



ASPR Set 12-21-2023
5050 Residences
 (Mixed-Use)

5050 NW 22nd Avenue
 Miami, FL 33142

CONSULTANTS	
STRUCTURAL	CIVIL
MEP	LANDSCAPE ALL LANDSCAPE DATA, INC 9737 NW 41 STREET - SUITE 919 MIAMI, FLORIDA 33178 P: 305.303.7059

SCOPE OF WORK

SCOPE OF WORK:

The subject project is within Miami Dade County, Florida and is approximately .92 Gross acres; .38 Net Acre site composed of 5 parcels. The site is located at 5050 NW 22nd Ave. Through verbal conversations and our initial conceptual site planning efforts we understand the proposed project program to be as follows:

- Zoning: MDC - MCUCD-MC 90-2-10
- Site: .92 Gross Acres; .38 Net Acres
- Height: 8 stories (includes a mezzanine floor between floors 1 & 2)
- Density: 90 du/ac (82 units total proposed)
- Ground Floor Retail: 1,151 sf
- Parking: 17 spaces

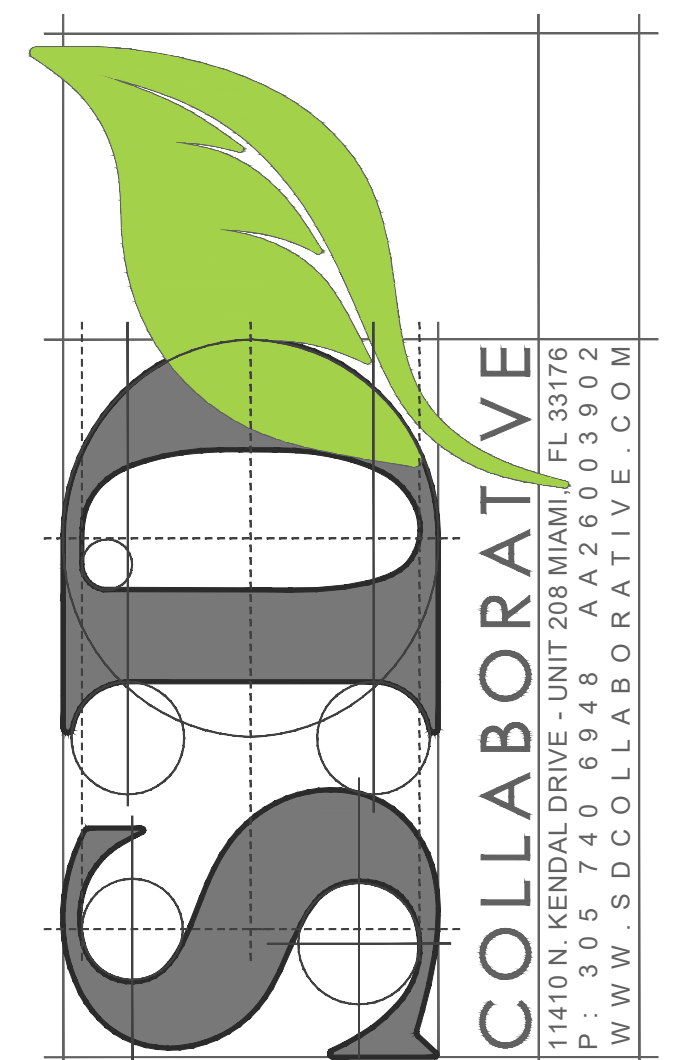
The existing site is a green field and the proposed project is a new ground-up construction.

CODES

ZONING CODE:
 - MDC Code of Ordinances: MCUCD-MC

FLORIDA BUILDING CODES (FBC):
 - FBC - Building (2020 / 7th Edition)
 - FBC - MECHANICAL (2020 / 7th Edition)
 - FBC - PLUMBING (2020 / 7th Edition)
 - Florida Fire Prevention Code (2018 / 7th Edition)

NATIONAL FIRE PROTECTION ASSOCIATION (NFPA):
 - National Sprinkler Code (NFPA 13, 2016 Edition)
 - National Electric Code (NFPA 70, 2017 Edition)
 - National Fire Alarm (NFPA 72, 2016 Edition)
 - Life Safety Code (NFPA 101, 2018 Edition)
 - All other applicable NFPA Chapters, Codes, Standards and recommended practices.



NOTES:

a) The flood information shown hereon does not imply that the referenced property will or will not be free from flooding or damage and does not create liability on the part of the firm, any officer or employee thereof, for any damage that results from reliance on said information.

b) The survey shows platted easements and right-of-ways. There may exist additional easements and/or encroachments which affect this property.

c) Easements shown hereon are with references to the National Geospatial Vertical Datum, unless otherwise noted.

ABBREVIATIONS:

M.H. = Man Hole
 R = Radius
 F.R. = Found Rebar
 A/C = Air Conditioner
 CB = Catch Basin

ABBREVIATIONS:

E = Property Easement
 CONC = Concrete
 CHGR = Chipping
 G = Center Line
 A = Arc Length
 Ch = Chord

ABBREVIATIONS:

B.M. = Bench Mark
 C.O. = Corner
 F.O.H. = Found Drill Hole
 W.M. = Water Meter
 F.L.P. = Found Iron Pipe
 F.N. = Found Nail
 Ch = Chord

ABBREVIATIONS:

PL = Planter
 S.O.H. = Sewer Offset Hole
 F.N.D. = Found Nail
 M.H. = Man Hole
 P.T. = Point of Tangency
 Q.P. = Quarter Point
 F.I.P. = Found Iron Pipe
 S.N. = Set Iron Stake
 C.L.P. = Center Line Point
 F.P.C. = Found Power Pole
 S.I.P. = Set Iron Pipe & Cap
 SWK = Sidewalk

ABBREVIATIONS:

POC = Point of Commencement
 D.M.E. = Drainage Maintenance Easement
 P.R.M. = Permanent Reestablishment
 P.C. = Point of Curvature
 P.L. = Florida Power & Light
 D.L. = Drainage Easement

ABBREVIATIONS:

BO = Beginning
 N/A = Not Applicable
 O.S. = Old Survey
 P.P. = Power Pole
 S.I.P. = Set Iron Pipe & Cap
 SWK = Sidewalk

ABBREVIATIONS:

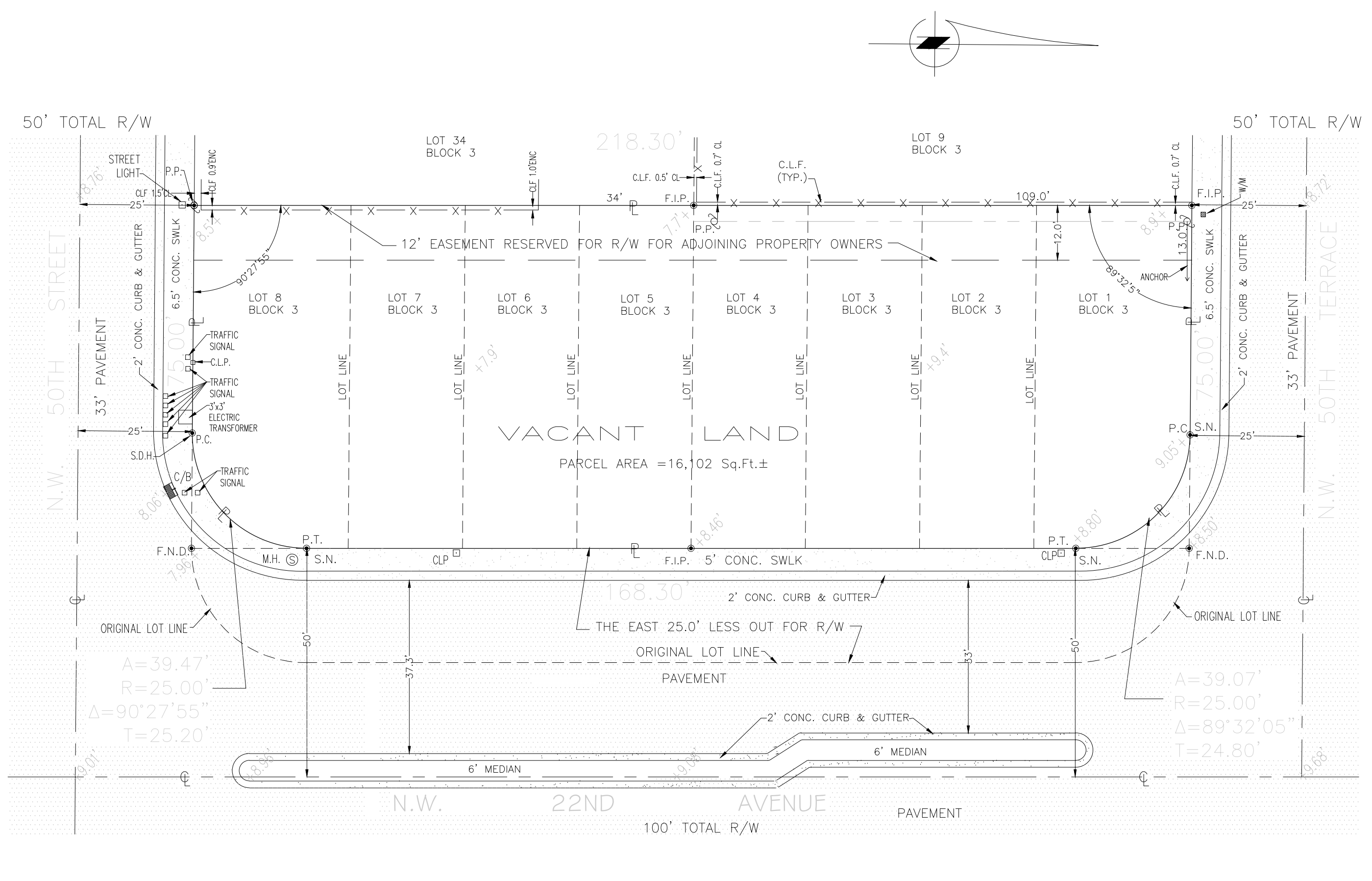
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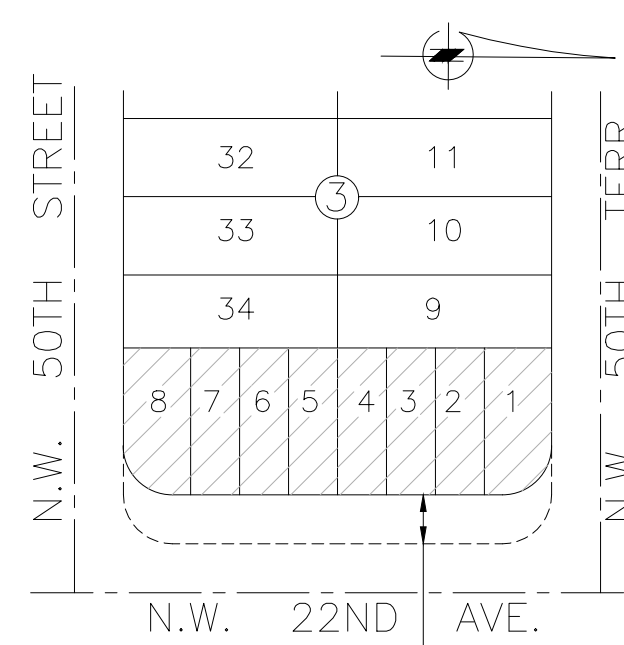
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SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 30'



LOCATION SKETCH (N.T.S.)



LEGAL DESCRIPTION:

LOTS 1-8 INCLUSIVE, BLOCK 3, SUNNY SLOPE PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 15, PAGE 11, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTIONS TAKEN FOR STREET WIDENING DESCRIBED AS FOLLOWS:

THE EASTERLY 25 FEET THEREOF TOGETHER WITH EXTERNAL ARC OF 25 FOOT RADIUS ARC CONCAVE SOUTHWESTERLY AND TANGENT TO THE NORTHERLY LINE OF SAID LOT 1 AND TANGENT TO A LINE 25 FEET WESTERLY OF AND PARALLEL WITH THE EASTERLY LINE OF SAID LOT 1 AND ITS NORTHERLY PROLONGATION THEREOF, AND ALSO THE EXTERNAL ARC OF A 25 FOOT RADIUS ARC CONCAVE NORTHWESTERLY AND TANGENT TO THE SOUTHERLY LINE OF SAID LOT 8 AND TANGENT TO A LINE 25 FEET WESTERLY OF AND PARALLEL WITH THE EASTERLY LINE OF SAID LOT 8 AND ITS SOUTHERLY PROLONGATION THEREOF.

INCLUDING THE FOLLOWING 5 FOLIO NUMBERS: (O.R.B. 181184-PAGE 0709 MIAMI-DADE CO. RECORDS)

30-3122-021-0360 (LOTS 1-4 INCLUSIVE, BLOCK 3-PB.15-11 LESS E 25' FOR R/W)
 30-3122-021-0370 (LOT 5, BLOCK 3-PB. 15-11 LESS E 25' FOR R/W)
 30-3122-021-0380 (LOT 6, BLOCK 3-PB. 15-11 LESS E 25' FOR R/W)
 30-3122-021-0390 (LOT 7, BLOCK 3-PB. 15-11 LESS E 25' FOR R/W)
 30-3122-021-0400 (LOT 8, BLOCK 3-PB. 15-11 LESS 4 25' FOR R/W)

CERTIFIED TO:

RE OPPORTUNITY FUND LLC
 MARRO LAW, P.A.
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

NOTES:

XXX - DENOTES ELEVATIONS TAKEN

THERE ARE NO VISIBLE OR NOTABLE TREES INSIDE THESE LOTS

NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER

BOUNDARY SURVEY

I hereby certify that this Survey meets the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17 of Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

Field Date: 12/11/19

RAFAEL R. CABRERA, P.S.M.
 CERTIFICATE NO. 15-5665
 STATE OF FLORIDA

CABRERA CONSULTING SERVICES
Land Planning-Surveying-Mapping
 CERTIFICATE No. LB-7102, STATE OF FLORIDA
 682 East 21st Street, Hialeah, FL 33013
 (305)333-3328 Cell
 guerrerops@aol.com

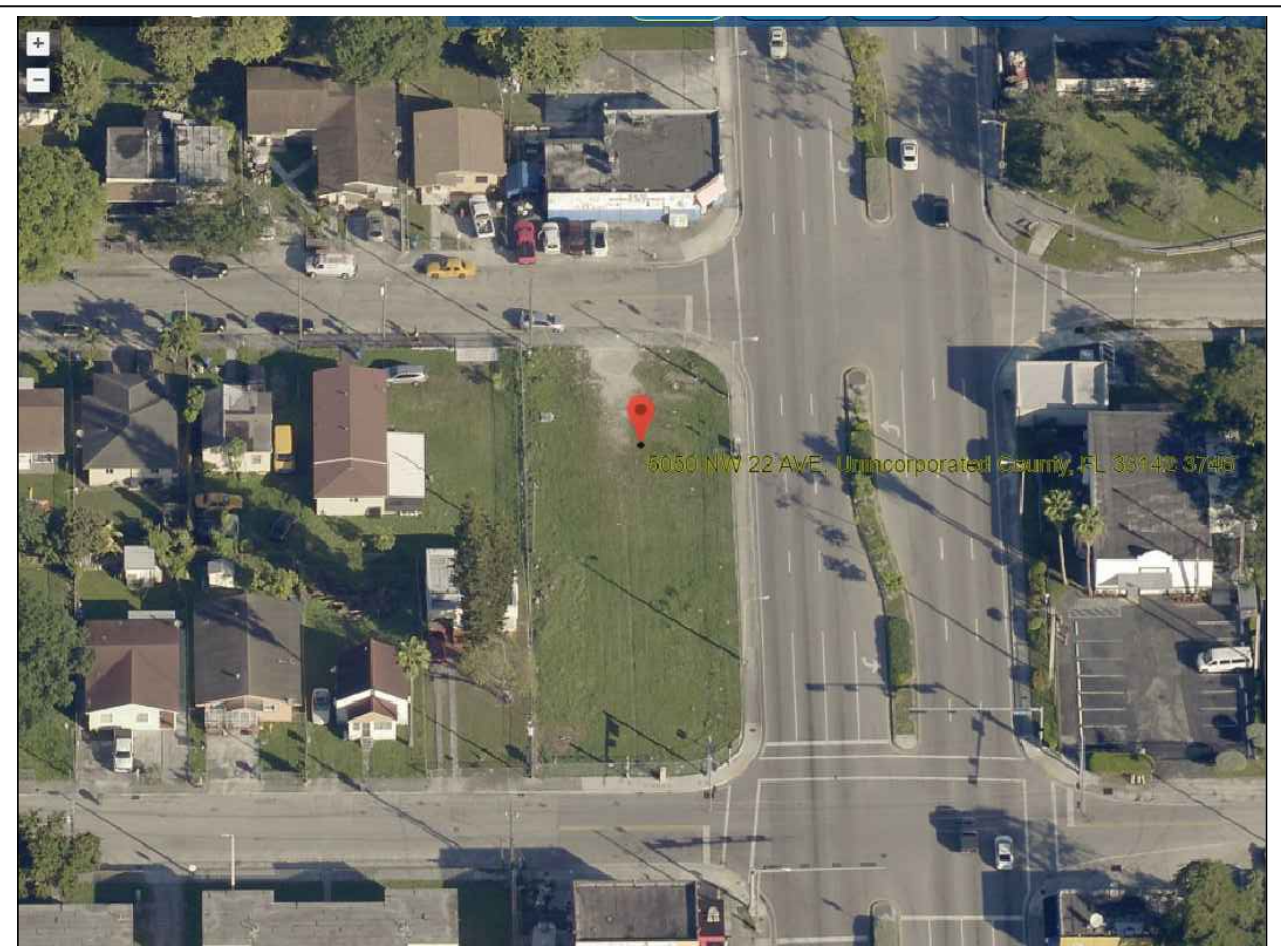
NOTES/REVISIONS: N/A

BASIS OF BEARINGS: N/A

SCALE: 1" = 30'

JOB No. GG-1912-1172
 UPDATE OF GG-1602-425

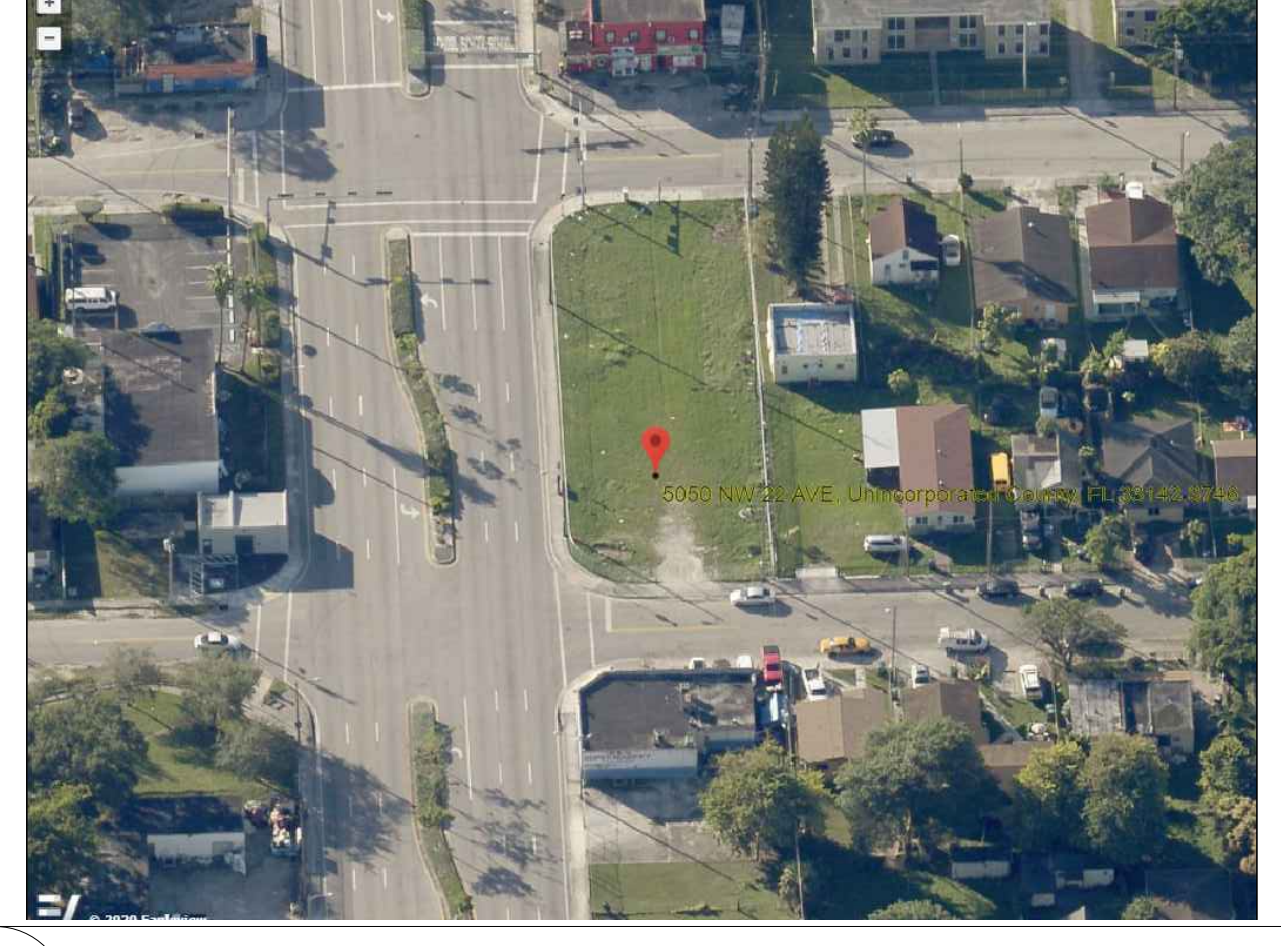
PROPERTY ADDRESS: VACANT LAND (FOLIO NUMBERS:30-3122-021-0360/0370/0380/0390/0400)			
LOWEST FLOOR ELEVATION: N/A	FLOOD ZONE: AH	COMM/PANEL No. 120635_0303_L	BENCH MARK USED: N=3115
LOWEST ADJACENT GRADE: N/A	BASE FLOOD ELEV.: 9.0'	DATE OF FIRM: 09/11/09	ELEVATION: 10.04 FT NGVD-29
			COUNTY: MIAMI-DADE



2 Aerial Photo NTS



3 Aerial Photo NTS

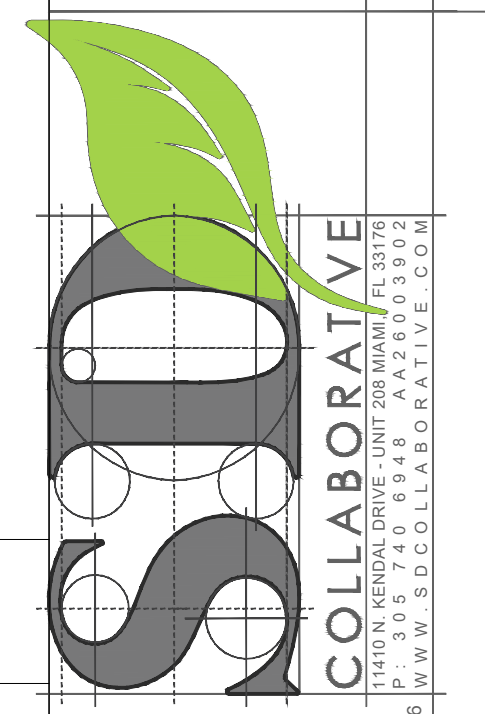


4 Aerial Photo NTS



5 Aerial Photo NTS

1 Property Survey NTS



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DALCE M. CONDE, RA, ARCHITECT A00015803
 1111 N. WINDY ROAD, SUITE 404
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1111 N. WINDY ROAD, SUITE 404
 I. W. W. S. D. C. O. L. L. A. B. O. R. A. T. I. V. E. . C. O. M.

REV. NO. DATE COMMENTS

PROJECT: PERMIT SET

5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

Survey and Aerial Views

A002



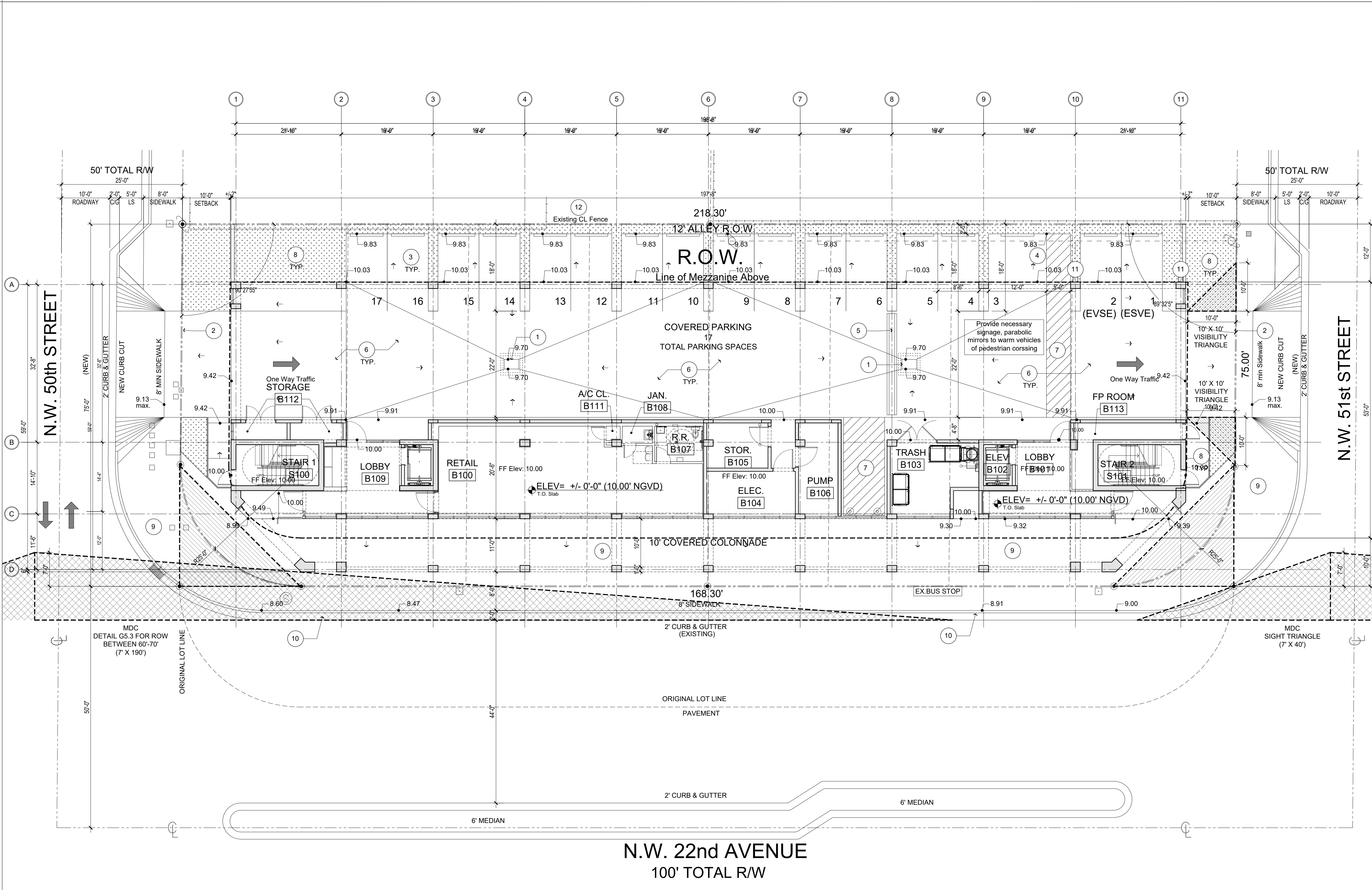
AERIAL SITE PLAN



VIEW LOOKING SOUTH TOWARDS THE SITE



VIEW LOOKING NORTH TOWARDS THE SITE



ZONING DATA

ZONING: MCUCD - Model City Urban Center District
 LAND USE: MC - 90-2-10 Mixed Use Corridor
 SUB-DISTRICT: UC - CENTER

PROPOSED BUILDING TYPE: Concrete/CMU Type

MIN. LOT SIZE:
 REQUIRED: N/A (160 FT X 160 FT)
 PROPOSED: 218.3 FT X 75 FT (16,394 nsf)

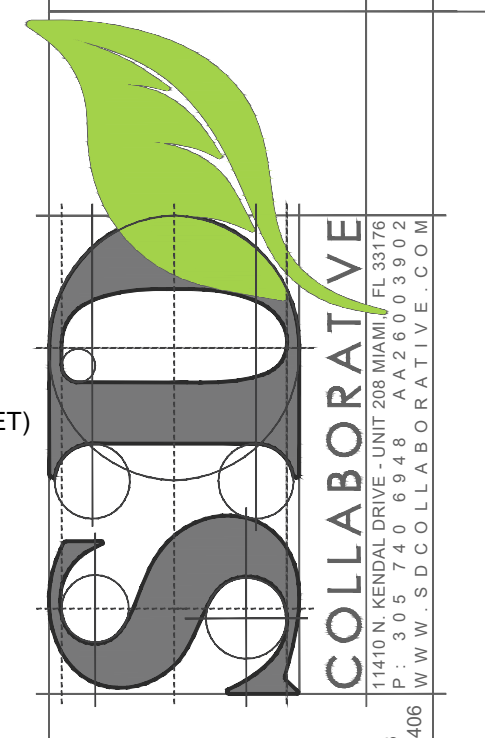
BUILDING HEIGHT (STORIES):
 ALLOWED: MIN. 2 / MAX 10
 PROPOSED: 8

USES BY STORY:
 ALLOWED: MIXED-USE
 PROPOSED: 1st: COMMERCIAL/PARKING
 MEZZANINE: RESIDENTIAL
 2nd thru 8th: RESIDENTIAL

PRIVATE OPEN SPACE: GROUND FLOOR
 REQUIRED: 10% OF LOT = 16,394 nsf x .1 = 1,639.4 SF
 PROVIDED: 4,694.86 SF - GROUND FLOOR
 (Landscape, Colonnade, Covered Terrace)

RESIDENTIAL DENSITY:
 ALLOWED: (SEE DENSITY CALCULATIONS THIS SHEET)
 PROVIDED: 90 DU/AC = 82 Units
 82 Units

FRONTAGE TYPES:
 ALLOWED: 70% Colonnade, Storefront
 PROVIDED: 86% Colonnade, Storefront



BUILD TO LINES (B.T.L.)

