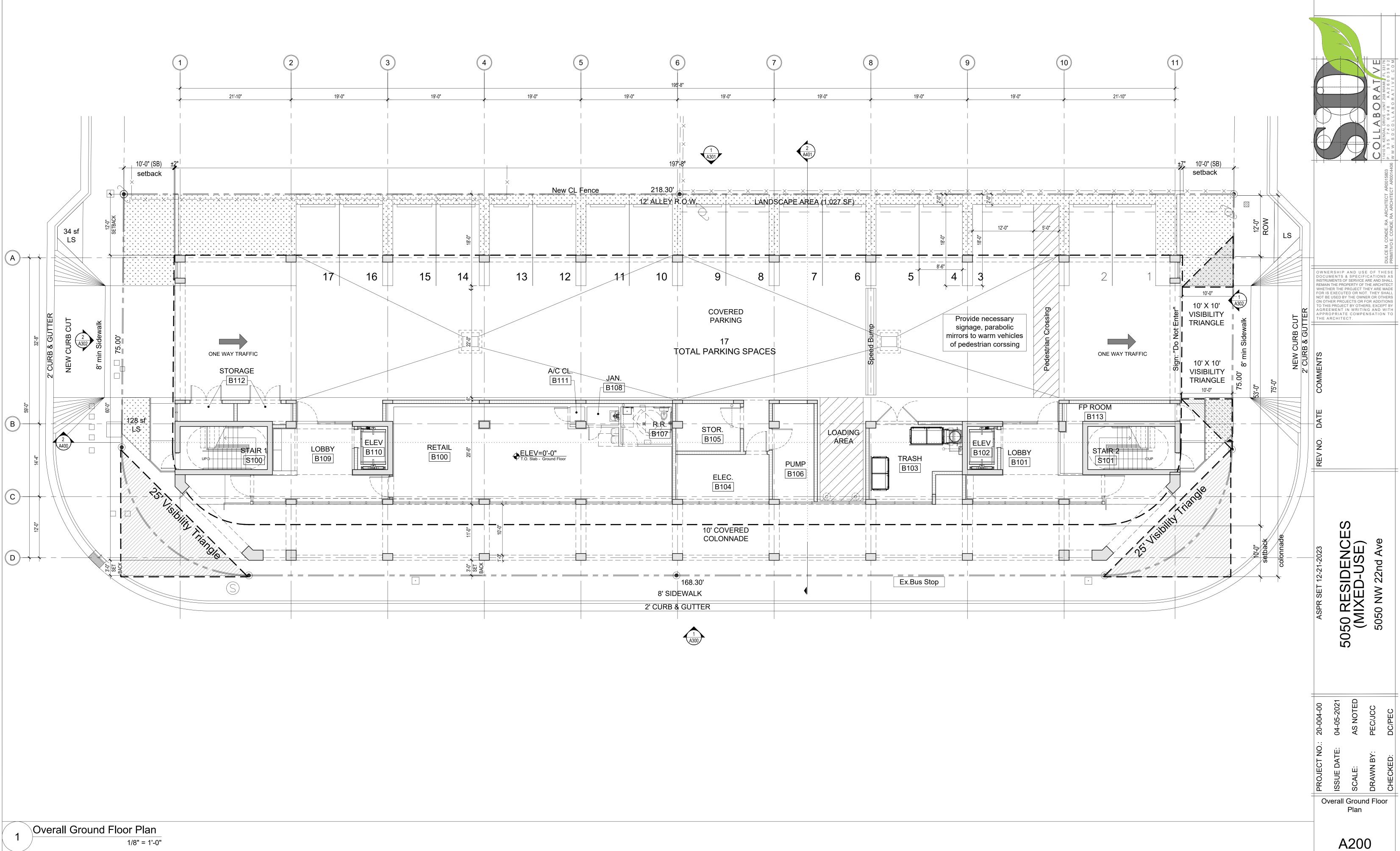
ELEV=0'-0"

