

Site Alignment Plan
scale: 1" = 20'-0"

- SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYING, DATED MARCH 28, 2018 (UPDATED FEB 14, 2024)
1. ALL ELEVATIONS BASED ON NAV DATUM 88
 2. METES AND BOUNDS ARE FROM A SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYOR, DATED MARCH 28, 2018 (UPDATED FEB 14, 2024).
 3. CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT OWNER'S EXPENSE.
 4. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
 5. OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
 6. CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
 7. PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
 8. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
 9. ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
 10. NEW STRUCTURE SHALL BE CONNECTED TO THE EXISTING SUFFOLK COUNTY SEWER SYSTEM - WATER SAVING FIXTURES TO BE UTILIZED.

Site Notes

11. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RCA IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, 'SOLID WASTE MANAGEMENT FACILITIES'.
12. LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2BF OR ITEM 25B.
13. ALL CONSTRUCTION AND DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
14. THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATION, SECTION P5 SHALL BE FOLLOWED.
15. APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
16. REFUSE FACILITIES SHALL BE MAINTAINED BY THE OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. OWNER/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
17. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

Parking Calculations

PROFESSIONAL OFFICE= 1 PER 200 SF GROSS FLOOR AREA
EXISTING FIRST FLOOR OFFICE (1656.56 SF), BASEMENT(887.72 SF) AND ATTIC (288 SF); 2,832.28 SQ FT/200 = 14.16 SPACES REQUIRED

APARTMENT HOUSES OR GARDEN APT= 1.75 PER DWELLING UNIT
EXISTING SECOND FLOOR APARTMENT (840.15 SF); 1.75 SPACES REQUIRED

APARTMENT HOUSES OR GARDEN APT= 1.75 PER DWELLING UNIT
NEW MULTI-FAMILY ADDITION; 8 UNITS X 1.75 PER UNIT = 14 SPACES REQUIRED

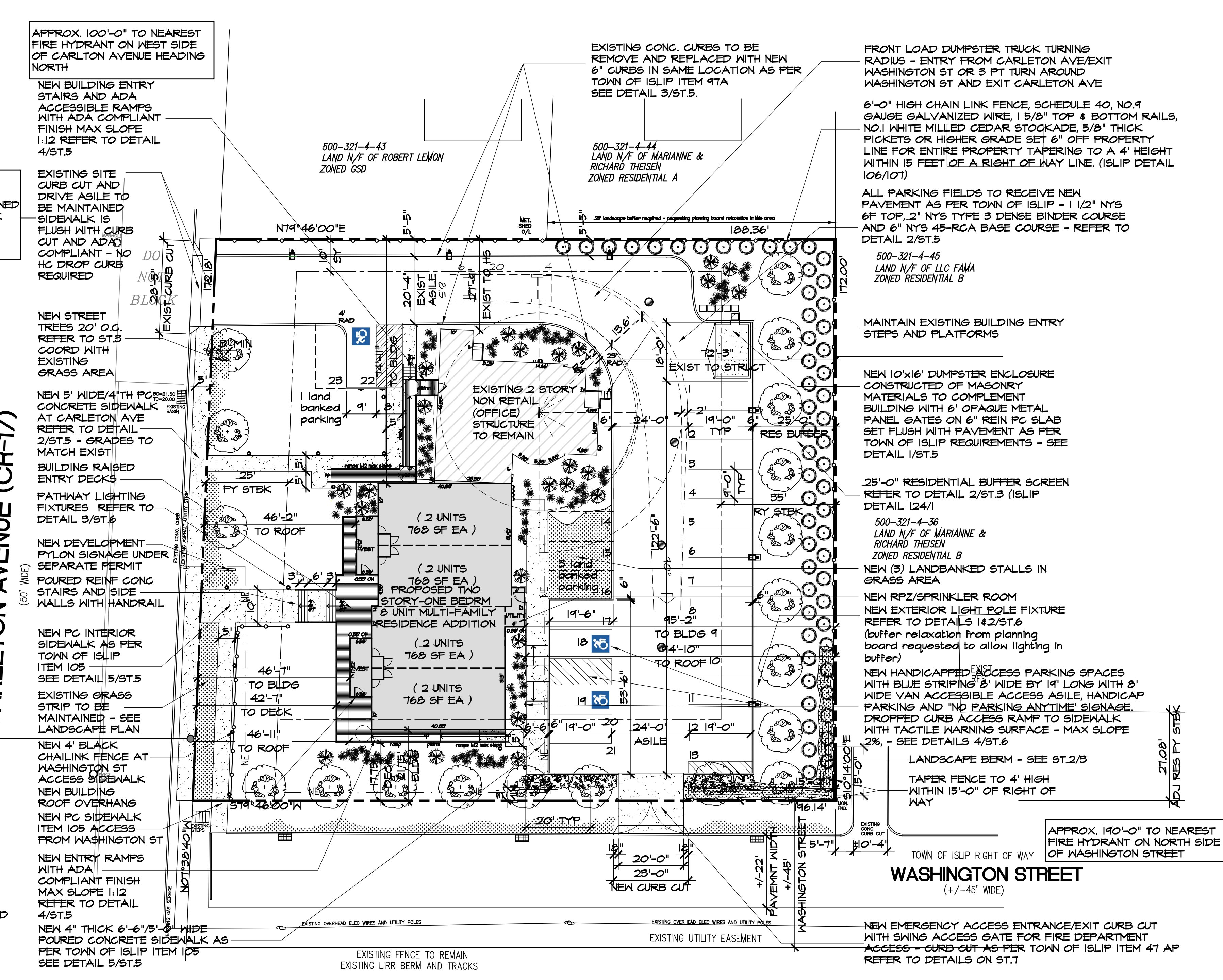
TOTAL REQUIRED PARKING SPACES = 14.16 + 1.75 + 14 = 29.91 = 30
TOTAL PARKING SPACES PROVIDED= 23 (INCLUDING THREE ADA HC SPACES AND FOUR LANDBANKED STALLS)

SC Health Department Calculations

HOUSING UNIT (APARTMENT) >1,200 SQFT GROSS FL AREA: 300 GPD/UNIT
300 GPD X 8 UNITS = 2,400 GPD

TOTAL SANITARY DISCHARGE = 2,400 GPD

PROPOSED BUILDING TO BE CONNECTED TO THE SUFFOLK COUNTY SEWER SYSTEM.



Property Information

155 CARLETON AVENUE
EAST ISLIP, NEW YORK

SCTM: 0500 - 346 - 02 - 001
ZONE: GENERAL SERVICE T DISTRICT

PROPERTY OWNER
E & J LAND DEVELOPMENT, LLC
C/O JOY MOONEY-GRAZIANO
27 TERRA FINES GATE
YAPHANK, NY 11980
631-581-8105

APPLICANT
BUZZELLI, BLANDA & VISCONTI
535 BROADHOLLOW RD SU B-4
MELVILLE, NY
631-492-1334

Building / Site Information

TOTAL SITE AREA: 33,066.74 SF (0.754 ACRES)

TOTAL BUILDING FOOTPRINT: 5,017.4 SF
EXISTING NON-RETAIL (OFFICE) BUILDING: 1,656.56 SF
PROPOSED MULTI-FAMILY RESIDENCE ADDITION: 3,360.84 SF

TOTAL LANDSCAPING AREA: 18,168.09 SF

TOTAL PAVED/CONC AREA: 9,881.25 SF

TOTAL LANDSCAPED BUFFER: 12,611.65 SF (6,613.35 SF REQUIRED)
LANDSCAPE AREA RESIDENTIAL BUFFER: 4,961.53 SF (NOT INCL IN TOTAL)
LANDSCAPE AREA WITH OUT RESIDENTIAL BUFFER: 8,321.75 SF (25.2% > 20%)
LANDSCAPE AREA OF FRONT YARD: 4,289.9 SF (13.0% > 10%) (INCL. WASHINGTON AVE FRONTAGE)

CONSTRUCTION CLASSIFICATION: TYPE 5
OCCUPANCY CLASSIFICATION: R-3

Zoning Calculations

SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK (CARLETON)	25'	42.66'
FRONT YARD SETBACK (WASHINGTON)	25'	17.75' TO DECK / 21.75' TO BLDG*
SIDE YARD MIN SETBACK	10'	14.91'
TOTAL SY SETBACK	20'	N/A
REAR YARD SETBACK	35'	45.16'
BUILDING HEIGHT	35' (2 1/2 STOR)	30'-0"
BUILDING FAR	25%	30.66%**

*FAR CALCULATIONS:

EXISTING NON-RETAIL (OFFICE) STRUCTURE:	BASEMENT=	887.72 SF
	FIRST FL=	1,656.56 SF
	SECOND FL=	840.15 SF
	ATTIC =	288 SF
	TOTAL =	3,672.43 SF

PROPOSED MULTI-FAMILY RESIDENCE ADDITION:	FIRST FL=	3,360.84 SF
	ROOFED OVER AREAS = <th>0 SF(a)</th>	0 SF(a)
	SECOND FL= <th>3,110.19 SF</th>	3,110.19 SF
	ATTIC = <th>405 SF(b)</th>	405 SF(b)
	TOTAL = <th>6,471.03 SF</th>	6,471.03 SF

(a) DECKS, RAMPS & STAIRS NOT ROOFED OVER = 770.04 SF (NOT INCL. IN GFA PER 68-3(2)(b))
(b) ATTIC AREA UNDER ROOF FLOOR-TO-CEILING HEIGHT IS LESS THAN FOUR FEET SIX INCHES NOT INCL. IN GFA AS PER 68-3(1)(h).

EXIST NON-RETAIL (OFFICE) FAR (11.0%) + PROPOSED MULTI-FAMILY RESIDENCE ADDITION FAR (4.56%) + TOTAL PROPOSED FAR= 30.66% > 25%**

* REQUIRED FRONT YARD SETBACK VARIANCE TO REDUCE REQUIRED FY SETBACK ALONG WASHINGTON STREET FROM 25' TO 21.75'

** REQUIRES A FLOOR AREA RATIO VARIANCE TO ALLOW A BUILDING EXPANSION IN EXCESS OF 25% AS PER SECTION 68-44B

ARTICLE XLC. USE DISTRICT REGULATIONS. GENERAL SERVICE T DISTRICT 68-44B PERCENTAGE OF LOT OCCUPANCY PARAGRAPH B:

A MINIMUM OF 75% OF THE GROSS FLOOR AREA OF THE FIRST FLOOR SHALL BE COMPRISED OF NON-RETAIL COMMERCIAL SPACE FOR A MIXED USE BUILDING. FOR EXISTING STRUCTURES, THIS REQUIREMENT MAY BE REDUCED BY THE PLANNING BOARD IF IT DETERMINED THAT A PARKING RELAXATION WOULD BE MITIGATED WITH MORE DWELLING UNITS. IN NO EVENT SHALL THE COMMERCIAL SPACE COMPRISE LESS THAN 50% OF THE FIRST FLOOR.

TOTAL GROSS FIRST FLOOR AREA OF MIXED USE BUILDING: 5,017.40
TOTAL GROSS FIRST FLOOR AREA OF NON-RETAIL COMMERCIAL SPACE: 1,656.56
TOTAL GROSS FIRST FLOOR AREA OF MULTI-FAMILY RESIDENTIAL SPACE: 3,360.84

PERMISSION GRANTED TO ERECT TWO STORY ADDITION ADDING 8 RESIDENTIAL UNITS TO EXISTING MIXED USE BUILDING RESULTING IN FLOOR AREA RATION OF 30.66% INSTEAD OF PERMITTED 27.5% AND TO MAINTAIN 33.02% NON-RETAIL COMMERCIAL SPACE (OFFICE) ON FIRST FLOOR INSTEAD OF REQUIRED 75%.

SECOND FRONT YARD (WASHINGTON ST) TO HAVE 21.75' TO BUILDING AND 17.75' TO DECK INSTEAD OF REQUIRED 25'.

Spaces
architecture

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www.spacesarchitects.com

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2015 SPACES

REV	AS PER PLAN	DATE	DESCRIPTION
1/1/24	REV AS PER PLAN	1/1/24	REV AS PER PLAN
2/1/24	REV AS PER PLAN	2/1/24	REV AS PER PLAN
3/1/24	REV AS PER PLAN	3/1/24	REV AS PER PLAN
4/1/24	REV AS PER PLAN	4/1/24	REV AS PER PLAN
5/1/24	REV AS PER PLAN	5/1/24	REV AS PER PLAN
6/1/24	REV AS PER PLAN	6/1/24	REV AS PER PLAN

NO.	DATE	DESCRIPTION
1	7/50/20	REV/ISSUED FOR BLDG DEFT DENIAL
2	5/19/20	REV/ISSUED FOR OWNER/EXA APPR.
3	6/14/19	REV/ISSUED FOR PLAN DEFT APPR.
4	9/29/19	REV/ISSUED FOR PLAN DEFT APPR.
5	6/4/18	ISSUED FOR PLAN DEFT APPROVAL

project New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY

drawing Site Alignment Plan

project no. 17015
project date 03/17
scale AS NOTED
drawn by GRB
checked by GRB/CL
seal

George Badger, RA
Charles Lembo, RA

drawing number ST.1

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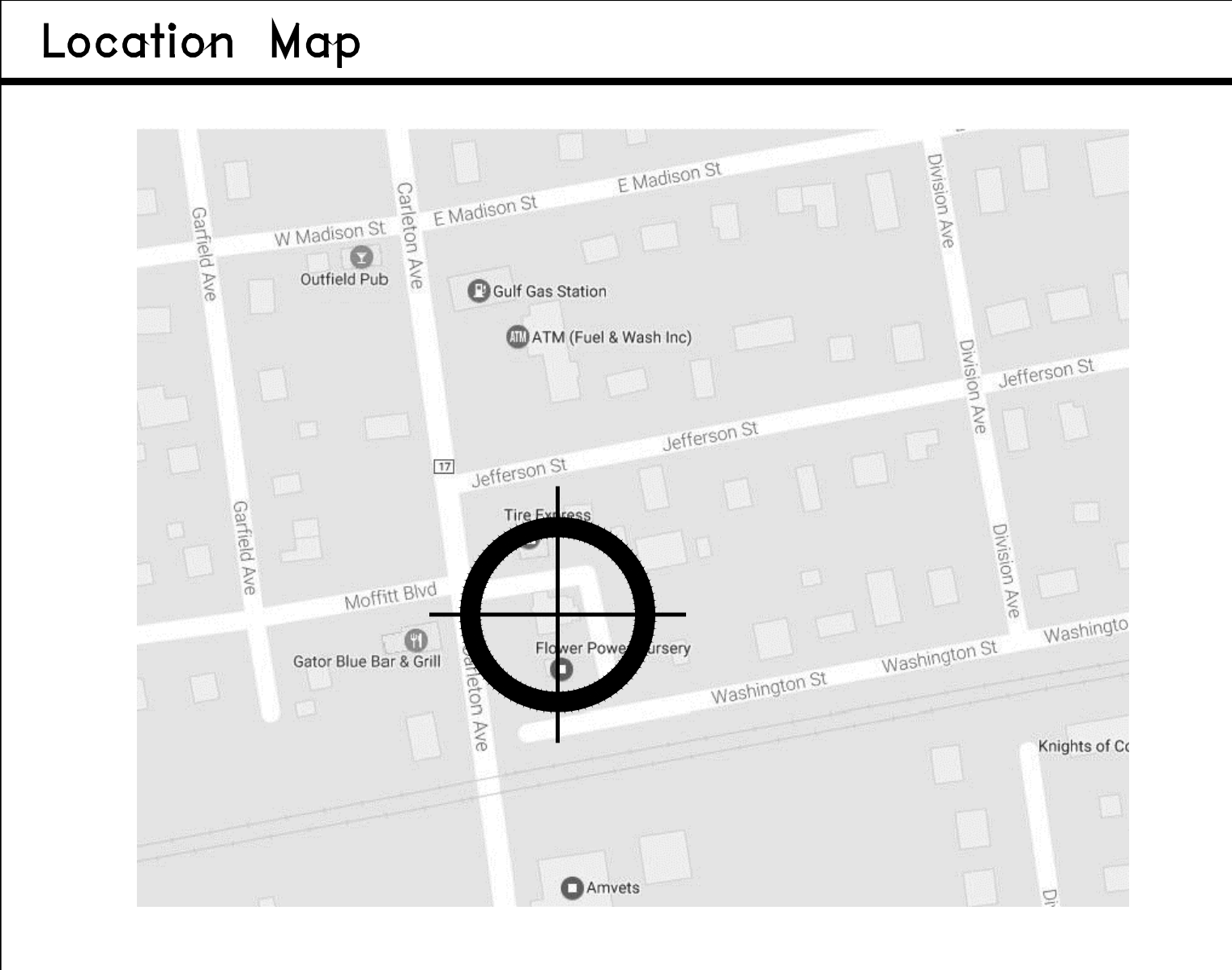
no.	date	description
1	3/10/20	REV PER OWNER/BCA APPR.
2	10/9/19	REV PER PLAN DEPT MEETING
3	6/14/19	REV/ISSUED FOR PLAN DEPT APPR
4	9/29/19	REV/ISSUED FOR PLAN DEPT APPR
5	6/4/18	ISSUED FOR PLAN DEPT APPROVAL

project	description
New Mixed Use Building	
E&J Land Development, LLC	
155 Carleton Avenue	
East Islip, NY	
drawing	

project no.	17015
project date	03/17
scale	AS NOTED
drawn by	GRB
checked by	GRB/CL
seal	
drawing number	

George Badger, RA
 Charles Lembo, RA
 drawing number

ST.Z.1



Property Information	
155 CARLETON AVENUE EAST ISLIP, NEW YORK	PROPERTY OWNER E & J LAND DEVELOPMENT, LLC C/O JOY MOONEY-GRAZIANO 27 TERRA PINES GATE YAPHANK, NY 11980 631-581-8105
SCTM: 0500 - 346 - 02 - 001 ZONE: GENERAL SERVICE T DISTRICT	APPLICANT BUZZELL, BLANDA & VISCONTI 535 BROADHOLLOW RD SU B-4 MELVILLE, NY 631-442-1334

Building / Site Information	
TOTAL SITE AREA:	33,066.74 SF (0.754 ACRES)
TOTAL BUILDING FOOTPRINT:	5,017.4 SF
EXISTING NON-RETAIL (OFFICE) BUILDING:	1,656.56 SF
PROPOSED MULTI-FAMILY RESIDENCE ADDITION:	3,360.84 SF
TOTAL LANDSCAPING AREA:	18,168.09 SF
TOTAL PAVED/CONC AREA:	4,881.25 SF
TOTAL LANDSCAPED BUFFER:	12,611.65 SF (6,613.35 SF REQUIRED)
LANDSCAPE AREA RESIDENTIAL BUFFER:	4,961.53 SF (NOT INCL IN TOTAL)
LANDSCAPE AREA WITH OUT RESIDENTIAL BUFFER:	8,321.75 SF (25.2% > 20%)
LANDSCAPE AREA OF FRONT YARD:	4,284.9 SF (13.0% > 10%) (INCL. WASHINGTON AVE FRONTAGE)
CONSTRUCTION CLASSIFICATION:	TYPE 5
OCCUPANCY CLASSIFICATION:	R-3

Zoning Calculations		
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK (CARLETON)	25'	42.66'
FRONT YARD SETBACK (WASHINGTON)	25'	17.75' TO DECK / 21.75' TO BLDG*
SIDE YARD MIN SETBACK	10'	74.91'
TOTAL SY SETBACK	20'	N/A
REAR YARD SETBACK	35'	95.16'
BUILDING HEIGHT	35' (2 1/2 STOR)	30'-0"
BUILDING FAR	25%	30.66%**

*FAR CALCULATIONS:	
EXISTING NON-RETAIL (OFFICE) STRUCTURE:	BASEMENT = 887.72 SF FIRST FL = 1,656.56 SF SECOND FL = 840.15 SF ATTIC = 288 SF TOTAL = 3,672.43 SF
PROPOSED MULTI-FAMILY RESIDENCE ADDITION:	FIRST FL = 3,360.84 SF ROOFED OVER AREAS = 0 SF(a) SECOND FL = 3,110.19 SF ATTIC = 408 SF(b) TOTAL = 6,471.03 SF
(a) DECKS, RAMPS & STAIRS NOT ROOFED OVER = 710.04 SF (NOT INCL. IN GFA PER 68-3(2)(b))	
(b) ATTIC AREA UNDER ROOF FLOOR-TO-CEILING HEIGHT IS LESS THAN FOUR FEET SIX INCHES NOT INCL. IN GFA AS PER 68-3(1)(h).	