ALONG "MAJOR" STREET TYPE: A
 REQUIRED: 10'-0" ALL LEVELS
 PROVIDED: 10'-0" (if Colonnade is provided 0'-0")

ALONG "MINOR" STREET TYPE: B
 REQUIRED: 10'-0" ALL LEVELS
 PROVIDED: 10'-0" (if Colonnade is provided 0'-0")

SETBACKS (S.B.)

STREET (Major Roadway): Front
 REQUIRED: 10'-0" or
 With Colonnade - 0'-0" SB
 PROVIDED: 3'-0"

REAR: (Existing R.O.W.)
 REQUIRED: 0'-0"
 PROVIDED: 12'-0"

STREET (Minor Roadway): 2 sides
 REQUIRED: 10'-0"
 PROVIDED: 10'-0"

ENCROACHMENTS

STREET (FRONT): Balconies, Awnings
 ALLOWED: 6'-0"
 PROVIDED: 0'-8" (4'-8" Balcony at corner)

STREET (SIDE): Balconies, Awnings
 ALLOWED: 6'-0"
 PROVIDED: 0'-8" (4'-8" Balcony at corner)

LANDSCAPE STANDARDS
 SEE LANDSCAPE PLANS

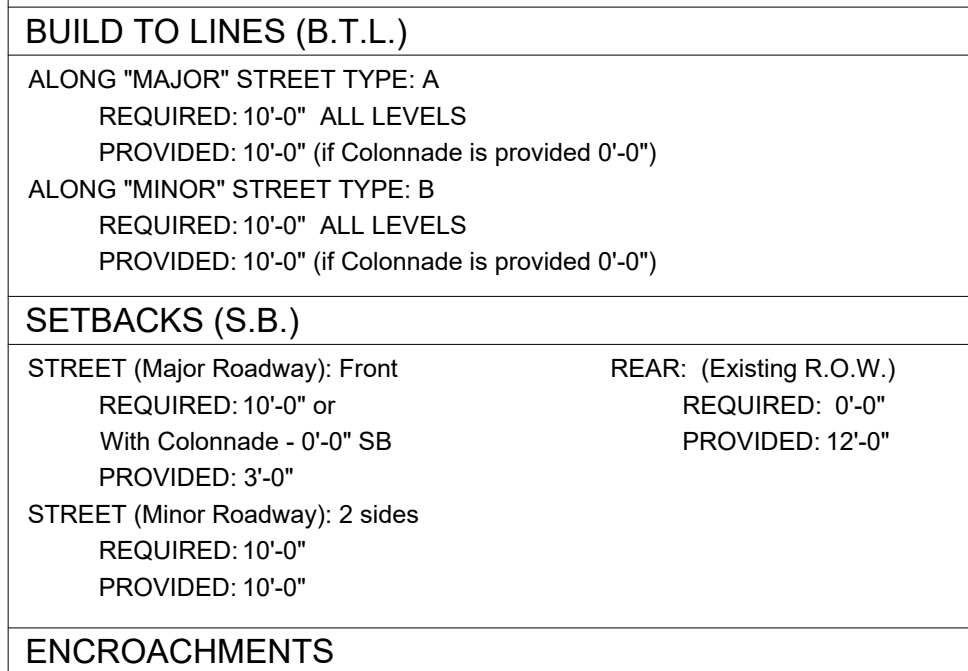
DENSITY CALCULATIONS

GROSS LOT AREA (EXTENDED TO CENTER LINE OF R.O.W.):
 40,075 GSF (0.92 ACRES)

0.92 ACRES X 90 UNITS/ACRE = 82.80 = 82 UNITS ALLOWED

GROSS LOT AREA
 40,075 SF
 (0.92 ACRES)

82 UNITS PROVIDED



PARKING CALCULATIONS:

COMMERCIAL:
 1/250 SF OF RETAIL (1,151 SF/250)
 TOTAL PARKING = 5 SPACES

RESIDENTIAL:
 82 UNITS (1B/1BA) @ 1.00 SPACES/UNIT
 TOTAL PARKING = 82 SPACES

TOTAL PARKING REQUIRED = 87 SPACES

PARKING BONUS REDUCTIONS

Group 2 - Location Reduction
 40% if within 500' of Bus Stop-Center
 87 T/S x 40% = -35 SPACES

Group 3 - Parcel Size Reduction
 60% for Parcels Between 15k and 30k sf
 87 T/S x 60% = -52 SPACES

TOTAL PARKING REQUIRED (with Reduction) = 0 SPACES
 REQUIRED 0 SPACES
 PROVIDED 17 SPACES (2 EVSE)

TOTAL GROSS RETAIL AREA: 1,151 SF

TOTAL GROSS LIVING UNITS AREA: 60,922 SF

PROJECT: PERMIT SET
 5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

N.W. 22nd AVENUE
 100' TOTAL R/W

1 Site Plan - Setbacks
 3/32" = 1'-0"

SITE PLAN KEY NOTES

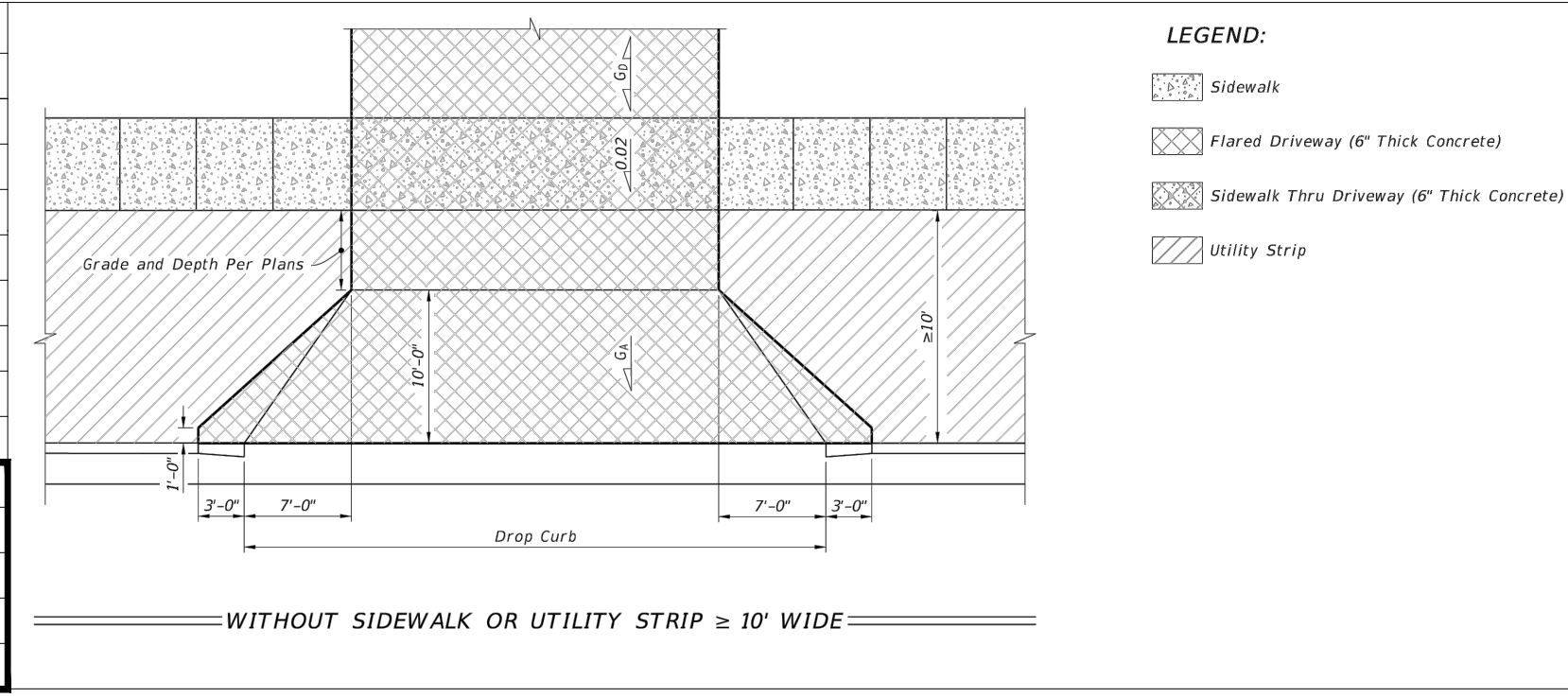
1	STORM DRAIN AND CATCH BASIN, REFER TO / COORDINATE WITH CIVIL PLANS	13
2	TRENCH DRAIN, REFER TO / COORDINATE WITH CIVIL PLANS	14
3	STANDARD PARKING STALL - 8.5 FT X 18 FT, SEE SHEET A100c FOR DETAILS	15
4	ACCESSIBLE PARKING STALL - 12 FT X 18 FT W/ 5FT STRIPED ISLE, SEE SHEET A100c FOR DETAILS	
5	SPEED BUMP	
6	CONCRETE DRIVEWAY, SLOPE 2% (1:48) MAX. ALL DIRECTIONS	
7	STRIPING	
8	LANDSCAPE AREA, REFER TO / COORDINATE WITH LANDSCAPE DRAWINGS	
9	NEW CONCRETE SIDEWALK, SLOPE 2% (1:48) MAX. ALL DIRECTIONS	
10	EXISTING CURB AND GUTTER TO REMAIN	
11	EVSE CHARGING STATION (17 SPACES X 10% = 2 SPACES)	
12	EXISTING CHAIN LINK FENCE TO REMAIN. G.C. TO DETERMINE CONDITION AND MAKE REPAIRS AS NECESSARY.	

SITE PLAN GENERAL NOTES

- SIGNAGE WILL BE PROVIDED AT ALL COMMON AREAS (ENTRY LOBBY, FLOOR ELEVATOR LOBBIES, PARKING GARAGE) INDICATING IN GRAPHIC FORM THE LOCATION OF ALL PUBLIC PARKS AND OTHER PUBLIC AMENITIES FOR USE BY BUILDING RESIDENTS.
- UNLESS NOTED ON PLANS, ALL SIDEWALK AND DRIVEWAY SLOPES TO MAINTAIN A 1:48 (2%) MAX. SLOPE IN ALL DIRECTIONS. ACCESSIBLE ROUTE SHALL HAVE RUNNING SLOPES NOT EXCEEDING 1:20 AND CROSS SLOPES NOT TO EXCEED 1:50 AS PER 403.3 FBCA

PROJECT FINANCING:

- THE PROJECT IS PRIVATELY FUNDED AND WILL NOT BE USING OR RECEIVING PUBLIC FUNDS IN ITS DEVELOPMENT. THE PROJECT IS NOT PROVIDED BY ENTITIES SUBJECT TO HUD SECTION 504. PROJECT DOES MEET THE REQUIREMENTS OF FHA.



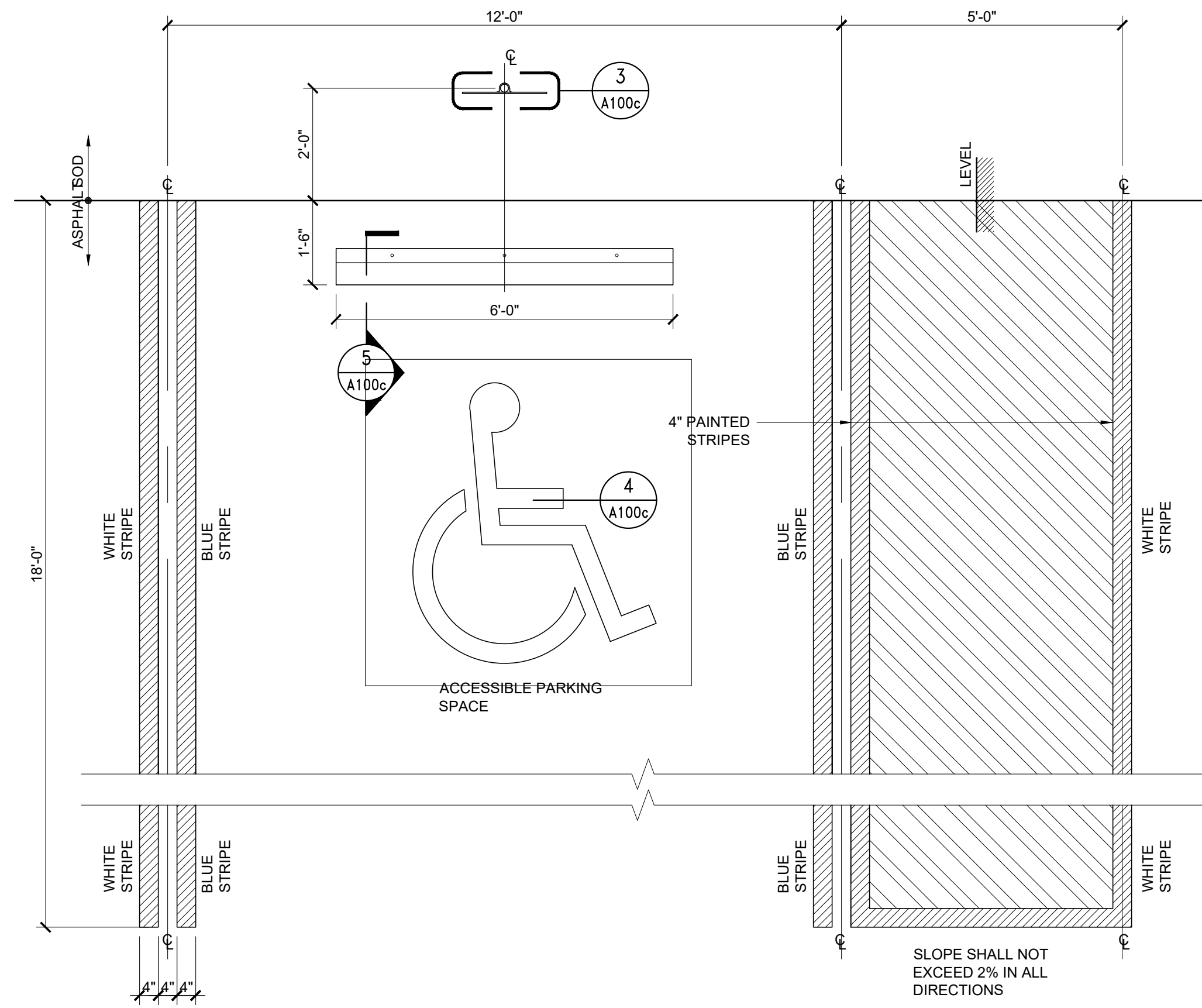
2 General Notes
 NTS

3 Zoning Analysis
 NTS

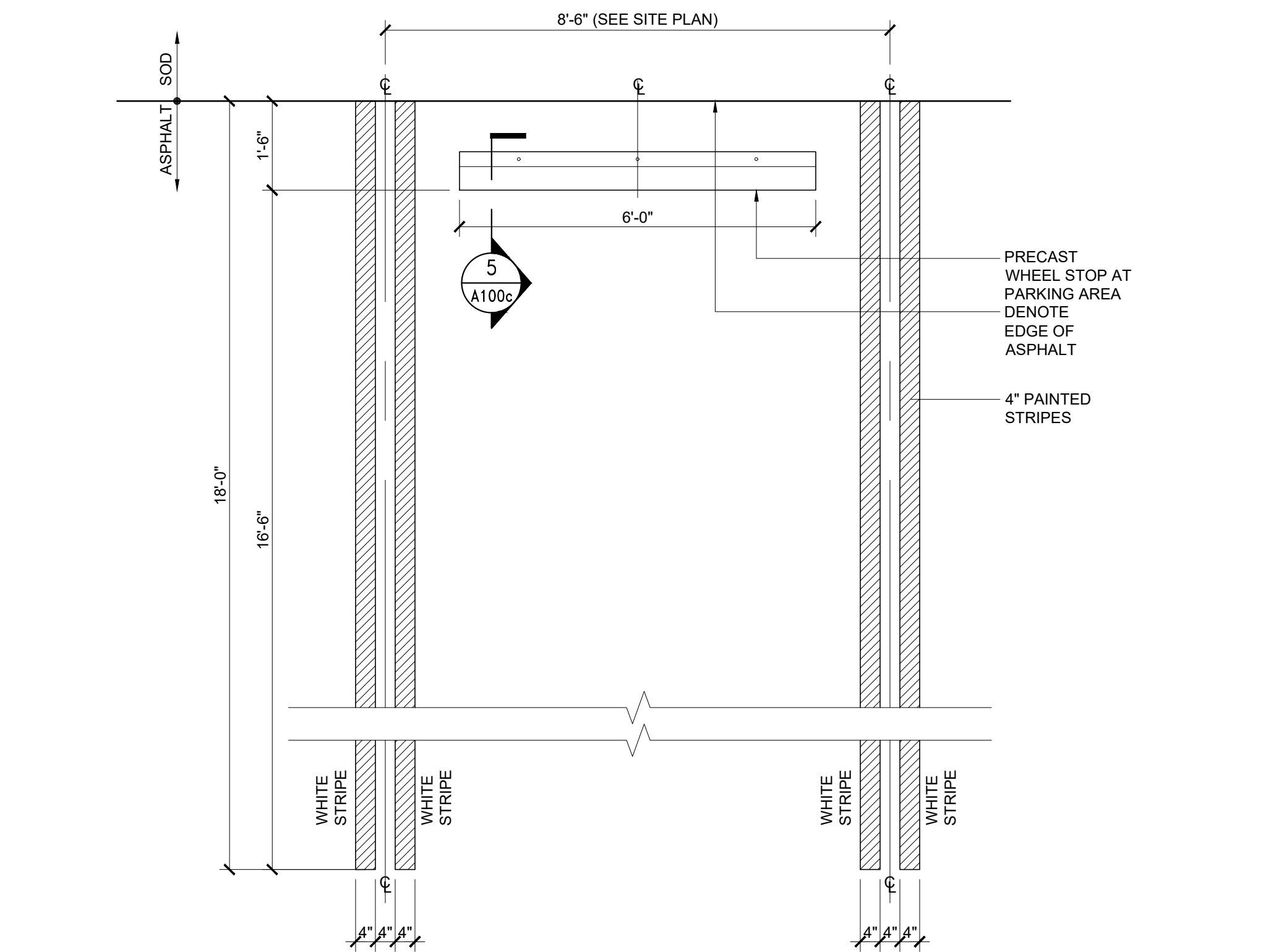
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Site Plan - Zoning Analysis

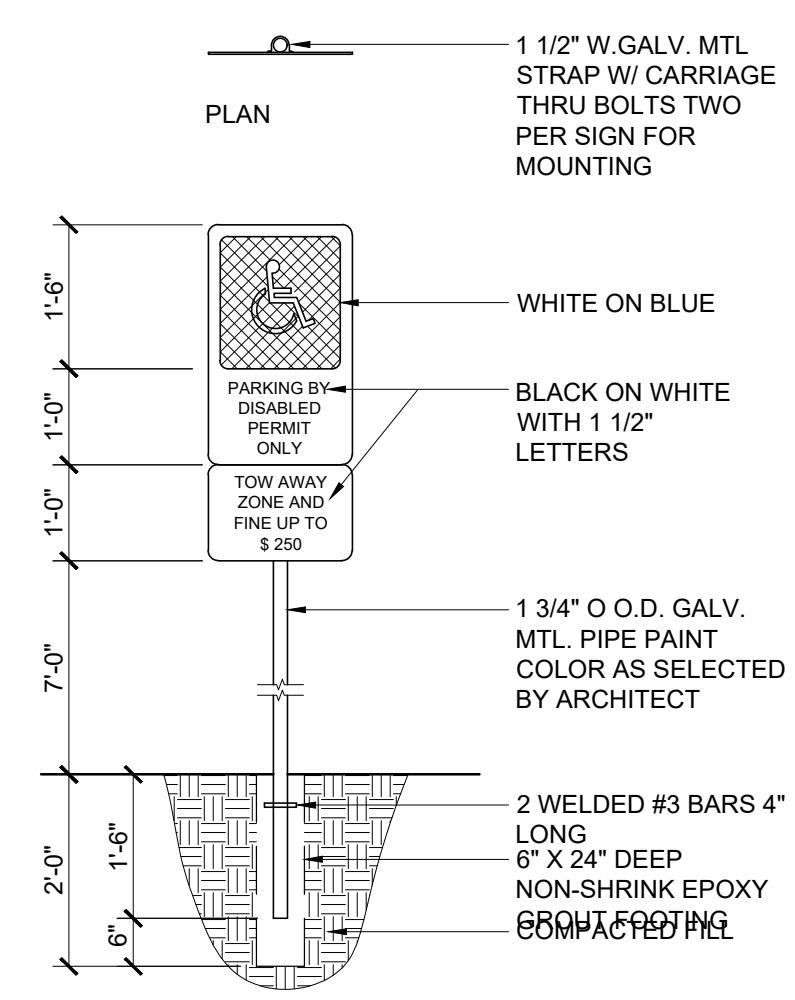
A100



1 Typical Handicapped Parking Striping - Detail
1/2" = 1'-0"

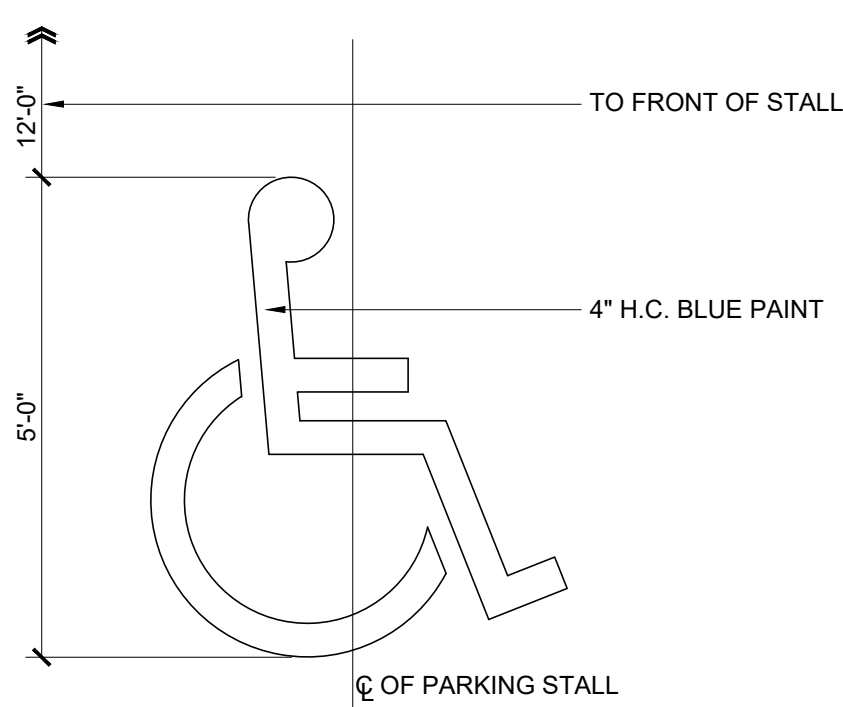


2 Typical Standard Parking Striping - Detail
1/2" = 1'-0"

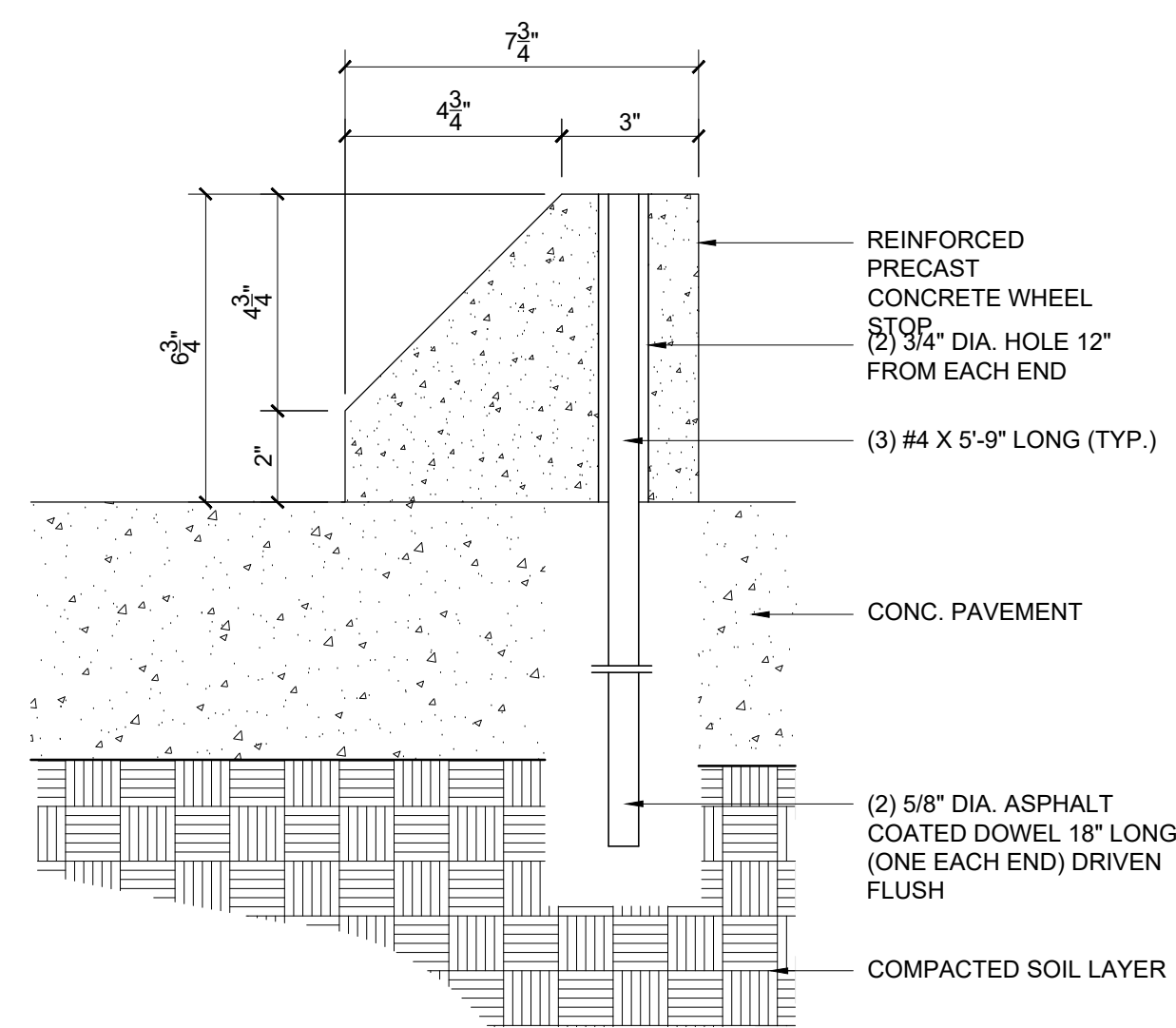


NOTE: OPTION TO WALL MOUNT, SEE PLANS

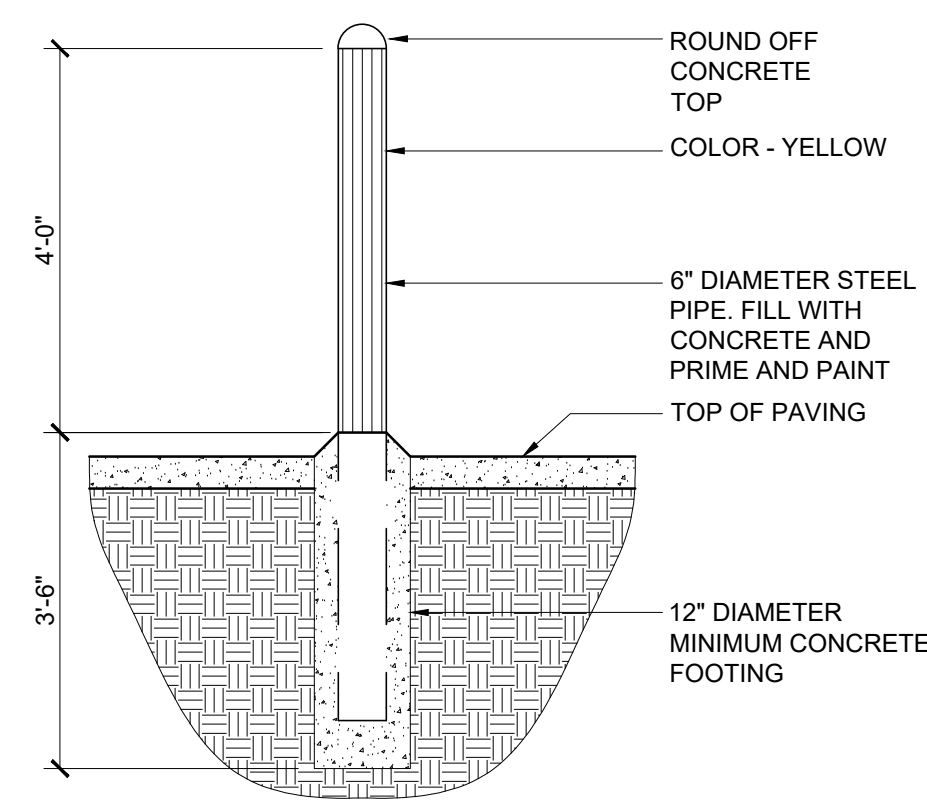
3 Handicapped Parking Sign
1/2" = 1'-0"