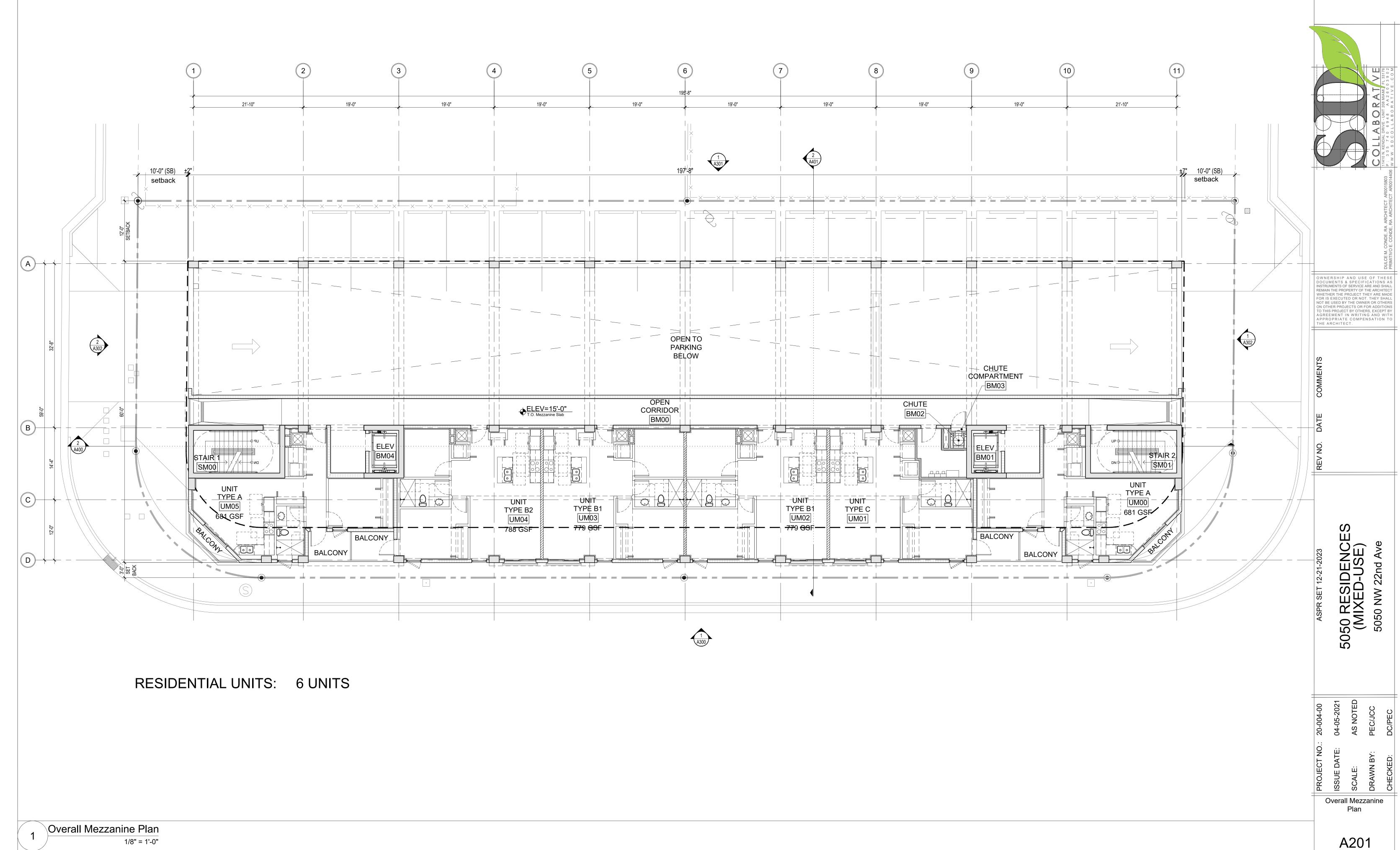


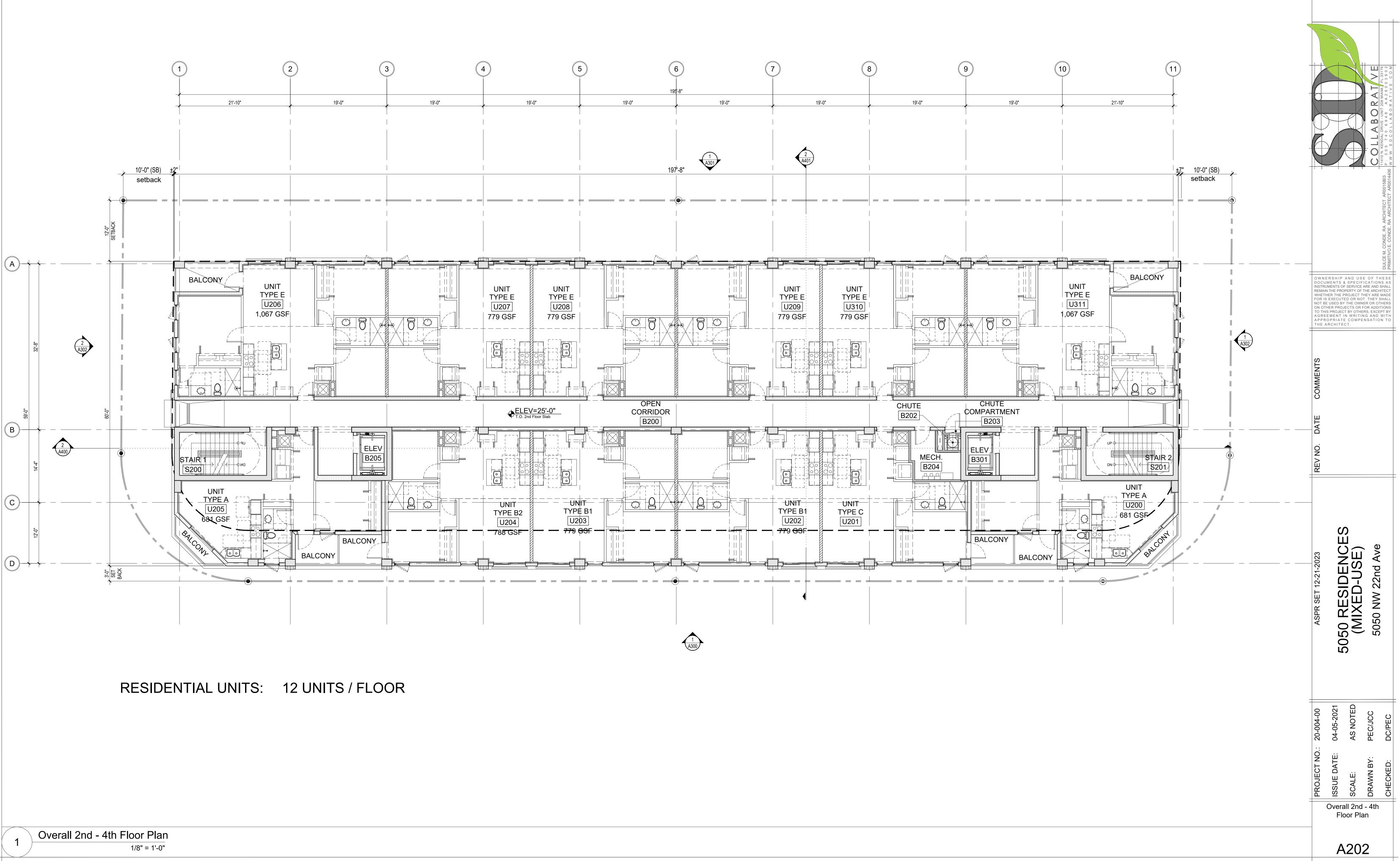


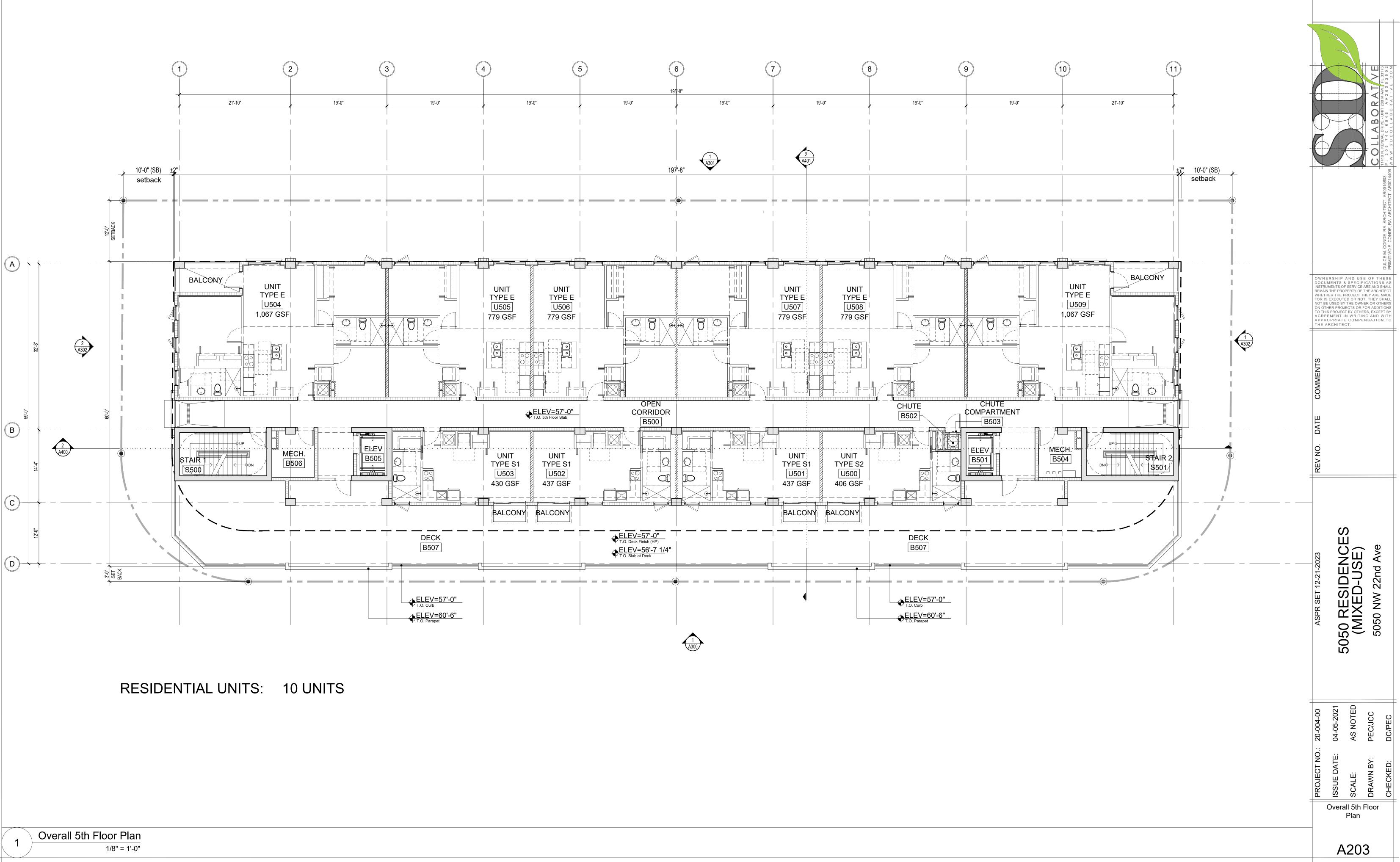


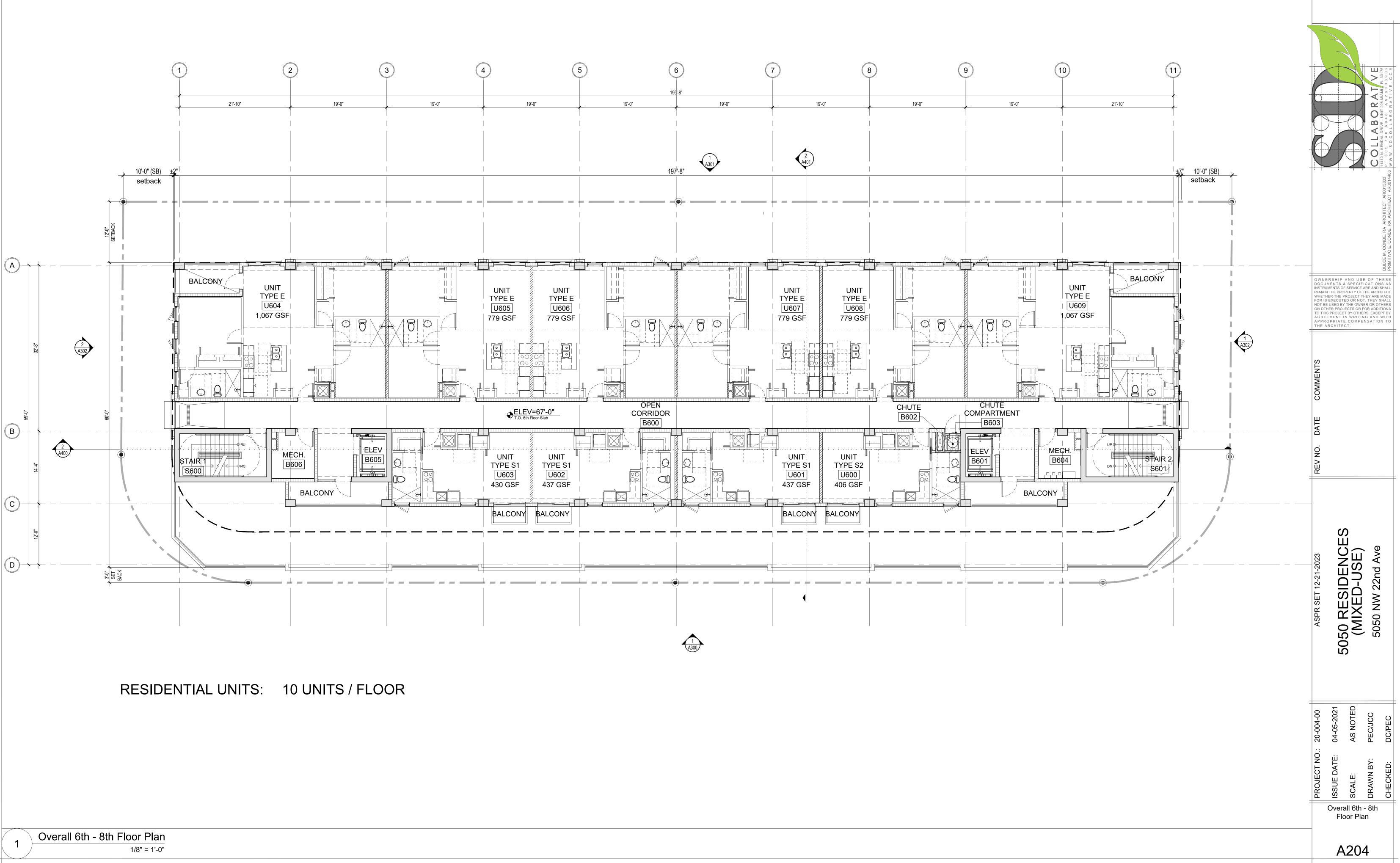


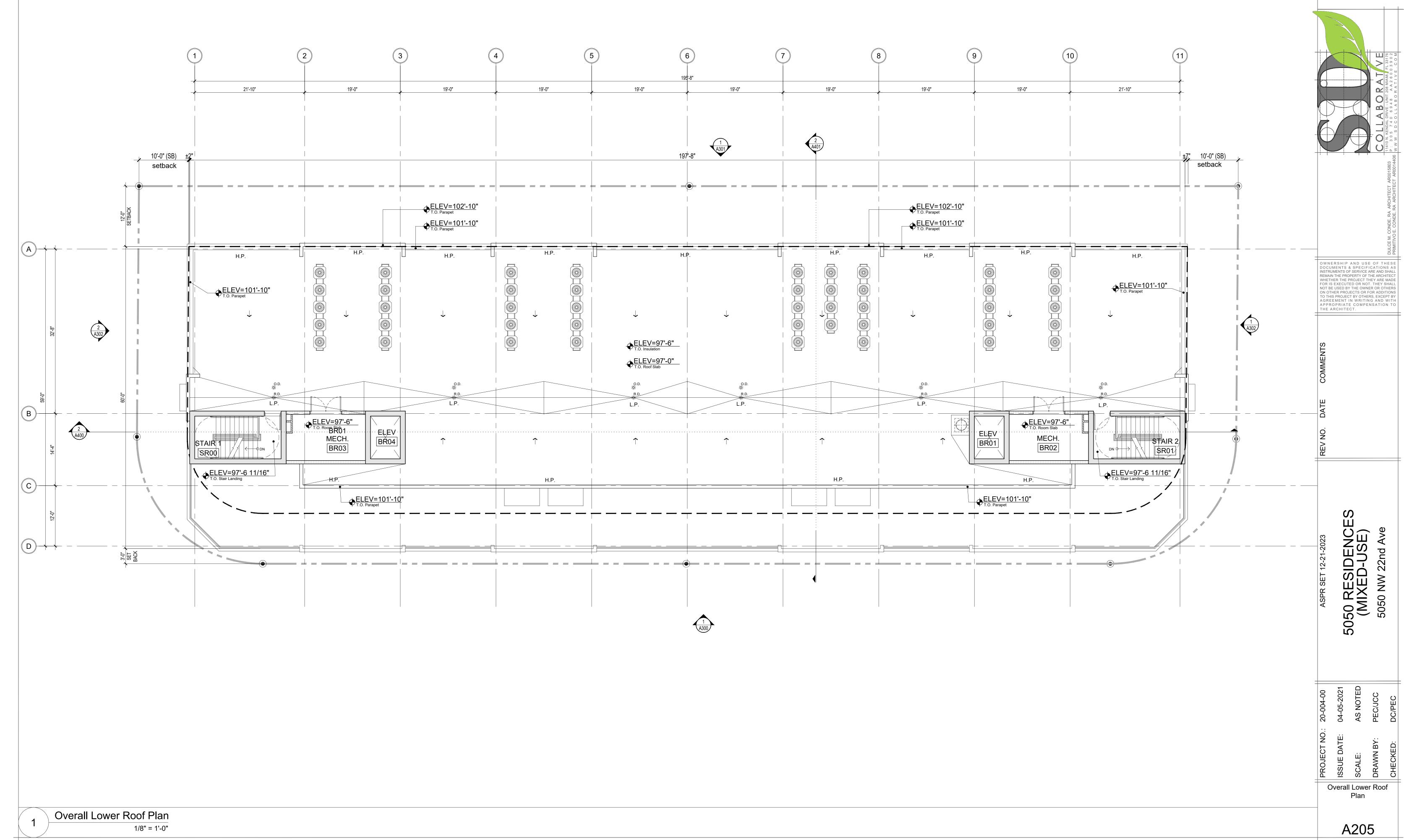