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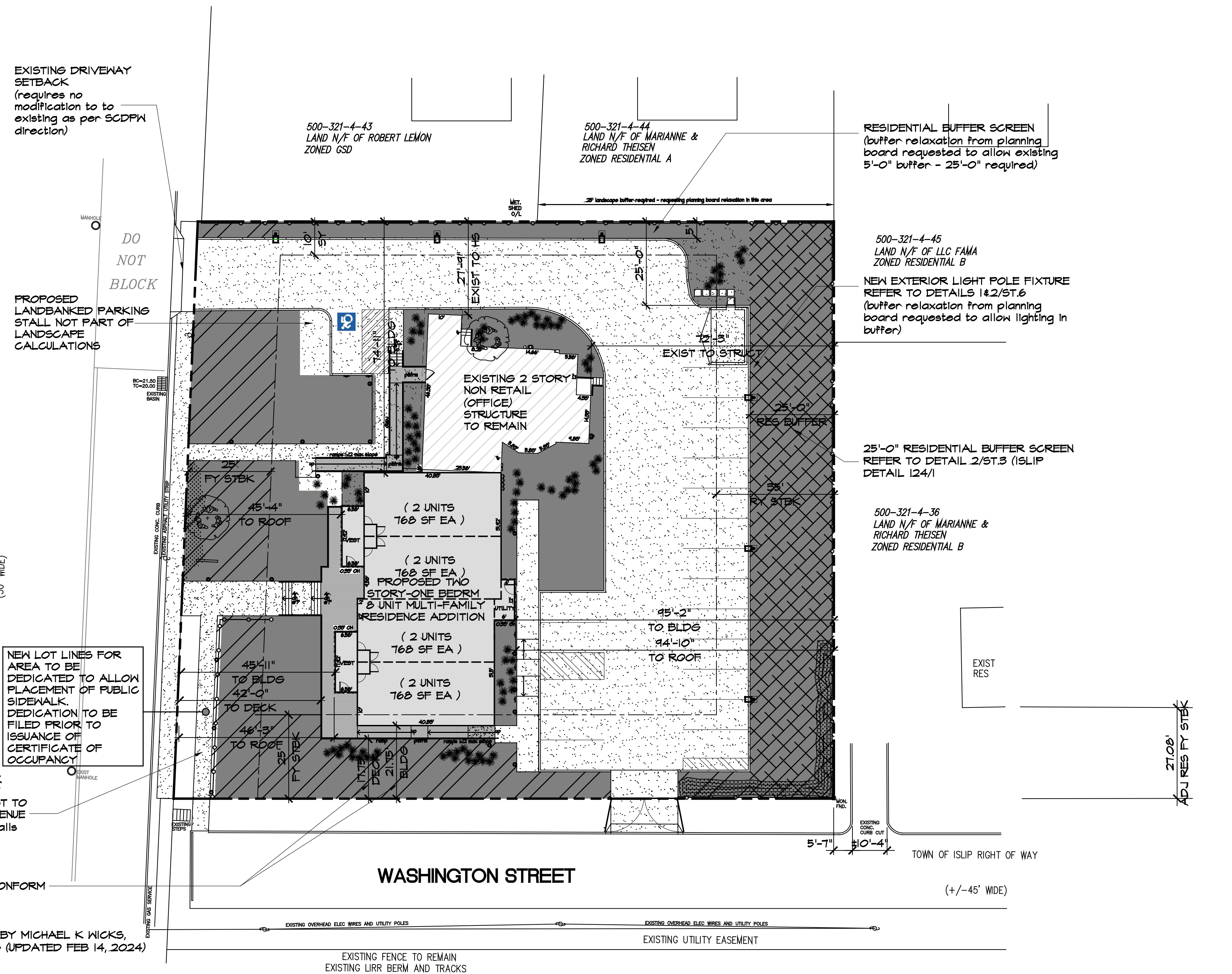
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 TOTAL GROSS FIRST FLOOR AREA OF MULTI-FAMILY RESIDENTIAL SPACE: 3,360.84

VARIANCES GRANTED UNDER ZBA APPLICATION #716-19 - SEPTEMBER 14, 2020

PERMISSION GRANTED TO ERECT TWO STORY ADDITION ADDING 8 RESIDENTIAL UNITS TO EXISTING MIXED USE BUILDING RESULTING IN FLOOR AREA RATIO OF 30.66% INSTEAD OF PERMITTED 21.5% AND TO MAINTAIN 53.02% NON-RETAIL COMMERCIAL SPACE (OFFICE) ON FIRST FLOOR INSTEAD OF REQUIRED 75%.

SECOND FRONT YARD (WASHINGTON ST) TO HAVE 21.75' TO BUILDING AND 17.75' TO DECK INSTEAD OF REQUIRED 25'.

SP2018-057



Site Zoning Plan
 scale: 1" = 20'-0"
 DIMENSIONS CONFORM TO ZBA#716-19 APPROVAL
 SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYING, DATED MARCH 28, 2018 (UPDATED FEB 14, 2024)

Legend	
	INDICATES EXISTING NON RETAIL (OFFICE) STRUCTURE TO REMAIN
	INDICATES PROPOSED TWO STORY 8 UNIT MULTI-FAMILY ADDITION
	INDICATES PROPOSED NEW DECKS, STAIRS AND ADA RAMPS
	INDICATES LANDSCAPED AREAS 12,611.65 SF (6,613.35 SF REQD)
	INDICATES RESIDENTIAL BUFFER LANDSCAPED AREA 4,961.53 SF
	INDICATES LANDSCAPED AREA IN FRONT YARD SETBACK (INCL. WASHINGTON AVENUE FRONTAGE) 4,284.9 SF
	INDICATES PAVED AND CONCRETE AREAS

Zoning 68-493 Percentage of Lot Occupancy

EXIST NON-RETAIL (OFFICE) FAR (11.10%) + PROPOSED MULTI-FAMILY RESIDENCE ADDITION FAR (19.56%) + TOTAL PROPOSED FAR = 30.66% > 25%**

* REQUIRED FRONT YARD SETBACK VARIANCE TO REDUCE REQUIRED FY SETBACK ALONG WASHINGTON STREET FROM 25' TO 21.75'

** REQUIRES A FLOOR AREA RATIO VARIANCE TO ALLOW A BUILDING EXPANSION IN EXCESS OF 25% AS PER SECTION 68-493

ARTICLE XLC. USE DISTRICT REGULATIONS: GENERAL SERVICE T DISTRICT 68-493 PERCENTAGE OF LOT OCCUPANCY PARAGRAPH B.

A MINIMUM OF 75% OF THE GROSS FLOOR AREA OF THE FIRST FLOOR SHALL BE COMPRISED OF NON-RETAIL COMMERCIAL SPACE FOR A MIXED USE BUILDING. FOR EXISTING STRUCTURES, THIS REQUIREMENT MAY BE REDUCED BY THE PLANNING BOARD IF IT DETERMINED THAT A PARKING RELAXATION WOULD BE MITIGATED WITH MORE DWELLING UNITS. IN NO EVENT SHALL THE COMMERCIAL SPACE COMPRISE LESS THAN 50% OF THE FIRST FLOOR.

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PERMISSION GRANTED TO ERECT TWO STORY ADDITION ADDING 8 RESIDENTIAL UNITS TO EXISTING MIXED USE BUILDING RESULTING IN FLOOR AREA RATIO OF 30.66% INSTEAD OF PERMITTED 21.5% AND TO MAINTAIN 53.02% NON-RETAIL COMMERCIAL SPACE (OFFICE) ON FIRST FLOOR INSTEAD OF REQUIRED 75%.

SECOND FRONT YARD (WASHINGTON ST) TO HAVE 21.75' TO BUILDING AND 17.75' TO DECK INSTEAD OF REQUIRED 25'.

Site Zoning Plan
 scale: 1" = 20'-0"
 DIMENSIONS CONFORM TO ZBA#716-19 APPROVAL
 SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYING, DATED MARCH 28, 2018 (UPDATED FEB 14, 2024)

Legend

INDICATES EXISTING NON RETAIL (OFFICE) STRUCTURE TO REMAIN

INDICATES PROPOSED TWO STORY 8 UNIT MULTI-FAMILY ADDITION

INDICATES PROPOSED NEW DECKS, STAIRS AND ADA RAMPS

INDICATES LANDSCAPED AREAS 12,611.65 SF (6,613.35 SF REQD)

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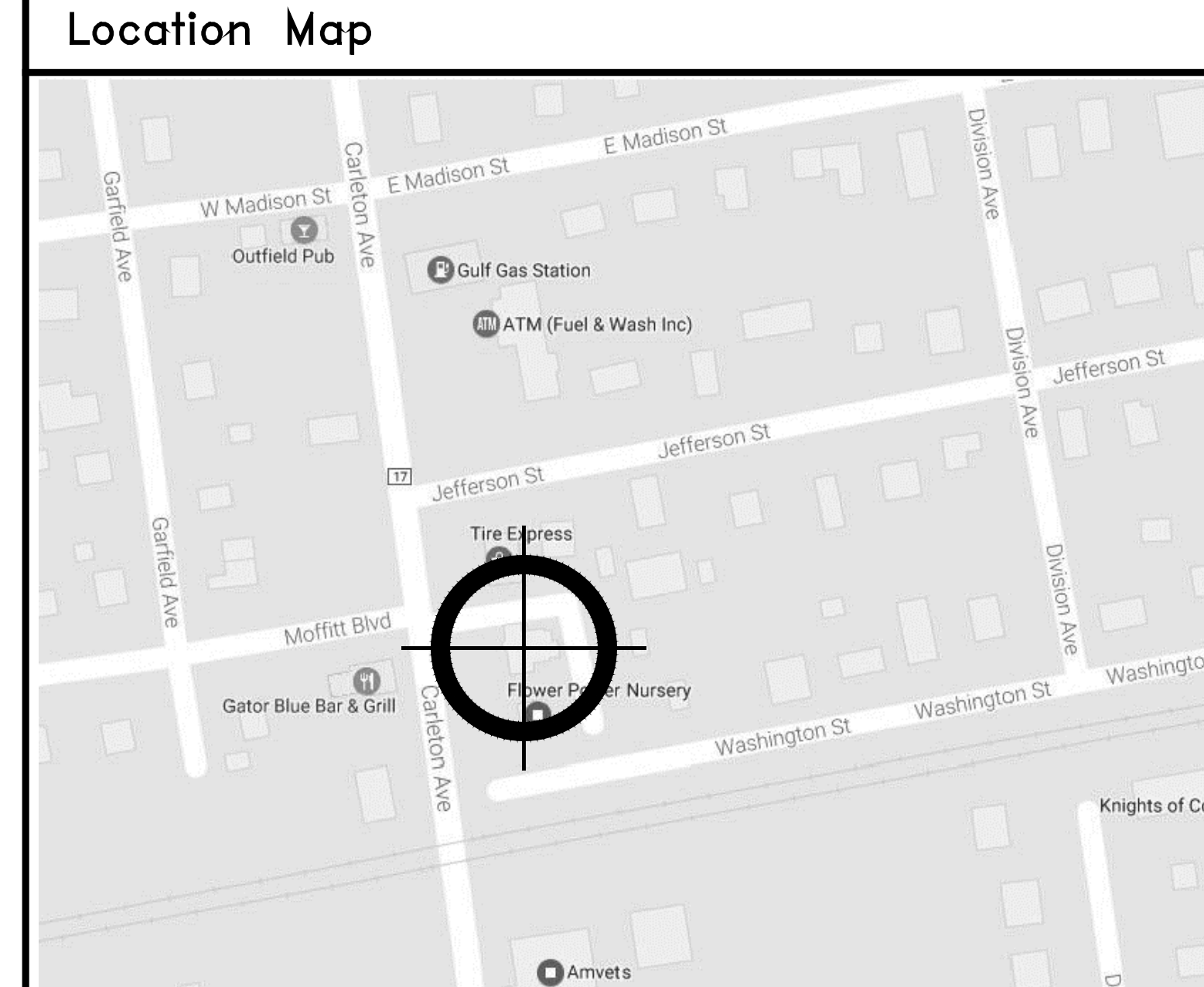
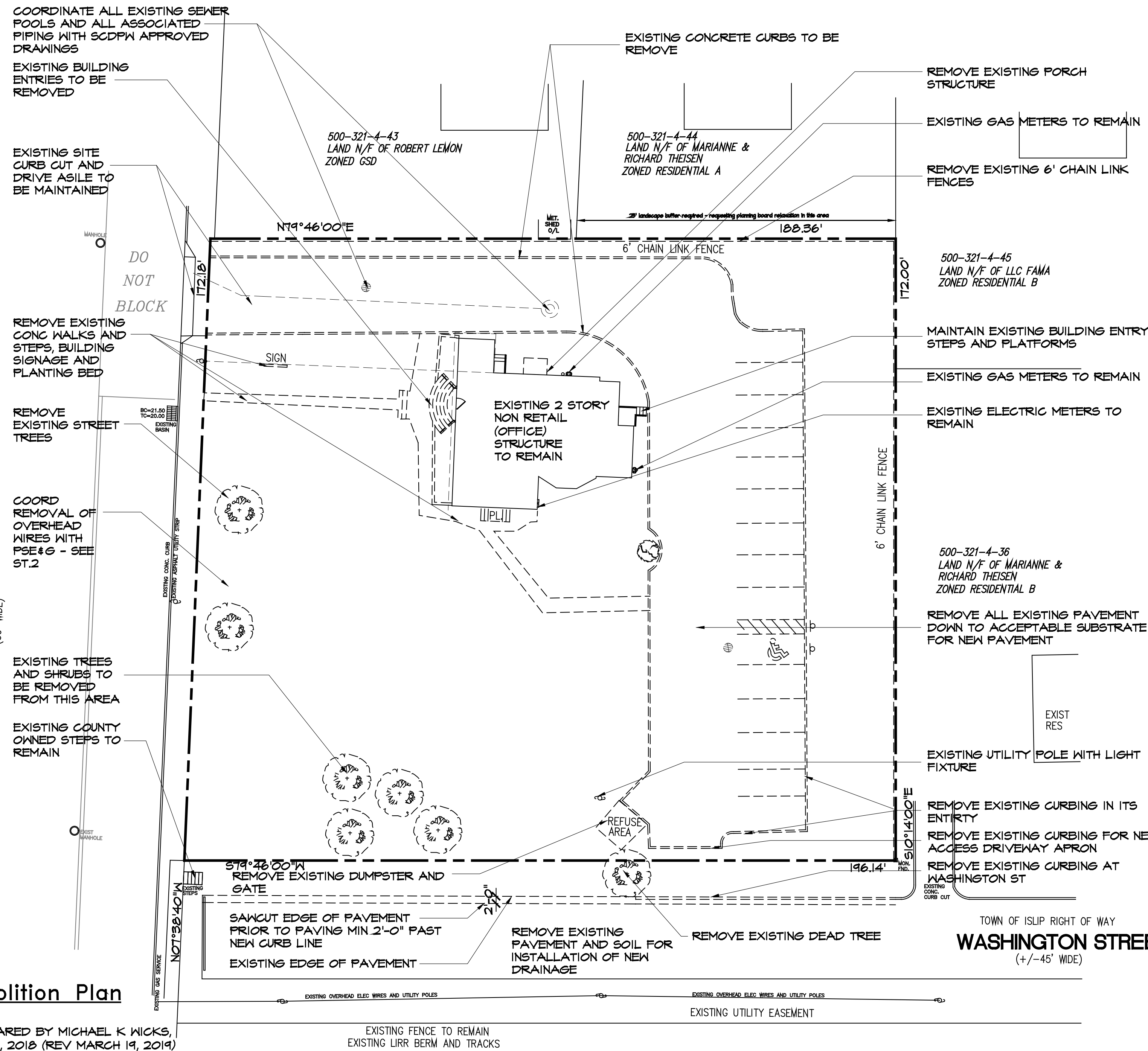
INDICATES PAVED AND CONCRETE AREAS