4 Handicapped Symbol
1/2" = 1'-0"

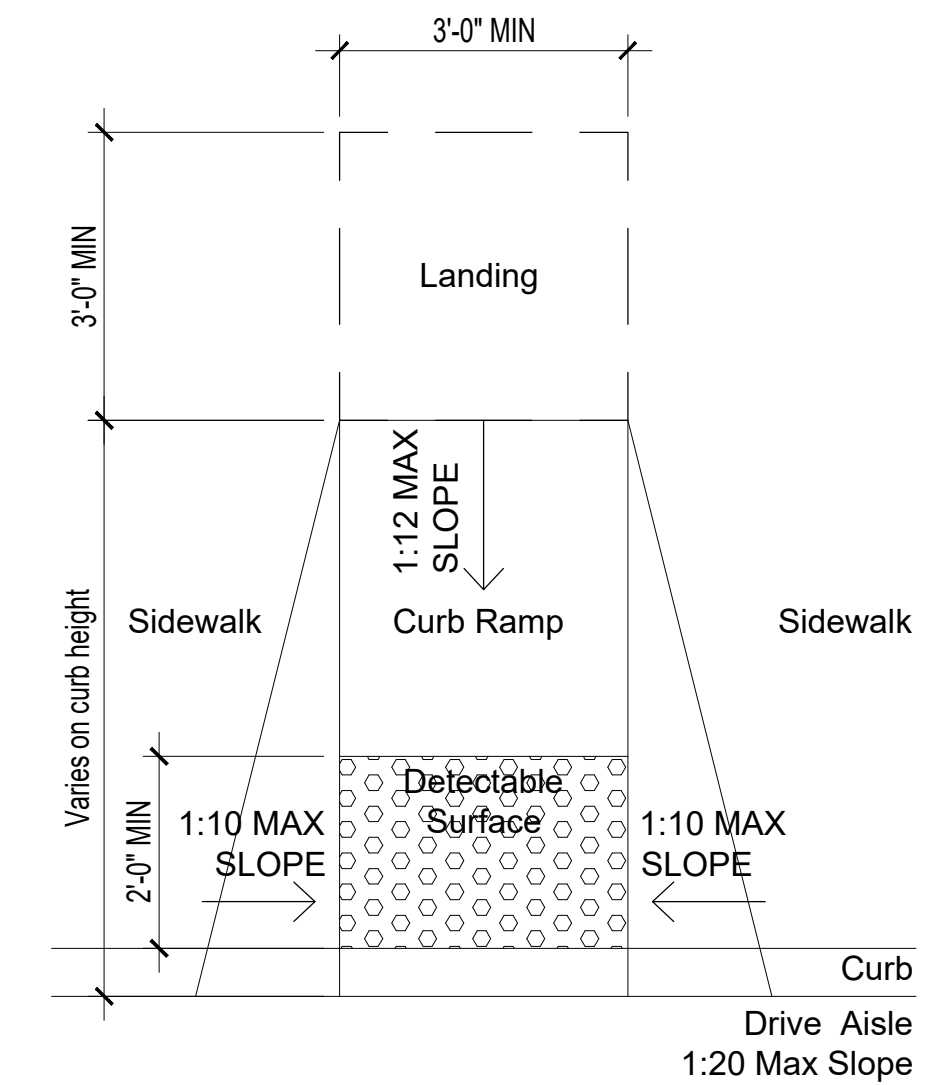


5 Wheel Stop - Detail
3" = 1'-0"

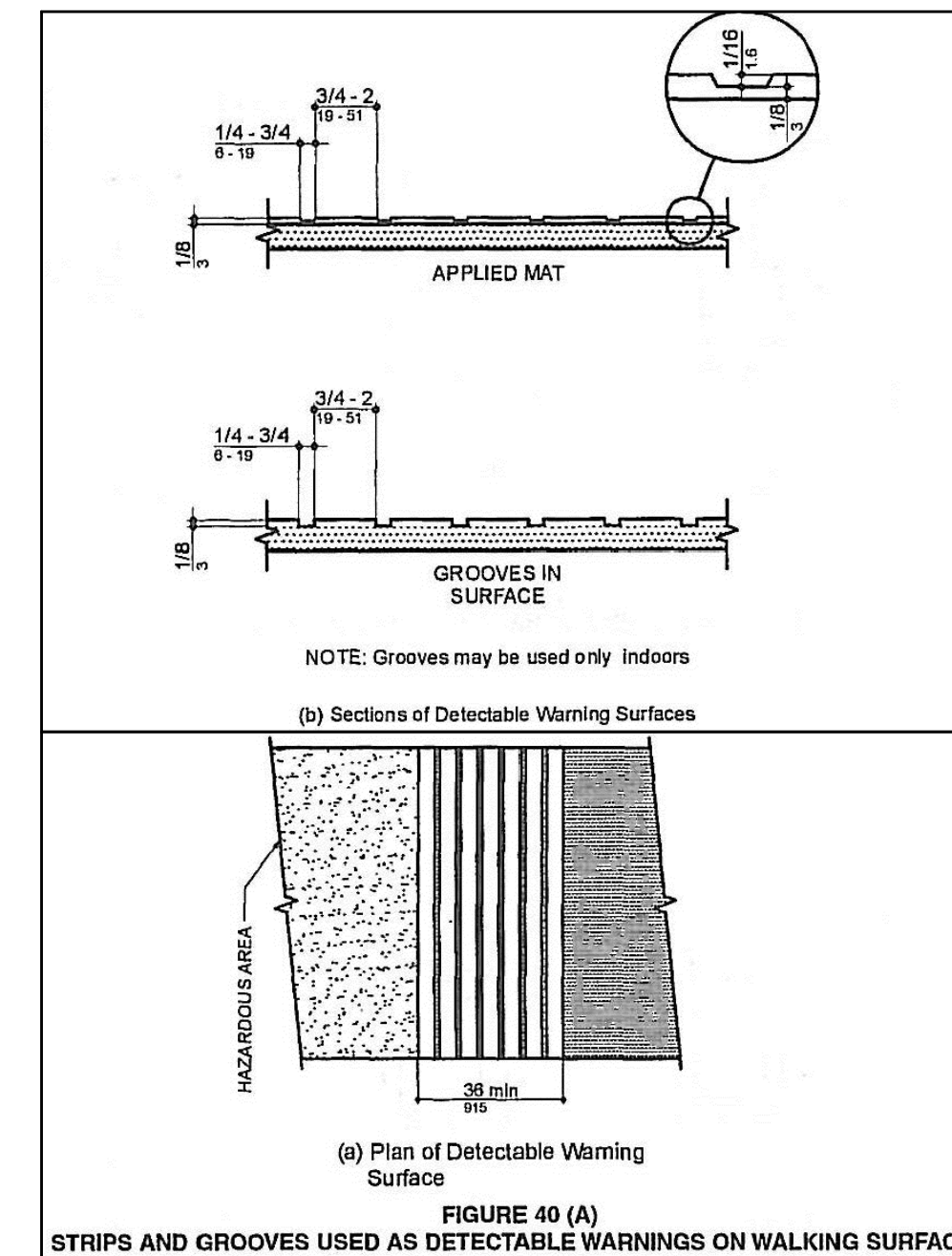


NOTE: MAXIMUM SPACING 3'-0" BETWEEN METAL BOLLARDS.

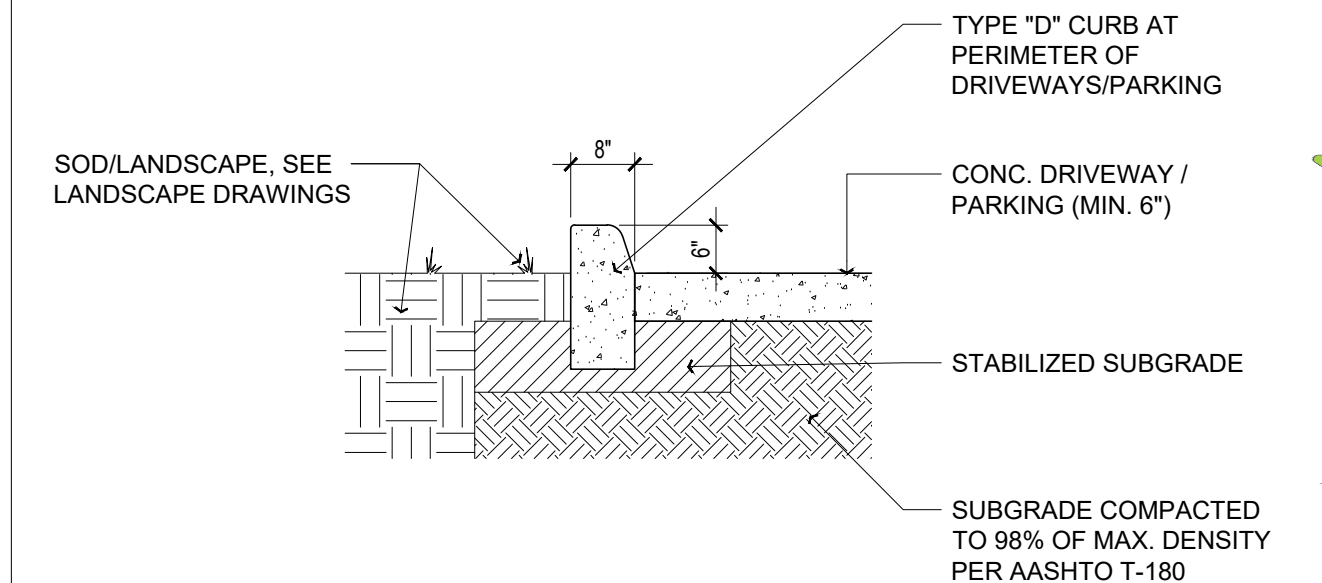
6 Bollard - Detail
1/2" = 1'-0"



7 ADA Curb Ramp Detail (FDOT Across Road)
1/2" = 1'-0"

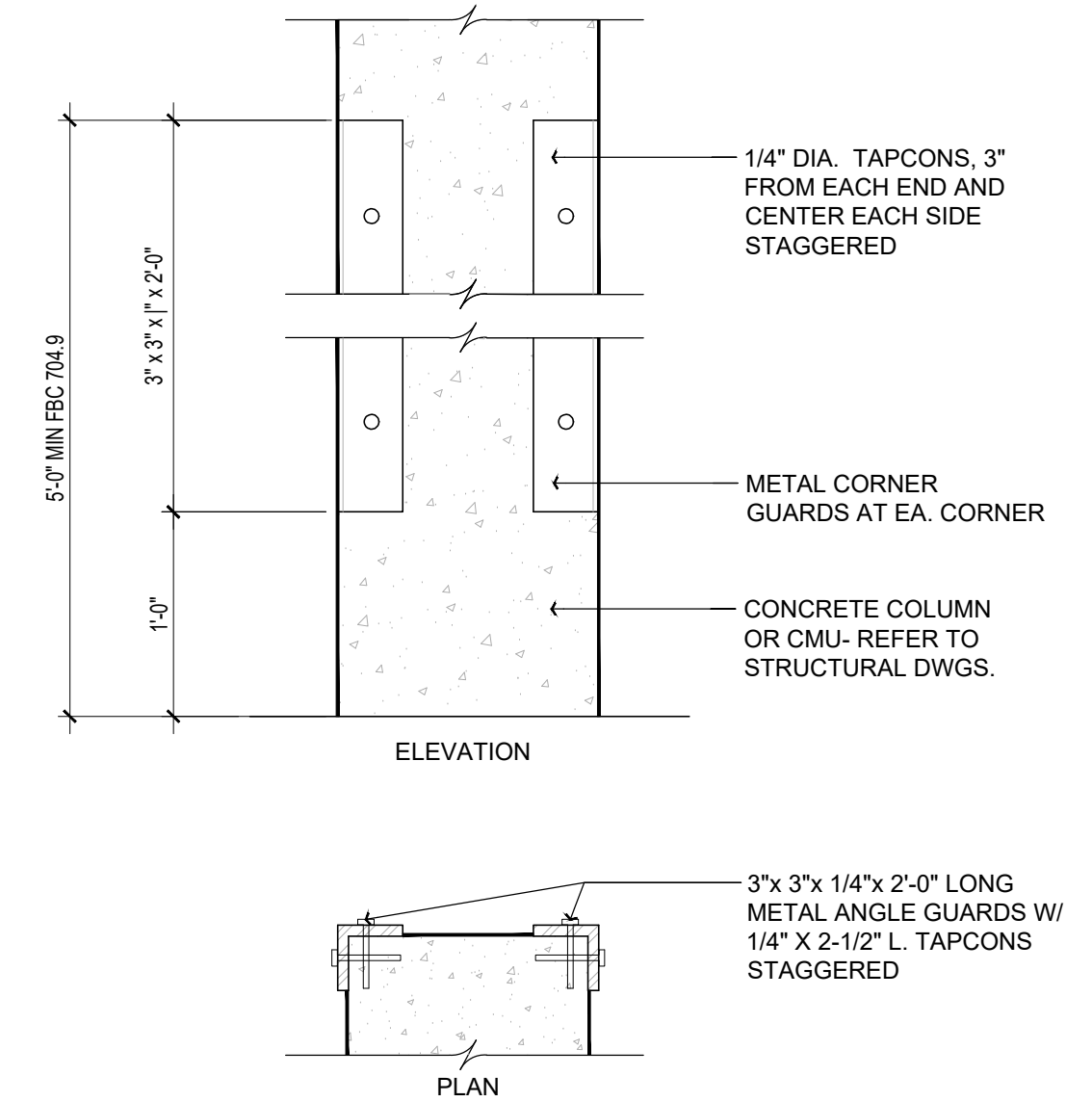


8 Detectable Warning - Detail
NTS

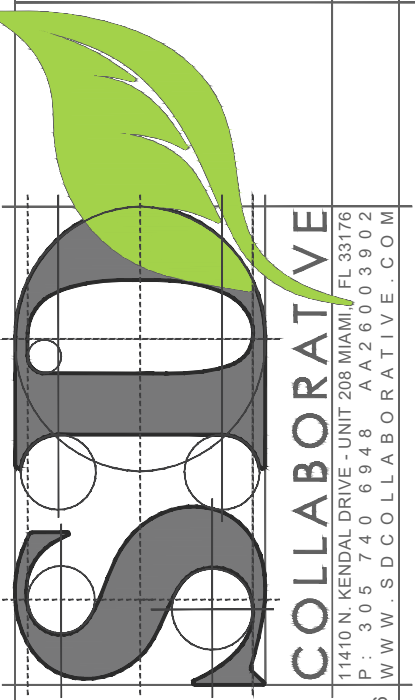


NOTES:
1. CONCRETE TO TEST 3,000 P.S.I. MINIMUM ON 28 DAY TEST. AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAXIMUM.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH PREPARED BITUMINOUS JOINT FILLER.
3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.
4. ALL CURBS IN FIRE LANE SHALL BE PAINTED YELLOW.

9 Typ. Curb Detail
1/2" = 1'-0"



10 Typ. Corner Guard Detail
1 1/2" = 1'-0"



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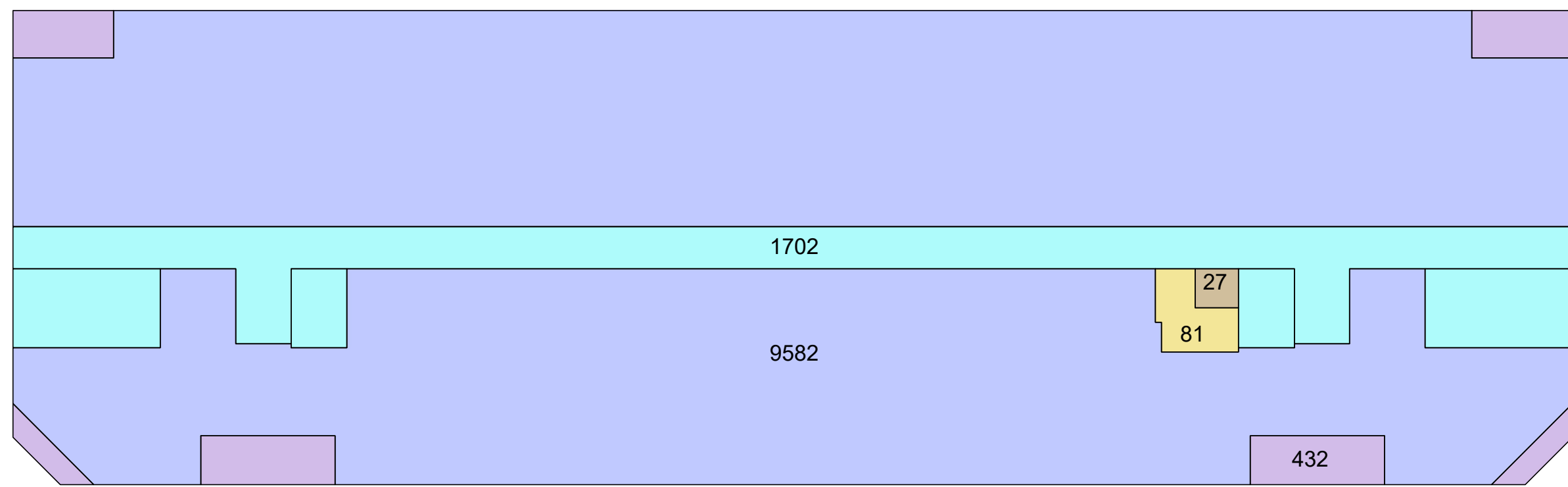
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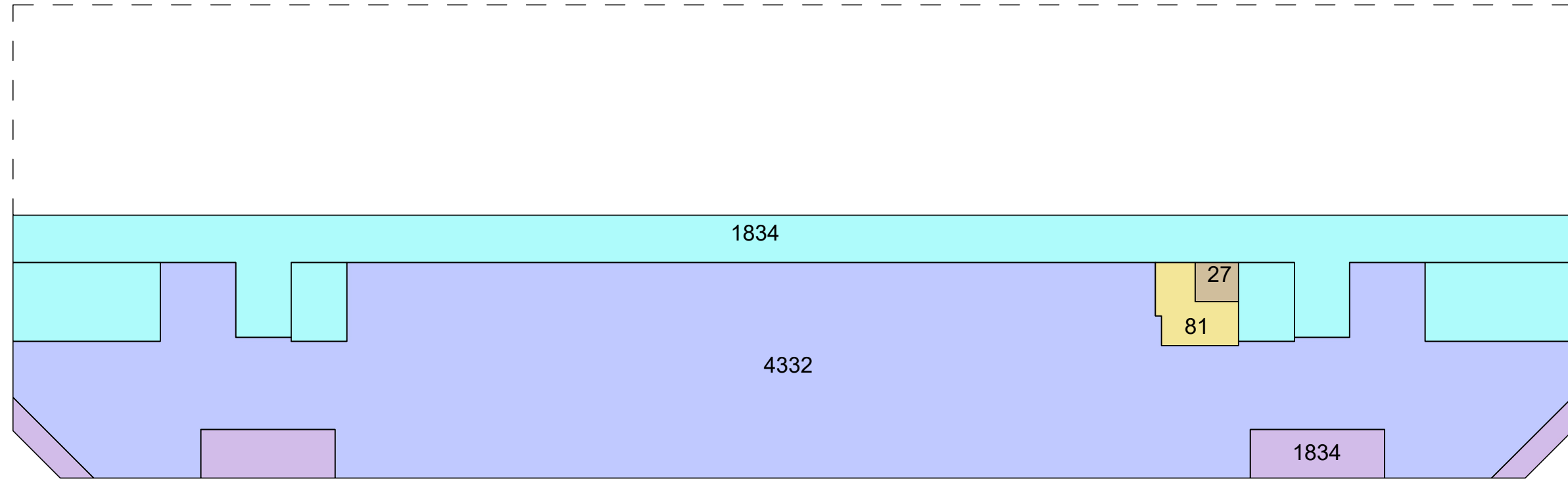
Site Details

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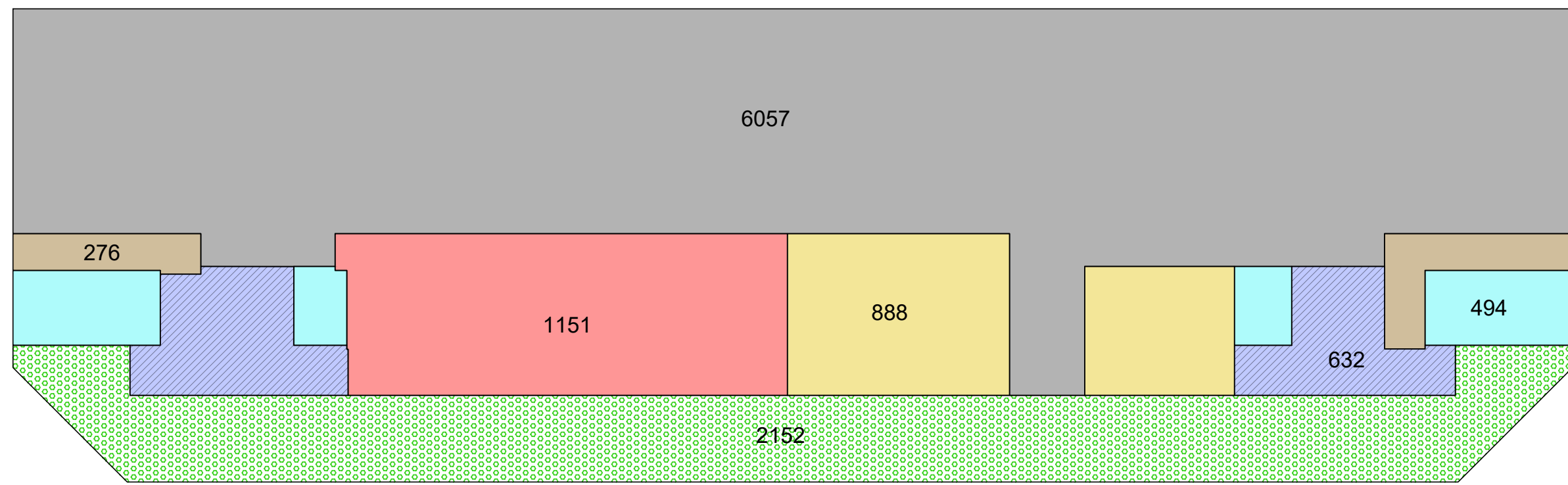
A100a



2ND - 4TH FLOOR



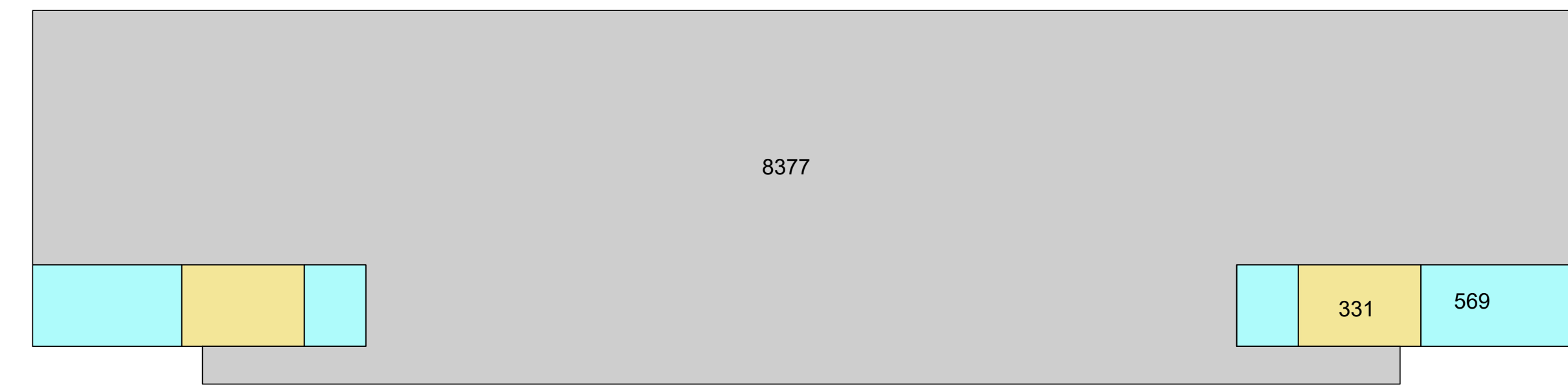
MEZZANINE



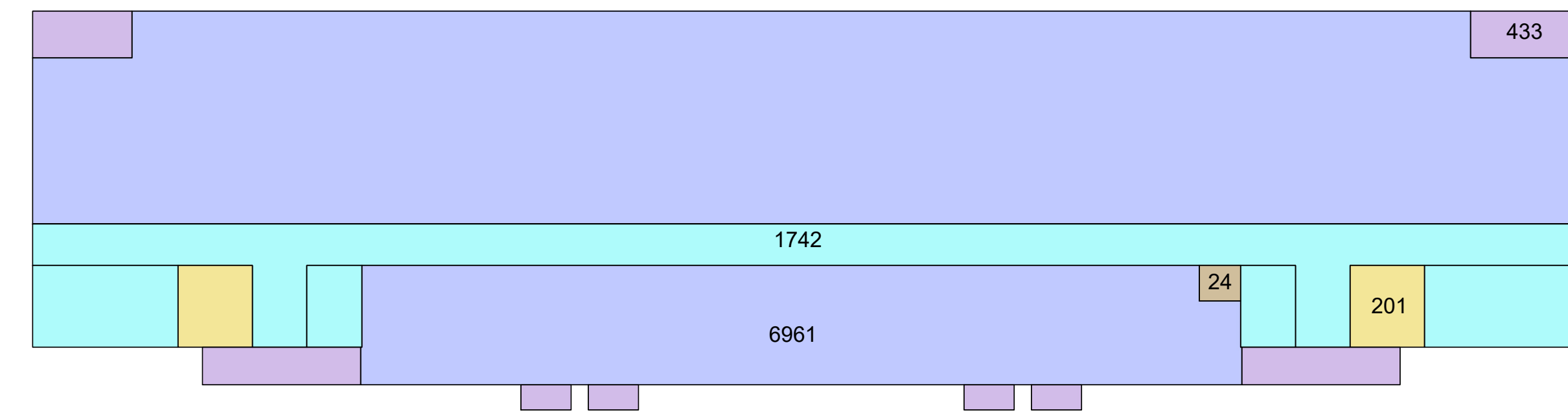
GROUND FLOOR

LEGEND

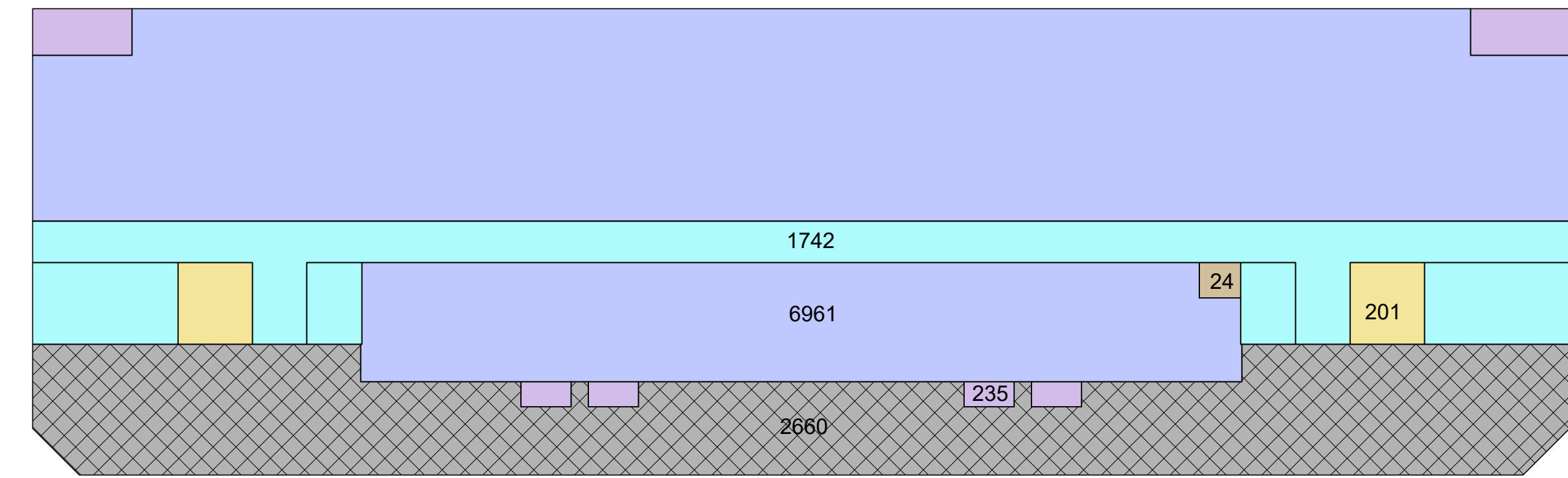
- PARKING
- BOH / MECH
- CIRCULATION
- RETAIL
- RESIDENTIAL
- LOBBY
- SUPPORT/STORAGE
- ARCADE
- ROOF
- BALCONY/TERRACE/DECK
- BALCONY/TERRACE/DECK



ROOF



6TH - 8TH FLOOR



5TH FLOOR

3 Building Area Diagrams
1/16" = 1'-0" NORTH

NW22: Mixed-Use Residential Project

Floor Level	Description	Retail SF	Resident SF	Lobby	Arcade	Parking SF	Support	BOH/M SF	Cir/VC	Roof SF	Deck	Bal/Ter SF	# units	# Parking	GSF	
1	Retail/Lobby/Parking	1,151		632	2,152	6,057	276	888	494			-		17	11,650	
1A-Mez	Residential/BOH		4,332				27	81	1,834			279	6		6,553	
2	Residential		9,582				27	81	1,702			432	12		11,824	
3	Residential		9,582				27	81	1,702			432	12		11,824	
4	Residential		9,582				27	81	1,702			432	12		11,824	
5	Residential/Deck		6,961				24	201	1,742		2,661	235	10		11,824	
6	Residential		6,961				24	201	1,742			432	10		9,360	
7	Residential		6,961				24	201	1,742			432	10		9,360	
8	Residential		6,961				24	201	1,742			432	10		9,360	
Subtotal		1,151	60,922	632	2,152	6,057	480	2,016	14,402	-		3,106	82	17	93,579	
Roof (For construction purposes)								331	569	8,377					9,277	
TOTALS		1,151	60,922	632	2,152	6,057		2,347	14,971	8,377		3,106	82	17	102,856	
															Min. Intensity (1.75 x 16,394)	28,690
															Provided Intensity	93,579