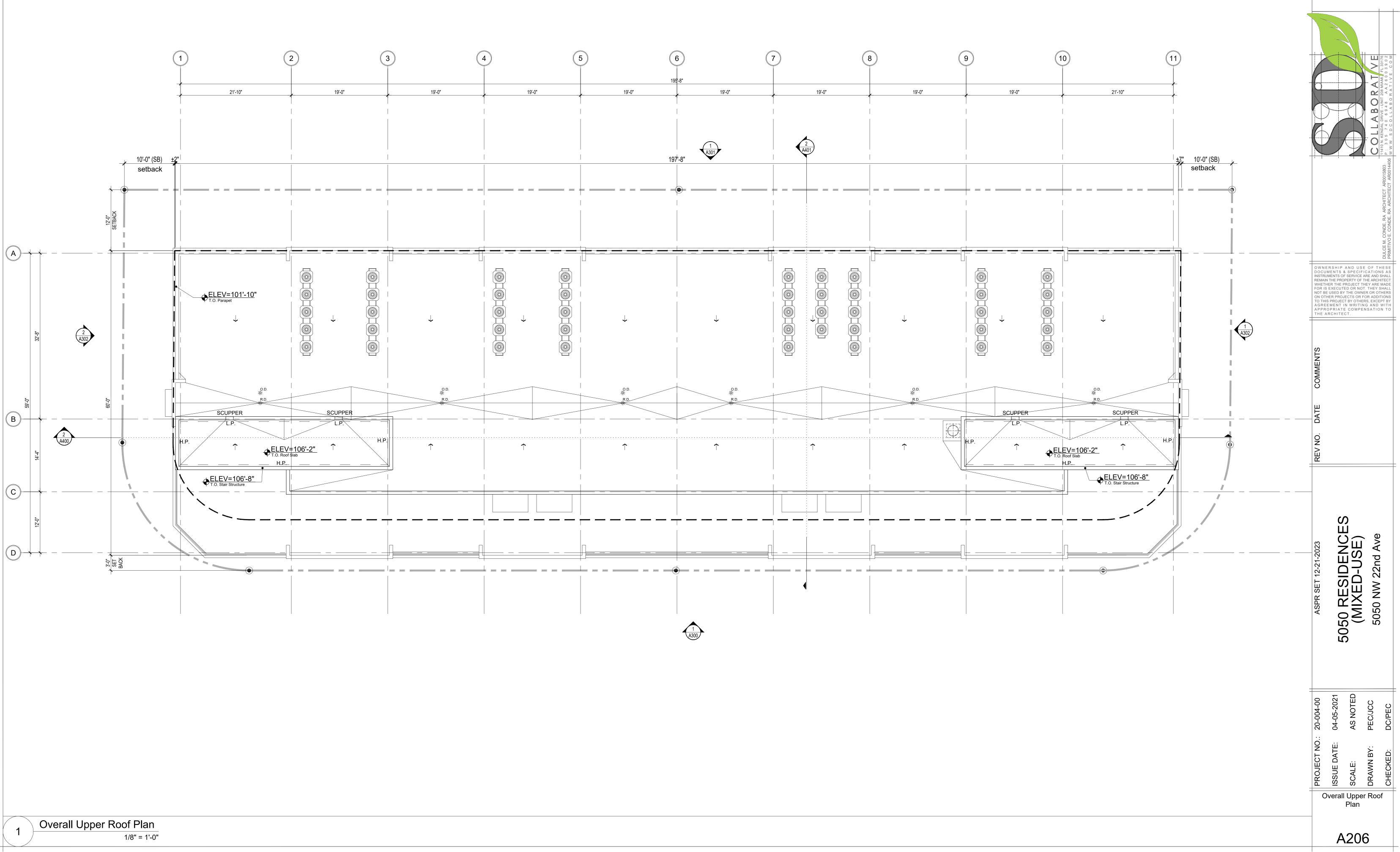




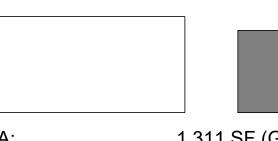








30% MIN GLAZING/OPENING REQUIREMENT















WALL AREA:

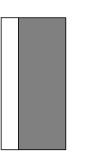
GLASS AREA PROVIDED:

70% MIN GLAZING/OPENING REQUIREMENT CALCULATION-GROUND FLOOR

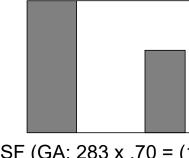
30% MIN GLAZING/OPENING

CALCULATION - UPPER FLOORS

REQUIREMENT



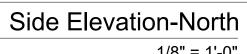
WALL AREA: GLASS AREA PROVIDED: FRONTAGE: FRONTAGE PROVIDED:



341 SF (GA: 341 x .30 = (102.3 SF)

84 SF (24.6%)

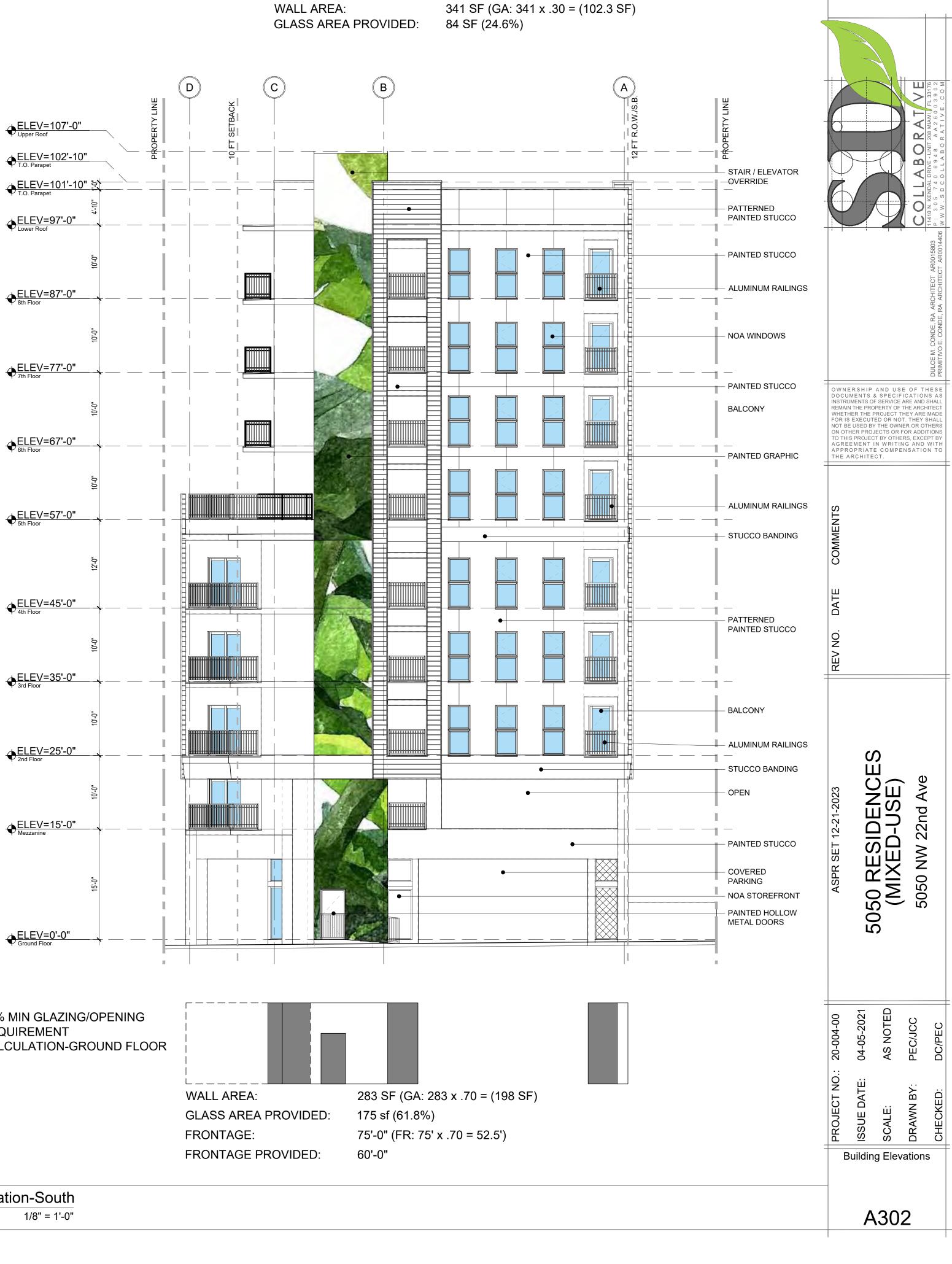
283 SF (GA: 283 x .70 = (198 SF) 175 sf (61.8%) 75'-0" (FR: 75' x .70 = 52.5') 60'-0"



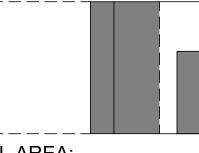
2

1/8" = 1'-0"