SP2018-057

Site Alignment Demolition Plan

scale: 1" = 20'-0"

SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYING, DATED MARCH 28, 2018 (REV MARCH 19, 2019)



Property Information

155 CARLETON AVENUE EAST ISLIP, NEW YORK SGTM: 0500 - 346 - 02 - 001 ZONE: GENERAL SERVICE T DISTRICT	PROPERTY OWNER E & J LAND DEVELOPMENT, LLC C/O JOY MOONEY-GRAZIANO 27 TERRA PINES GATE YAPHANK, NY 11980 631-581-8105 APPLICANT BUZZELL, BLANDA & VISCONTI 595 BROADHOLLOW RD SU B-4 MELVILLE, NY 631-492-1334
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Existing Building / Site Information

TOTAL SITE AREA:	33,066.74 SF (0.751 ACRES)
EXISTING BUILDING FOOTPRINT:	1,656.56 SF
*FAR CALCULATIONS:	
EXISTING NON-RETAIL (OFFICE) STRUCTURE:	BASEMENT= 827.72 SF FIRST FL= 1,656.56 SF SECOND FL= 840.15 SF ATTIC = 288 SF TOTAL= 3,612.43 SF
EXIST NON-RETAIL (OFFICE) FAR (11.10%)	

Site Demolition Notes

- DEMOLITION WORK SHALL BE DONE IN STRICT CONFORMANCE WITH LOCAL AND STATE REGULATIONS, INCLUDING ALL PERMITS AND UTILITY CUT-OFFS.
- PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE REGULATIONS OF 2015 INTERNATIONAL BUILDING CODE, NEW YORK STATE SUPPLEMENT, ANSI/NFPA 241-1915, AND TOWN OF ISLIP BUILDING CONSTRUCTION AND DEMOLITION OPERATIONS.
- PROVIDE ALL TEMPORARY BARRICADES, RAILINGS, LIGHTING, ETC. REQUIRED TO PROTECT THE WORKMEN, OWNER'S PERSONNEL AND OTHERS FROM INJURY DUE TO THE DEMOLITION WORK. PROVIDE FREE AND SAFE PASSAGE OF PERSONS TO AND FROM AREAS AND FACILITIES WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND STORMS, FROST OR HEAT) SO AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND FIXTURES FREE FROM DAMAGES. REPAIR ANY DAMAGE TO PROPERTY OF THE OWNER WHICH IS TO REMAIN IN USE, OR THAT OF ANY PERSON, OR PERSONS ON OR OFF THE SITE, CAUSED BY THE DEMOLITION WORK WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL ADEQUATELY BRACE AND SHORE ALL EXISTING STRUCTURAL ELEMENTS TO REMAIN DURING DEMOLITION AND CONSTRUCTION. BRACING TO REMAIN IN PLACE UNTIL FINAL STRUCTURAL ELEMENTS ARE INSTALLED IN THEIR ENTIRETY.
- PERFORM THE DEMOLITION WORK IN SUCH A MANNER AS TO PREVENT FIRES. REMOVE ALL ACCUMULATED DEBRIS PROMPTLY. DISPOSAL BY BURNING WILL NOT BE PERMITTED ON SITE. ALL DEBRIS SHALL BE DISPOSED OF IN A LEGAL, WORKMAN-LIKE MANNER.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT INCLUDING GREENHOUSE FIXTURES, FURNISHINGS AND DECOR ITEMS SHALL BE STORED AND PROTECTED FROM DAMAGE UNTIL THE OWNER DETERMINES THE COURSE OF ACTION TO BE TAKEN WITH SAME.
- PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THESE LINES. CAP ALL UTILITY LINES TERMINATED BY THE DEMOLITION WORK IN A MANNER APPROVED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL EXISTING DUCTWORK, ELECTRICAL EQUIPMENT, ETC. IN AREAS TO BE DEMOLISHED SHALL BE PROTECTED AND RELOCATED AS REQUIRED ACCORDING TO FIELD CONDITIONS.
- REFER TO ADDITIONAL SITE PLAN NOTES ON ST.1

Spaces architecture
 410 W Montauk Hwy, Suite 2
 Lindenhurst, NY 11757
 phone 631.225-8705
 fax 631.225-8707
 spacesarchitects@aol.com
 www.spacesarchitects.com

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 2015 SPACES

no.	date	description
1	6/15/23	REV/ISSUED FOR PLAN DEPT APPR
2	9/18/20	REV PER OWNER/EZA APPR.
3	6/14/19	REV/ISSUED FOR PLAN DEPT APPR
4	9/29/19	REV/ISSUED FOR PLAN DEPT APPR
5	6/14/18	ISSUED FOR PLAN DEPT APPROVAL

Project: New Mixed Use Building
 E&J Land Development, LLC
 155 Carleton Avenue
 East Islip, NY

Drawing: Site Demolition Plan

project no. 17015
 project date 03/17
 scale AS NOTED
 drawn by GRB
 checked by GRB/CL
 seal

 drawing number

SP2018-057

ST.D

UTILITY NOTES:

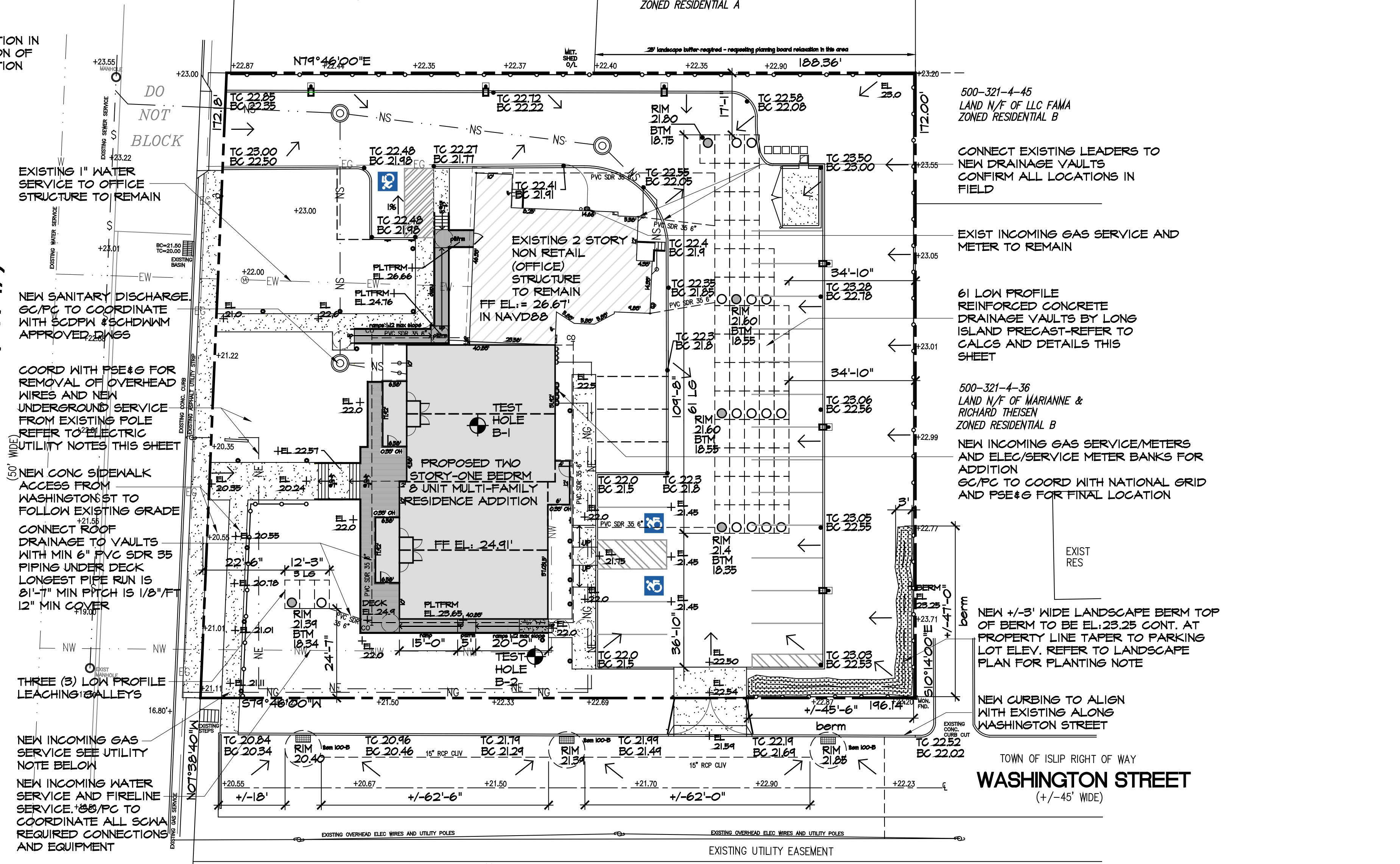
- E.C. TO PROVIDE AND INSTALL NEW PRIMARY ELECTRIC SERVICE CABLES AND CONDUIT UP TO CLOSEST AVAILABLE UTILITY POLE AND UNDERGROUND TO THE NEW METER BANK. ALL WORK MUST BE COORDINATED AND IN ACCORDANCE WITH ALL REQUIREMENTS OF PSE&G
- E.C. TO PROVIDE AND INSTALL ALL REQUIRED MAIN DISCONNECT AND ELECTRICAL METERS AT THIS LOCATION IN ACCORDANCE WITH PSE&G. LOCATION OF METER BANK AS PER PSE&G DIRECTION

PLANNING NOTE:
 ANY UTILITY INSTALLATIONS THAT ARE TO CROSS TOWN RIGHT OF WAYS, INSTALLATIONS SHALL BE MADE BY DIRECTIONAL DRILLING TECHNIQUES. TRENCHING ACROSS PUBLIC RIGHT OF WAYS SHALL NOT BE PERMITTED UNLESS APPROVED BY THE ISLIP DEPARTMENT OF PUBLIC WORKS HIGHWAY DIVISION

ANY INSTALLATIONS NOT PROVIDED FOR EXTERIOR SITE PLACEMENT SHALL BE PLACED INTERIOR TO THE BUILDING (RFPZ, GAS/ELECTRIC/HVAC ETC.)

ANY MODIFICATIONS AFTER THE SITE PLANS ARE APPROVED SHALL REQUIRE A SUBSEQUENT SITE PLAN MODIFICATION APPLICATION AND REVIEW/APPROVAL PRIOR TO PERMIT ISSUANCE

CARLETON AVENUE (CR-17)



Drainage Calculations

Depth (ft)	Area (sq ft)	Material	Depth (ft)	Area (sq ft)	Material
0 (23.27)		SM	0 (23.67)		SP
5 (18.27)		SM	5 (18.67)		SP
7.3 (15.97)		WATER	7.3 (16.37)		WATER
10 (13.27)		SP	10 (13.67)		SP
15 (8.27)		SP	15 (8.67)		SP
20 (3.27)		SP	20 (3.67)		SP
25 (1.37)		SP	25 (1.33)		SP
27 (0.27)		SP	27 (0.67)		SP

SOIL TEST HOLE PERFORMED BY TRI-STATE DRILLING TECHNOLOGIES ON 3/19/18

TOTAL SITE AREA: 33,066.74 SF (0.759 ACRES)

TOTAL BUILDING FOOTPRINT: 5,017.4 SF

EXISTING NON-RETAIL (OFFICE) BUILDING: 1,656.56 SF

PROPOSED MULTI-FAMILY RESIDENCE ADDITION: 3,360.84 SF

TOTAL LANDSCAPING AREA: 18,168.09 SF

TOTAL PAVED/CONC AREA: 9,881.25 SF

TOTAL LANDSCAPED BUFFER: 12,611.65 SF (6,613.35 SF REQUIRED)

LANDSCAPE AREA RESIDENTIAL BUFFER: 4,961.53 SF (NOT INCL IN TOTAL)

LANDSCAPE AREA WITH OUT RESIDENTIAL BUFFER: 8,521.75 SF (25.2% > 20%)

LANDSCAPE AREA OF FRONT YARD: 4,284.9 SF (13.0% > 10%) (INCL. WASHINGTON AVE FRONTAGE)

TOTAL IMPERVIOUS AREA: 14,848.65 SF X 0.167 X (1.0) = 2,488.07 CF

TOTAL LANDSCAPED AREA: 18,168.09 SF X 0.167 X (0.15) = 455.11 CF

2,443.18 CF = 2,944 CF REQUIRED RETAINAGE

PROPOSED RETENTION:
 LONG ISLAND PRECAST 1'-6" DEEP LEACHING GALLEY VAULT = 48 CF INTERNAL VOLUME RETAINED PER VAULT
 2,944 CF / 48 CF = 61.33 = 62 VAULTS REQ'D

64 VAULTS PROPOSED
 64 X 48 CF = 3,072 CF RETAINED > 2,944 CF REQ'D

LEACHING GALLEY DATA

INTERNAL WALL HGT.	EXTERNAL WALL HGT.	DRAINAGE AREA (SF)	INTERNAL VOLUME		APPROX. DRAIN OPENINGS		WEIGHT (LB)
			CF	GAL.	TOTAL	SIZE ANGLE	
1'-0"	1'-6 1/2"	36.50	37	738	16	3/4" X 6"	4,150
1'-6"	2'-1/2"	34.75	48	354	36	3/4" X 6"	4,750
2'-0"	2'-6 1/2"	22.00	69	474	32	3/4" X 6"	5,250
2'-6"	3'-1/2"	66.25	80	548	76	3/4" X 6"	5,905
3'-0"	3'-6 1/2"	74.50	96	718	96	3/4" X 6"	6,485
3'-6"	4'-1/2"	92.75	112	838	116	3/4" X 6"	7,065
4'-0"	4'-6 1/2"	106.00	128	957	136	3/4" X 6"	7,645
4'-6"	5'-1/2"	114.26	144	1,077	156	3/4" X 6"	8,225
5'-0"	5'-6 1/2"	132.50	160	1,197	176	3/4" X 6"	8,805

WASHINGTON STREET DRAINAGE
 SQUARE FOOTAGE TAKEN FROM THE CENTERLINE OF WASHINGTON STREET TO APPLICANTS SIDE OF ROAD

TOTAL IMPERVIOUS AREA: 2,163.59 SF X 1.0 = 2,163.59 SF

2,163.59 X 0.167 X (1.0) = 361.31 CF = 362 CUBIC FEET REQUIRED

USING (3) 8'φ X 3'-6" DEEP POOLS

EACH RING PROVIDING 147.8 CF X 3 = 443.4 CF TOTAL > 362 CF REQUIRED

8'-0" DIAMETER	8'-0" DIAMETER	8'-0" DIAMETER	8'-0" DIAMETER
3'-6"	4"	87.7	147.8
4'-0"	4"	100.2	168.9
4'-6"	4"	112.7	190.1

Site Grading, Drainage and Utility Plan

scale: 1"=20'-0"
 SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL K WICKS, LAND SURVEYING, DATED MARCH 28, 2018 (UPDATED FEB 14, 2024)

INDICATES LOCATION ON PLAN OF SOIL BORING

UTILITY NOTE:

1. APPLICANT IS IN PROCESS OF MAKING CONCURRENT APPLICATIONS TO SCHDMM, SCDPW AND SCWA FOR ALL CONNECTIONS TO NEW BUILDING. UPON APPROVALS DRAWINGS WILL BE SUBMITTED FOR COORDINATION, PSE&G AND NATIONAL GRID COORDINATION TO BE SUBMITTED BY THE GC AFTER SITE PLAN APPROVAL BY TOWN OF ISLIP. ALL UTILITIES ARE TO BE UNDERGROUND.