- NOTE:**
- GSF to exterior face of walls
 - GSF does not include bump-outs for false balconies.
 - GSF Support spaces include the Storage Spaces

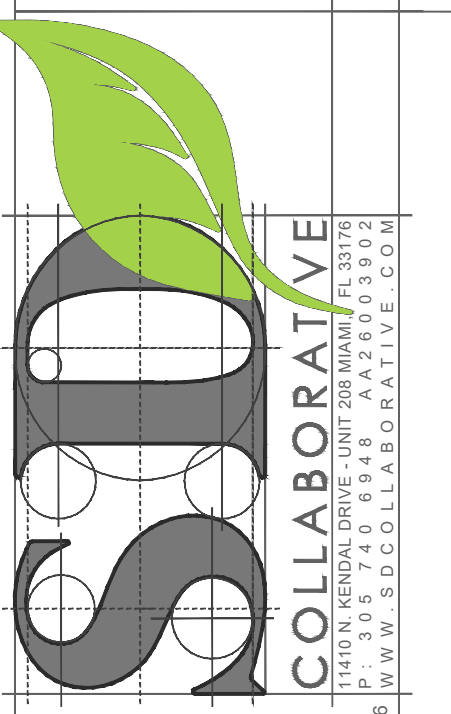
2 Area Tabulations
NTS

Date: 1/27/2020
Rev. Date: 12/7/2023

NOTES

1 -

1 General Notes
NTS



DULCE M. CONDE, RA, ARCHITECT A00019803
1111 N. UNIVERSITY AVENUE, SUITE 400
PRIMTIVIO E. CONDE, RA, ARCHITECT A0014406
1111 N. UNIVERSITY AVENUE, SUITE 400
I.W.W. S.D. COLLABORATIVE.COM

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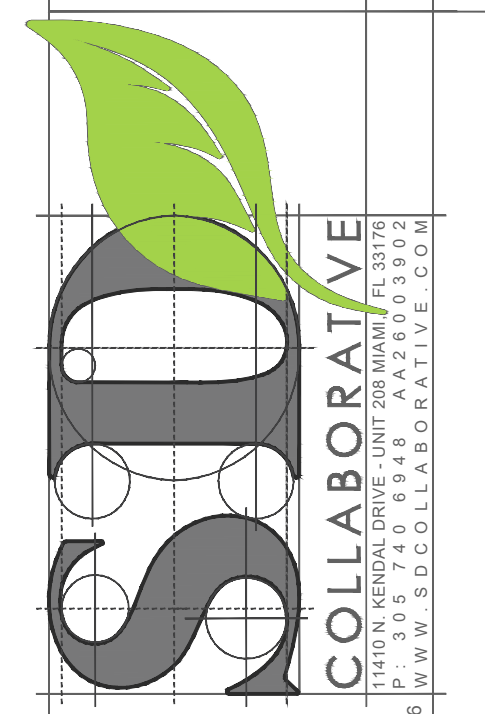
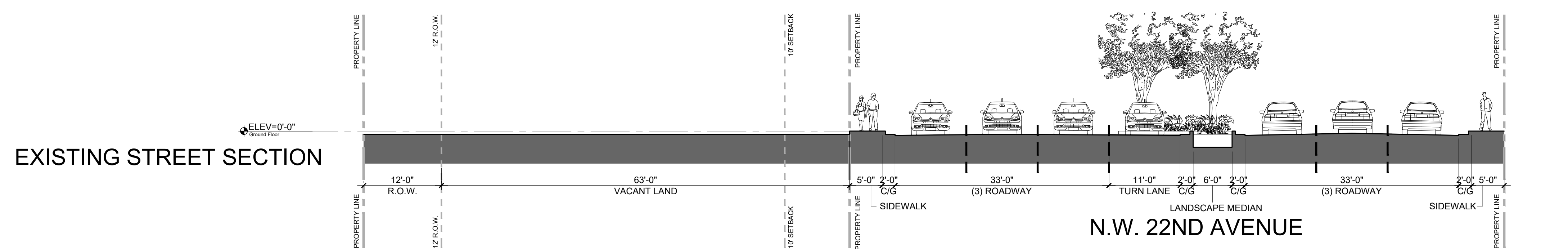
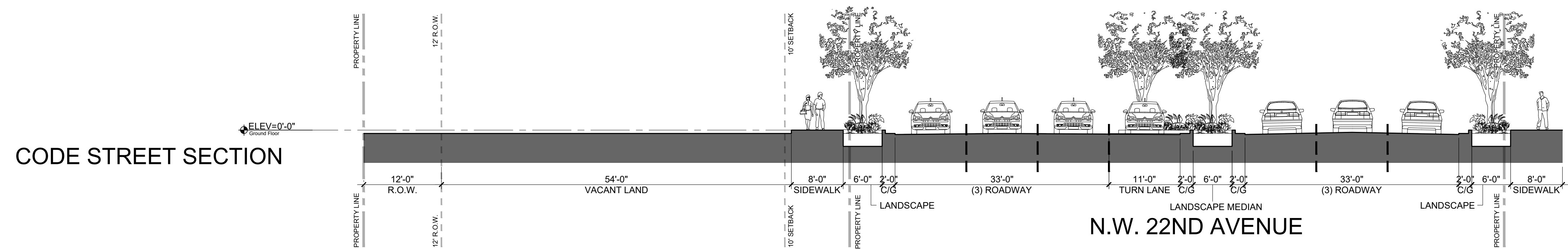
REV. NO. DATE COMMENTS

PROJECT: PERMIT SET

PROJECT NO.: 20-004-00
ISSUE DATE: 04-05-2021
SCALE: AS NOTED
DRAWN BY: PEC/JCC
CHECKED: DC/PEC

Site Plan - Bldg SF Breakdown

5050 RESIDENCES (MIXED-USE)
5050 NW 22nd Ave



DALCE M. CONDE, RA, ARCHITECT A00019803
 1415 N. W. 22ND AVENUE, SUITE 404
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1415 N. W. 22ND AVENUE, SUITE 404
 W. W. S. D. C. O. L. L. A. B. O. R. A. T. I. V. E. . C. O. M

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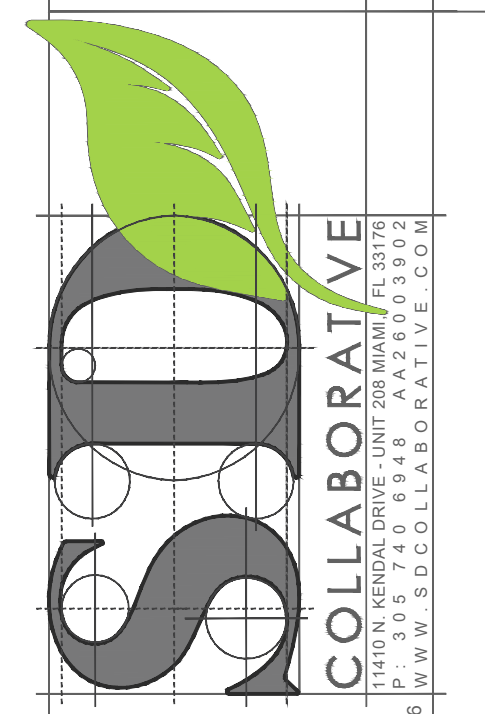
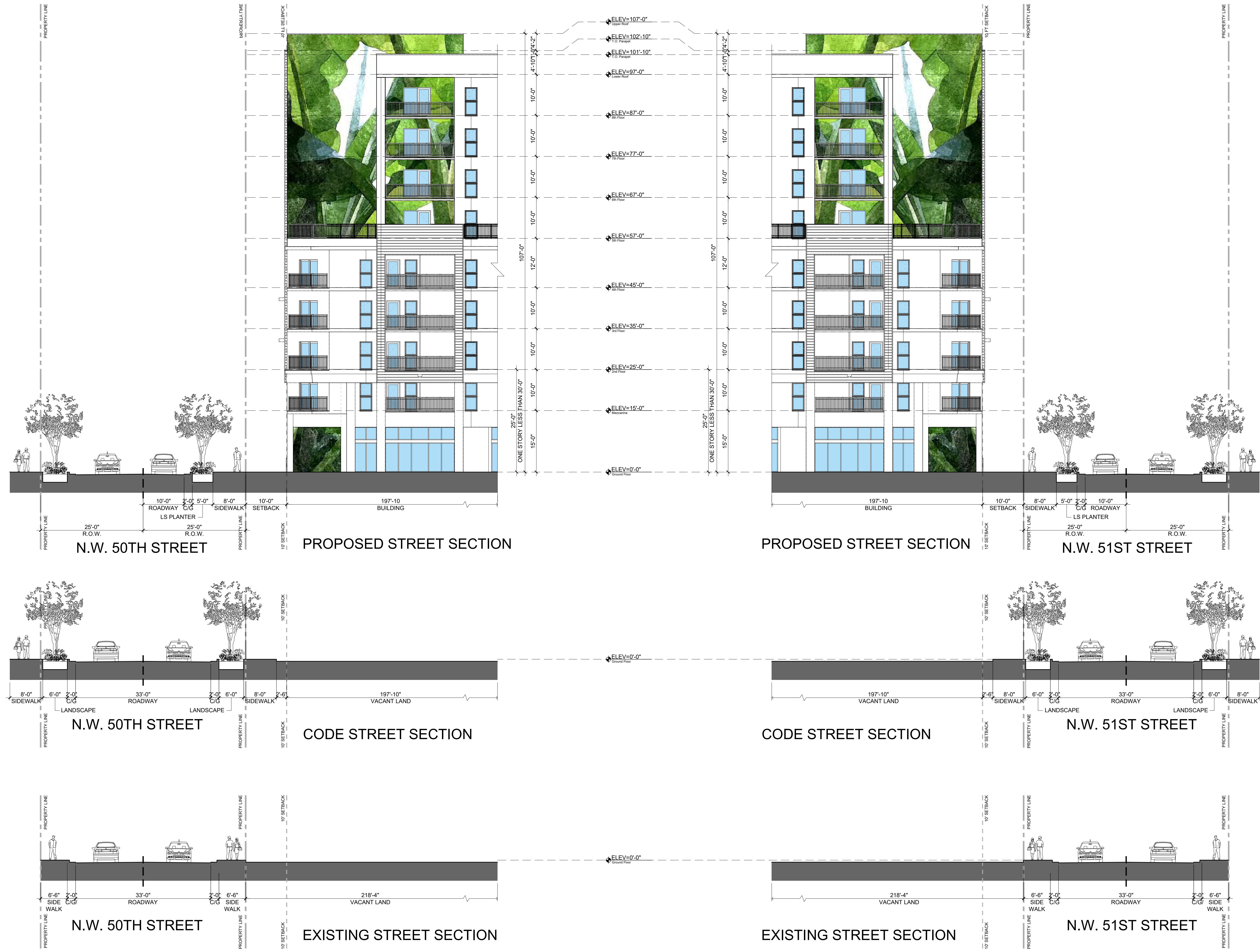
REV. NO. DATE COMMENTS

ASPR SET 12-21-2023

5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
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 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

Site Street Sections



DULCE M. CONDE, RA, ARCHITECT A00019803
 1113 N. UNIVERSITY AVENUE, SUITE 400
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1113 N. UNIVERSITY AVENUE, SUITE 400
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REV NO. DATE COMMENTS

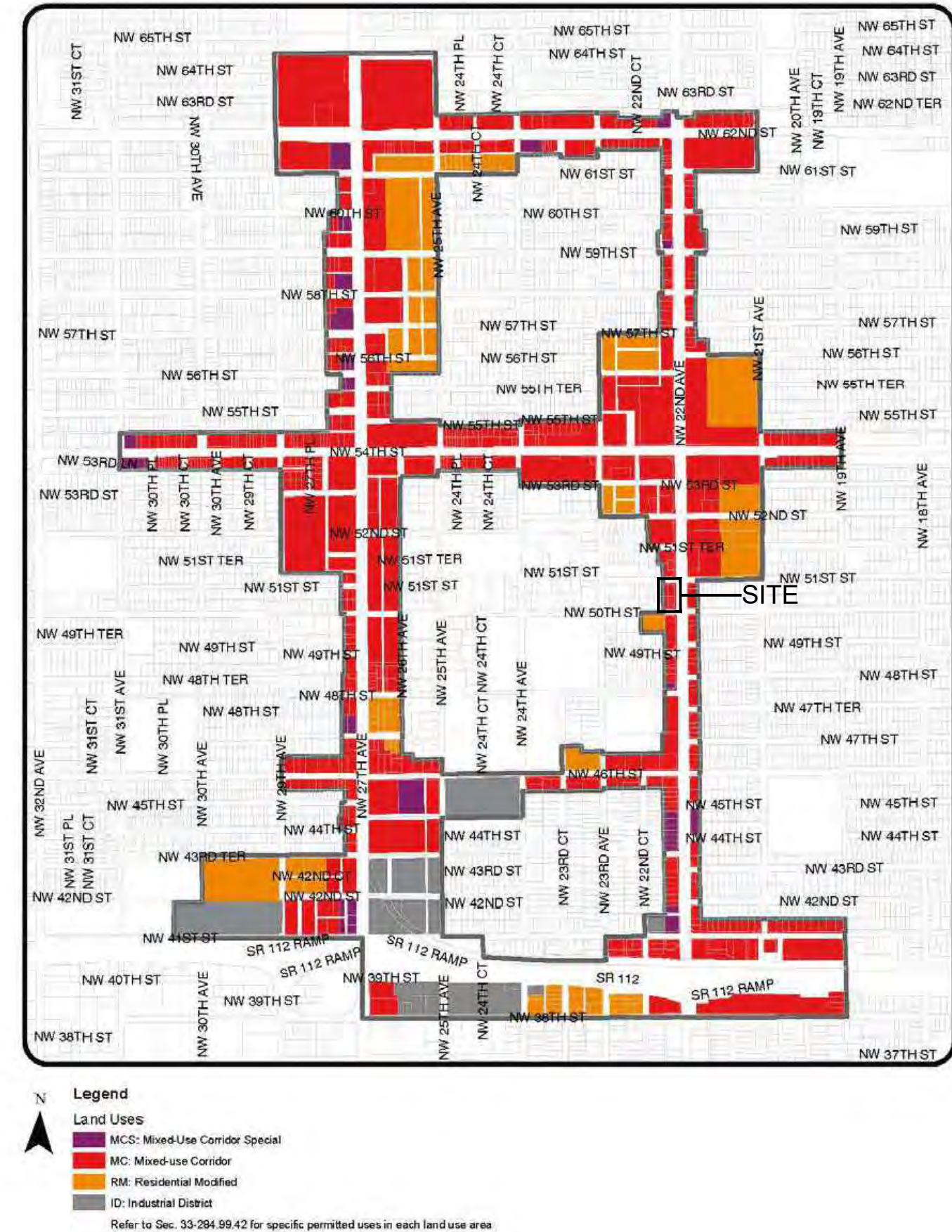
ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**
 5050 NW 22nd Ave

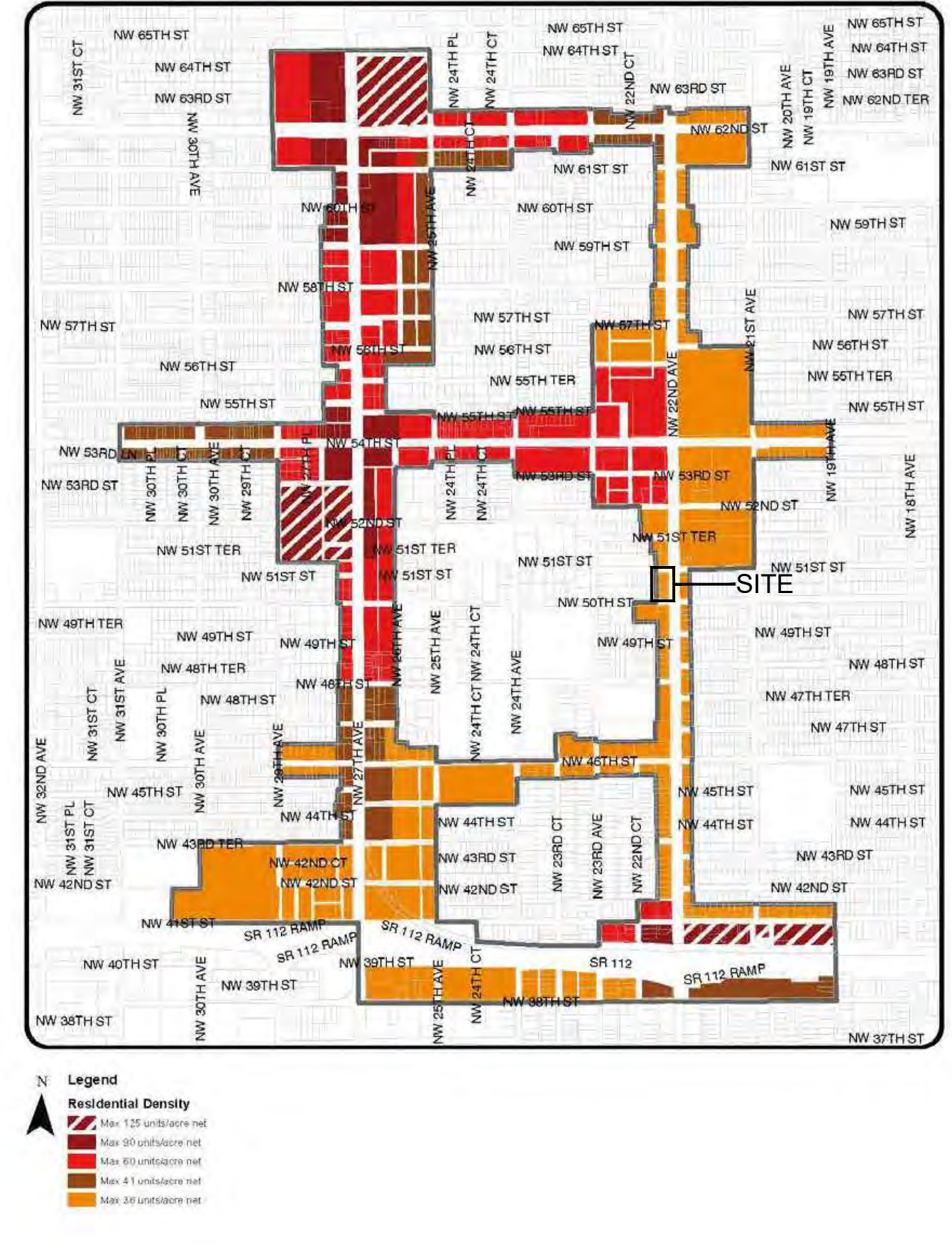
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 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