30% MIN GLAZING/OPENING REQUIREMENT **CALCULATION - UPPER FLOORS**

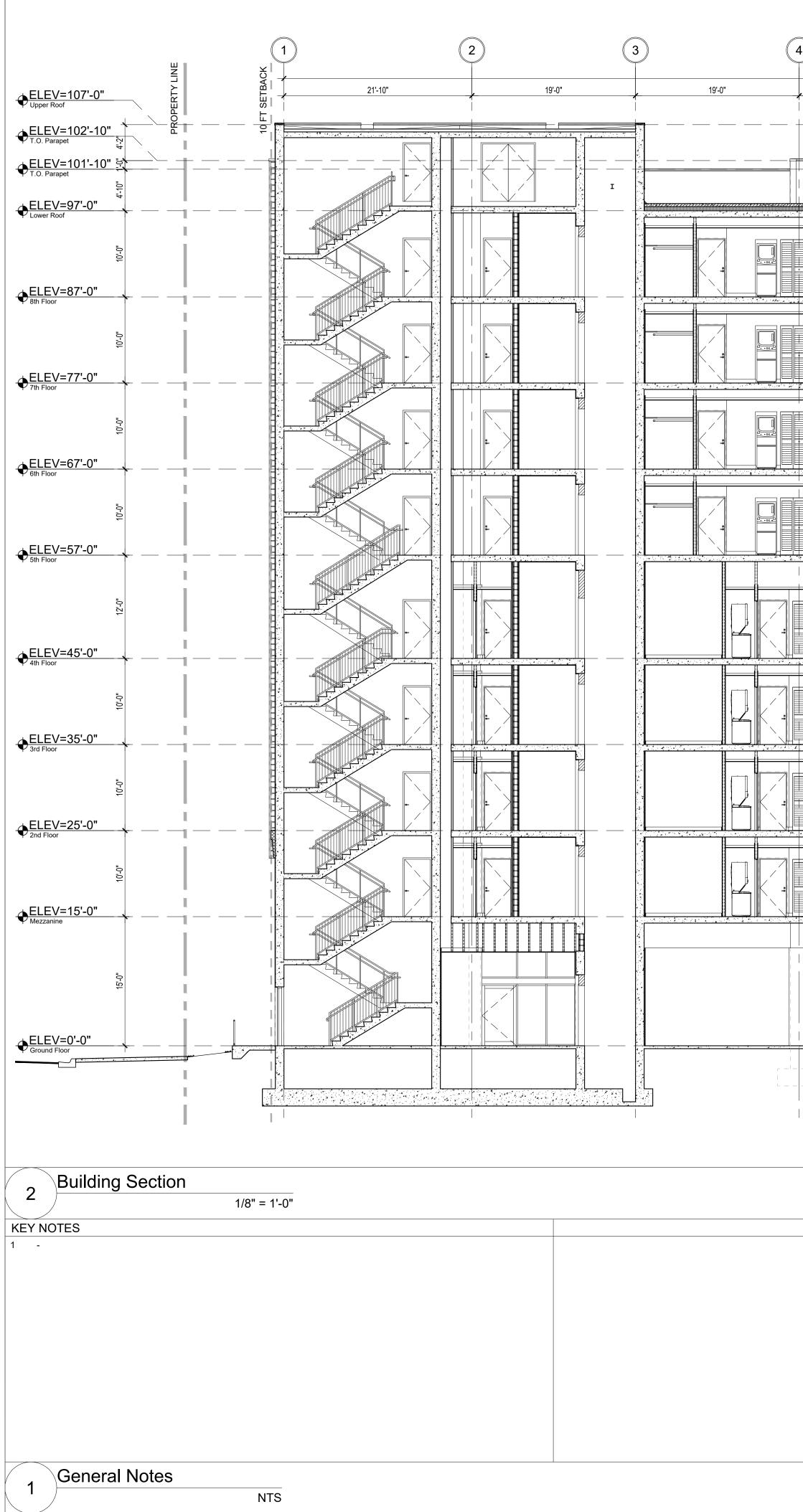


70% MIN GLAZING/OPENING REQUIREMENT CALCULATION-GROUND FLOOR

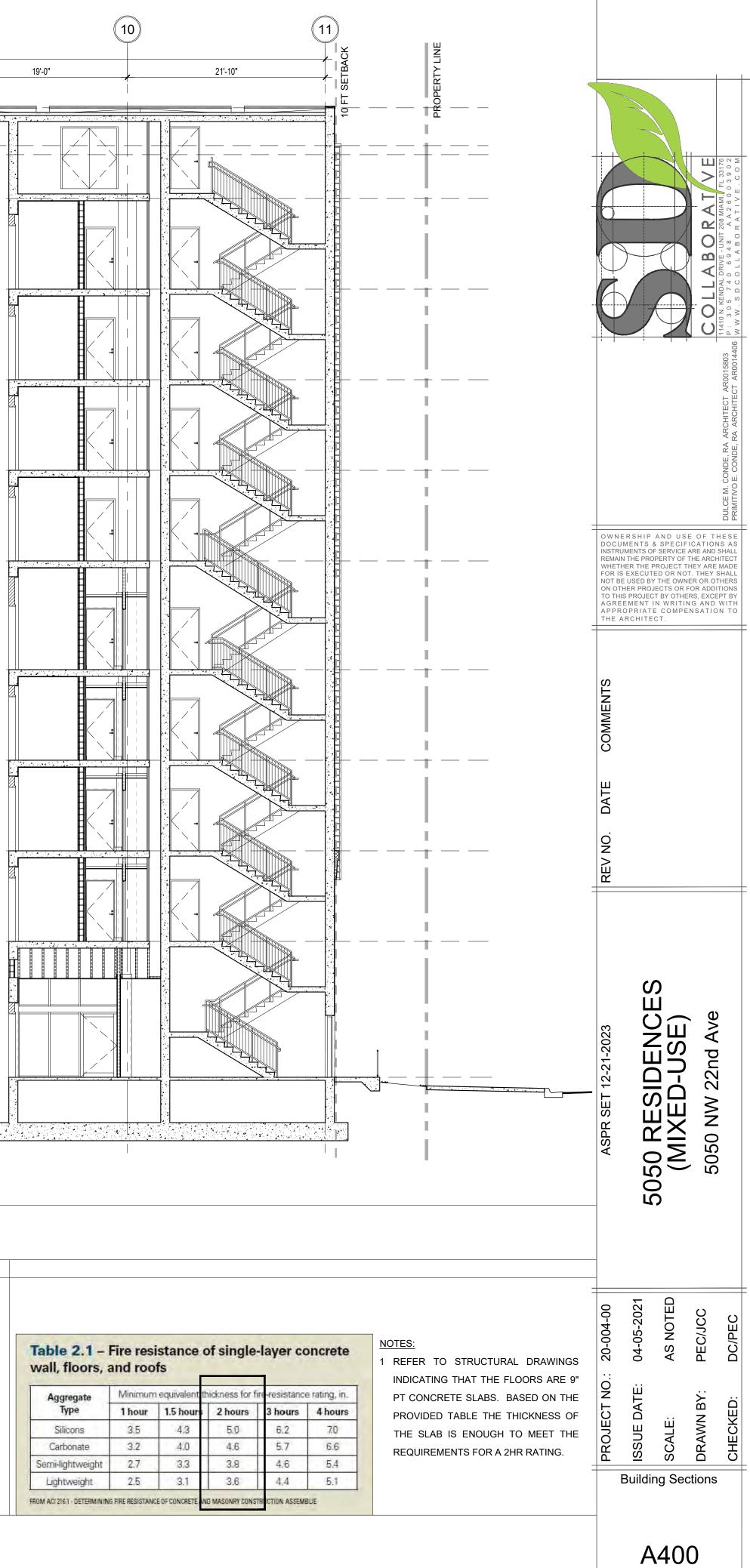




- C (D) – STAIR / ELEVATOR -OVERRIDE _____ _____ PATTERNED PAINTED STUCCO - PAINTED STUCCO • - ALUMINUM RAILINGS - NOA WINDOWS - PAINTED STUCCO - BALCONY - PAINTED GRAPHIC ▏▌▌▅▎▖▖▖ - ALUMINUM RAILINGS ----- PATTERNED
 PAINTED STUCCO - BALCONY – ALUMINUM RAILINGS - STUCCO BANDING OPEN - PAINTED STUCCO COVERED PARKING NOA STOREFRONT - PAINTED HOLLOW METAL DOORS



4	-0" 5	6 195'-8") 19'-0"	7	19'-0"	8	19'-0"	9





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:	REV NO. DATE COMMENTS				
	ASPR SET 12-21-2023		(MIXED-USE)	5050 NW 22nd Ave	
: S F E :	PROJECT NO.: 20-004-00	ISSUE DATE: 04-05-2021	SCALE: AS NOTED	DRAWN BY: PEC/JCC	CHECKED: DC/PEC
		A	40	1	

Table 2.1 – Fire resistance of single-layer concrete wall, floors, and roofs

Aggregate Type	Minimum equivalent thickness for fire-resistance rating, in.							
	1 hour	1.5 hours	2 hours	3 hours	4 hours			
Silicons	3.5	4.3	5.0	6.2	7.0			
Carbonate	3.2	4.0	4.6	5.7	6.6			
Semi-lightweight	2.7	3.3	3.8	4.6	5.4			
Lightweight	2.5	3.1	3.6	4.4	5.1			

NOTES:

1 REFER TO STRUCTURAL DRAWINGS INDICATING THAT THE FLOORS ARE 9" PT CONCRETE SLABS. BASED ON THE PROVIDED TABLE THE THICKNESS OF THE SLAB IS ENOUGH TO MEET THE REQUIREMENTS FOR A 2HR RATING.