- TOPOGRAPHIC ELEVATIONS ARE IN NAVD 88 DATUM
- PROPOSED GRADES WITHIN PARKING AREAS ARE TO BE 1% MIN TO 5% MAX
- PROPOSED GRADES WITHIN H.C. PARKING AREAS ARE TO BE 2% MAX

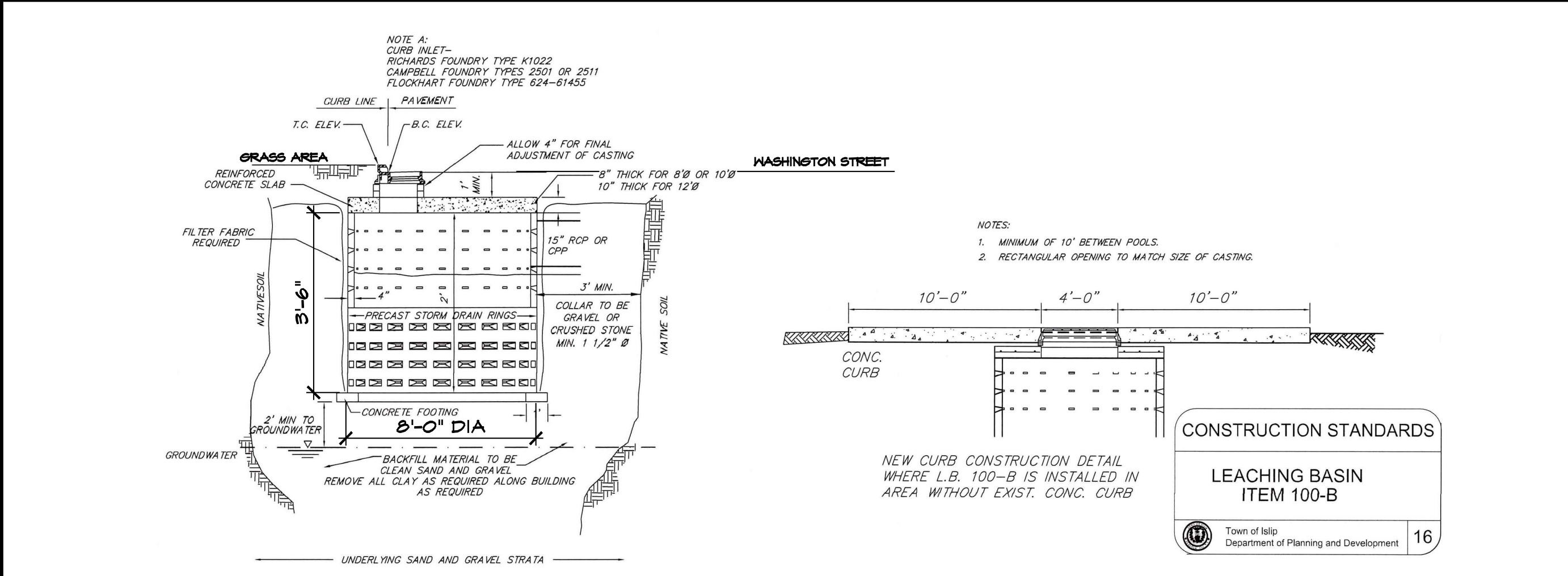
KEY

TC: PROP TOP OF CURB ELEV
 BC: PROP BTM OF CURB ELEV
 RIM: TOP OF DRAINAGE VAULT GRATE
 EL: ELEVATION

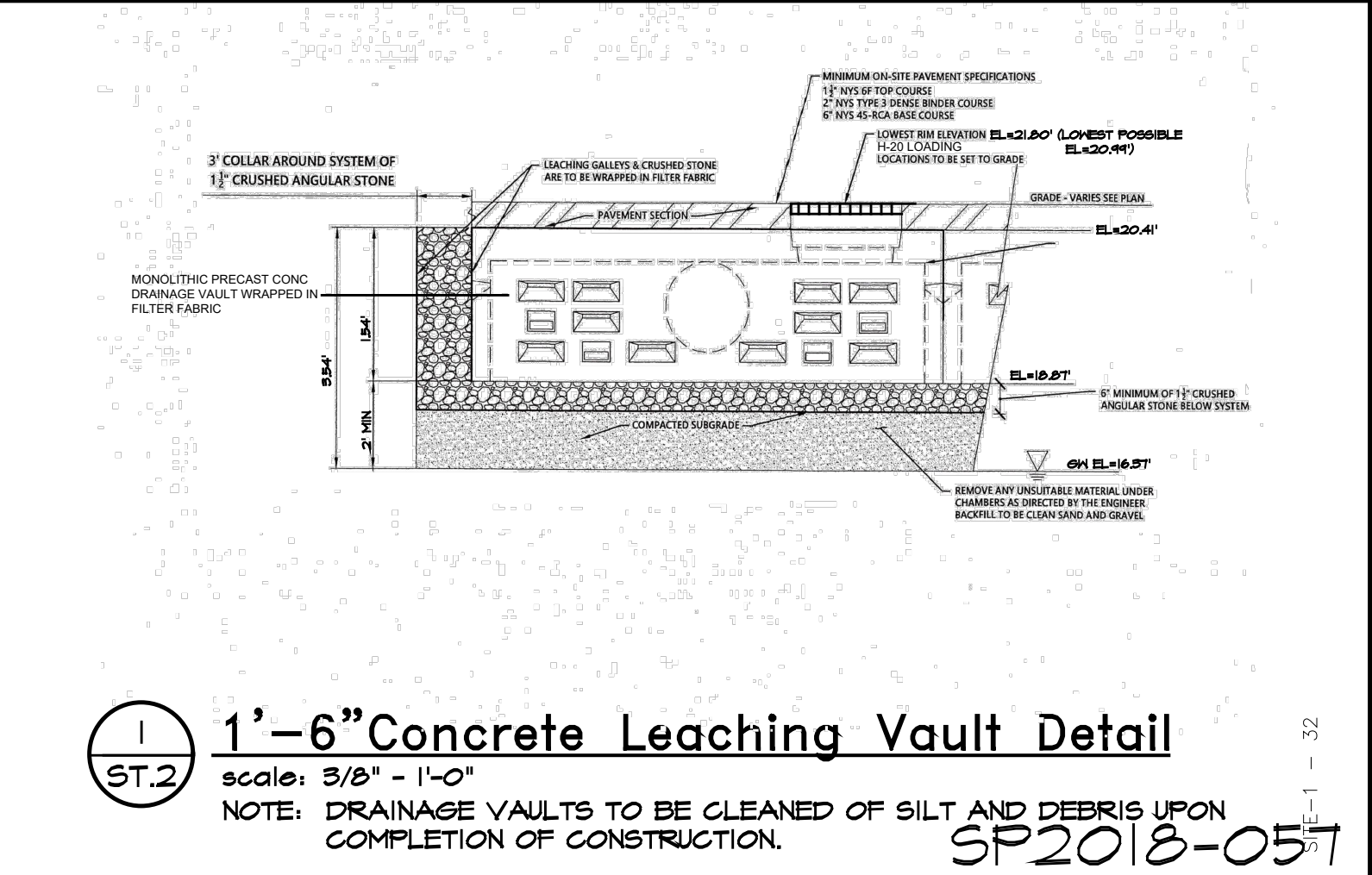
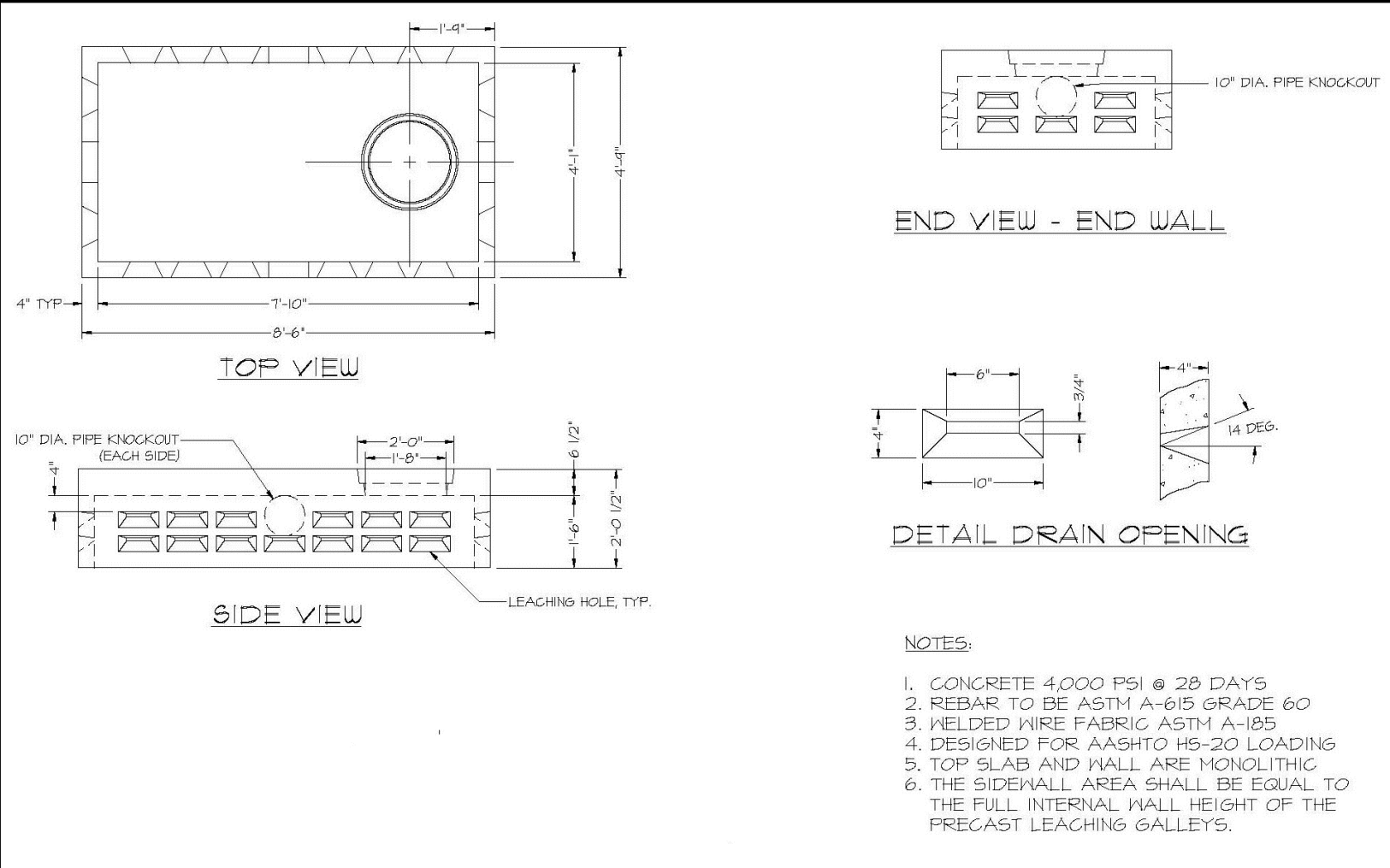
→ DENOTES DIRECTION OF STORM WATER FLOW

+25.15 DENOTES EXIST SURVEY SURVEY SPOT ELEV IN NAVD88
 EL.26.50 DENOTES NEW GRADE ELEV
 EL.26.14 DENOTES NEW SPOT ELEV

Washington St Drainage - Leaching Basin item 100-B



Long Island Precast, Inc Vault Details



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 fax 631.225-8707
 spacesarchitects@aol.com
 www.spacesarchitects.com

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no.	date	description
1	7/17/24	REV AS PER PLAN BOARD HEARING
2	5/1/24	REV/ISSUED FOR PLAN DEPT APPR
3	6/15/23	REV/ISSUED FOR PLAN DEPT APPR
4	5/18/20	REV PER OWNER/BCA APPR.
5	5/29/19	REV/ISSUED FOR PLAN DEPT APPR
6	6/4/18	ISSUED FOR PLAN DEPT APPROVAL

project New Mixed Use Building
 E&J Land Development, LLC
 155 Carleton Avenue
 East Islip, NY

drawing Site Grading, Drainage and Utility Plan

project no. 17015
 project date 03/17
 scale AS NOTED
 drawn by GRB/CL
 checked by GRB/CL
 seal
 drawing number

George Badger, RA
 Charles Lembo, RA

CONSTRUCTION STANDARDS
 LEACHING BASIN ITEM 100-B
 Town of Islip Department of Planning and Development 16

1'-6" Concrete Leaching Vault Detail
 scale: 3/8" = 1'-0"
 NOTE: DRAINAGE VAULTS TO BE CLEANED OF SILT AND DEBRIS UPON COMPLETION OF CONSTRUCTION.
 SP2018-057

ST.2

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2015 BRACBS

no.	date	description
1	6/15/23	REV/ISSUED FOR PLAN DEPT APPR
2	5/19/20	REV PER OWNER/EZA APPR
3	6/14/19	REV/ISSUED FOR PLAN DEPT APPR
4	5/29/19	REV/ISSUED FOR PLAN DEPT APPR
5	6/4/18	ISSUED FOR PLAN DEPT APPROVAL

project
New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY

drawing
Site Landscape Plan and Details

project no. 17015
project date 03/17
scale AS NOTED
drawn by GRB
checked by GRB/CL
seal

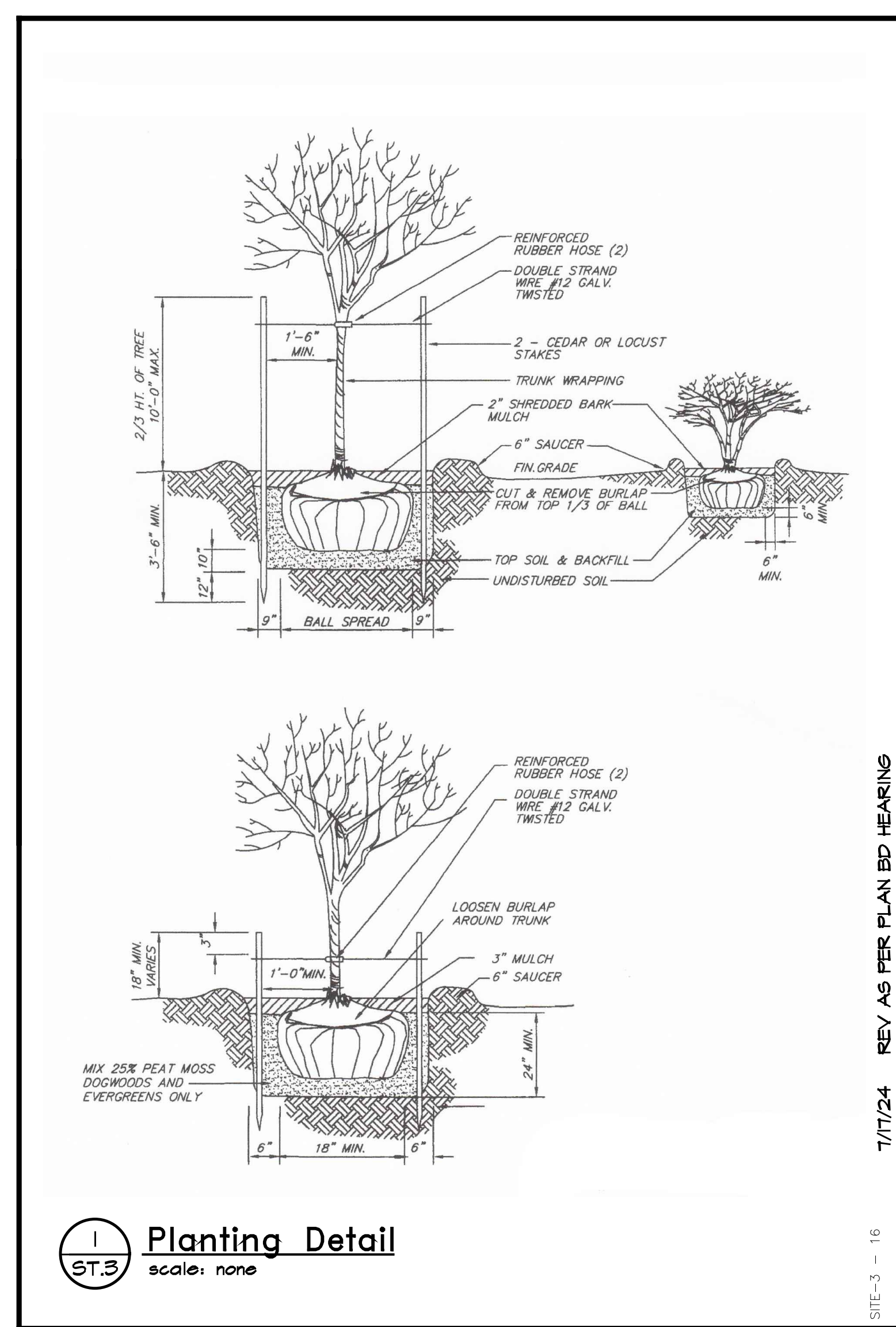
George Badger, RA
Charles Lembo, RA
drawing number

ST.3

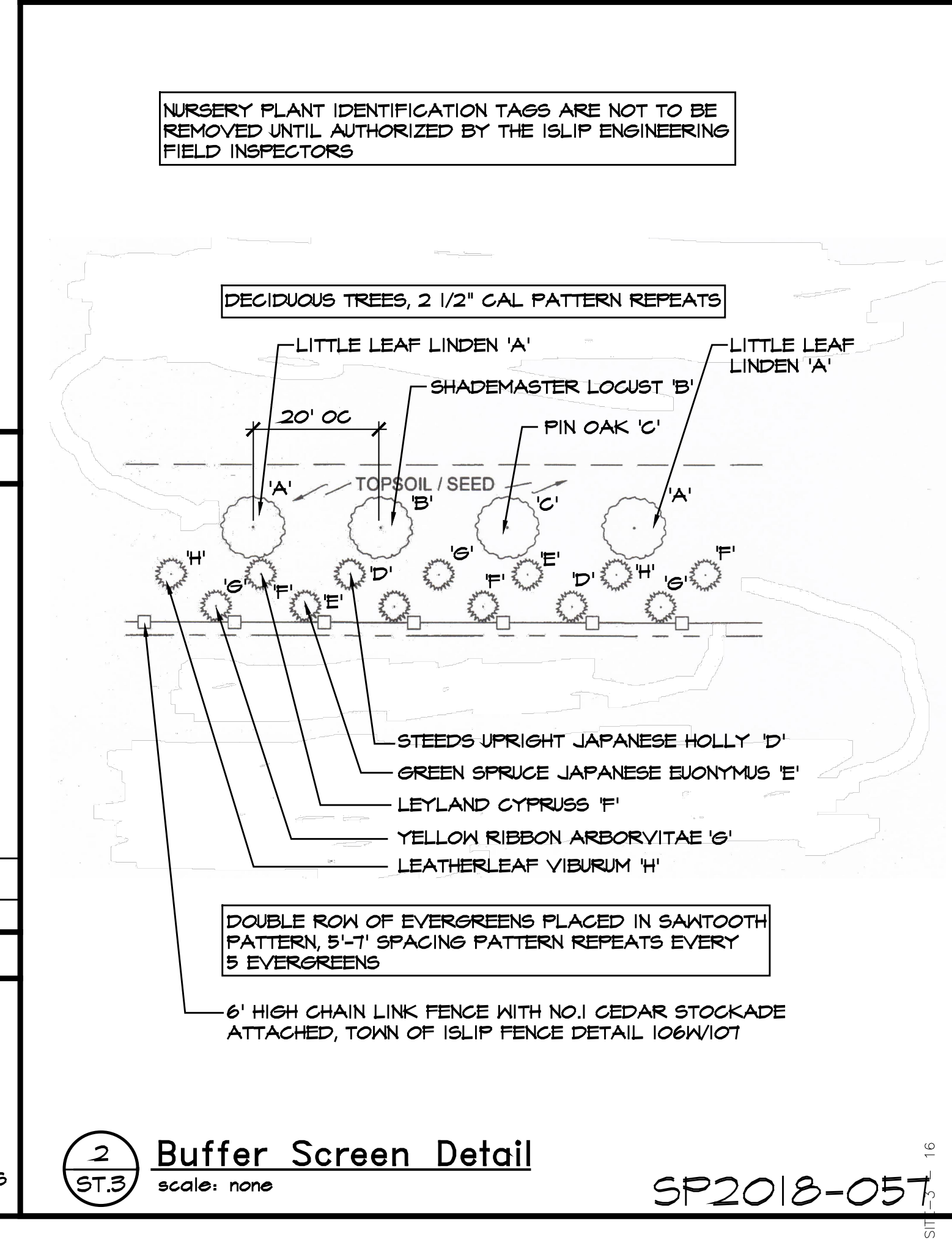
7/17/24 REV AS PER PLAN BD HEARING
5/17/24 REV/ISSUED FOR PLAN DEPT APPR
12/14/23 REV/ISSUED FOR PLAN DEPT APPR
Issued / revised