Site Street Sections

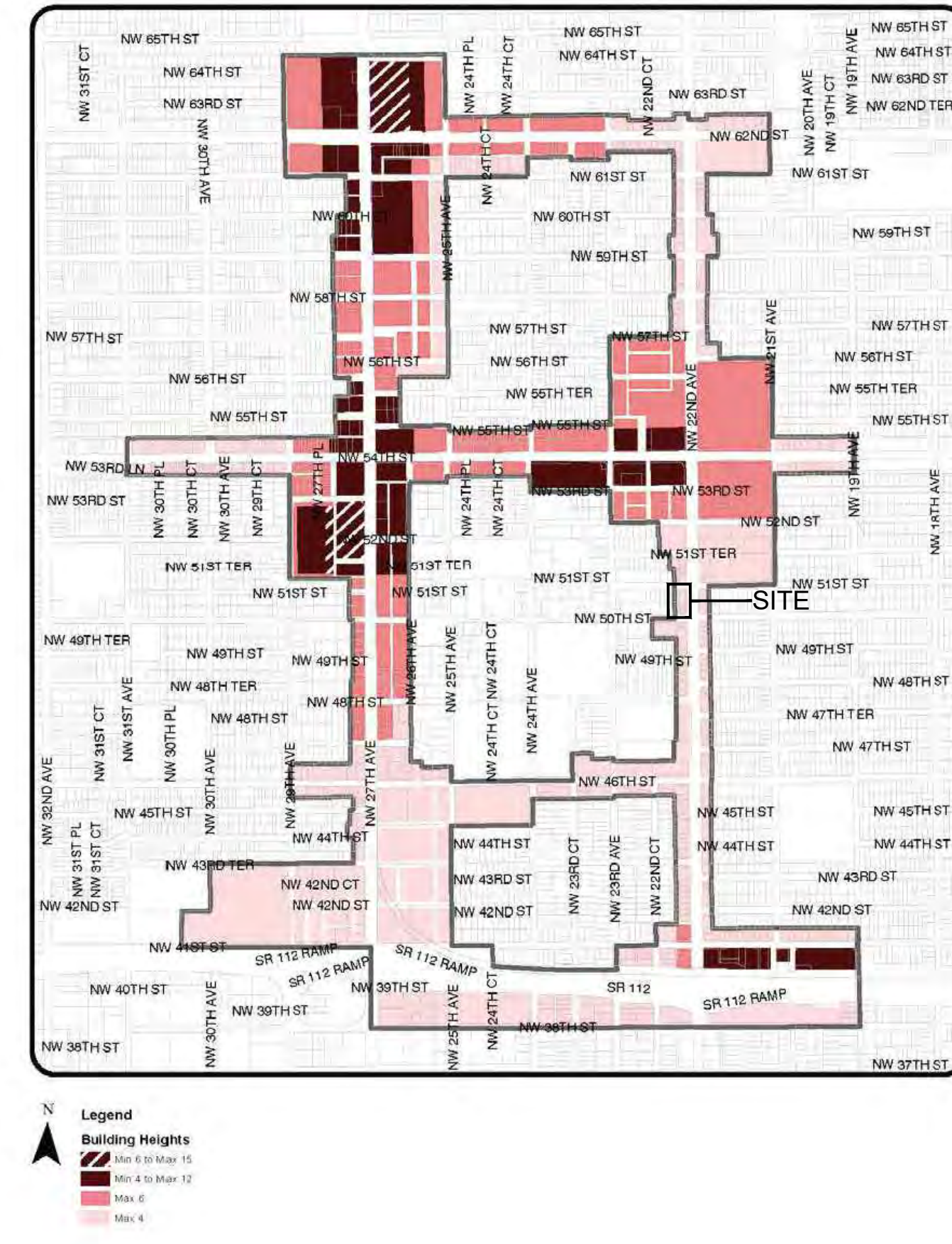
LAND USE: MC Mixed Use Corridor



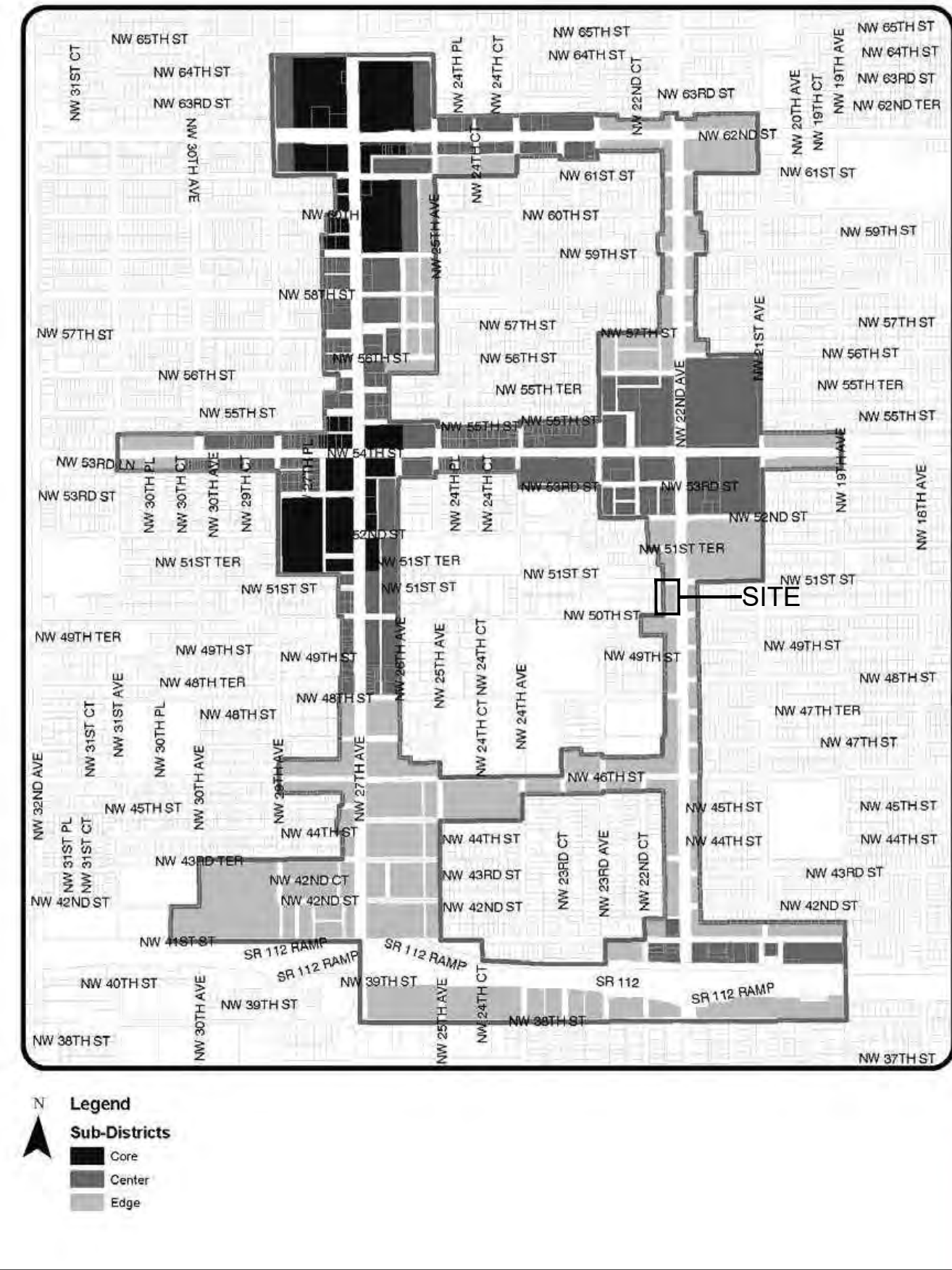
DENSITY PLAN: Max 36 u/a net



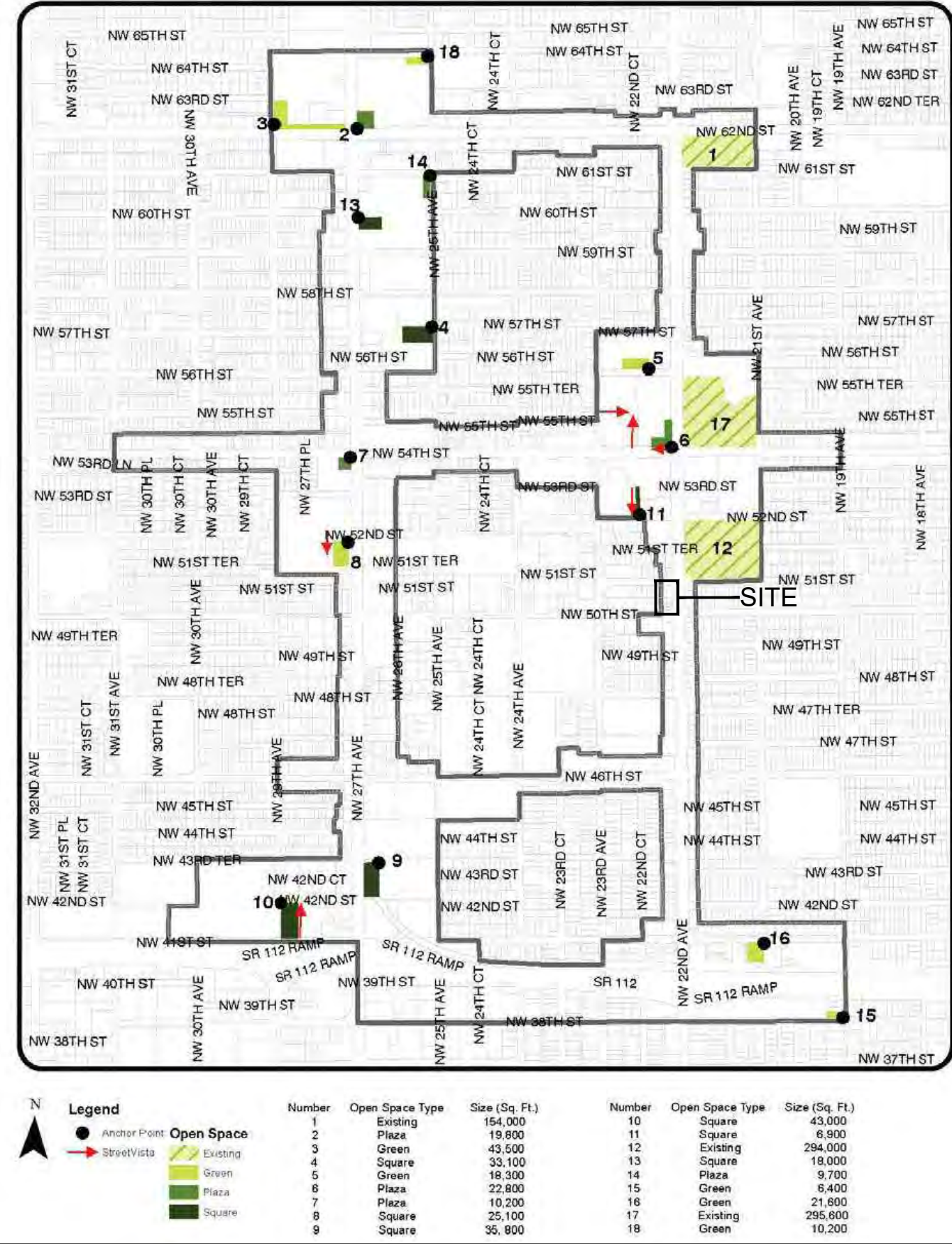
BUILDING HEIGHTS PLAN: Max 4



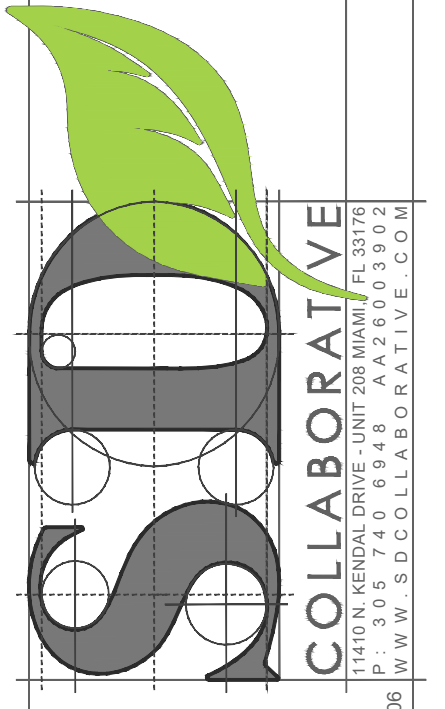
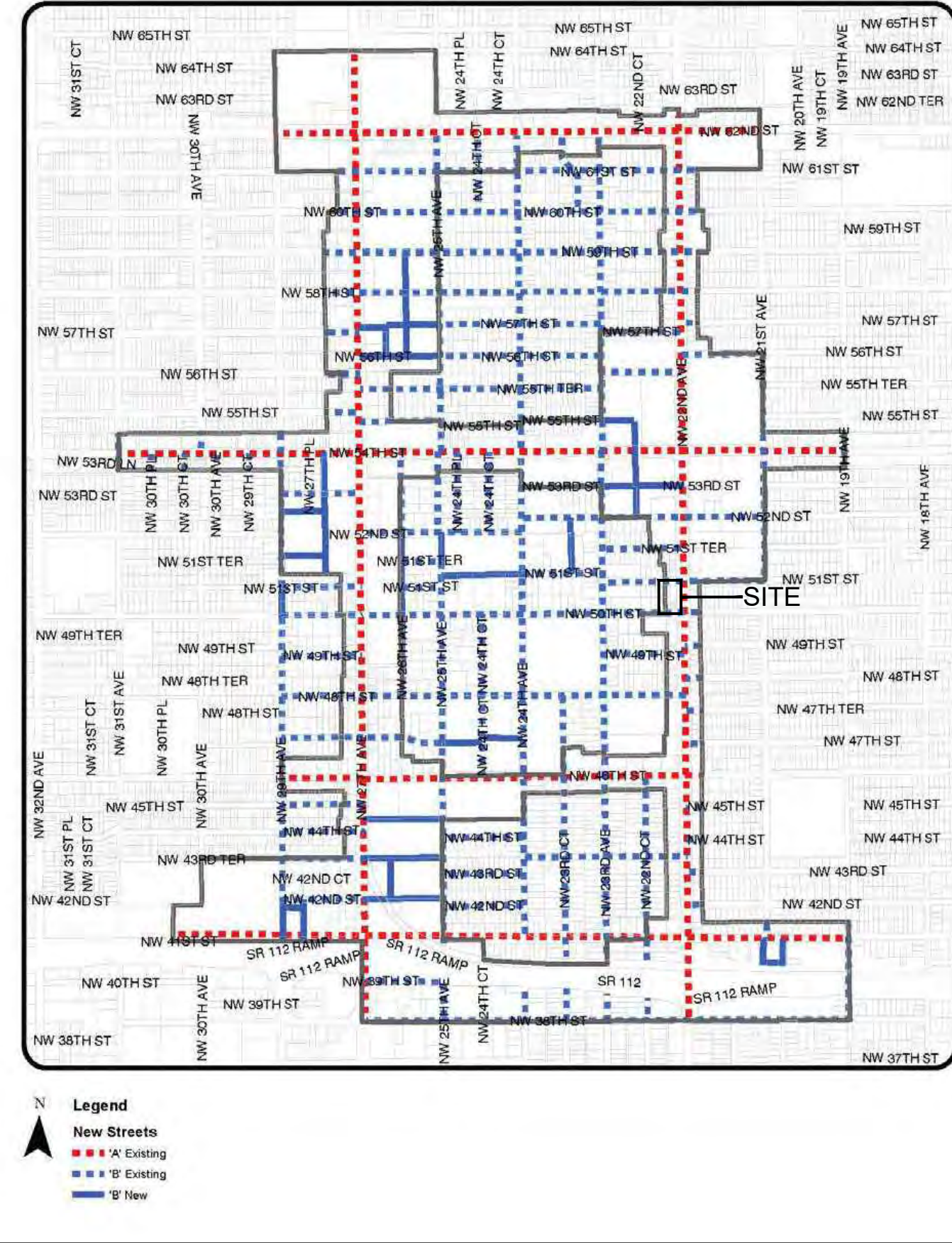
SUB-DISTRICT PLAN: Center



DESIGNATED OPEN SPACE PLAN



NEW STREETS PLAN: 'A' & 'B' Existing



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DULCE M. CONDE, RA, ARCHITECT A00019803
 1111 N. UNIVERSITY AVENUE, SUITE 400
 PRIMITIVO E. CONDE, RA, ARCHITECT A00140606
 1111 N. UNIVERSITY AVENUE, SUITE 400





PROJECT: PERMIT SET
 5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

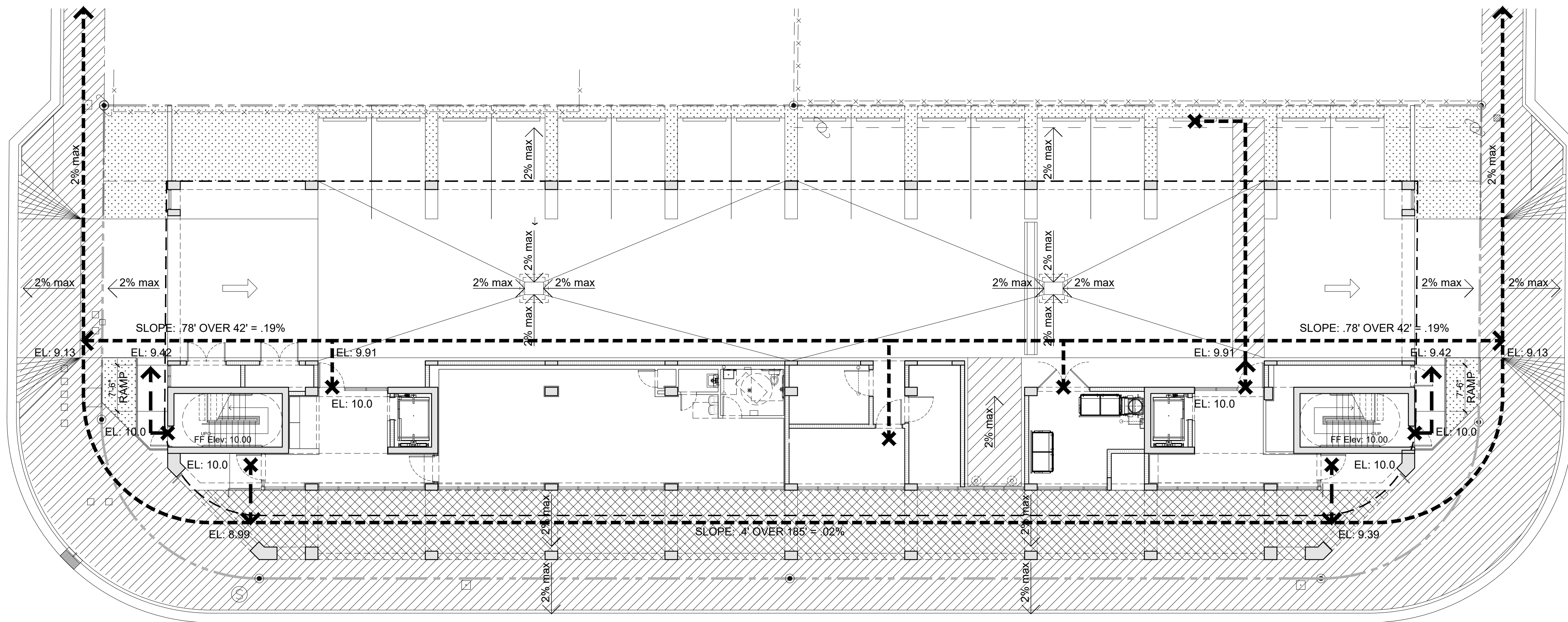
PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

REV. NO. DATE
 COMMENTS

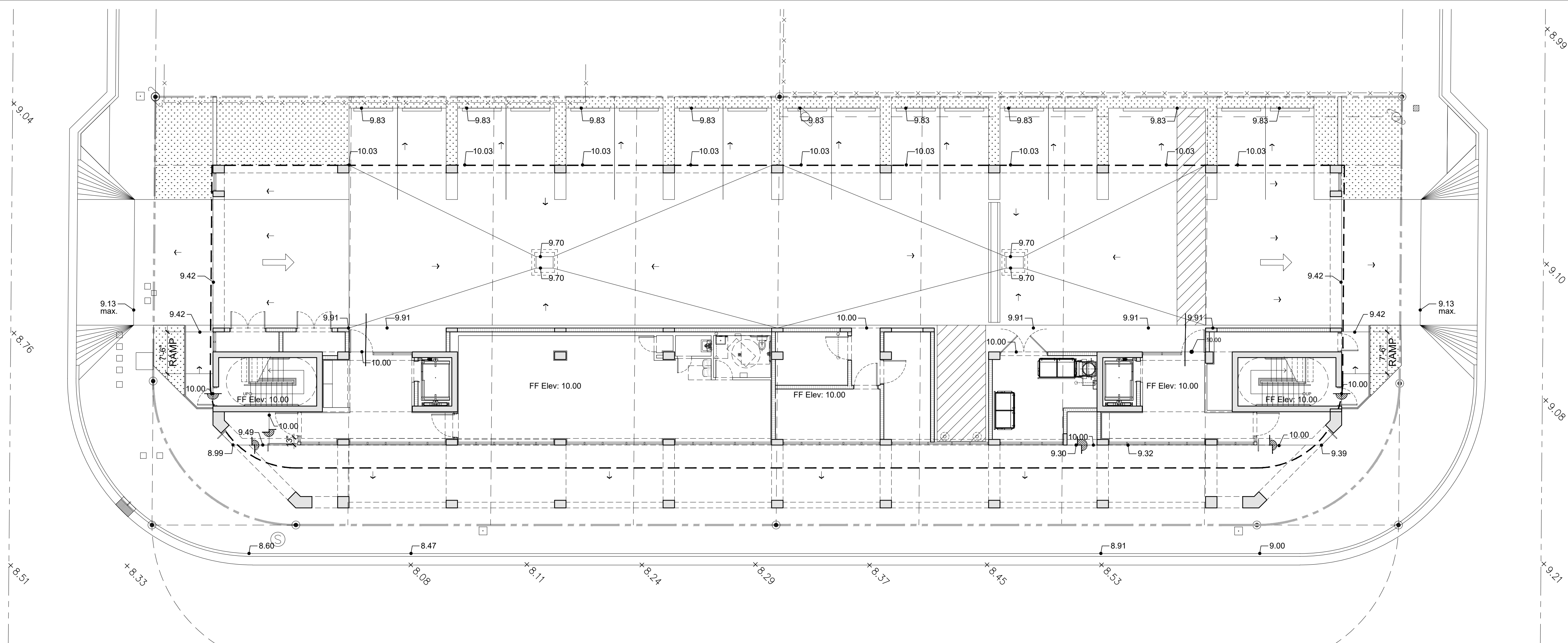
MCUCD Maps

- ACCESSIBLE ROUTE NOTES:**
- 1 CONCRETE DRIVEWAY, Slope 2% (1:48) MAX. ALL DIRECTIONS
 - 2 NEW CONCRETE SIDEWALK, Slope 2% (1:48) MAX. ALL DIRECTIONS
 - 3 UNLESS NOTED ON PLANS, ALL SIDEWALK AND DRIVEWAY SLOPES TO MAINTAIN A 1:48 (2%) MAX. Slope IN ALL DIRECTIONS. ACCESSIBLE ROUTE SHALL HAVE RUNNING SLOPES NOT EXCEEDING 1:20 AND CROSS SLOPES NOT TO EXCEED 1:50 AS PER 403.3 FBCA

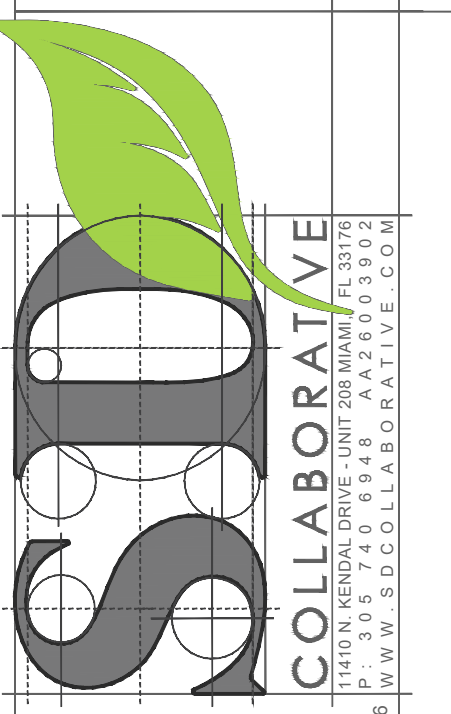
-  PUBLIC SIDEWALK
-  COLONNADE SIDEWALK
-  ACCESSIBLE ROUTE: NON HANDICAP
-  ACCESSIBLE ROUTE: HANDICAP



1 Site Plan - Accessible Route
3/32" = 1'-0"

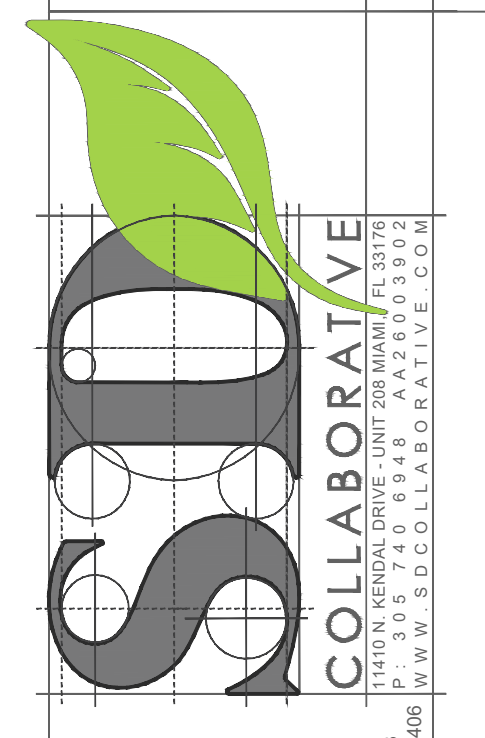
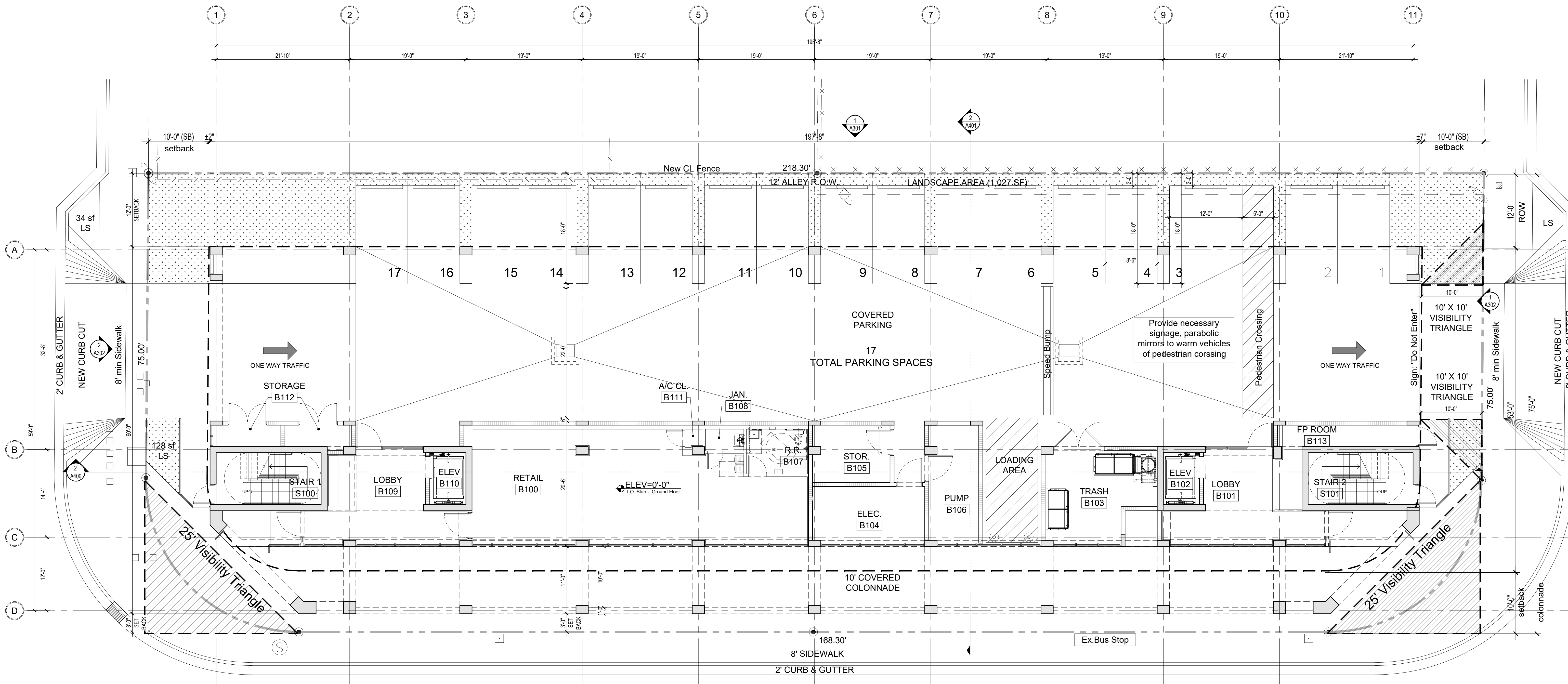


2 Site Plan - Elevation (curbs, ramps, etc.)
3/32" = 1'-0"



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PROJECT NO.:	ASPR SET 12-21-2023	
ISSUE DATE:	04-05-2021	
SCALE:	AS NOTED	
DRAWN BY:	PEC/JCC	
CHECKED:	DC/PEC	
REV NO.	DATE	COMMENTS
5050 RESIDENCES (MIXED-USE) 5050 NW 22nd Ave		



DULCE M. CONDE, RA, ARCHITECT A00019803
 1113 N. W. 10th St., Suite 404
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1113 N. W. 10th St., Suite 404
 W. W. W. S.D. COLLABORATIVE, C.O.M.

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REV. NO.	DATE	COMMENTS

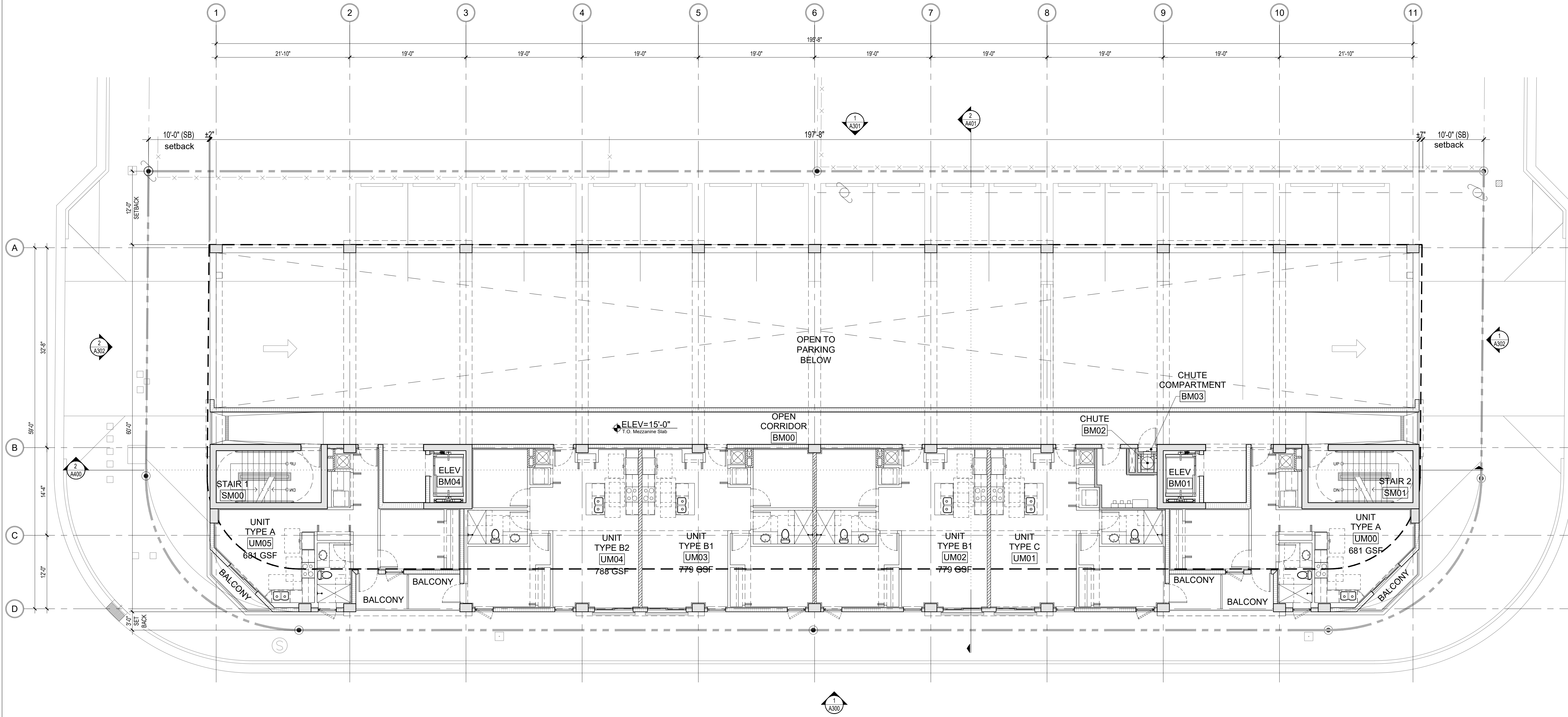
ASPR SET 12-21-2023
5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

PROJECT NO.:	20-004-00
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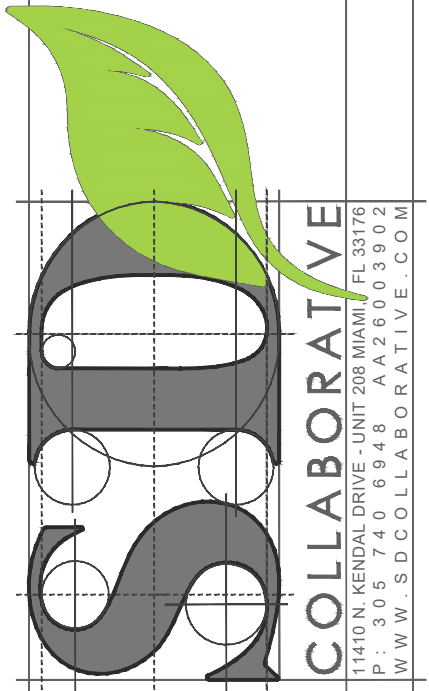
Overall Ground Floor Plan

A200

1 Overall Ground Floor Plan
 1/8" = 1'-0"



RESIDENTIAL UNITS: 6 UNITS



DALCEM CONDE, RA ARCHITECT A00019803
 1111 N. W. 4th St., Suite 400
 PRIMITIVO E. CONDE, RA ARCHITECT A0014406
 1111 N. W. 4th St., Suite 400

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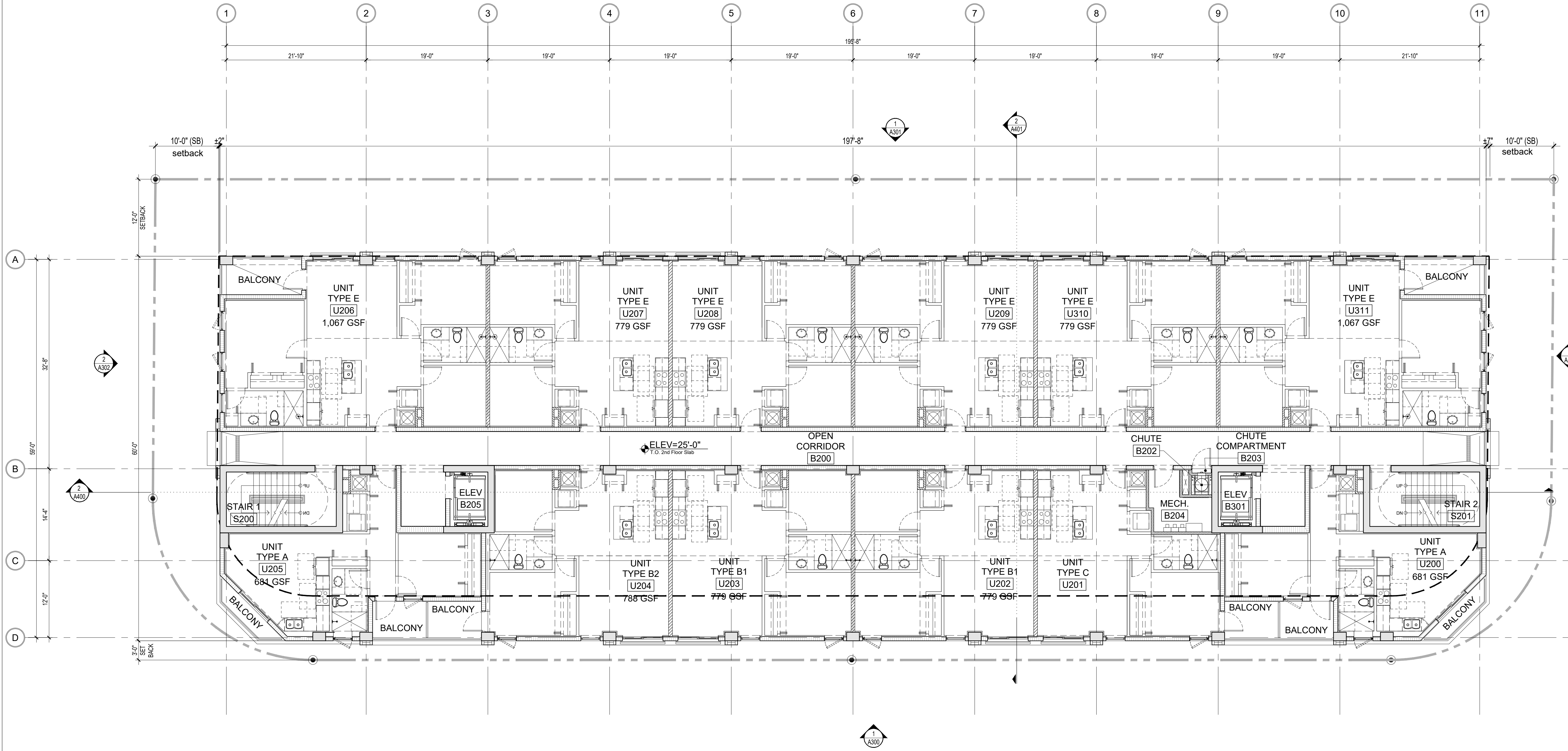
ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

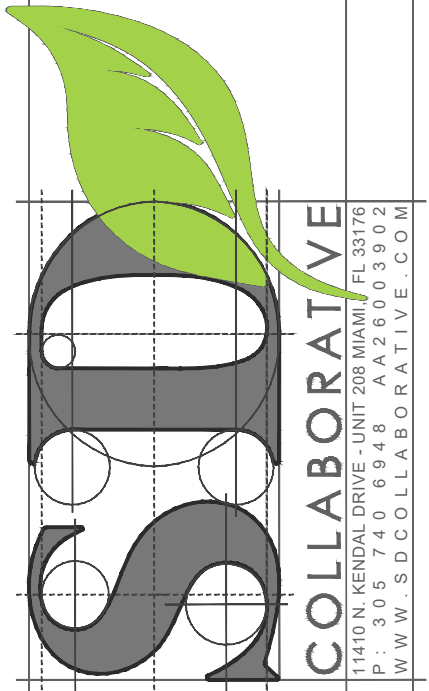
Overall 2nd - 4th Floor Plan

A202



RESIDENTIAL UNITS: 12 UNITS / FLOOR

1 Overall 2nd - 4th Floor Plan
 1/8" = 1'-0"



DULCE M. CONDE, RA, ARCHITECT A00019803
 1111 N. W. 4th St., Suite 400
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1111 N. W. 4th St., Suite 400