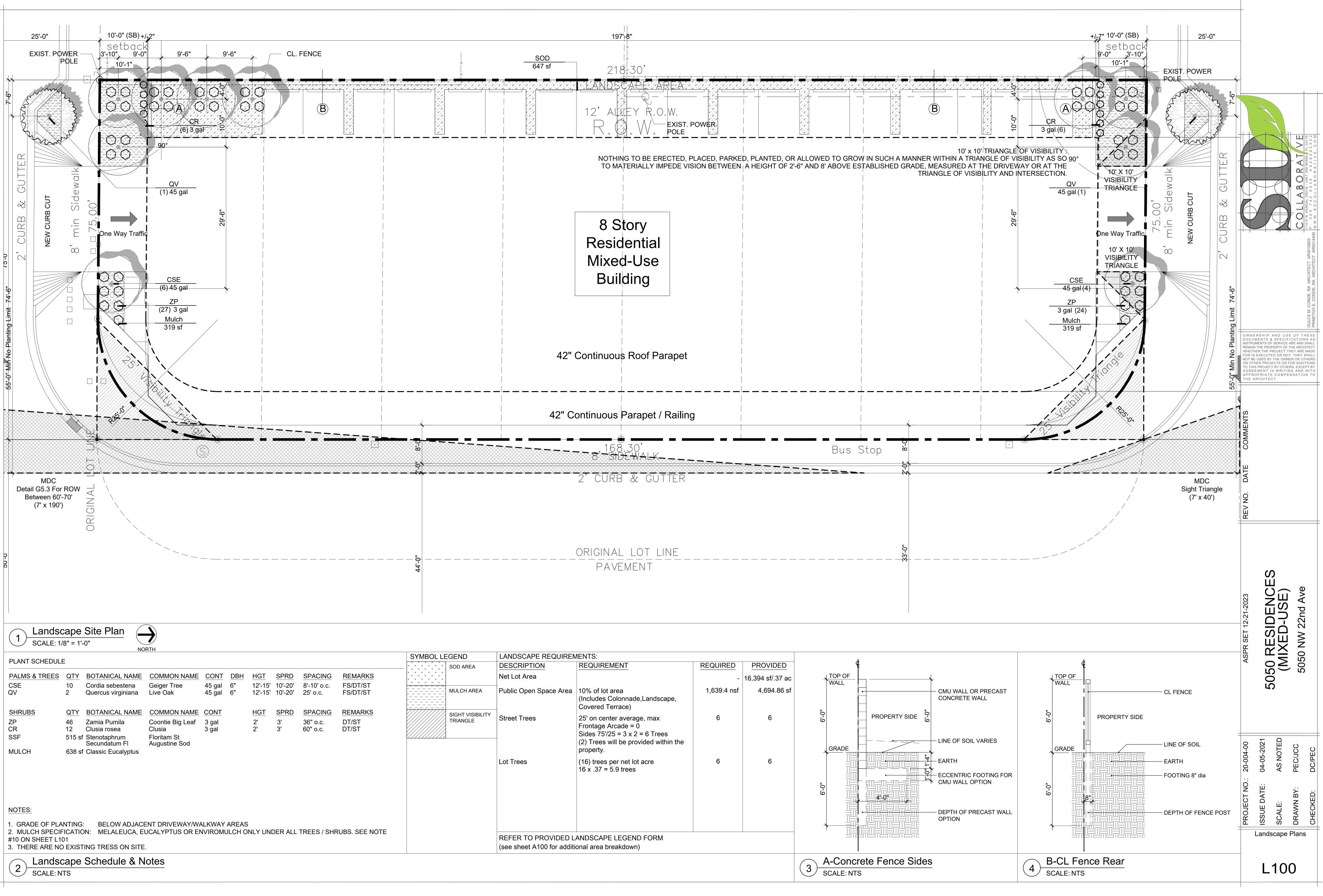


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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
REV NO. DATE COMMENTS
ASPR SET 12-21-2023 5050 RESIDENCES (MIXED-USE) 5050 NW 22nd Ave
PROJECT NO.: 20-004-00 ISSUE DATE: 04-05-2021 SCALE: AS NOTED DRAWN BY: PEC/JCC CHECKED: DC/PEC
A900