SITE-3 - 16

16



1 ST.3 Planting Detail
scale: none



2 ST.3 Buffer Screen Detail
scale: none

SP2018-057

TAPER FENCE TO 4' HIGH WITHIN 15'-0" OF RIGHT OF WAY

EXISTING LIGHT POLE WITH TOWN OF ISLIP DECORATIVE STREET LIGHTING TO REMAIN

NEW STREET TREES 20'-0" O.C. MAX- MIN 3'-0" BEHIND PROPERTY LINE REFER TO DETAIL THIS SHEET

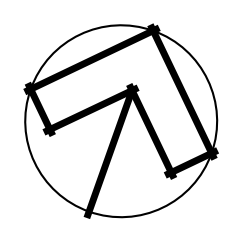
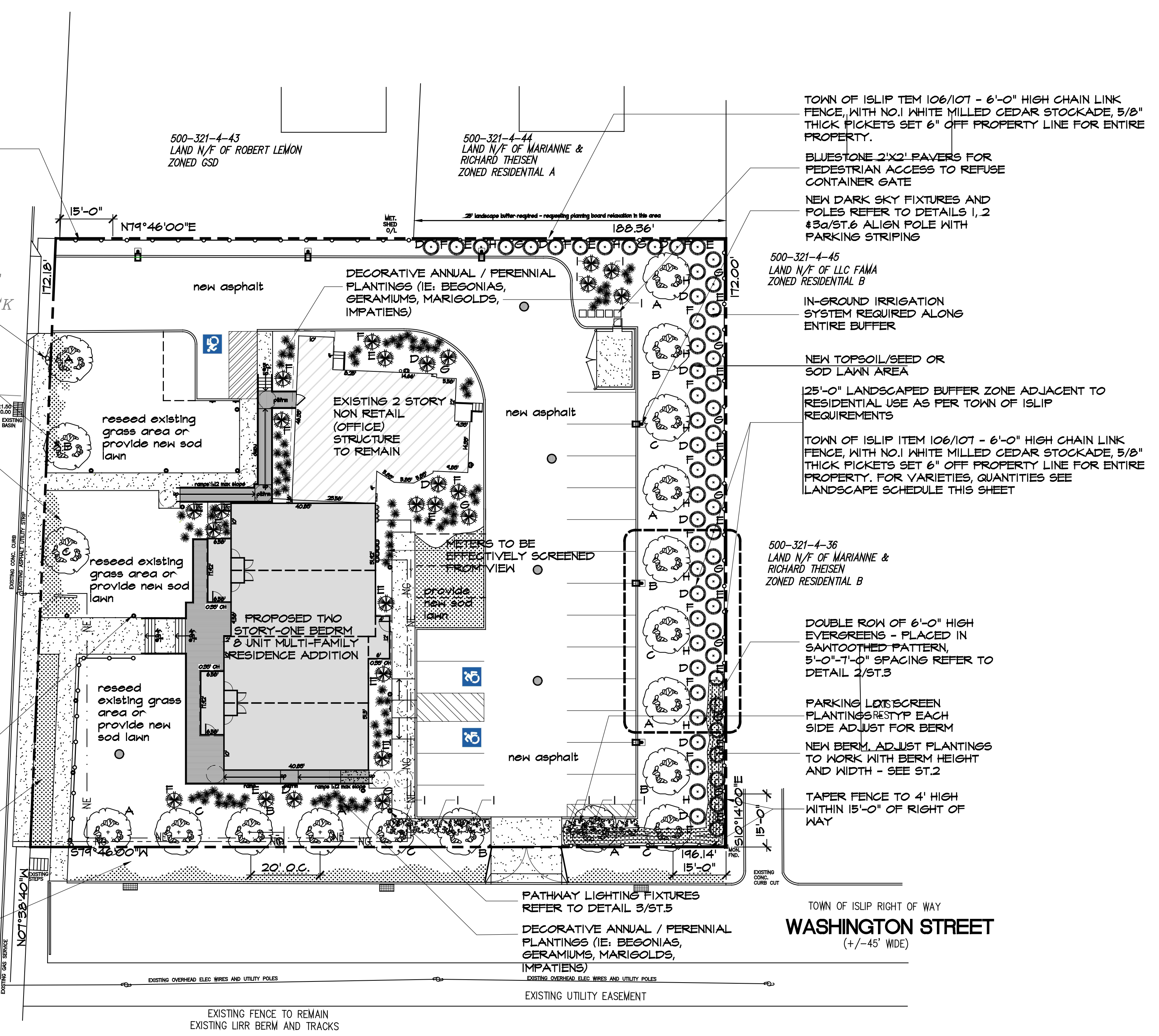
IN-GROUND IRRIGATION SYSTEM REQUIRED ALONG ENTIRE ROAD FRONTAGE

CARLETON AVENUE (CR-17)
(50' WIDE)

PATHWAY LIGHTING FIXTURES REFER TO DETAIL 3/ST.5 AND ST.8

MAINTAIN EXISTING GRASS STRIP - REPAIR AND RESEED DUE TO NEW SIDEWALK INSTALLATION

IN-GROUND IRRIGATION SYSTEM REQUIRED ALONG ENTIRE ROAD FRONTAGE



Site Landscape and Lighting Plan
scale: 1"=20'-0" REFER TO ST-8 FOR PHOTOMETRIC LIGHTING PLAN

Landscape Schedule		USE WIRE FRIENDLY STREET TREES WHEN OVERHEAD UTILITIES ARE PRESENT	
COMMON NAME	BOTANICAL NAME	TOTAL	SIZE
A LITTLE LEAF LINDEN	TILIA CORDATA	7	2 1/2' CAL @ BREAST HT
B SHADEMASTER LOCUST	GLEDITSIA TRICANTHOS SHADEMASTER	6	2 1/2' CAL @ BREAST HT
C PIN OAK	QUERCUS PALUSTRIS	6	2 1/2' CAL @ BREAST HT
D STEEDS UPRIGHT JAPANESE HOLLY	ILEX CRENDATA STEEDS	14	15 GAL - 6'-8" HIGH
E GREEN SPRUCE JAPANESE BUONYMUS	BUONYMUS JAPONICA 'GREENSPIRE'	18	15 GAL - 6'-8" HIGH
F LEYLAND CYPRESS	CUPRESSUS LEYLANII	16	15 GAL - 5'-6" HIGH
G YELLOW RIBBON ARBORVITAE	THUJA OCCIDENTALIS YELLOW RIBBON	13	15 GAL - 6'-8" HIGH
H LEATHERLEAF VIBURUM	VIBURUM XRHYTIDOPHYLLUM	10	15 GAL - 6'-7" HIGH
I NORTHWIND SWITCHGRASS	PANICUM VIRGATUM 'NORTHWIND'	10	15 GAL - 4'-6" HIGH

Site Landscape Information	
TOTAL LANDSCAPING AREA:	18,168.09 SF
TOTAL LANDSCAPED BUFFER:	12,611.65 SF (6,613.35 SF REQUIRED)
LANDSCAPE AREA RESIDENTIAL BUFFER:	4,961.53 SF (NOT INCL IN TOTAL)
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LANDSCAPE AREA OF FRONT YARD:	4,284.9 SF (13.0% > 10%) (INCL. WASHINGTON AVE FRONTAGE)
ACCEPTABLE PERENNIAL PLANTINGS LIST: PURPLE CONEFLOWER (ECHINACEA PURPUREA) THREADLEAF COREOPSIS (COREOPSIS VERTICILATA) COMMON YARROW (ACHILLEA MILLEFOLIUM) MARYLAND GOLDEN ASTER (CHRYSOPSIS MARIANA)	

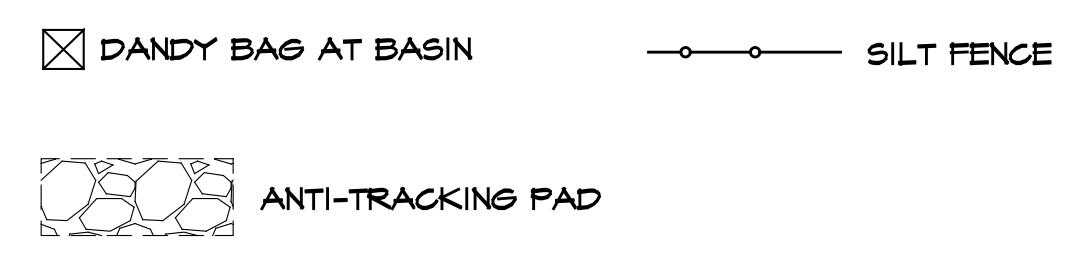
- Landscape Notes**
- ALL LANDSCAPED AREAS TO HAVE LAWN SOD OR SEEDED
 - ALL LANDSCAPED AREAS TO BE PROVIDED WITH IN GROUND AUTOMATIC IRRIGATION SYSTEM - STREET FRONTAGE AND BUFFER ZONES
 - MULCH MATERIAL COMPOSITION AND INSTALLATION:
a. ALL MULCH SHALL BE PRIMARILY COMPOSED OF SHREDDED HARDWOOD BARK. A WRITTEN CERTIFICATION OF MATERIAL COMPOSITION SHALL BE SUBMITTED TO TOWN ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION.
 - THE WRITTEN CERTIFICATION FURNISHED TO TOWN OF ISLIP ENGINEERING SHALL SPECIFICALLY MENTION THAT MULCH SUPPLIED CONTAINS NONE OF THE FOLLOWING:
- GROUND RECYCLED PALLETS
- CHEMICAL TREATMENTS OR RESIDUES
 - MULCH SHALL BE LAID AS PER TOWN OF ISLIP PLANTING DETAILS REFER TO THIS SHEET
 - ALL TREES TO REMAIN TO BE CERTIFIED BY A CERTIFIED BOTANIST AS TO THEIR HEALTH
 - ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH WOODEN SNOW OR ORANGE CONSTRUCTION FENCING TO PROTECT THE TREE FROM:
- CUTTING, BREAKING AND SKINNING OF ROOTS
- SKINNING AND BRUISING OF BARK
- SMOTHERING THE TREE WITH CONSTRUCTION OR EXCAVATION MATERIAL
- EXCESSIVE FOOT OR VEHICLE TRAFFIC
- PARKING OF VEHICLES WITHIN THE DRIPLINE
 - ALL TREES TO BE DECORATIVE, NON-FRUIT BEARING VARIETIES OF SPECIFIED TREES

Stormwater, Erosion and Sediment Control Notes

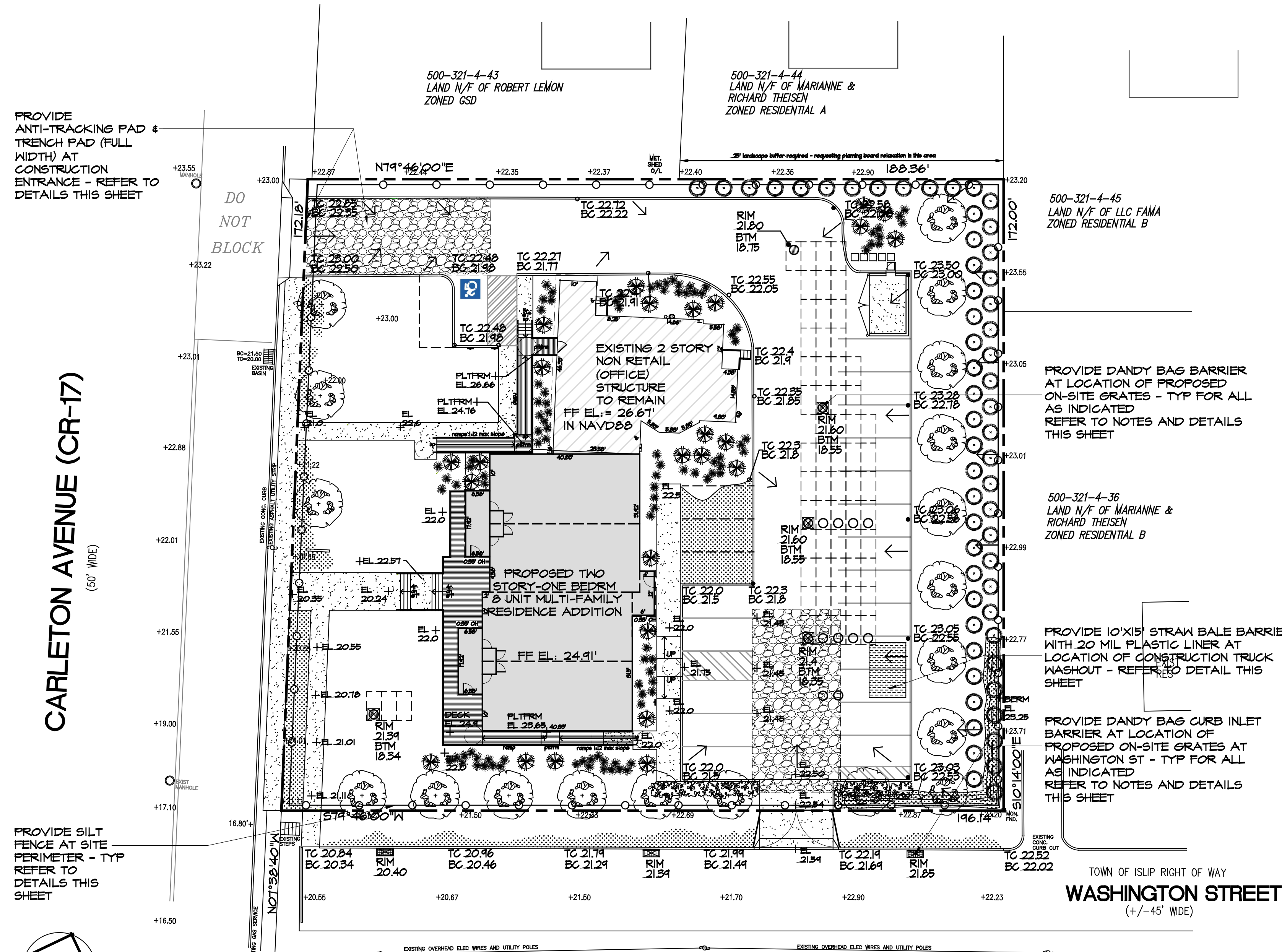
- OWNER WILL HAVE AVAILABLE ON-SITE AT ALL TIMES THIS AGREEMENT AND RELATED PLANS. OWNER WILL EXPLAIN THE REQUIREMENTS TO ALL CONSTRUCTION PERSONNEL AND SUBCONTRACTORS. OWNER TO TAKE RESPONSIBILITY FOR FULL COMPLIANCE WITH THIS AGREEMENT AND REGULATIONS FOR ALL PERSONS WORKING IN THE VICINITY OF THE CONSTRUCTION SITE.
- NO VEGETATION AND/OR TREES MAY BE CLEARED WITHOUT FIRST RECEIVING A MARK-OUT FROM PLANNING AND/OR ENGINEERING INSPECTORS. EXISTING VEGETATION AND TREES SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE. ONLY VEGETATION AND TREES SPECIFICALLY IN THE PATH OF CONSTRUCTION ACTIVITY MAY BE REMOVED.
- NO EARTH, FILL OR CONSTRUCTION MATERIAL SHALL BE ALLOWED TO MIGRATE OFF SITE FROM THIS PROJECT ON TO THE TOWN OF BABYLON ROADWAY AND/OR STORM DRAIN SYSTEM OR AN ADJACENT PROPERTY.
- NO FILL SHALL BE BROUGHT INTO THE SITE WITHOUT THE EXPRESS APPROVAL OF A BUILDING OR ENGINEERING INSPECTOR. PILES OF FILL SHALL BE STABILIZED AND/OR CONTAINED WITH GRASS SEED, SILT FENCES, HAY BALES, OR OTHER APPROVED METHODS.
- AT THE END OF EACH WORKDAY THE ADJACENT ROADWAY AND/OR STORM DRAIN SYSTEM SHALL BE SELF INSPECTED FOR MATERIAL. ALL CONSTRUCTION SITES AND ADJACENT ROADWAYS SHALL BE CLEARED OF SOIL AND OTHER MATERIAL AT THE END OF EACH DAY.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS AND MATERIALS, INCLUDING WET CONCRETE, SHALL BE DISPOSED OF AT AN APPROPRIATE FACILITY

- IN ACCORDANCE WITH ALL TOWN OF ISLIP AND NYSDEC WASTE MANAGEMENT REGULATIONS. DUMPING ANY LIQUID, SEMI-LIQUID, OR OTHER MATERIALS FROM A CONSTRUCTION SITE INTO STORM DRAINS, ROADWAYS, OR VACANT PROPERTY IS GROUNDS FOR A VIOLATION.
- LITTER SHALL BE PICKED UP ON A DAILY BASIS FROM THE SITE, ADJACENT PROPERTIES AND/OR THE ROAD SYSTEM.
 - TOILET FACILITIES (EITHER PORTABLE OR EXISTING) SHALL BE PROVIDED ON SITE DURING THE CONSTRUCTION PERIOD.
 - IF REQUIRED, A TEMPORARY STABLE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED UTILIZING RECYCLED CONCRETE AGGREGATE (RCA) OR A SIMILAR MATERIAL, UNLESS A SUITABLE CONSTRUCTED ENTRANCE ALREADY EXISTS ON THE SITE.
 - ALL MUNICIPAL OR PRIVATE DRAINAGE INLETS ADJACENT TO AREA OF CONSTRUCTION SHALL BE PROTECTED FROM POLLUTANTS THROUGH THE USE OF PRODUCTS/SPONGES DESIGNED FOR THIS PURPOSE.
 - REFER TO STRAW BALE EROSION PREVENTION DETAILS ON THIS SHEET FOR CONTROL OF SITE DEBRIS.
 - ALL EXPOSED EXPANSION OF SOIL SHALL BE STABILIZED WITH ANNUAL GRASS SEED AS SOON AS AREAS WILL NO LONGER BE NEEDED FOR CONSTRUCTION STAGING, OR IF AREAS WILL REMAIN UNDISTURBED FOR SIX WEEKS OR LONGER.