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REV. NO. DATE COMMENTS

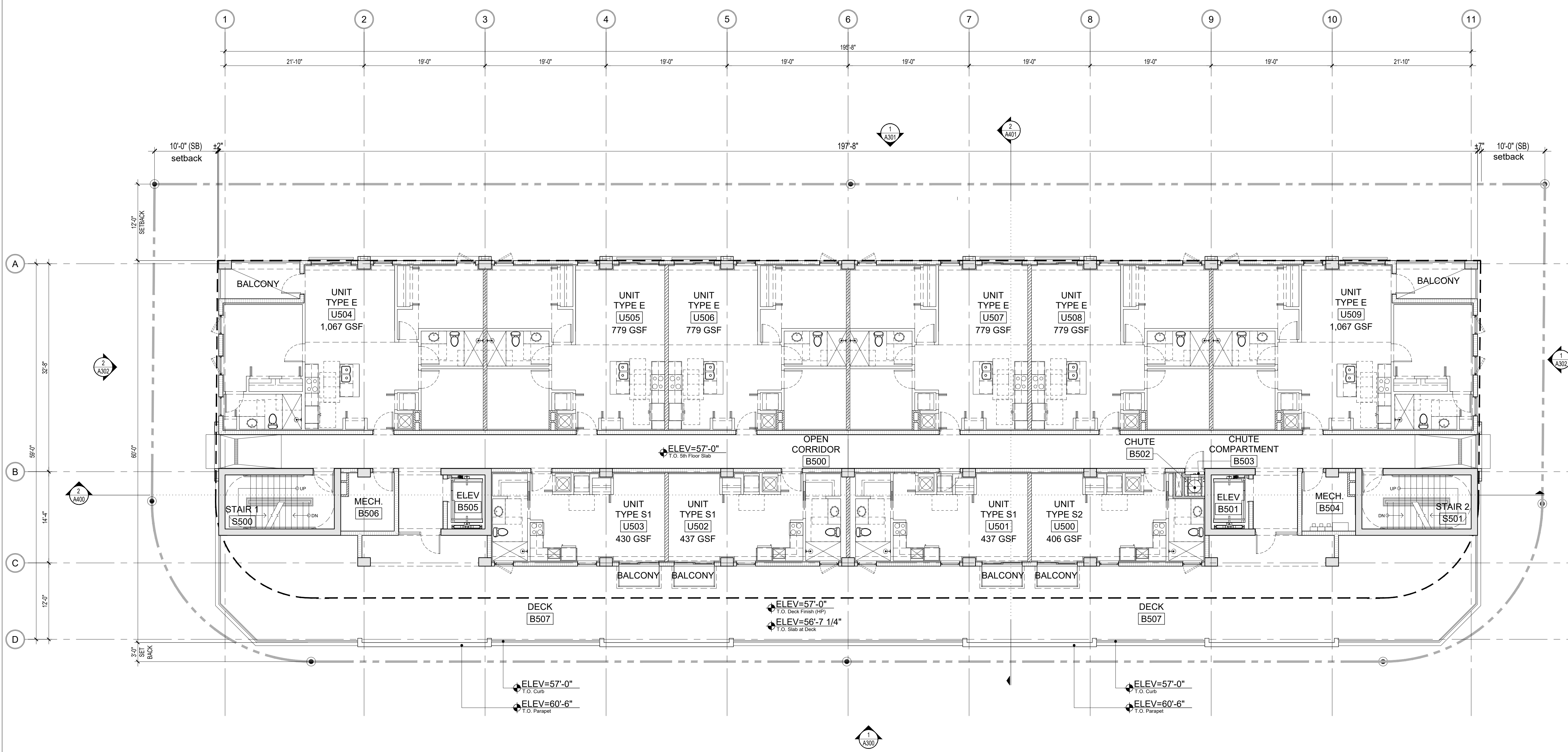
ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

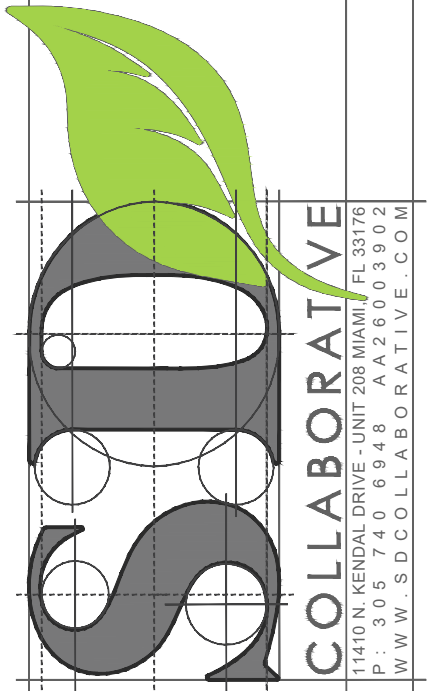
Overall 5th Floor Plan

A203



RESIDENTIAL UNITS: 10 UNITS

1 Overall 5th Floor Plan
 1/8" = 1'-0"



DULCE M. CONDE, RA ARCHITECT A00019803
 1111 N. UNIVERSITY AVENUE, SUITE 400
 PRIMITIVO E. CONDE, RA ARCHITECT A0014406
 1111 N. UNIVERSITY AVENUE, SUITE 400

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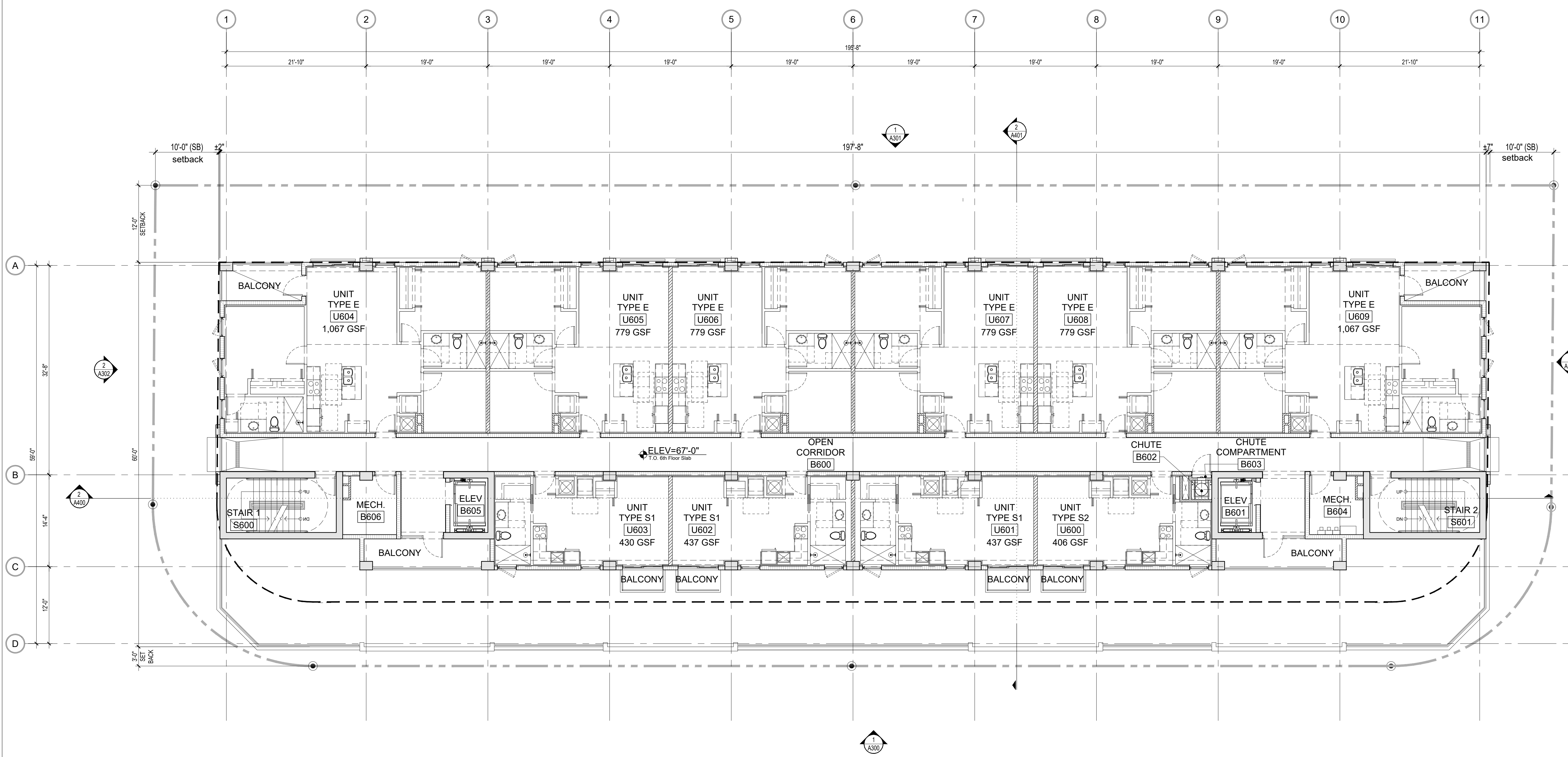
ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
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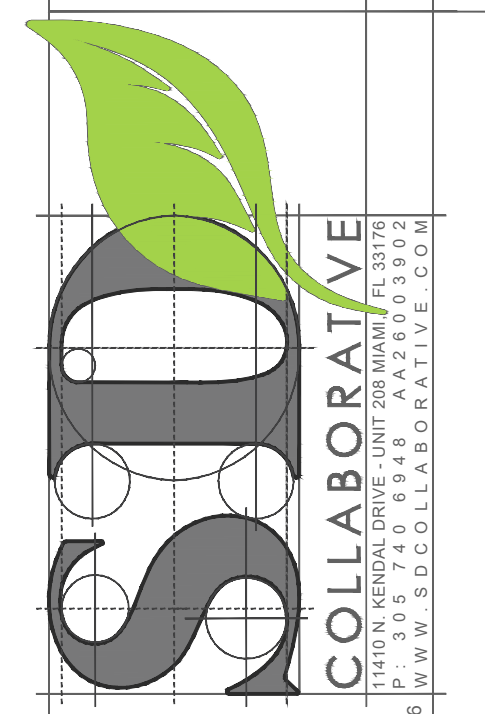
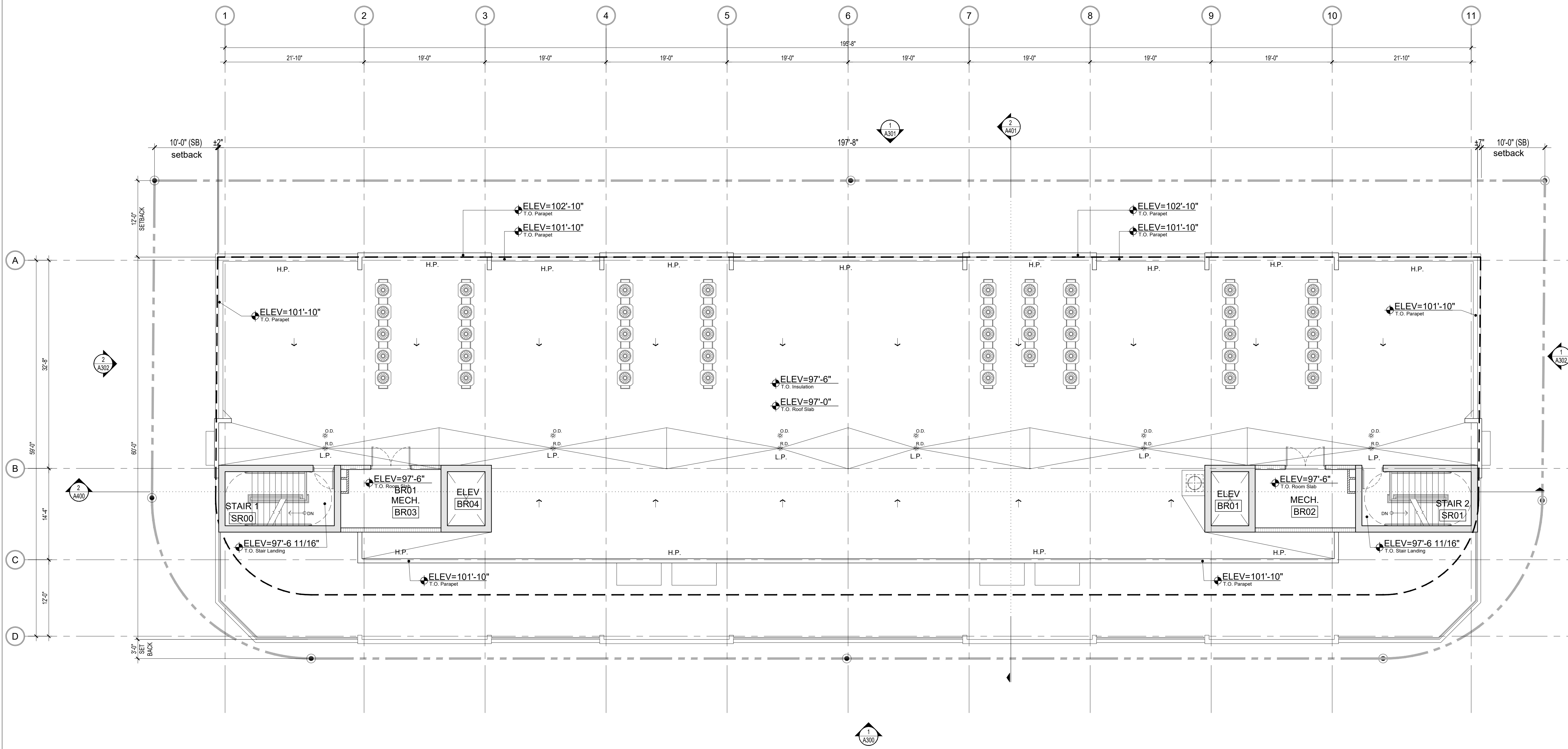
Overall 6th - 8th Floor Plan

A204



RESIDENTIAL UNITS: 10 UNITS / FLOOR

1 Overall 6th - 8th Floor Plan
 1/8" = 1'-0"



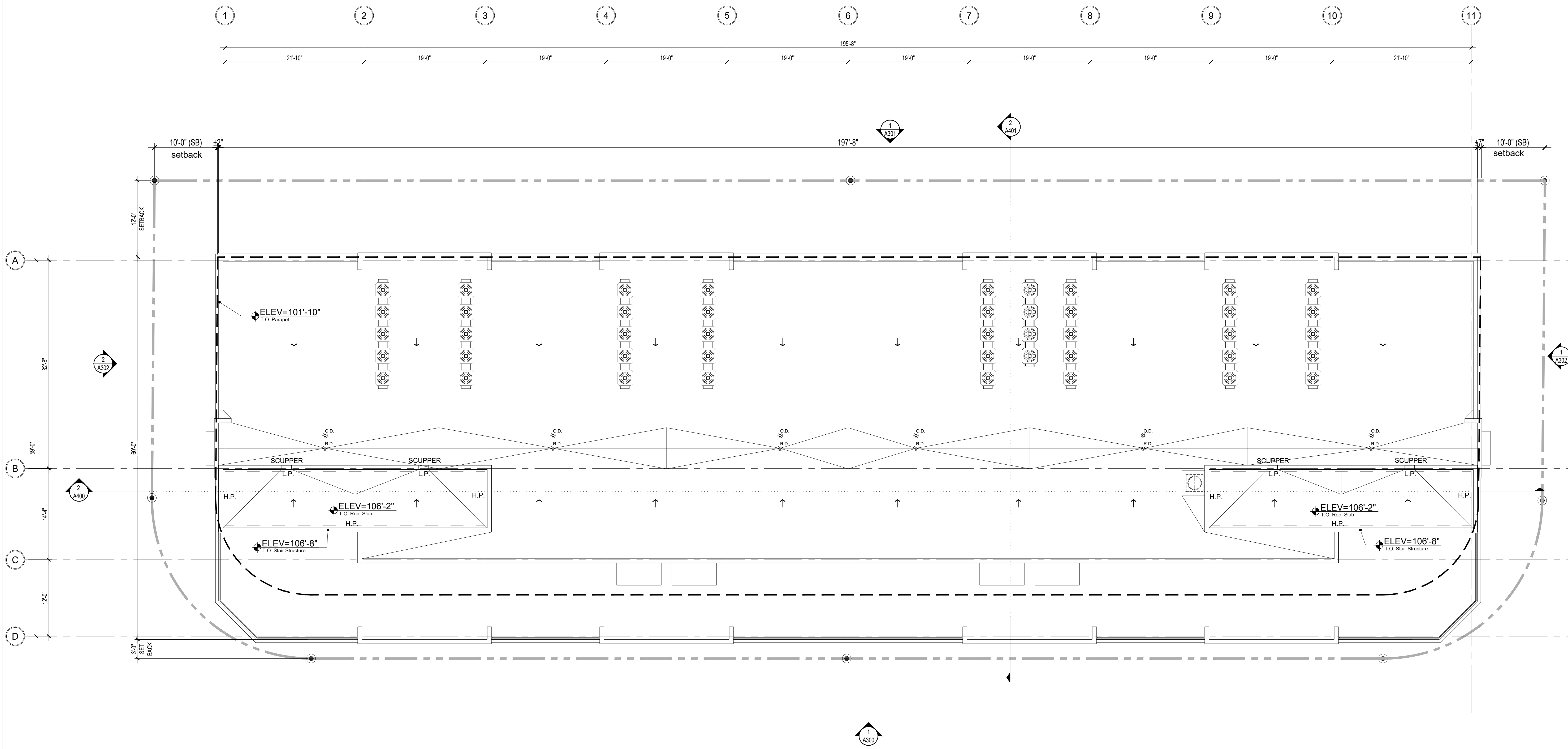
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT, THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

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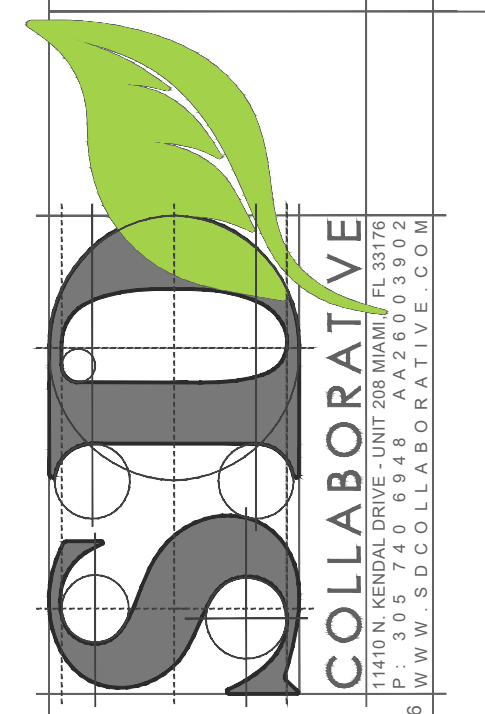
ASPR SET 12-21-2023
5050 RESIDENCES (MIXED-USE)
 5050 NW 22nd Ave

PROJECT NO.:	20-004-00
ISSUE DATE:	04-05-2021
SCALE:	AS NOTED
DRAWN BY:	PEC/JCC
CHECKED:	DC/PEC

1 Overall Lower Roof Plan
 1/8" = 1'-0"



1 Overall Upper Roof Plan
1/8" = 1'-0"



SD COLLABORATIVE
1111 N. UNIVERSITY AVENUE, SUITE 400
DENVER, CO 80202
P: 303.733.4444
WWW.SDCOLLABORATIVE.COM

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REV NO.	DATE	COMMENTS

ASPR SET 12-21-2023

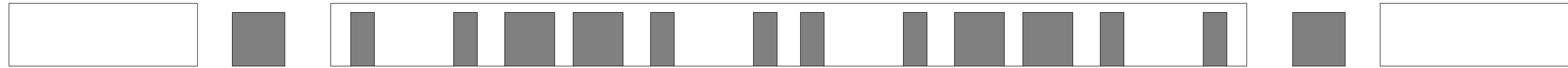
**5050 RESIDENCES
(MIXED-USE)**
5050 NW 22nd Ave

PROJECT NO.:	20-004-00
ISSUE DATE:	04-05-2021
SCALE:	AS NOTED
DRAWN BY:	PEC/JCC
CHECKED:	DC/PEC

Overall Upper Roof Plan

A206

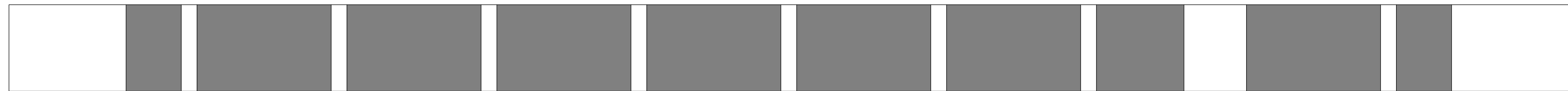
30% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION - UPPER FLOORS



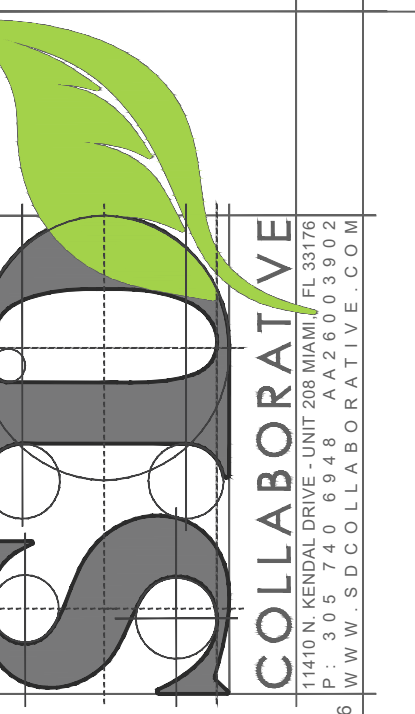
WALL AREA: 1,311 SF (GA: 1,311 x .30 = (393.3 SF)
GLASS AREA PROVIDED: 428 SF (25.7%)



70% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION-GROUND FLOOR



WALL AREA: 2,174 SF (GA: 2,174 x .70 = (1,522 SF)
GLASS AREA PROVIDED: 1,585 sf (72.9%)
FRONTAGE: 218'-3" (FR: 218.3' x .70 = 152.81')
FRONTAGE PROVIDED: 197'-8"



DALCE M. CONDE, RA, ARCHITECT A00019803
1113 N. UNIVERSITY AVENUE, SUITE 400
DENVER, COLORADO 80202
PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
1113 N. UNIVERSITY AVENUE, SUITE 400
DENVER, COLORADO 80202
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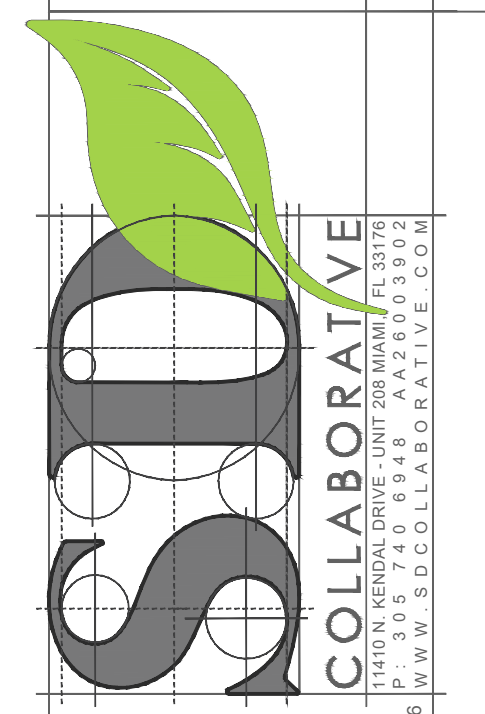
REV. NO. DATE COMMENTS

ASPR SET 12-21-2023

5050 RESIDENCES
(MIXED-USE)
5050 NW 22nd Ave

PROJECT NO.: 20-004-00
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SCALE: AS NOTED
DRAWN BY: PEC/JCC
CHECKED: DC/PEC

Building Elevation



DALCE M. CONDE, RA, ARCHITECT A00019803
 1111 N. UNIVERSITY AVENUE, SUITE 400
 PRIMITIVO E. CONDE, RA, ARCHITECT A0014406
 1111 N. UNIVERSITY AVENUE, SUITE 400
 W.W.W. S.D.C.O.L.L.A.B.O.R.A.T.I.V.E.C.O.M

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REV. NO. DATE COMMENTS

ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

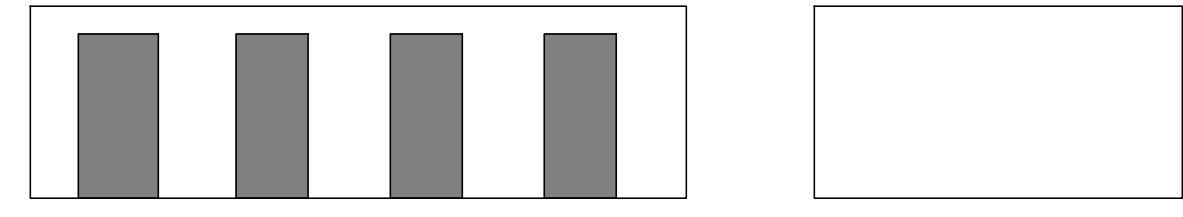
Building Elevation

A301



MIN GLAZING/OPENING REQUIREMENT
 CALCULATION - NOT REQUIRED AT REAR

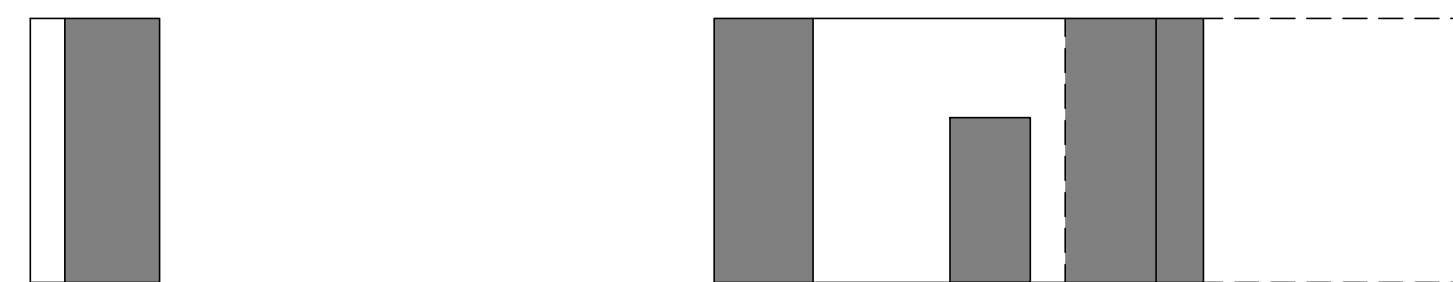
30% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION - UPPER FLOORS



WALL AREA: 341 SF (GA: 341 x .30 = (102.3 SF)
GLASS AREA PROVIDED: 84 SF (24.6%)



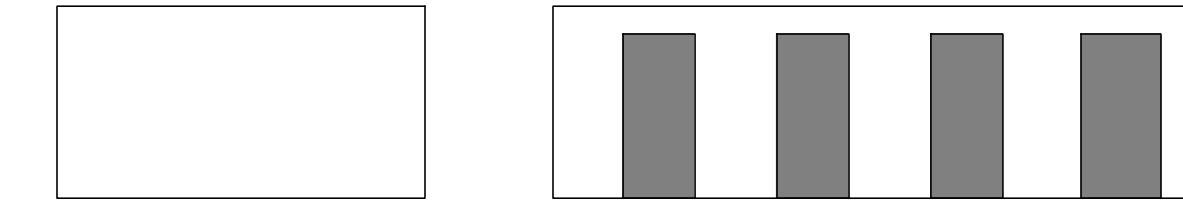
70% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION-GROUND FLOOR



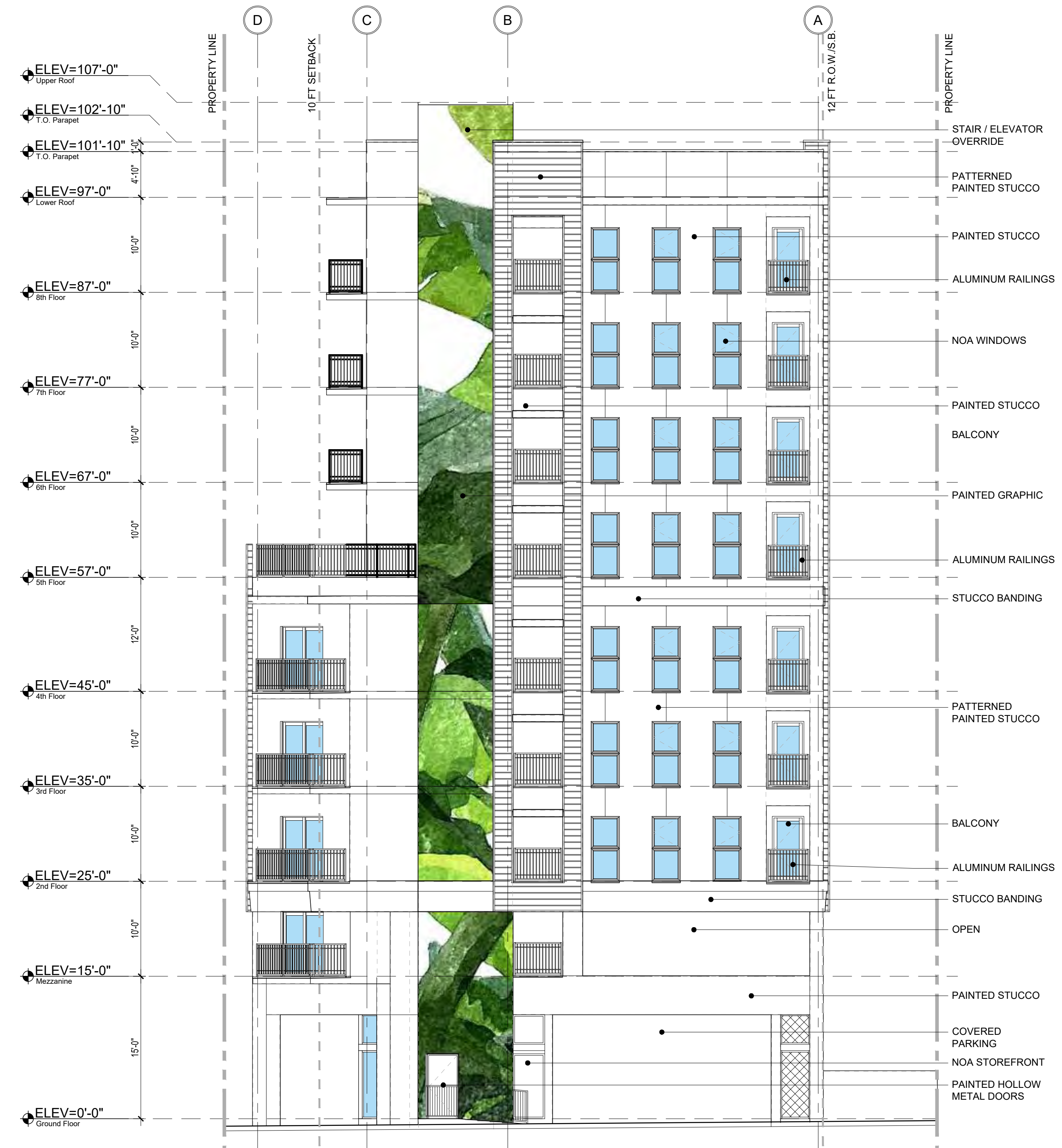
WALL AREA: 283 SF (GA: 283 x .70 = (198 SF)
GLASS AREA PROVIDED: 175 sf (61.8%)
FRONTAGE: 75'-0" (FR: 75' x .70 = 52.5')
FRONTAGE PROVIDED: 60'-0"