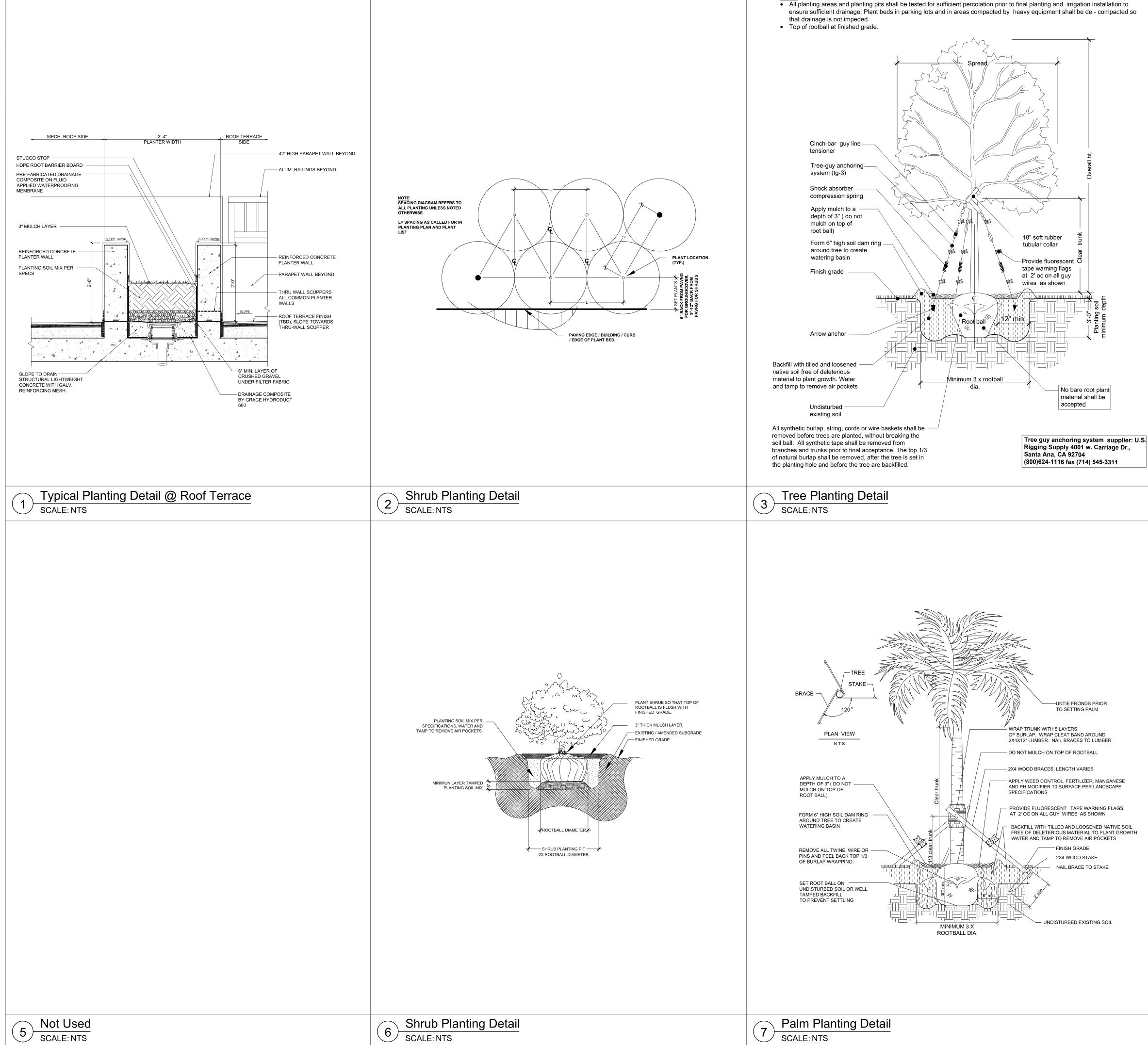








LEGEND	LANDSCAPE REQUIREMENTS:								
* SOD AREA	DESCRIPTION	REQUIREMENT	REQUIRED	PROVIDED					
*	Net Lot Area		-	16,394 sf/.37 ac					
- MULCH AREA	Public Open Space Area	10% of lot area (Includes Colonnade,Landscape, Covered Terrace)	1,639.4 nsf	4,694.86 sf					
SIGHT VISIBILITY TRIANGLE	Street Trees	25' on center average, max Frontage Arcade = 0 Sides 75'/25 = $3 \times 2 = 6$ Trees (2) Trees will be provided within the property.	6	6					
	Lot Trees	(16) trees per net lot acre 16 x .37 = 5.9 trees	6	6					
	REFER TO PROVIDED LANDSCAPE LEGEND FORM (see sheet A100 for additional area breakdown)								
					/				



3. The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

GENERAL NOTES

- 1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- 2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders. 3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- 4. No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting. 5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread
- specifications shall take precedence over container size. 6. All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- . Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- 8. All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

- 1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- 2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect. 3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by
- the State of Florida Department of Agriculture. 4. Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- 5. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor. 6. The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required". 8. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation
- to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded. 9. All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball.
- All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted. 10. Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color
- Eucalyptus or Enviromulch immediately after planting. In no case shall Cypress mulch be used. 11. All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- 12. Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting. 13. All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- 14. All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy. 15. Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.

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- 16. Stake all trees and palms for approval by Landscape Architect prior to installation.
- 17. Any sod areas damaged by construction are to be replaced with St. Augustine 'Floratam' sod. 18. All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floratam' sod.
- 19. St. Augustine 'Floratam' Contractor's responsibility to verify quantity. 20. Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building
- 21. Root barrier shall be Vespro Inc. or approved equal. **General Planting Notes** 4 SCALE: NTS TREE AND PALM TRANSPLANTING NOTES Certified arborist is to be hired to supervise and direct all phases of transplanting trees and palms. 2. Trees to be relocated shall be root pruned a minimum of eight weeks prior to transplanting. Landscape Contractor shall maintain transplanted materials during construction period by watering, weeding, mowing, spraying, fertilizing, and pruning 3. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape prior to beginning of project. The Owner and Landscape Architect shall not be responsible for damage to utility or irrigation lines. 4. The Landscape Contractor shall comply with all local and State codes and shall be responsible for obtaining all applicable permits 5. Landscape Contractor shall regularly inspect the relocated materials to ensure compliance with standard horticultural practices. 6. The Landscape Contractor is responsible for guaranteeing the transplanted trees and palms for a period of one year. At the time of final inspection all transplanted trees and palms that are not in a healthy growing condition shall be replaced by the Landscape Contractor. 7. Root Pruning and Transplanting Operations: The Landscape Contractor shall take all precautions to minimize shock of root pruning and transplanting in accordance with standard arboriculture procedures including: A. The diameter of the root-pruning or transplanting circle shall be at a distance away from the trunk equal to 12 times each inch of trunk diameter at breast height. B. All small roots shall be cleanly cut with a sharp spade, a clean saw or chainsaw depending on the size of the root. C. Trees shall not be pruned at transplanting to compensate for root loss. Any trimming required shall be as per the \mathbf{C} International Society of Arboriculture Trimming Standards D. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied without an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall be have all ()fronds cut without damaging the bud. Z W E. After root pruning trees, backfill roots to original existing grade with existing soil free of any deleterious material to root growth. 国に F. Provide a minimum of 3" mulch over backfill area to prevent weed growth, conserve moisture and prevent evaporation. Keep mulch 6" away from the trunk. SID-L G. Provide tree protection as per Tree Protection Detail to ensure that the tree or root system is not damaged during the root-pruning period. H. After root pruning, during root regeneration period trees shall be watered as per standard horticultural practices. NN I. Immediately prior to transplanting tie the branches of the tree up to avoid damage. J. The root ball shall be wrapped with burlap to protect the soil around the roots and protect the roots from drying out at time of moving from the hole. 50 K. Finish cutting of root ball for transplanting. L. Transplanting must occur within 24 hours after being dug for relocation. Trees/Palms should be kept in shade and 20 €20 50 the canopy kept moist. M.Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location. Ο N. The depth of the new hole shall be minimum equal to the depth of the root ball and the width shall be minimum S equal to three times the width of the root ball. The Landscape Contractor is to verify that all new holes have appropriate percolation. Landscape Contractor is to report to the Landscape Architect if water percolation does not meet requirements for healthy plant growth. O. Trees and palms shall be lifted from the ground with heavy equipment designed specifically for tree relocation so that the trunk and crown is not impacted and damaged by the equipment. P. The slings used to lift the trees and heavy weight palms shall be non-binding nylon type slings that are wrapped under the root ball to support the weight of tree or heavy palm. Slings shall not be solely wrapped around the trunk of the tree that can cause damage, girdling and result in decline and death of the tree. Q. The slings used to lift the lighter weight palms shall be non-binding nylon type slings that are wrapped around the trunk to support the weight of the palm. Padding the sling may be necessary so that the trunk or "boots" are not damaged. R. Trees shall be planted 2"max. higher than their original planting level prior to relocation. Palms shall be planted at the same elevation prior to relocation. The tree and palm shall be centrally positioned in the planting hole and set straight, plumb or normal to the growth pattern prior to transplanting. S. The trees and palms shall be backfilled with existing soil free of deleterious material to plant growth T. Trees and palms shall be deep root watered to eliminate air pockets in the backfill mix prior to mulching. U. A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for additional information V. Provide a minimum of 3" layer of mulch over saucer and backfill area outside saucer to prevent the weed growth, conserve moisture, and prevent evaporation. Keep mulch 6" away from the trunk. W. Install tree and palm bracing as per attached details, to ensure stability of tree and palm during time period prior to and after transplanting, stake trees and palms after transplanting only is required to keep them stable. X. Over the guarantee period the Landscape Contractor is responsible for resetting any trees/palms that are not vertical when caused by winds less than 75 MPH. Y. After transplanting trees and palms, the Landscape Contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First Month- daily; Second Month - 3 times per week; Third and Fourth Months - 2 times per week; Last Eight Months -1 time per week. For trees over 4" in caliper at the time of planting, the schedule should be: First 6 Landscape Notes weeks - daily, from 1.5 months to 6 months-3 times per week, last 6 months - 1 time per week. and Details