Legend

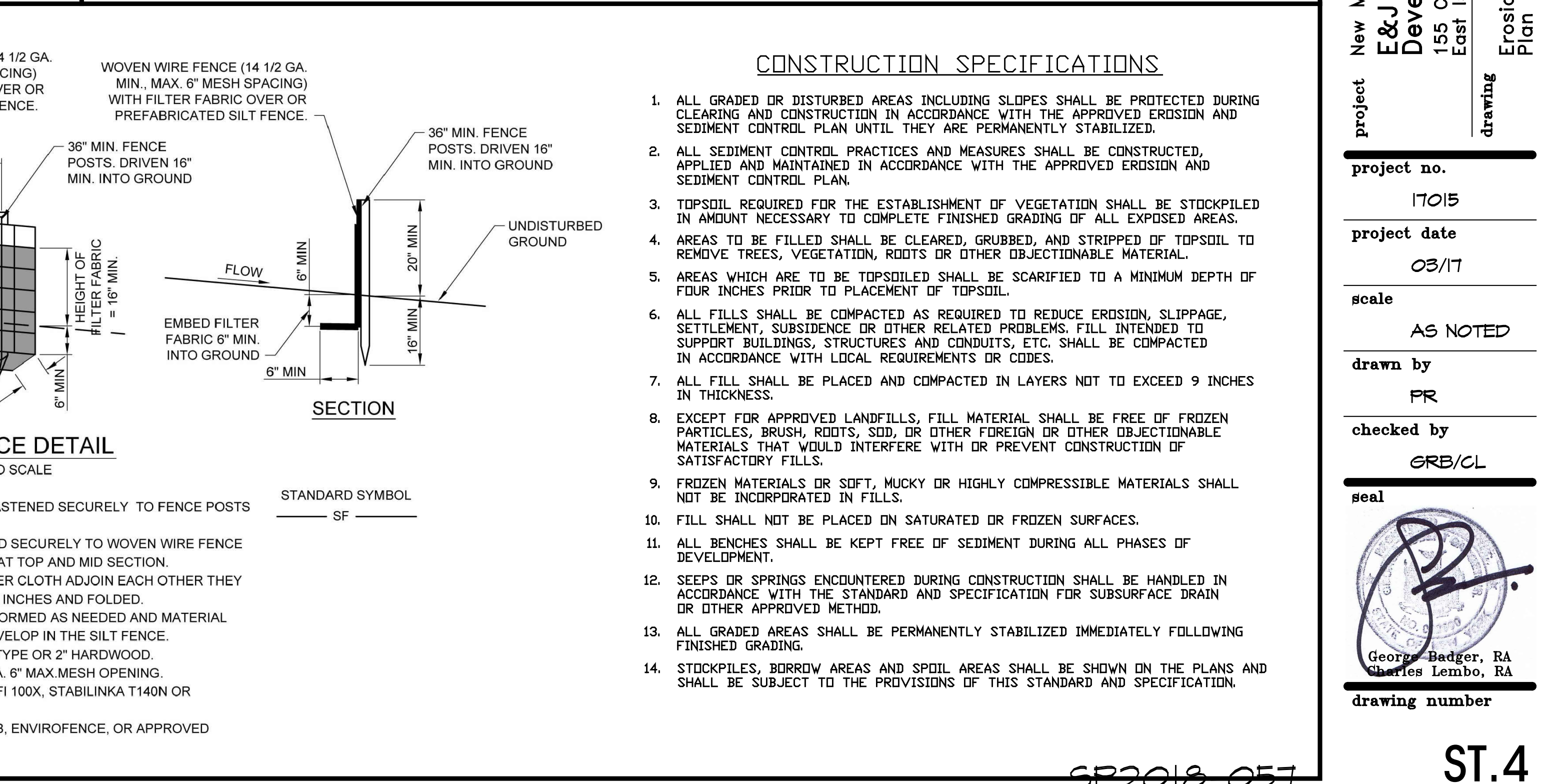
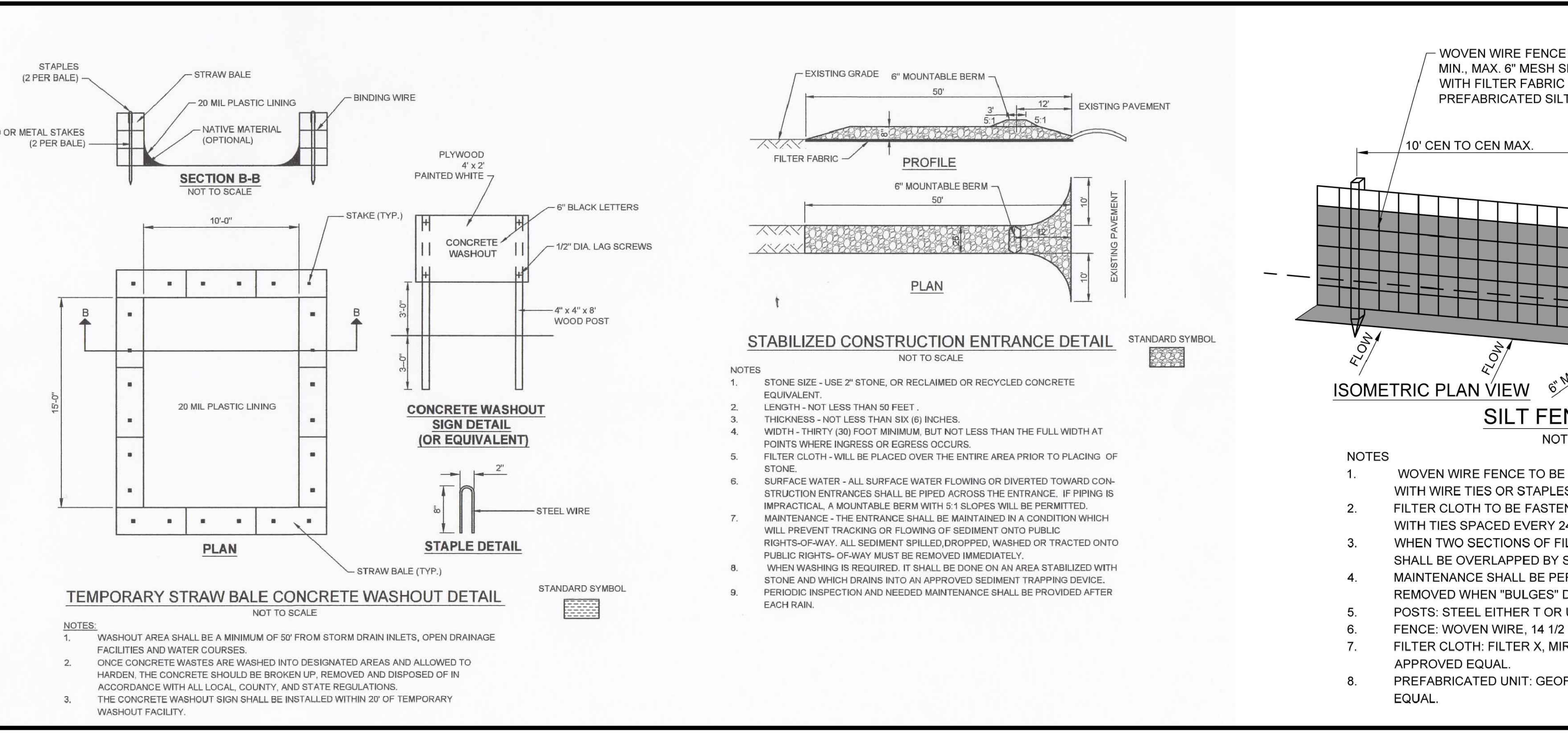
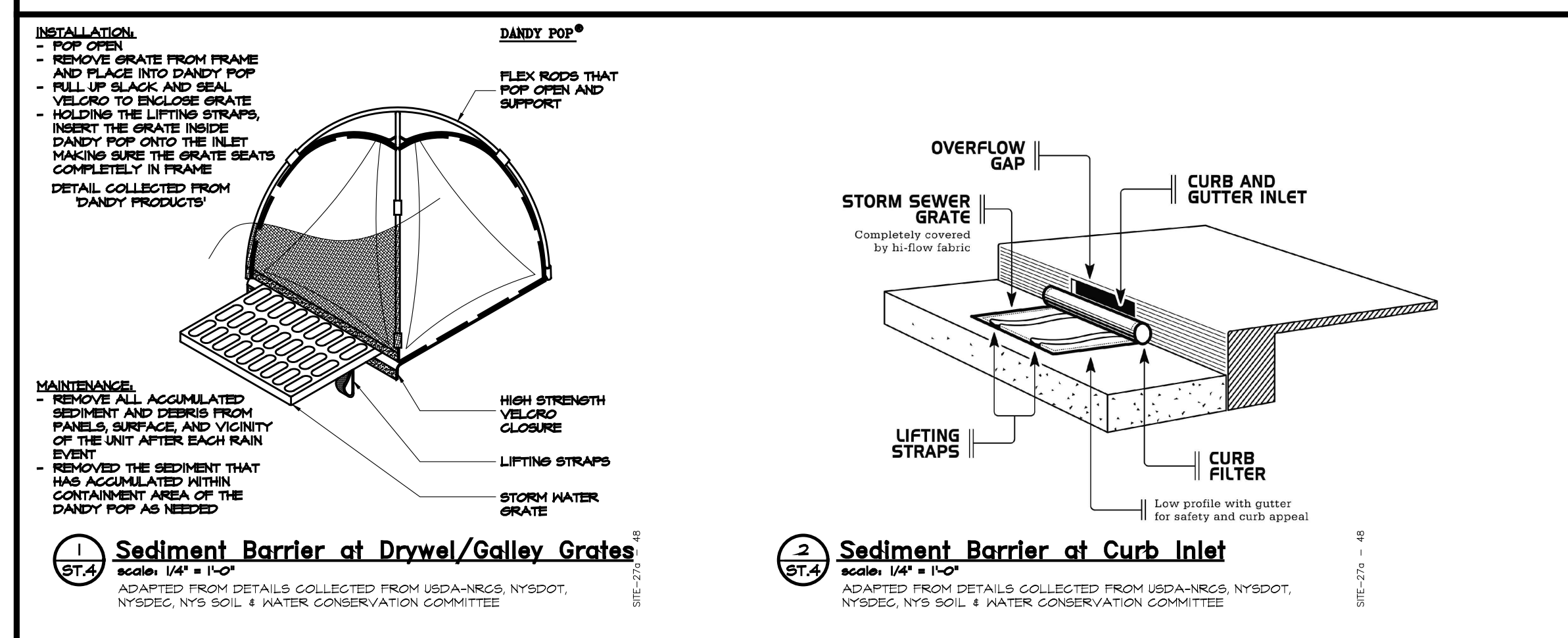


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Site Erosion & Sediment Control Plan
scale: 1"=20'-0"

Stormwater, Erosion and Sediment Control Details



REV	DATE	DESCRIPTION
1	7/17/24	REV AS PER PLAN BOARD HEARING
2	5/17/24	REVISED FOR PLAN DEPT APPR
3	12/14/23	REVISED FOR PLAN DEPT APPR
4		Issued / revised
5	6/15/23	REV/ISSUED FOR PLAN DEPT APPR
6	5/19/20	REV PER OWNER/EZA APPR.
7	6/14/19	REV/ISSUED FOR PLAN DEPT APPR
8	9/29/19	REV/ISSUED FOR PLAN DEPT APPR
9	8/6/18	ISSUED FOR PLAN DEPT APPROVAL

project
New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY

drawing
Erosion & Sediment Control
Plan and Details

project no.
17015

project date
03/17

scale
AS NOTED

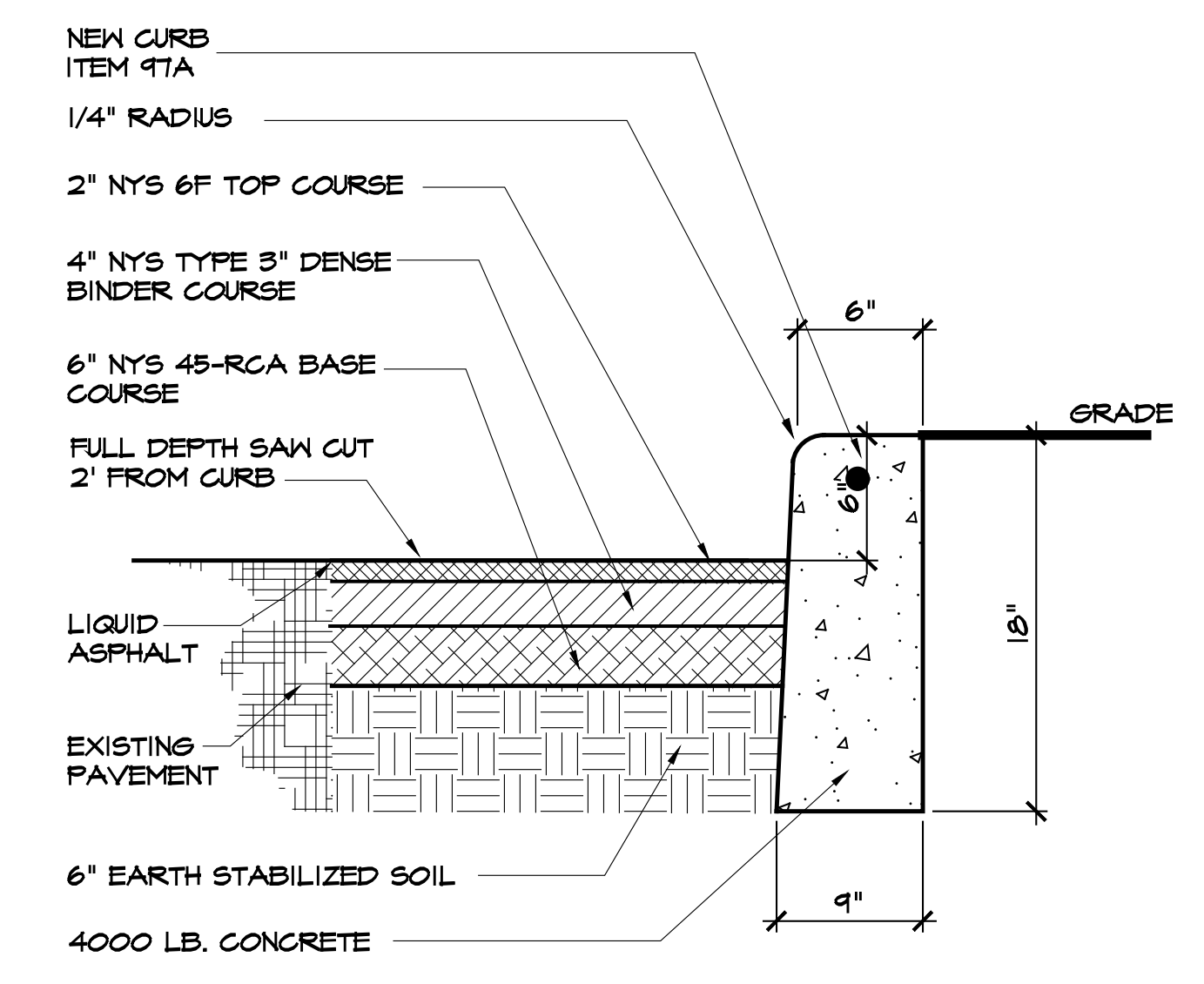
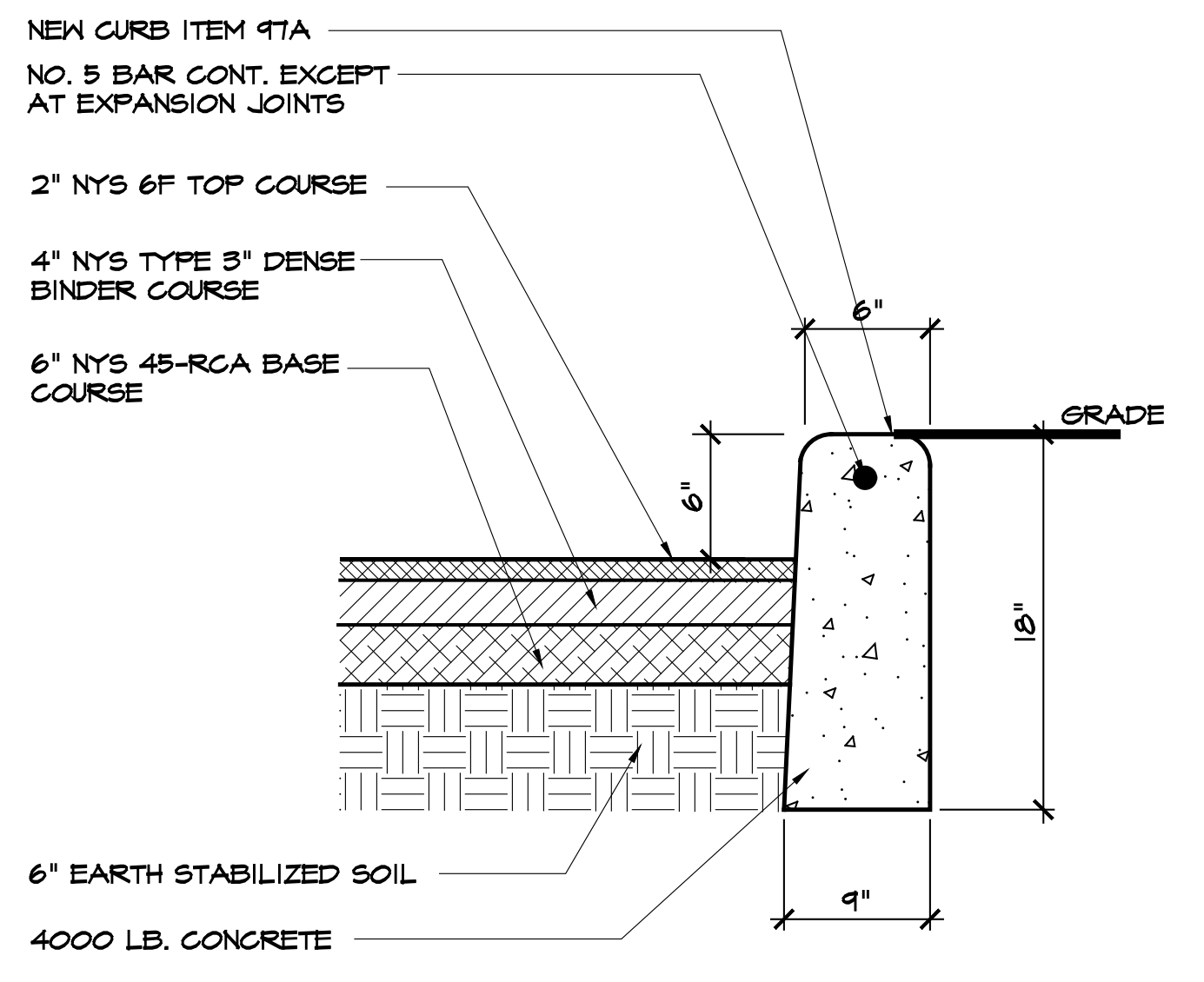
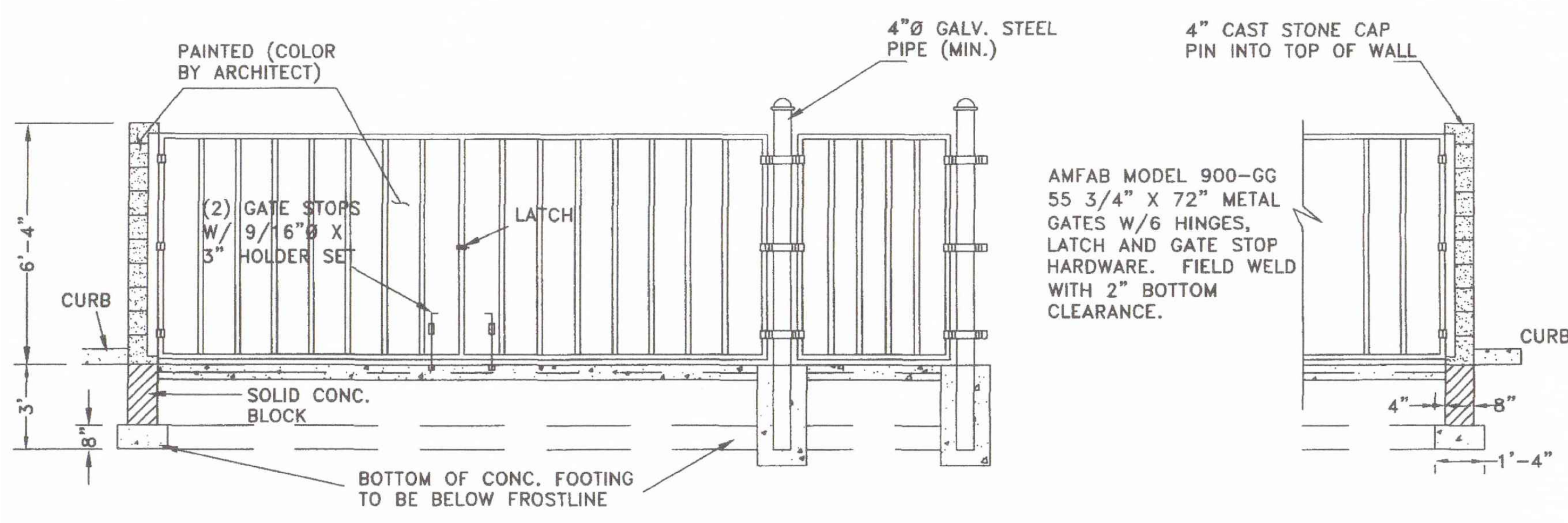
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checked by
GRB/CL