2 Side Elevation-North
1/8" = 1'-0"

30% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION - UPPER FLOORS



WALL AREA: 341 SF (GA: 341 x .30 = (102.3 SF)
GLASS AREA PROVIDED: 84 SF (24.6%)

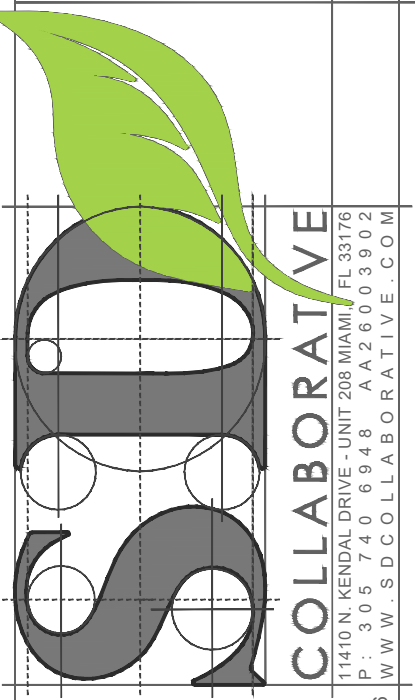


70% MIN GLAZING/OPENING
REQUIREMENT
CALCULATION-GROUND FLOOR



WALL AREA: 283 SF (GA: 283 x .70 = (198 SF)
GLASS AREA PROVIDED: 175 sf (61.8%)
FRONTAGE: 75'-0" (FR: 75' x .70 = 52.5')
FRONTAGE PROVIDED: 60'-0"

1 Side Elevation-South
1/8" = 1'-0"



DULCE M. CONDE, RA, ARCHITECT A00019803
1111 N. W. 24th St., Suite 404
Princeton, NJ 08542
P: 609.979.0309
F: 609.979.0309
WWW.SDCCOLLABORATIVE.COM

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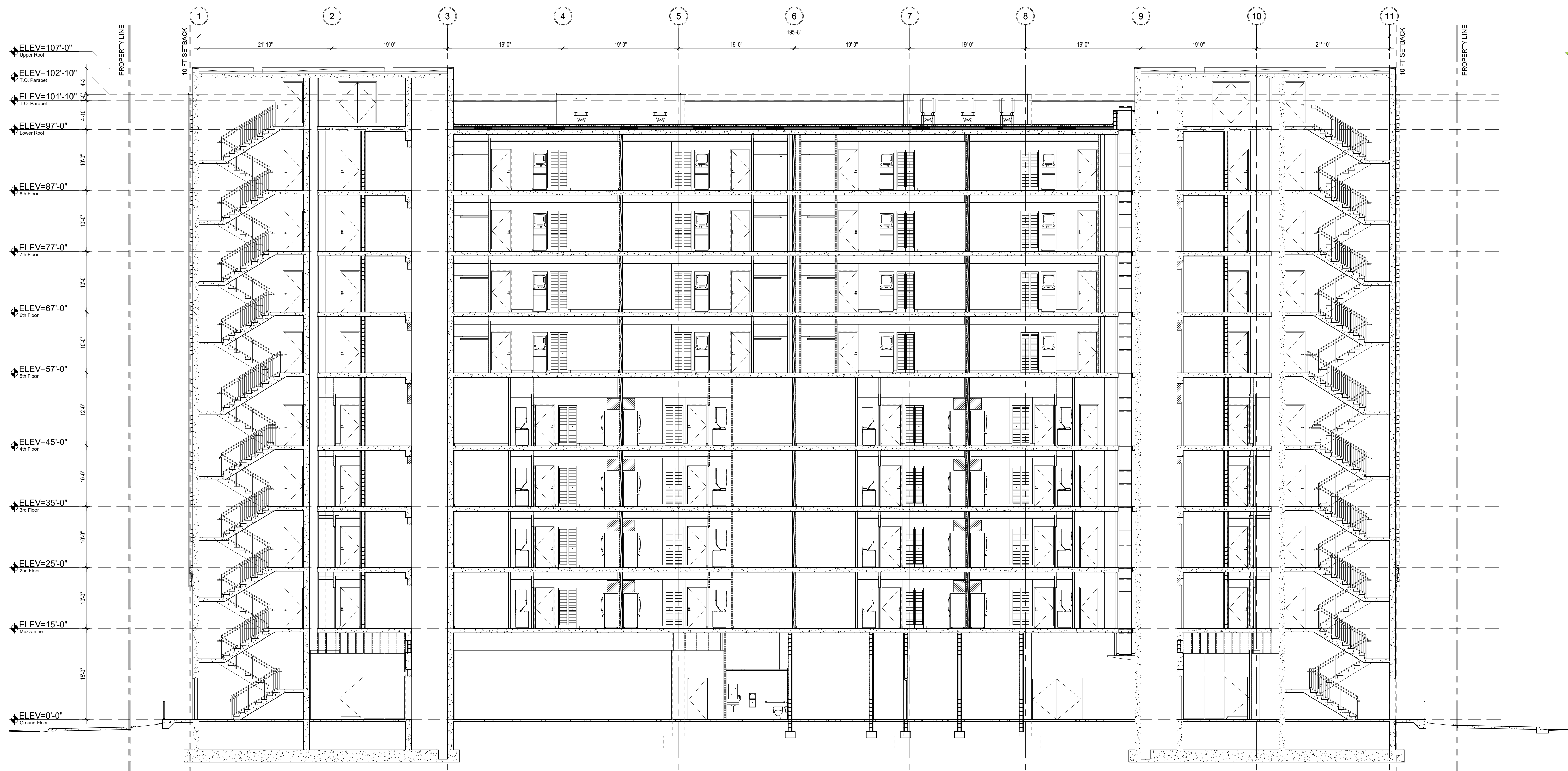
REV NO. DATE COMMENTS

ASPR SET 12-21-2023

5050 RESIDENCES
(MIXED-USE)
5050 NW 22nd Ave

PROJECT NO.: 20-004-00
ISSUE DATE: 04-05-2021
SCALE: AS NOTED
DRAWN BY: PEC/JCC
CHECKED: DC/IEC

Building Elevations



2 Building Section
1/8" = 1'-0"

KEY NOTES

1

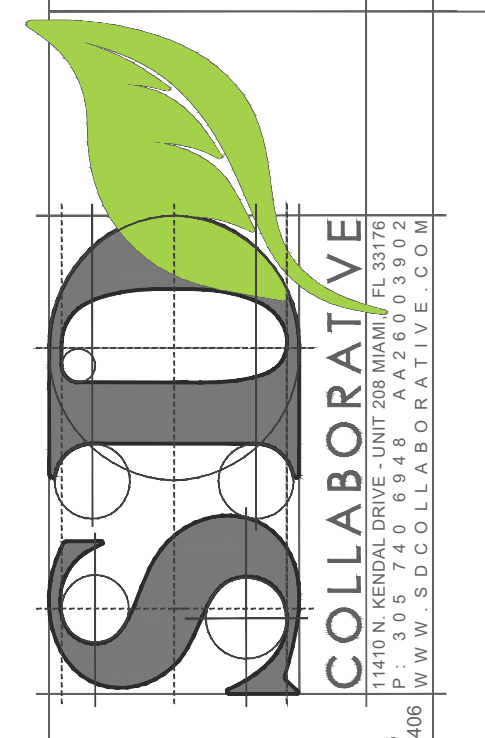
1 General Notes
NTS

Table 2.1 – Fire resistance of single-layer concrete wall, floors, and roofs

Aggregate Type	Minimum equivalent thickness for fire-resistance rating, in.				
	1 hour	1.5 hours	2 hours	3 hours	4 hours
Silicons	3.5	4.3	5.0	6.2	7.0
Carbonate	3.2	4.0	4.6	5.7	6.6
Semi-lightweight	2.7	3.3	3.8	4.6	5.4
Lightweight	2.5	3.1	3.6	4.4	5.1

FROM ACI 216.1 - DETERMINING FIRE RESISTANCE OF CONCRETE AND MASONRY CONSTRUCTION ASSEMBLY

NOTES:
1 REFER TO STRUCTURAL DRAWINGS INDICATING THAT THE FLOORS ARE 9" PT CONCRETE SLABS. BASED ON THE PROVIDED TABLE THE THICKNESS OF THE SLAB IS ENOUGH TO MEET THE REQUIREMENTS FOR A 2HR RATING.



DULCE M. CONDE, RA, ARCHITECT AR0015803
1113 N. W. 24th Ave., Suite 404
Princeton, NJ 08540
PRIMITIVE CONDE, RA, ARCHITECT AR0014406
1113 N. W. 24th Ave., Suite 404
Princeton, NJ 08540
WWW.SDCOLLABORATIVE.COM

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5050 RESIDENCES (MIXED-USE)
5050 NW 22nd Ave

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CHECKED: DC/PEC

Building Sections



2 Building Section
1/8" = 1'-0"

KEY NOTES

1

1 General Notes
NTS

Table 2.1 – Fire resistance of single-layer concrete wall, floors, and roofs

Aggregate Type	Minimum equivalent thickness for fire-resistance rating, in.				
	1 hour	1.5 hours	2 hours	3 hours	4 hours
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Carbonate	3.2	4.0	4.6	5.7	6.6
Semi-lightweight	2.7	3.3	3.8	4.6	5.4
Lightweight	2.5	3.1	3.6	4.4	5.1

FROM ACI 209.1 - DETERMINING FIRE RESISTANCE OF CONCRETE AND MASONRY CONSTRUCTION ASSEMBLIES

NOTES:
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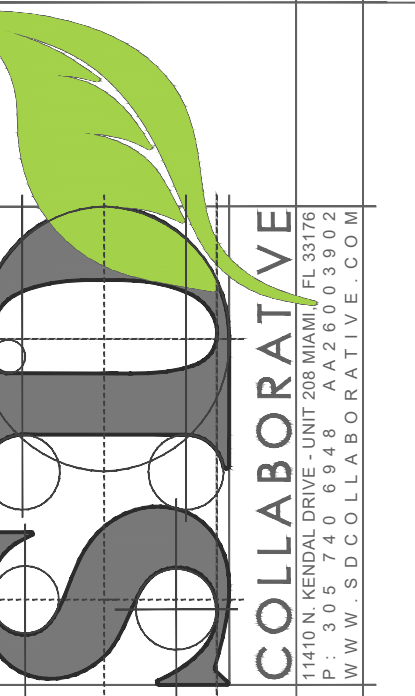
ASPR SET 12-21-2023
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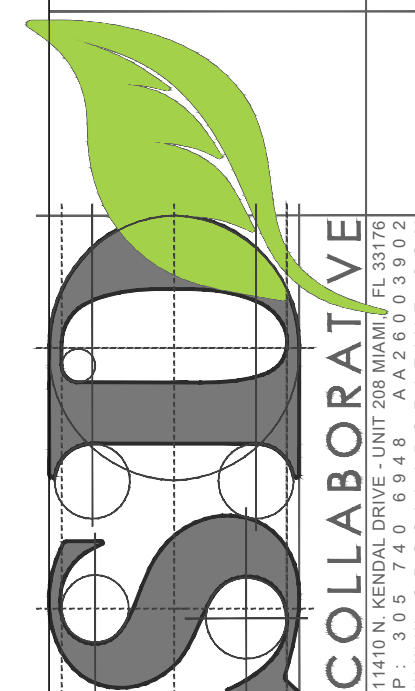
Building Sections

REV NO. DATE COMMENTS

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DULCE M. CONDE, RA, ARCHITECT A00015803
1113 N. WINDYBUSH DRIVE, SUITE 400
PRIMTIVO E. CONDE, RA, ARCHITECT A0014406
1113 N. WINDYBUSH DRIVE, SUITE 400
I.W.W. S.D.C. COLLABORATIVE.COM



SD COLLABORATIVE
 ARCHITECTS
 1113 N. UNIVERSITY AVENUE, SUITE 400
 DENVER, COLORADO 80202
 P: 303.733.4444
 WWW.SDCOLLABORATIVE.COM

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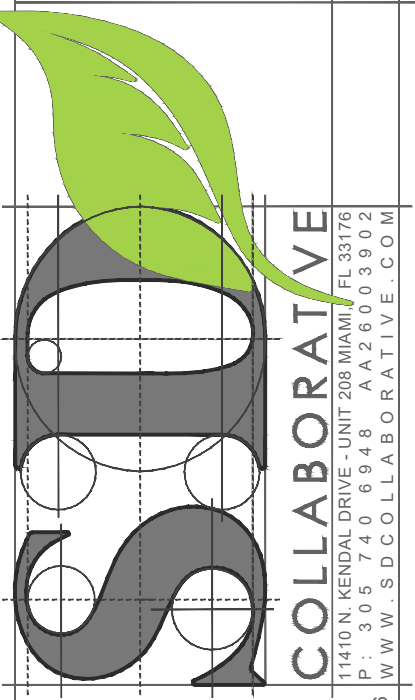
**5050 RESIDENCES
 (MIXED-USE)**
 5050 NW 22nd Ave

PROJECT NO.: 20-004-00
 ISSUE DATE: 04-05-2021
 SCALE: AS NOTED
 DRAWN BY: PEC/JCC
 CHECKED: DC/PEC

Perspectives

A900

1 Perspective - Looking Towards NW
 NTS



DULCE M. CONDE, RA, ARCHITECT A00015803
 1113 N. WINDYBROOK DRIVE, SUITE 400
 PRIMITIVO, CONDE, RA, ARCHITECT A0014406
 1113 N. WINDYBROOK DRIVE, SUITE 400
 W.W.W. SD.COLLABORATIVE.COM

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ASPR SET 12-21-2023

**5050 RESIDENCES
(MIXED-USE)**

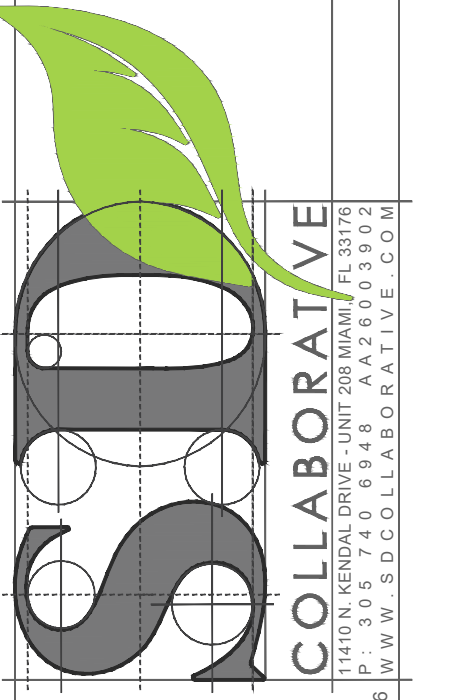
5050 NW 22nd Ave

PROJECT NO.: 20-004-00
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Perspectives

A901

1 Perspective - Looking Towards SW
 NTS



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 PRIMITIVO E. CONDE, RA, ARCHITECT AR0014806

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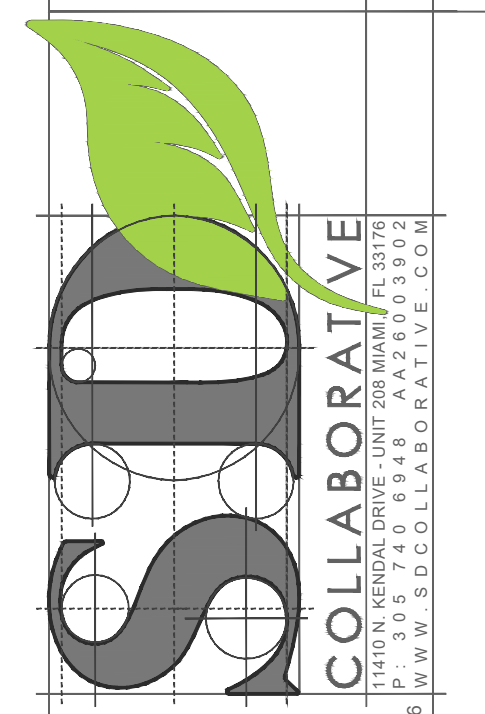
Perspectives

A902

1 Perspective - Looking Towards SE
 NTS



1 Perspective - Looking Towards NE
NTS



DULCE M. CONDE, RA ARCHITECT A60015803
1113 N. UNIVERSITY AVENUE, SUITE 400
PRIMTIVO E. CONDE, RA ARCHITECT A6014406
1113 N. UNIVERSITY AVENUE, SUITE 400
W.W.W. S.D.C.O.L.L.A.B.O.R.A.T.I.V.E. C.O.M

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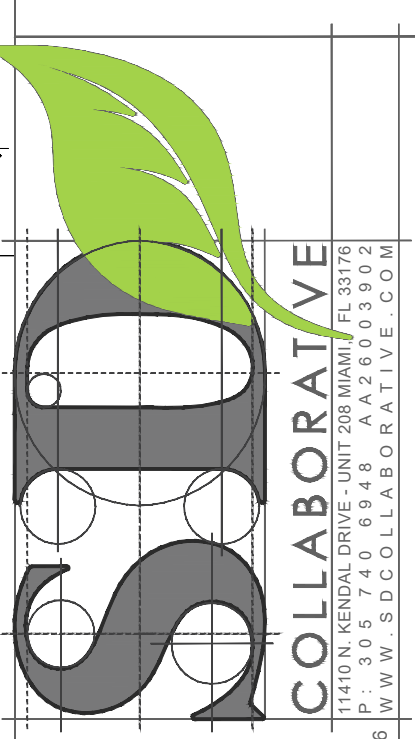
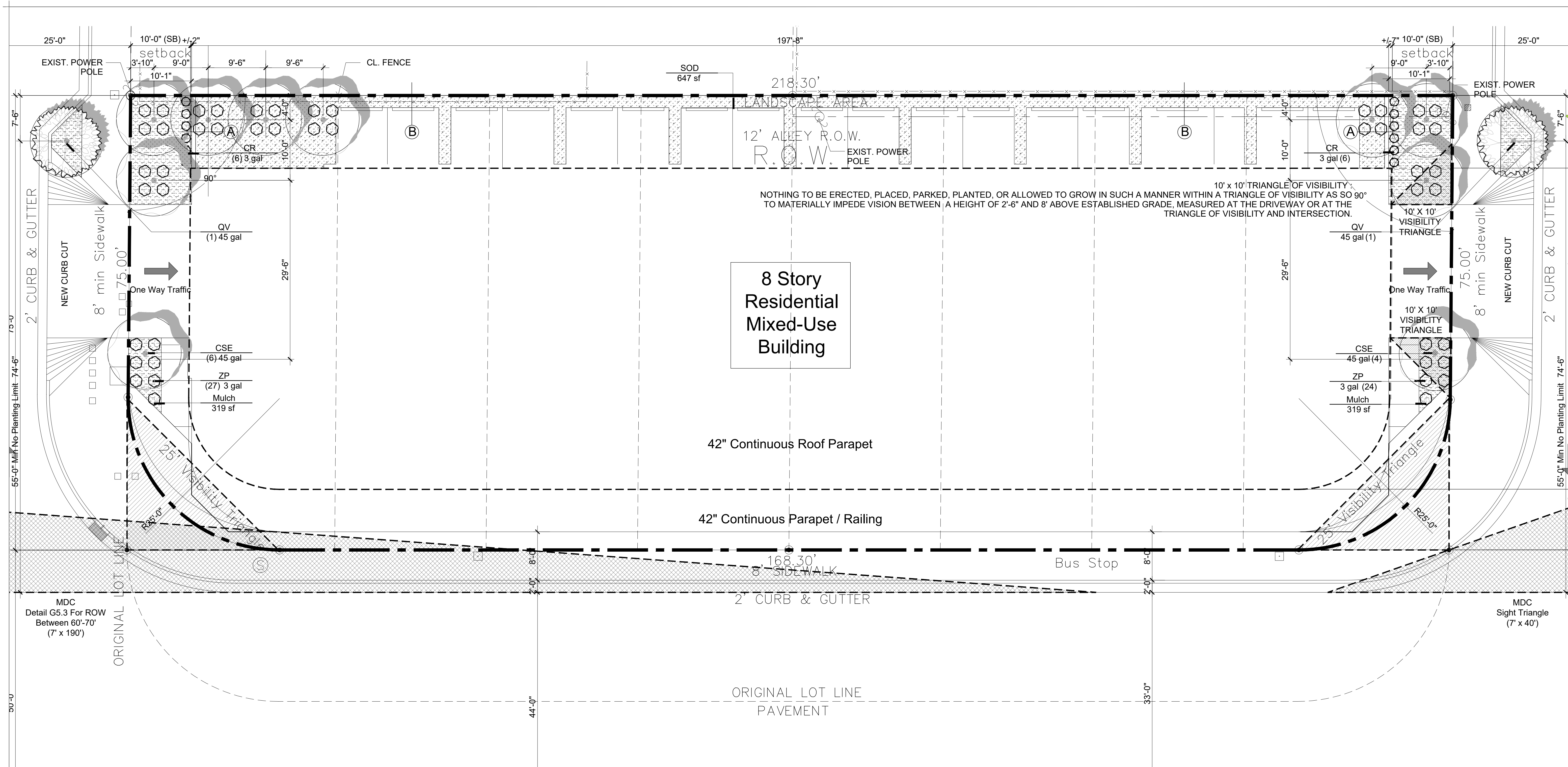
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5050 NW 22nd Ave

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Perspectives

A903



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 ARCHITECTURE
 1115 N. W. 22nd Ave, Suite 100
 Fort Lauderdale, FL 33311
 WWW.SDCOLLABORATIVE.COM

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REV NO.	DATE	COMMENTS

1 Landscape Site Plan
 SCALE: 1/8" = 1'-0"
 NORTH

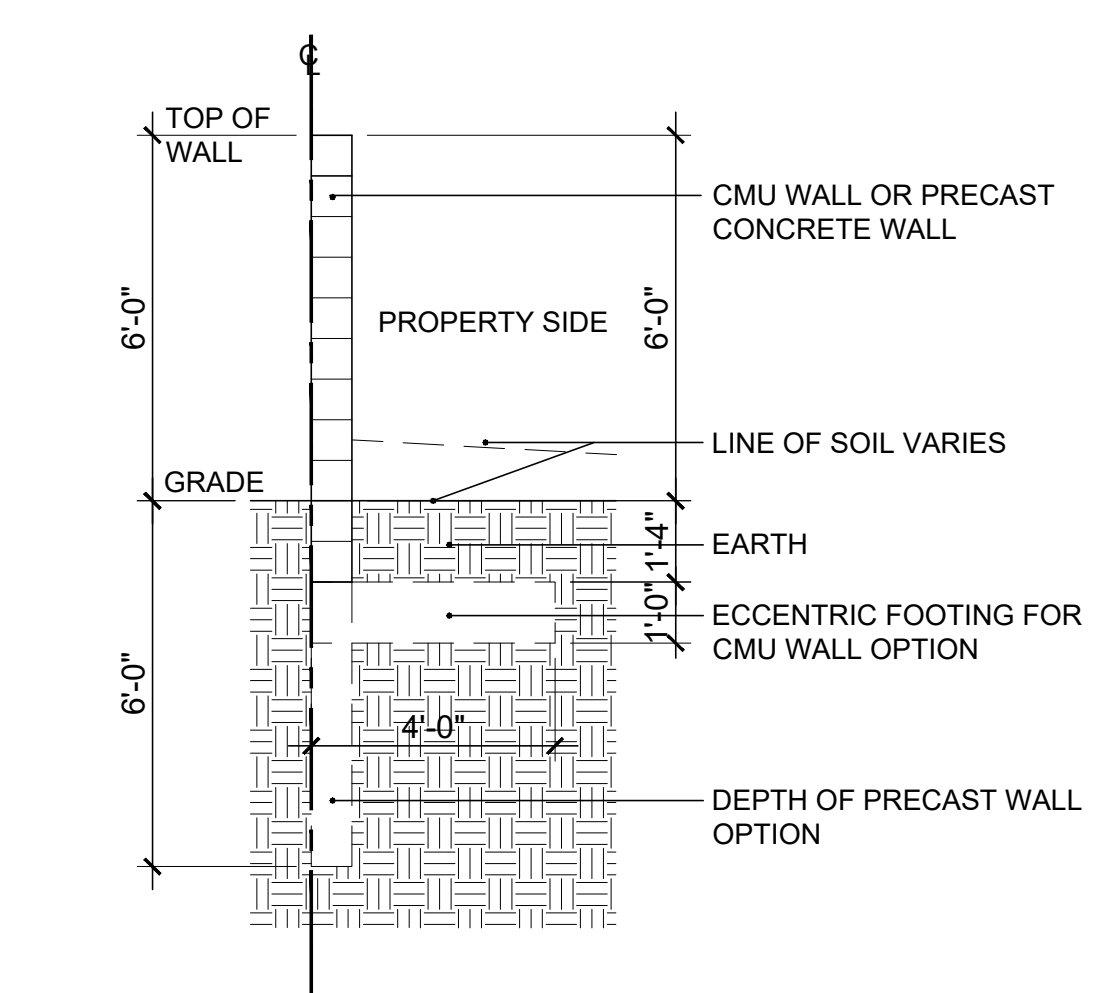
PLANT SCHEDULE									
PALMS & TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SPRD	SPACING	REMARKS
CSE	10	Cordia sebestena	Geiger Tree	45 gal	6"	12'-15'	10'-20'	8'-10' o.c.	FS/DT/ST
QV	2	Quercus virginiana	Live Oak	45 gal	6"	12'-15'	10'-20'	25' o.c.	FS/DT/ST
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPRD	SPACING	REMARKS	
ZP	46	Zamia Pumila	Coontie Big Leaf	3 gal	2'	3'	36" o.c.	DT/ST	
CR	12	Clusia rosea	Clusia	3 gal	2'	3'	60" o.c.	DT/ST	
SSF	515 sf	Stenotaphrum Secundatum Fl	Floritam St						
MULCH	638 sf	Classic Eucalyptus							

SYMBOL LEGEND		LANDSCAPE REQUIREMENTS:			
SYMBOL	DESCRIPTION	REQUIREMENT	REQUIRED	PROVIDED	REMARKS
[SOD AREA SYMBOL]	SOD AREA	Net Lot Area	-	16,394 sf / .37 ac	
[MULCH AREA SYMBOL]	MULCH AREA	Public Open Space Area	10% of lot area (Includes Colonnade, Landscape, Covered Terrace)	1,639.4 nsf	4,694.86 sf
[SIGHT VISIBILITY TRIANGLE SYMBOL]	SIGHT VISIBILITY TRIANGLE	Street Trees	25' on center average, max Frontage Arcade = 0 Sides 75/25 = 3 x 2 = 6 Trees (2) Trees will be provided within the property.	6	6
		Lot Trees	(16) trees per net lot acre 16 x .37 = 5.9 trees	6	6

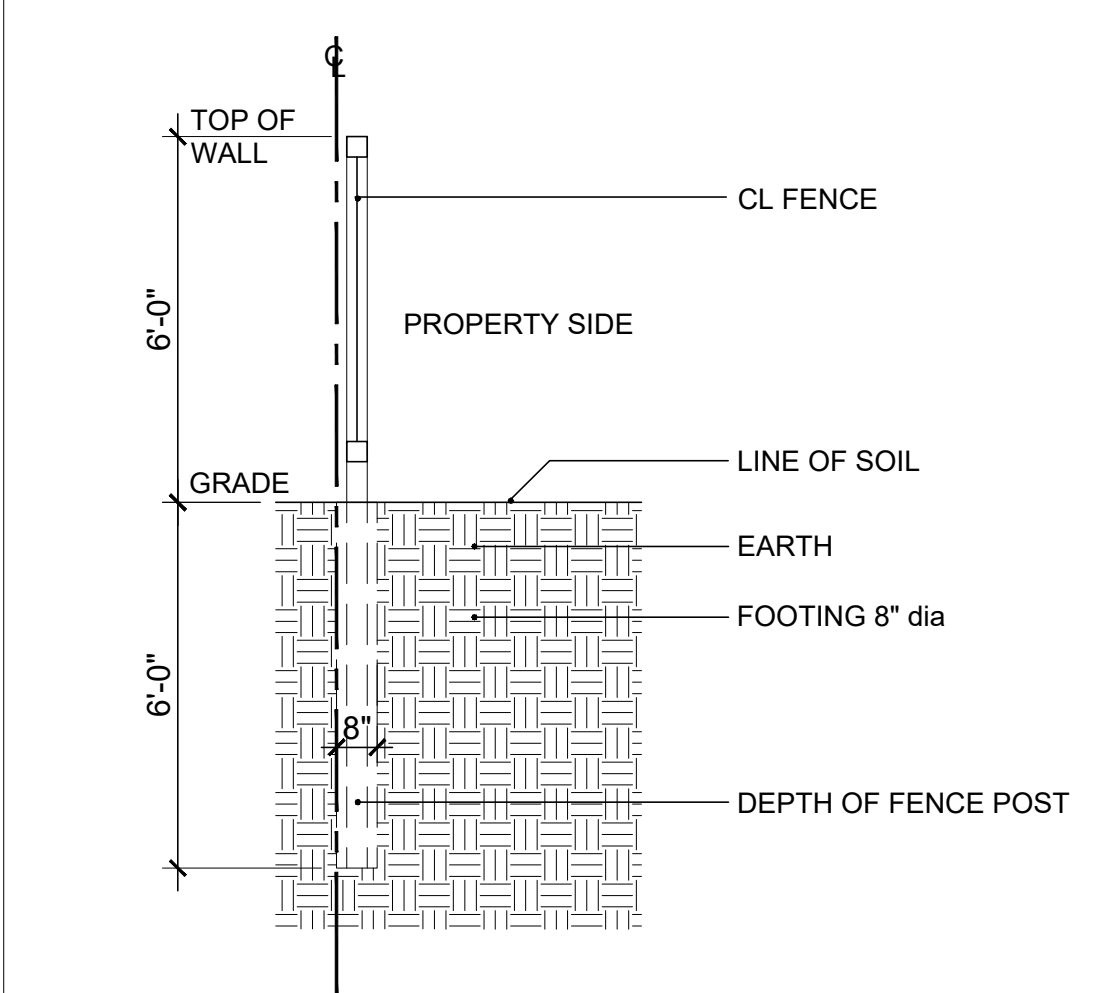
NOTES:
 1. GRADE OF PLANTING: BELOW ADJACENT DRIVEWAY/WALKWAY AREAS
 2. MULCH SPECIFICATION: MELALEUCA, EUCALYPTUS OR ENVIROMULCH ONLY UNDER ALL TREES / SHRUBS. SEE NOTE #10 ON SHEET L101
 3. THERE ARE NO EXISTING TRESS ON SITE.