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drawing number
SP2018-057

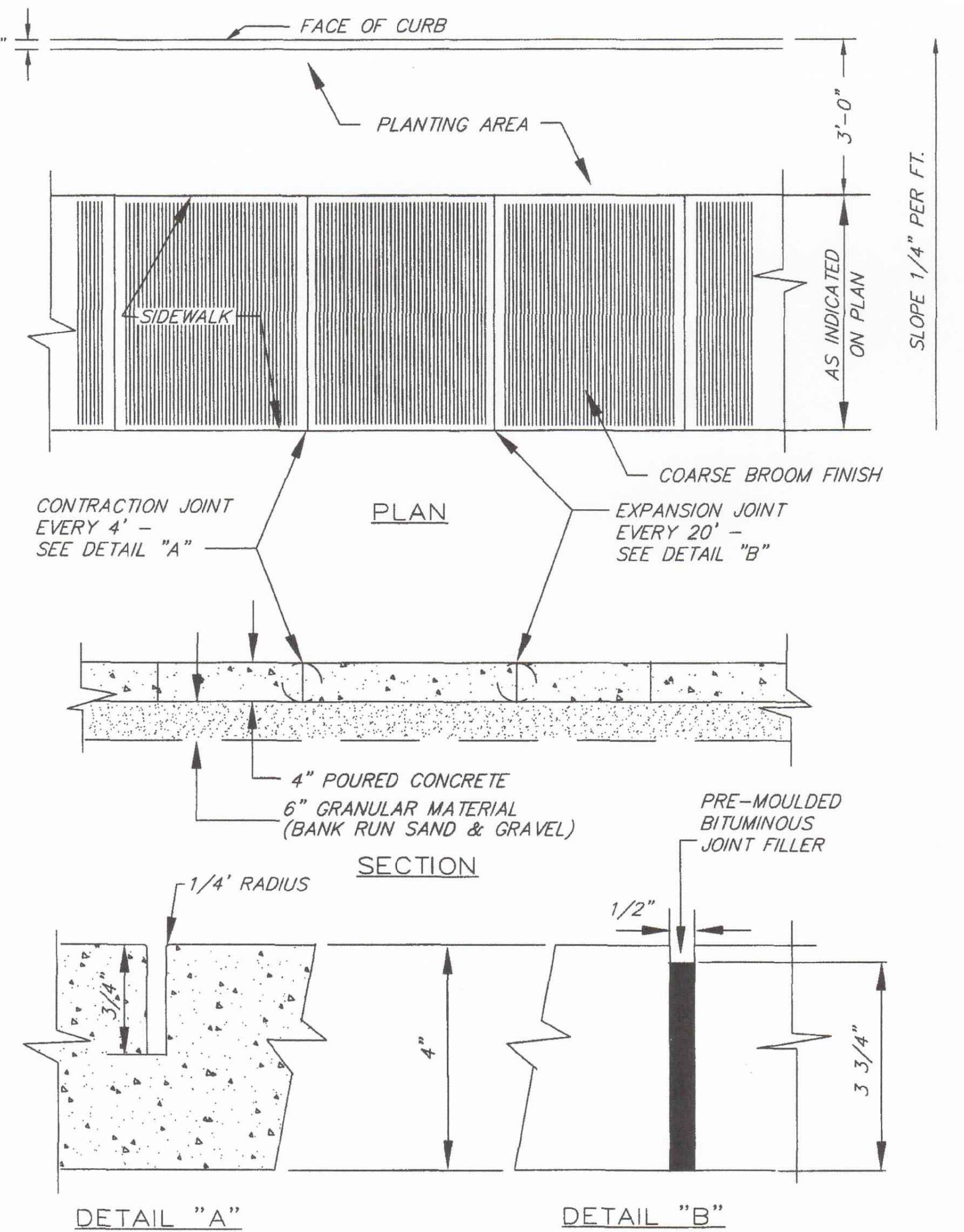
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2015 BRACBS



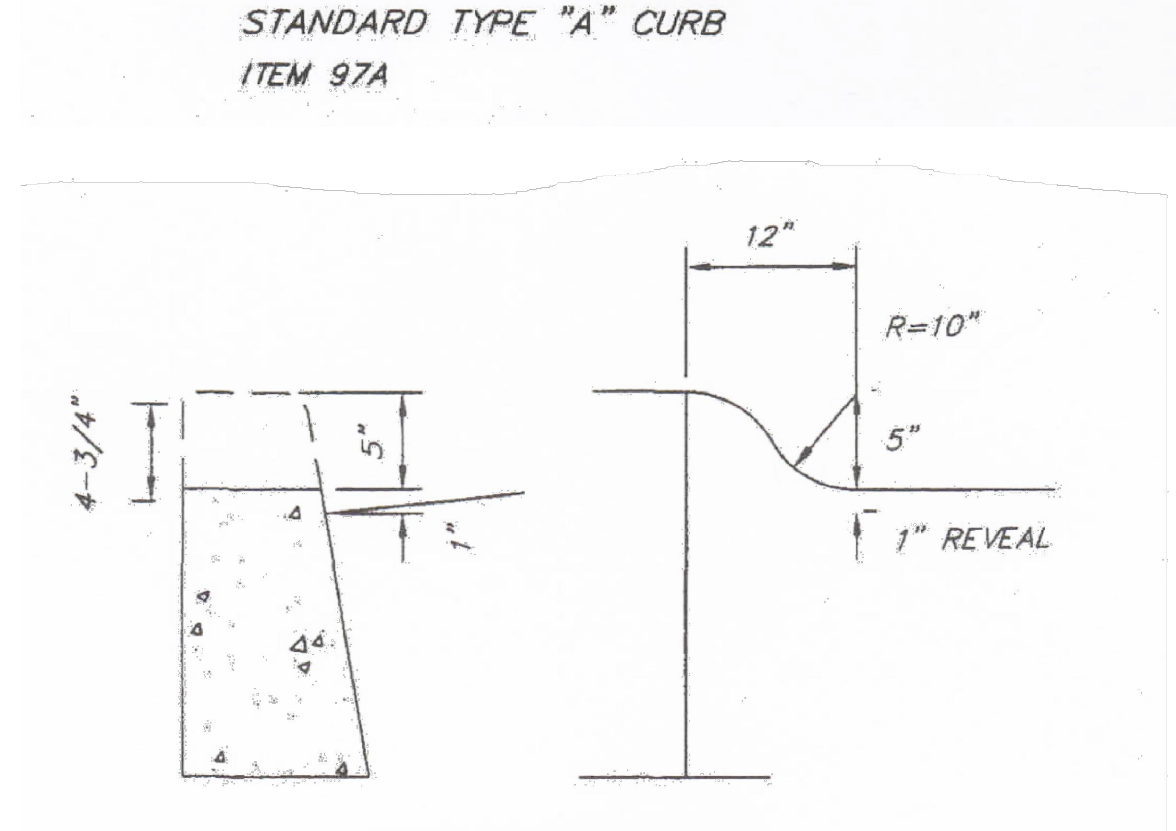
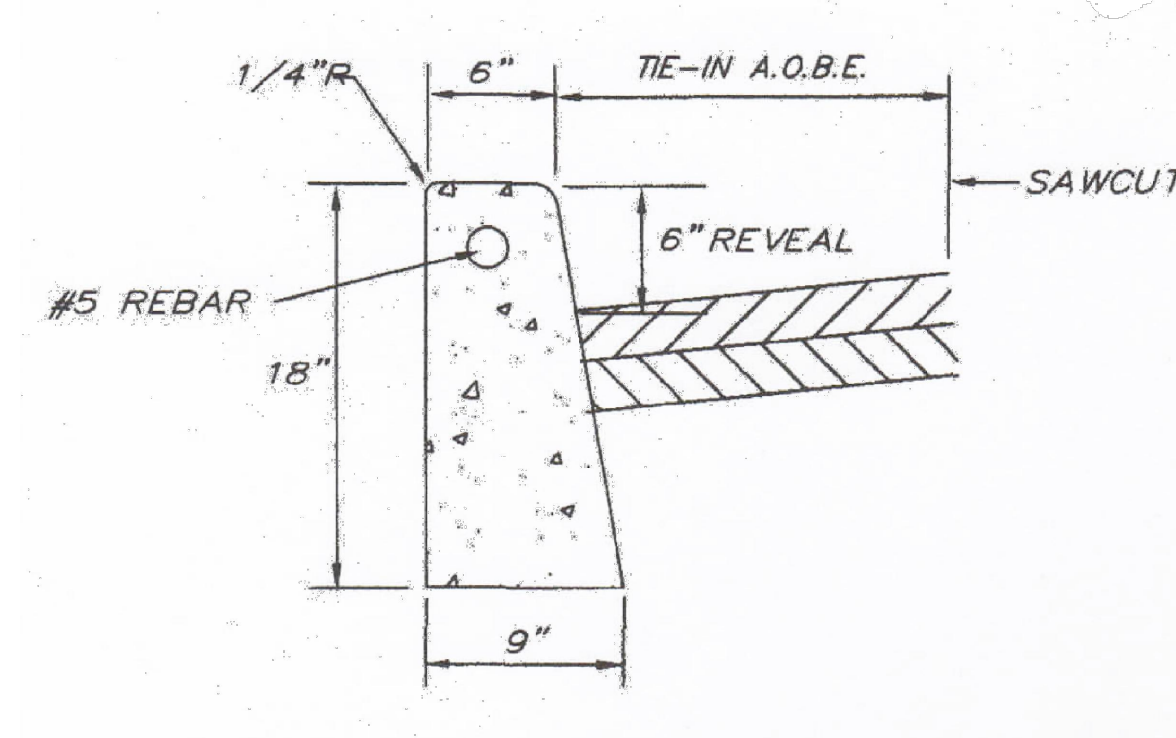
1 Refuse Enclosure Detail
ST.5 scale: none

2 On-Site Bumper Curb/Paving Standard
ST.5 scale: 1/2" = 1'-0"

3 Pavement Restoration Detail
ST.5 scale: 1/2" = 1'-0"

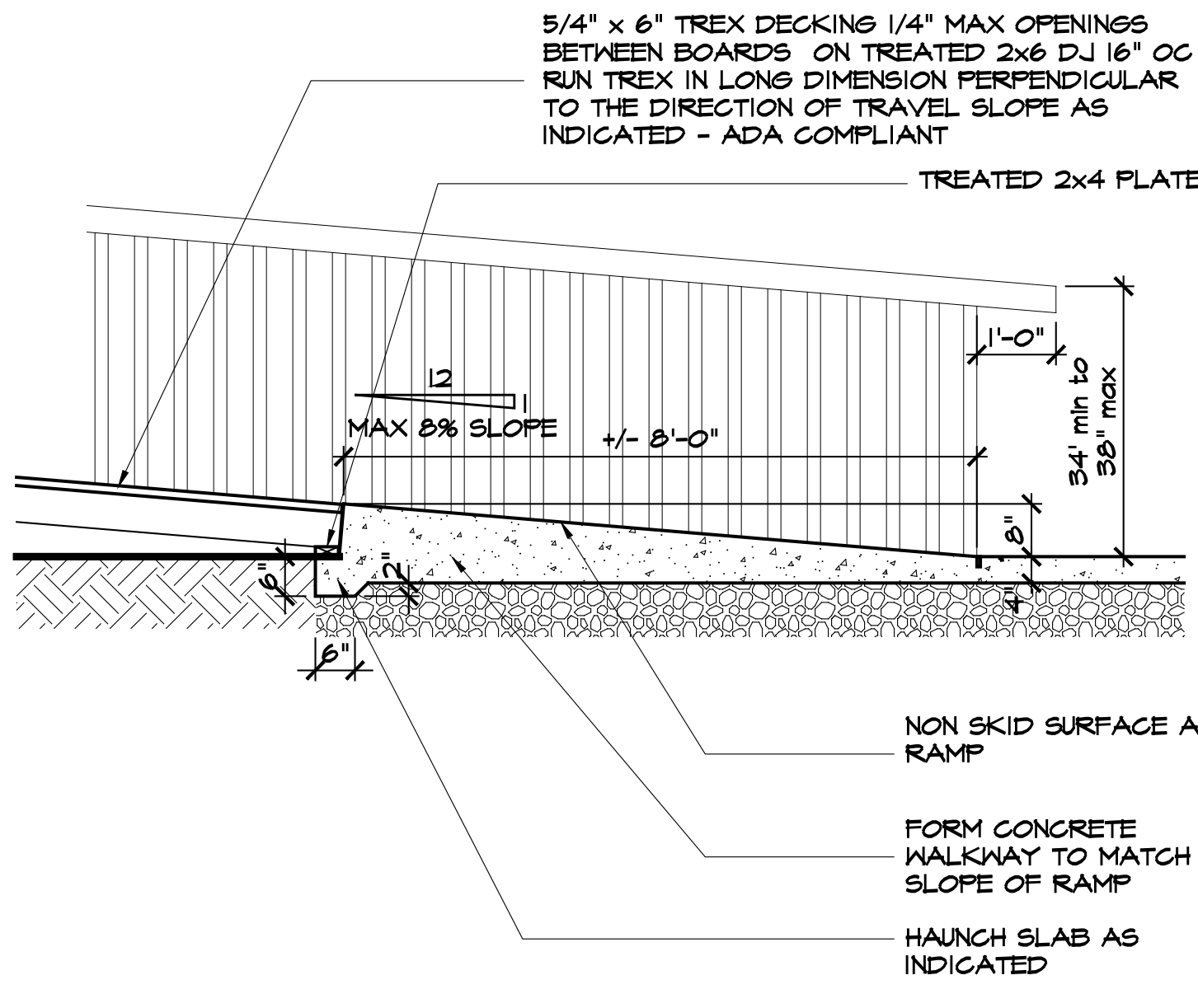


ALL CONCRETE SHALL BE AIR ENTRAINED, 4000 PSI CYLINDER TESTING REQUIRED AS PER P.E.