2 Landscape Schedule & Notes
 SCALE: NTS

REFER TO PROVIDED LANDSCAPE LEGEND FORM (see sheet A100 for additional area breakdown)



3 A-Concrete Fence Sides
 SCALE: NTS



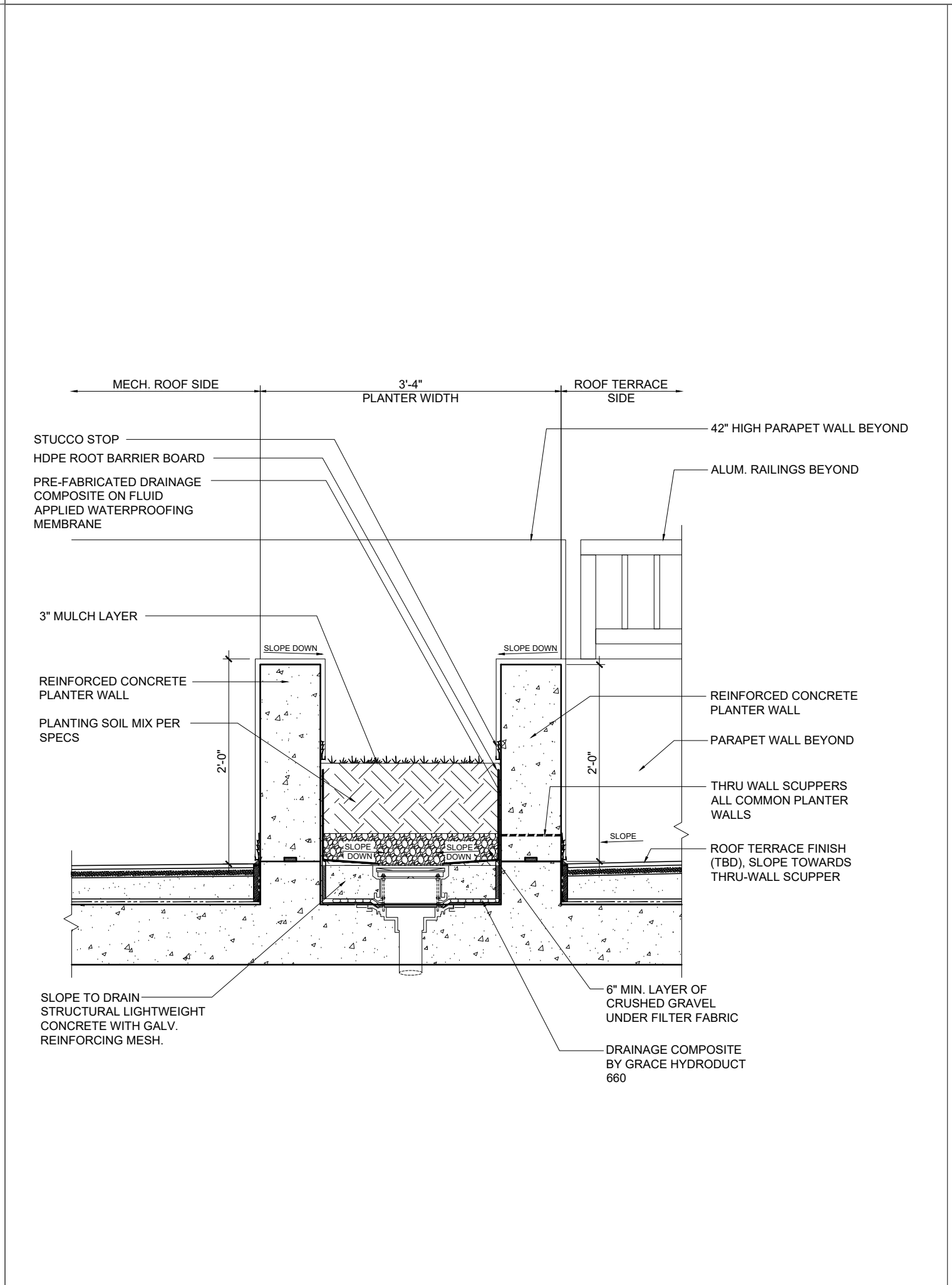
4 B-CL Fence Rear
 SCALE: NTS

ASPR SET 12-21-2023
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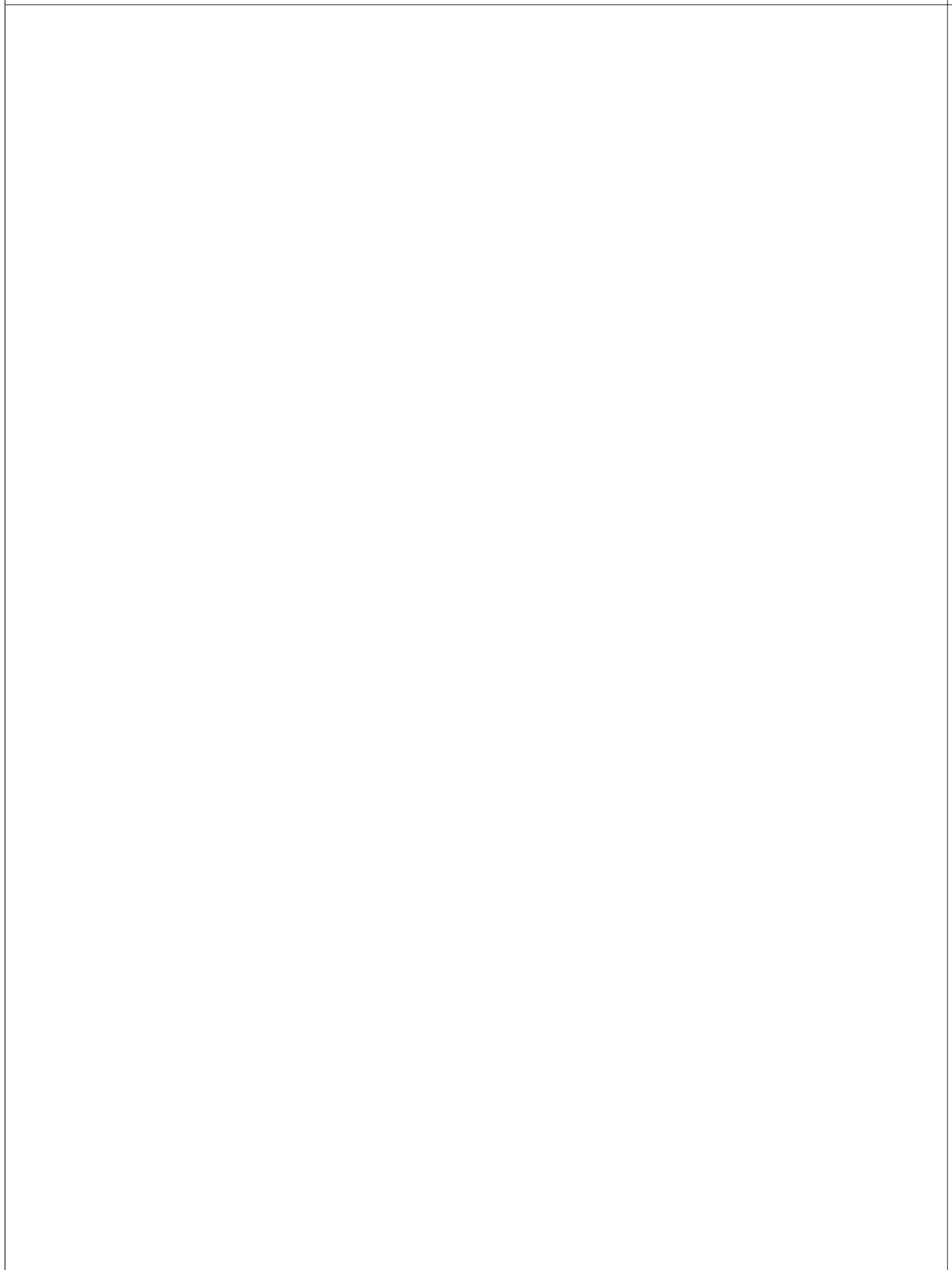
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Landscape Plans

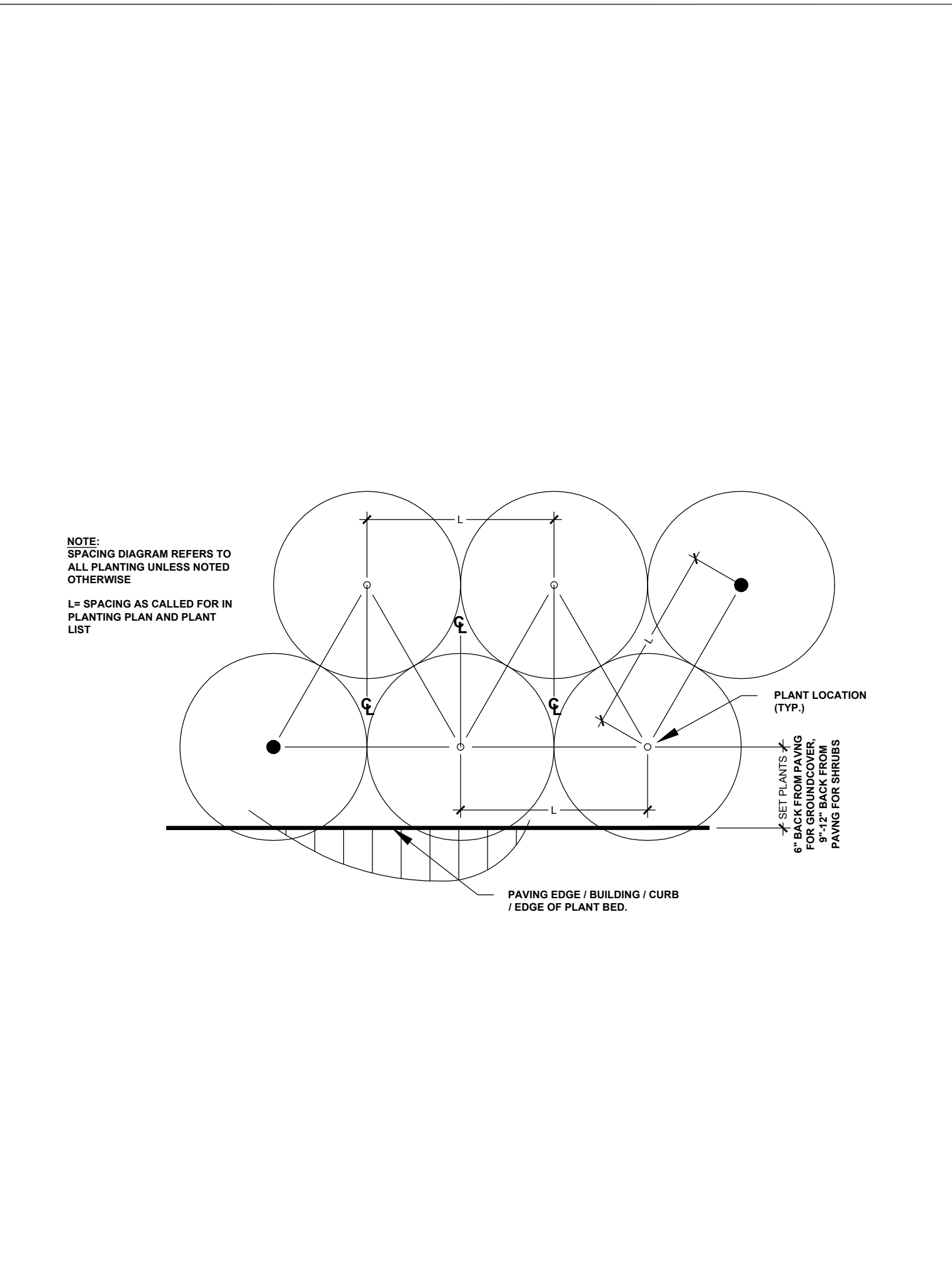
L100



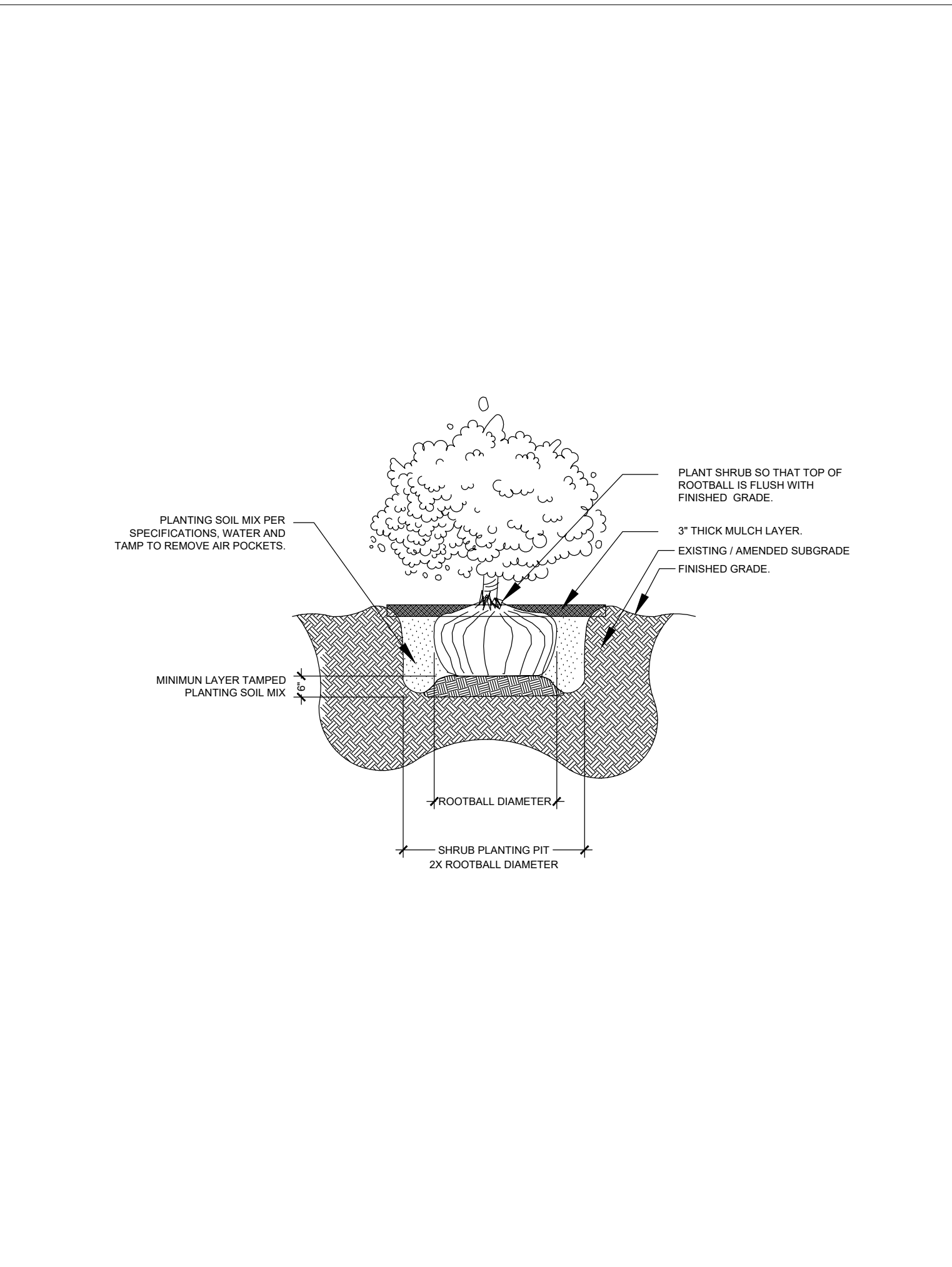
1 Typical Planting Detail @ Roof Terrace
SCALE: NTS



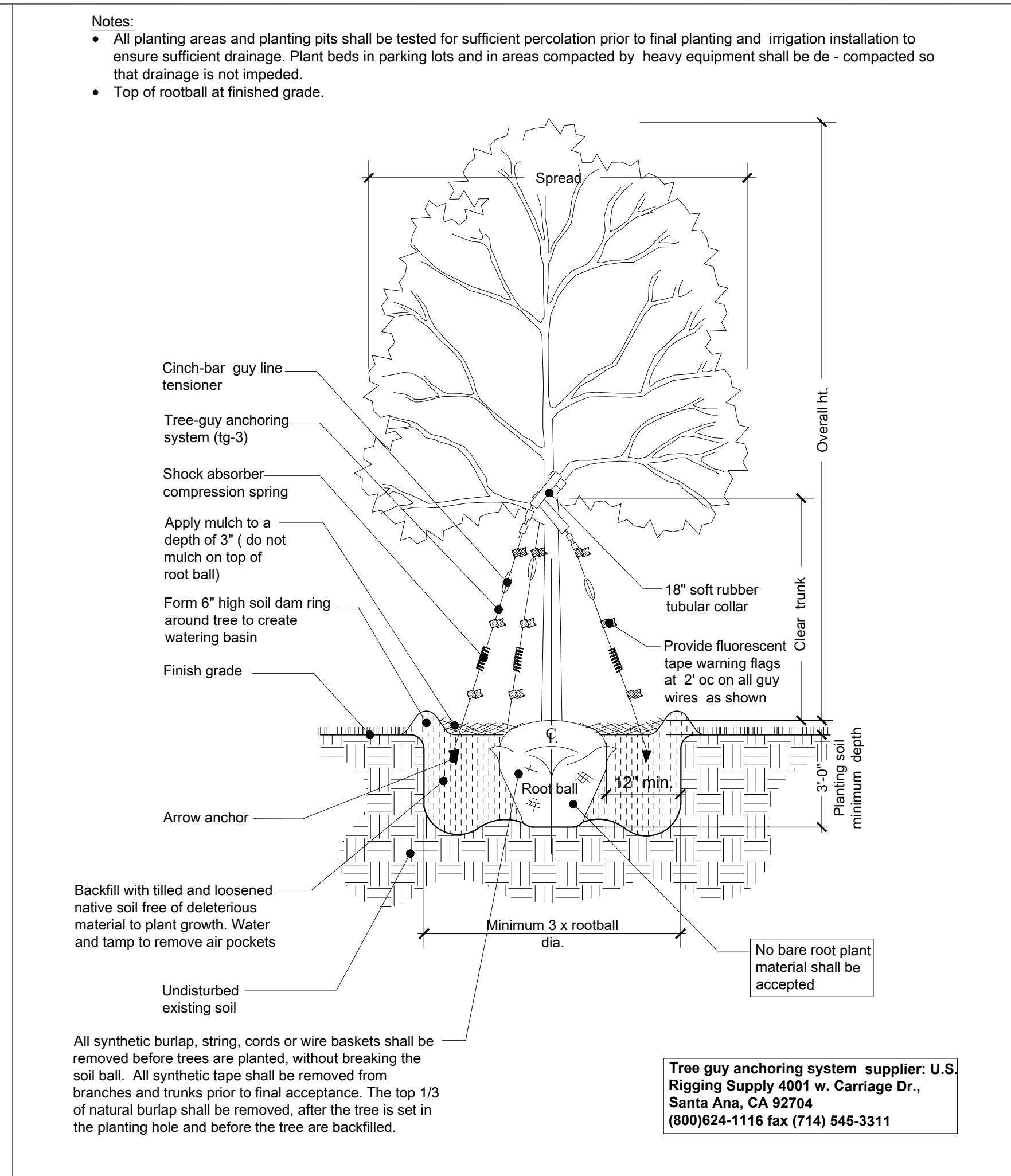
5 Not Used
SCALE: NTS



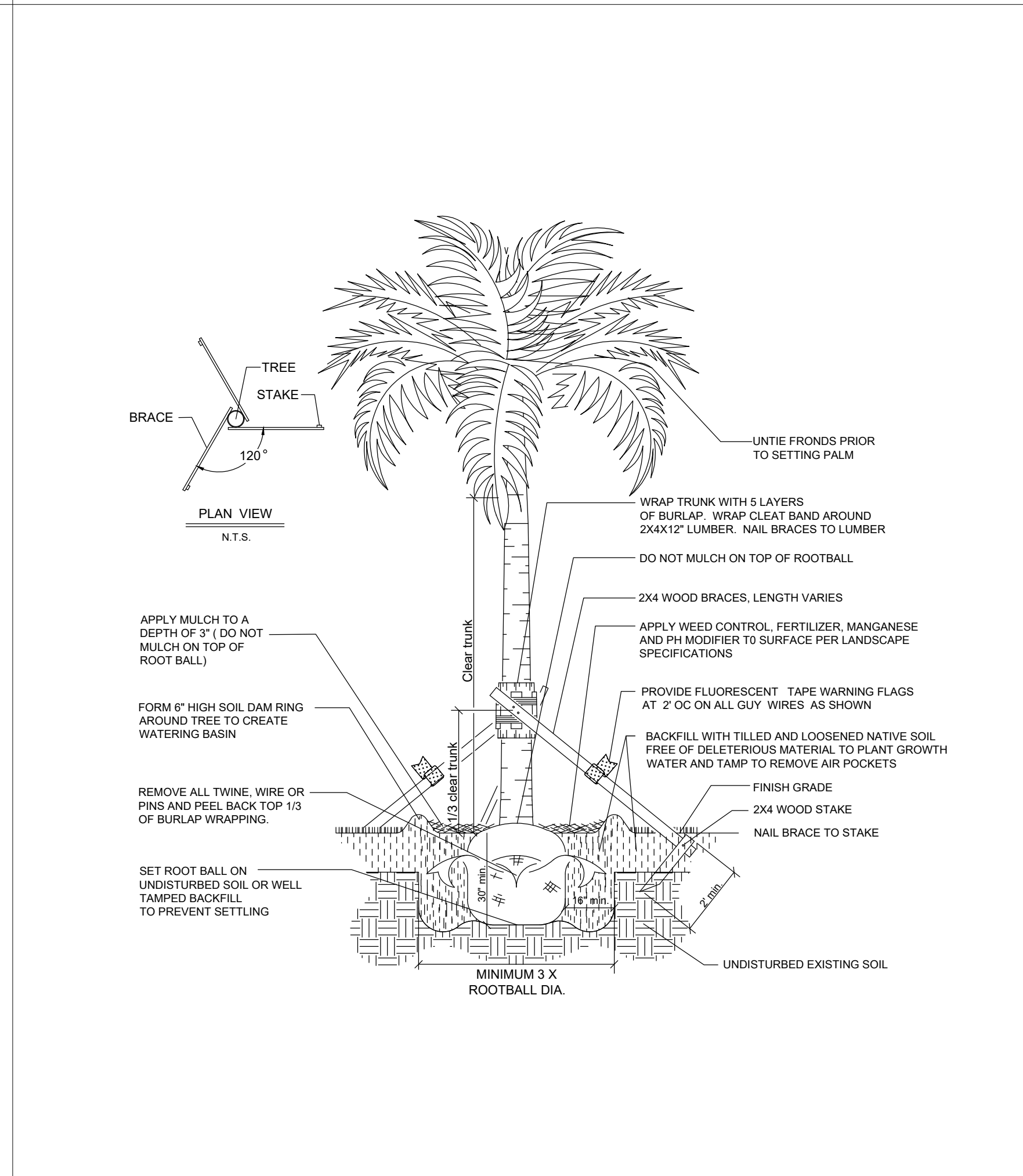
2 Shrub Planting Detail
SCALE: NTS



6 Shrub Planting Detail
SCALE: NTS



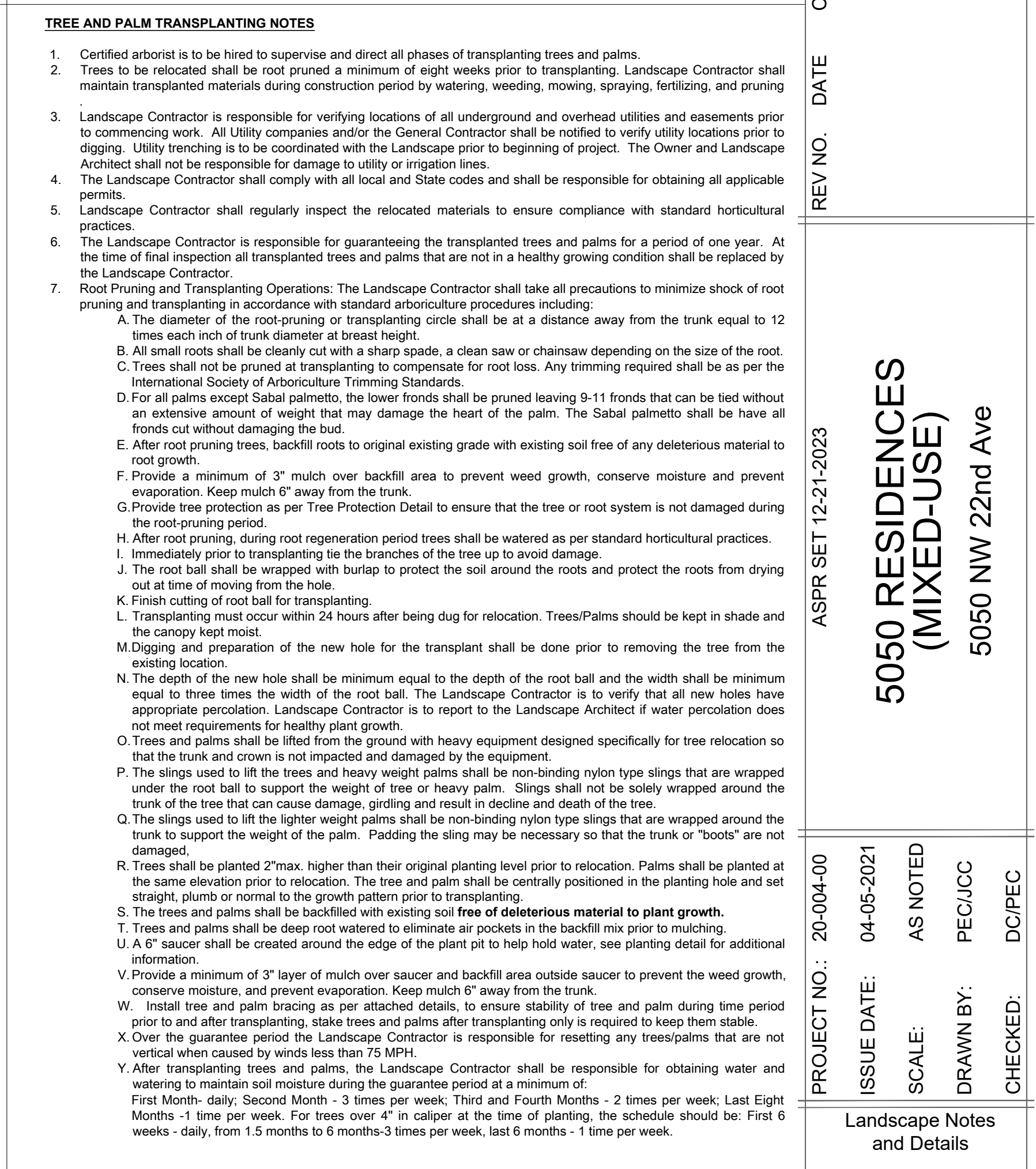
3 Tree Planting Detail
SCALE: NTS



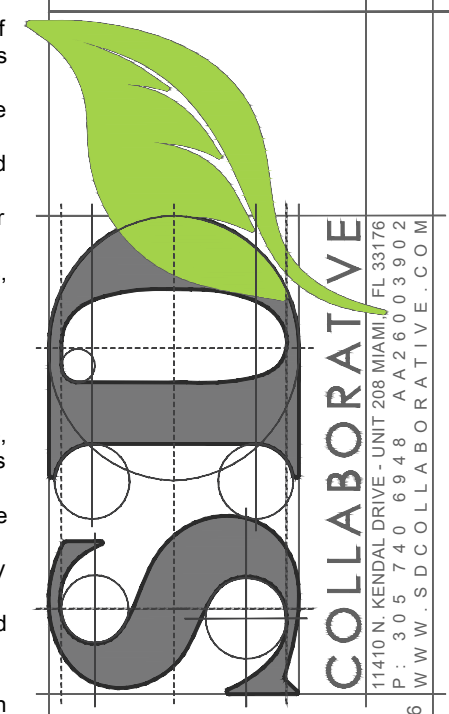
7 Palm Planting Detail
SCALE: NTS



4 General Planting Notes
SCALE: NTS



8 Planting General Notes
SCALE: NTS



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DULCE M. CONDE, RA, ARCHITECT ARO010803
11115 N. CENTRAL AVENUE, SUITE 400
DENVER, CO 80202
P: 303.733.1111
F: 303.733.1112
WWW.SDCOLLABORATIVE.COM

REV NO.	DATE	COMMENTS
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Landscaping Notes and Details
L101