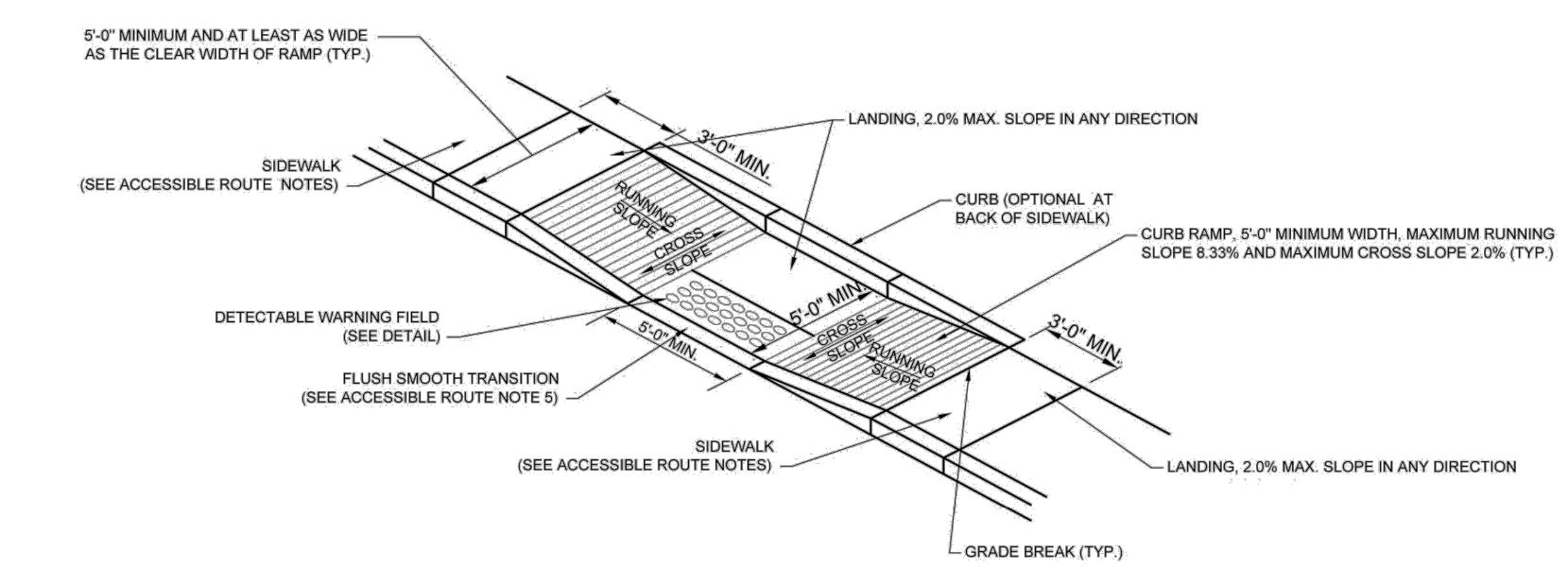


- NOTES:**
1. ALL CONCRETE TO BE 4000 PSI AIR ENTRAINED
 2. FOR LOCATION OF CURB FROM PROPERTY LINE, SEE STANDARD ROAD SECTION
 3. STEEL FORM OR EQUAL SHALL BE USED
 4. EXPANSION JOINTS 1/2" THICK 20'-0" OC SHALL BE USED
 5. ALL CONCRETE SHALL BE TAMPED IN PLACE, NO HONEYCOMB WILL BE ALLOWED, FINISH SHALL BE SMOOTH AND EVEN - RUBBED WITH A WOOD FLOAT
 6. ALL EDGES SHALL BE TOOL ROUNDED
 7. CYLINDER TESTING BY THIRD PARTY TESTING AGENCY AND PE IS REQUIRED

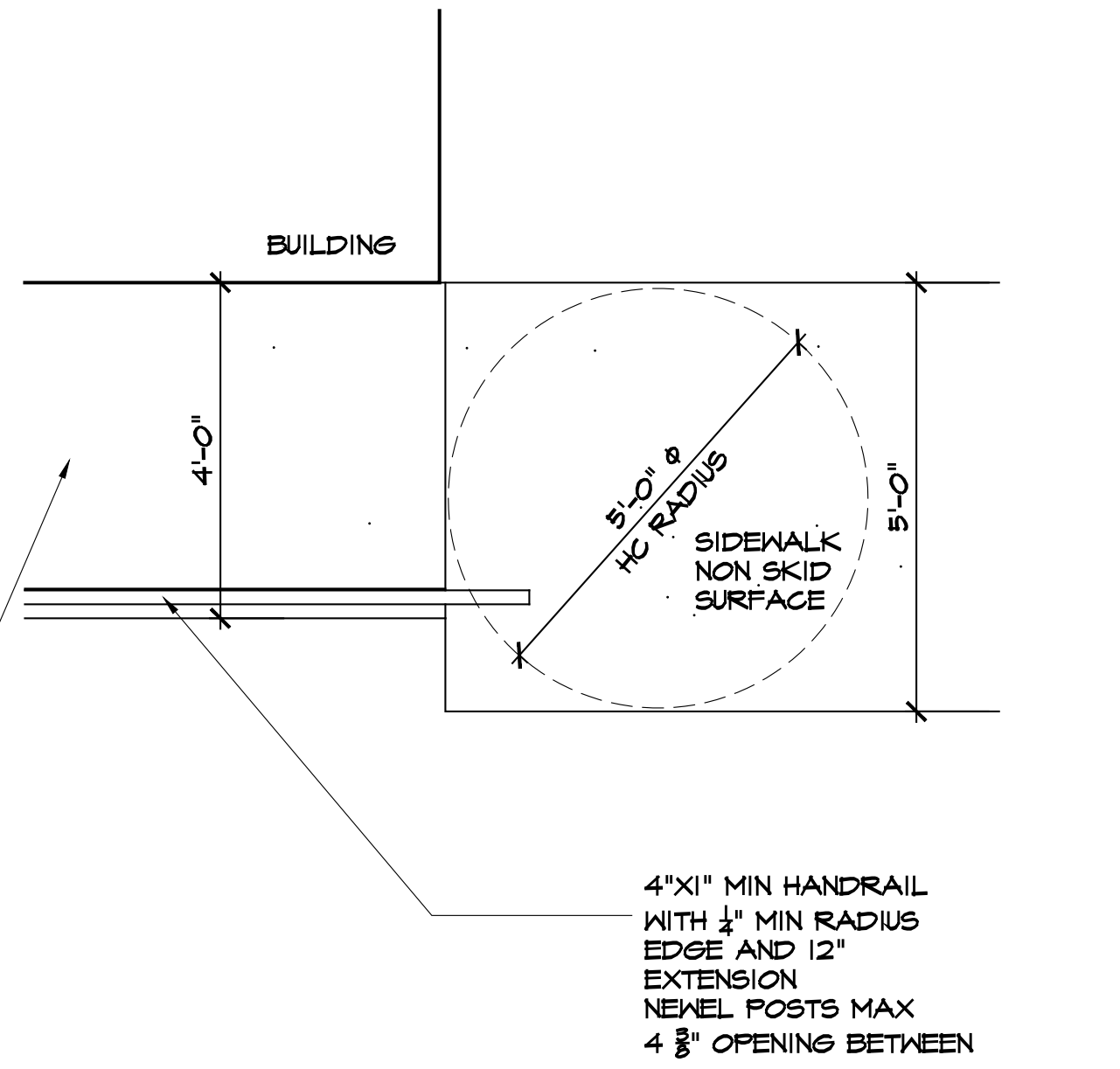
6 Concrete Curb Details
ST.5 scale: none



4 Sidewalk to Handicap Building Ramp Detail
ST.5 scale: 1/2" = 1'-0"



7 Handicap Sidewalk Detail
ST.5 scale: none



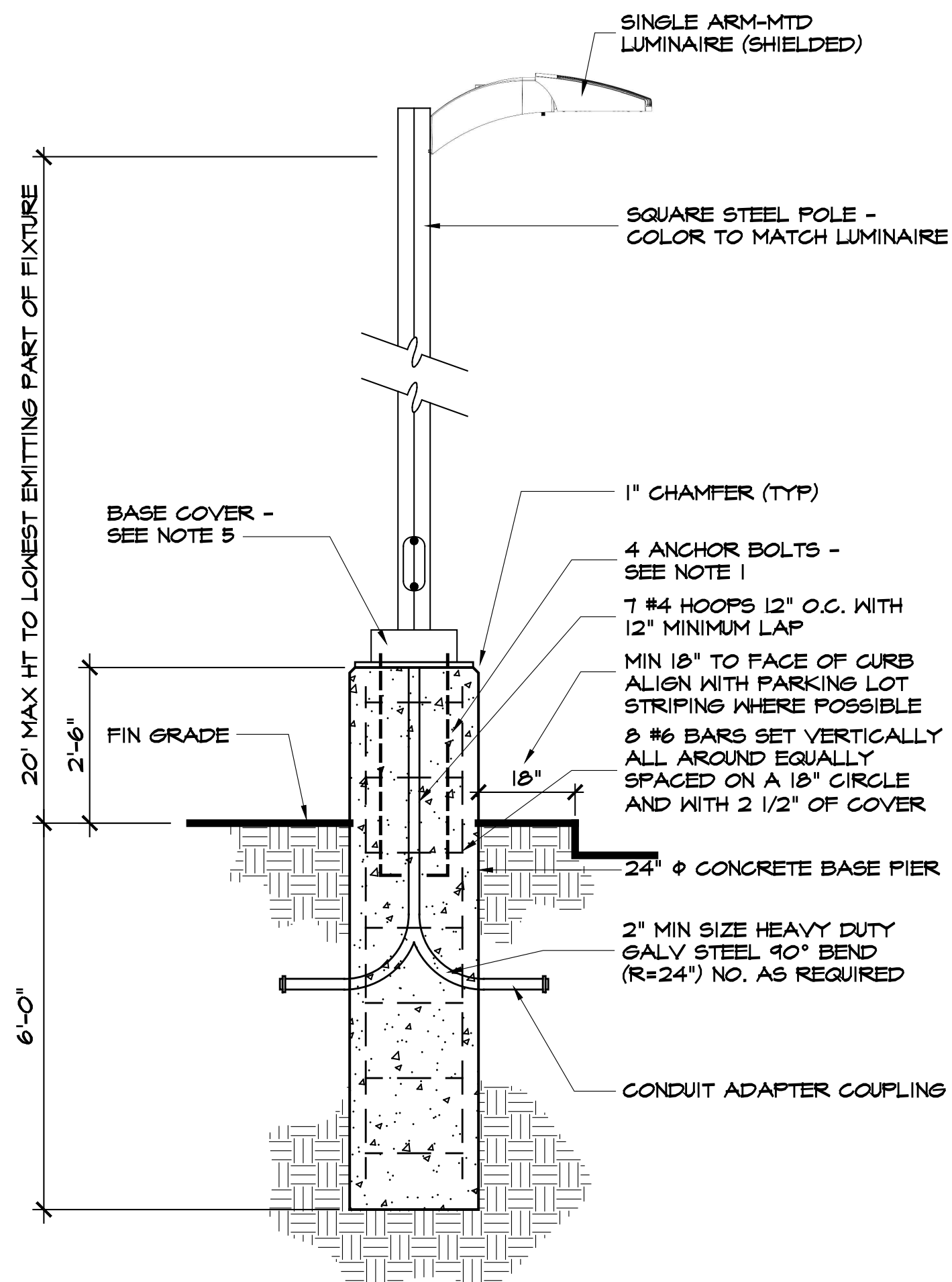
- ACCESSIBLE ROUTE NOTES:**
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY THEY SERVE.
 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
 3. WALKING SURFACES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
 4. ANY WALKING SURFACE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMP OR CURB RAMPS.
 5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL).
 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 7. THE MINIMUM CLEAR WIDTH SHALL BE THIRTY-TWO (32) INCHES FOR A ROUTE SEGMENT LENGTH LESS THAN TWENTY-FOUR (24) INCHES. CONSECUTIVE SEGMENTS OF THIRTY-TWO (32) INCHES IN WIDTH MUST BE SEPARATED BY A ROUTE SEGMENT FORTY-EIGHT (48) INCHES MINIMUM IN LENGTH AND THIRTY-SIX (36) INCHES MINIMUM IN WIDTH.
 8. THE MINIMUM CLEAR WIDTH SHALL BE THIRTY-SIX (36) INCHES FOR A ROUTE SEGMENT LENGTH GREATER THAN TWENTY-FOUR (24) INCHES.
 9. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM.

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2	12/4/23	REV/ISSUED FOR PLAN DEPT APPR
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project New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY
drawing Site Construction Details

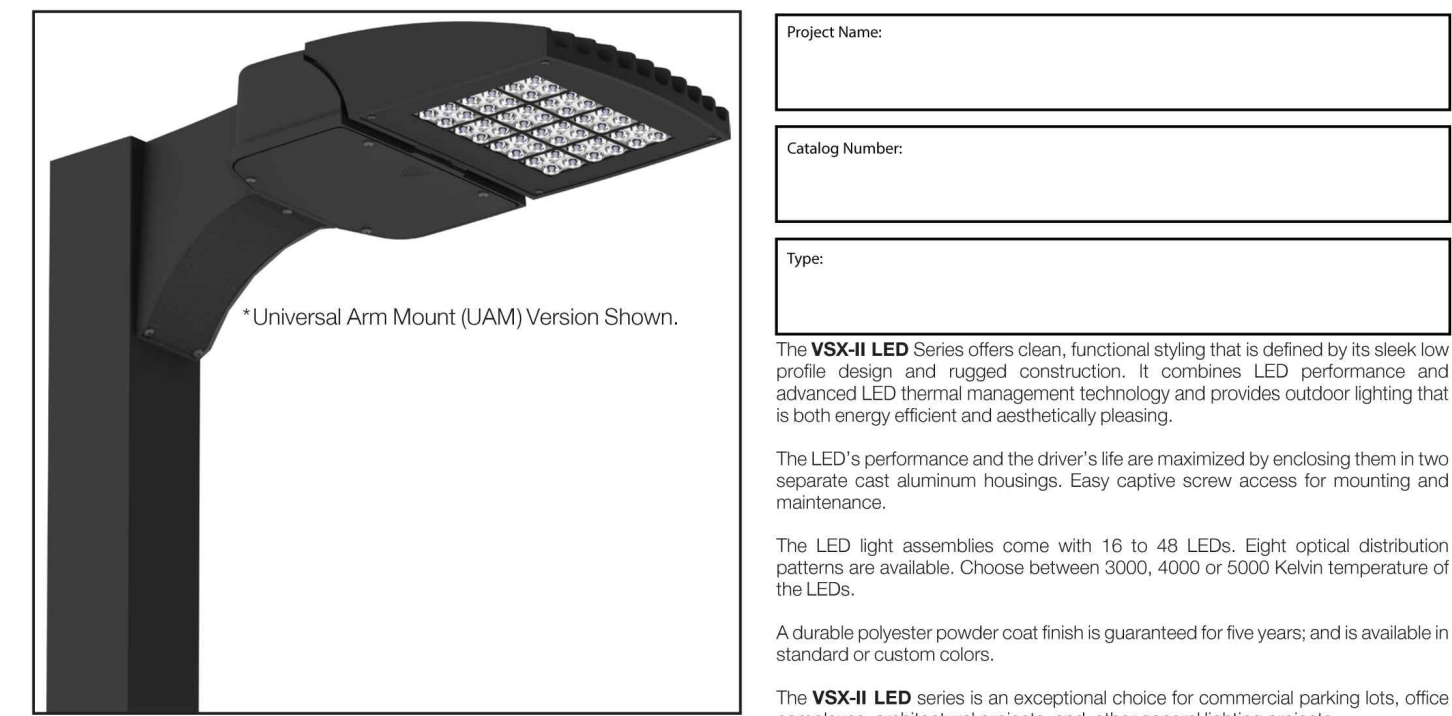
project no. 17015
project date 03/17
scale AS NOTED
drawn by GRB
checked by GRB/CL
seal

George Badger, RA
Charles Lembo, RA
drawing number



1 Light Pole Detail
ST.6 scale: 1/2" = 1'-0"

VSX-II LED Specifications



Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VSX-II	T1 Type 1	16LC	3 350mA	3K 3000K	UNV 120/277V	AM Arm Mount	BZ Bronze	PCR-120 Motion Sensor 8" Mounting Height	WSC-8 Universal Square Pole Mount Adaptor	UPMA-S Universal Square Pole Mount Adaptor
	T2 Type 2	32LC	5 350mA	4K 4000K	347V	SAM Straight Arm Terminal Block (New Construction)	BR Black	PCR-208 PCR-240 PCR-277 PCR-347 PCR-480 Photocell Receptacle	WSC-20 Motion Sensor 8" Mounting Height	UPMA-R Universal Round Pole Mount Adaptor
	T3 Type 3	48LC	7 700mA	5K 5000K	480V	UAM Universal Arm/W Terminal Block Mount (Petrol)	WH White	PER Photo Receptacle wiring cap Receptacle Dimming Driver	WSC-40 Motion Sensor 2-1/4" Mounting Height	BAWP Cast Wall Plate
	T4 Type 4					MAF Mast Arm Fitter	SWH Smooth White	7PINPER 7-pin photo Receptacle wiring cap Receptacle Dimming Driver	ROT-R Rotated Right Side	ROT-L Rotated Left Side
	T5 Type 5					WM Wall Mount *Requires BAWP	SL Silver	DIM 0-10V Dimming Driver	ECLS Egg Crate Lower Shield	RCLL High/Low Cutoff shield *used with RCL
	T5WR Type 5 Wide Round					AWM Adjustable Wall Mount	SL Metallic	ADLS Adjustable Lower Light Shield	LCLS Lattice Cutoff shield *used with RCL	BD Barn Door Shield
						CC Custom Color Adapters (RPP) are to be ordered separately. *BAWP to be ordered separately	RPP-3* RPP-4* RPP-5* Round Pole Plate Adaptor	VWC Visionaire Wireless Controls *Consult Factory		HS House Shield

VISIONAIRE LIGHTING

2 Light Pole Specification
ST.6 scale: 1/2" = 1'-0"

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC) WITH THE POLE MANUFACTURER PRIOR TO INSTALLATION OF THE FOUNDATION PIERS.
- CHAMFER EXPOSED EDGES OF ALL FOUNDATION PIERS.
- PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.
- COLOR AND STYLE OF THE LUMINAIRE BY OWNER - POLE COLOR TO MATCH LUMINAIRE COLOR.
- BASE COVER SHALL BE SIZED FOR VARIOUS POLE HEIGHTS AS RECOMMENDED BY THE MANUFACTURER.
- FIRE UNDERWRITER'S CERTIFICATE REQUIRED.

LITON OUTDOOR TYPE CATALOG# PROJECT

BL2RZ: LUMENPOLE ROUND BOLLARD & LIGHT COLUMNS

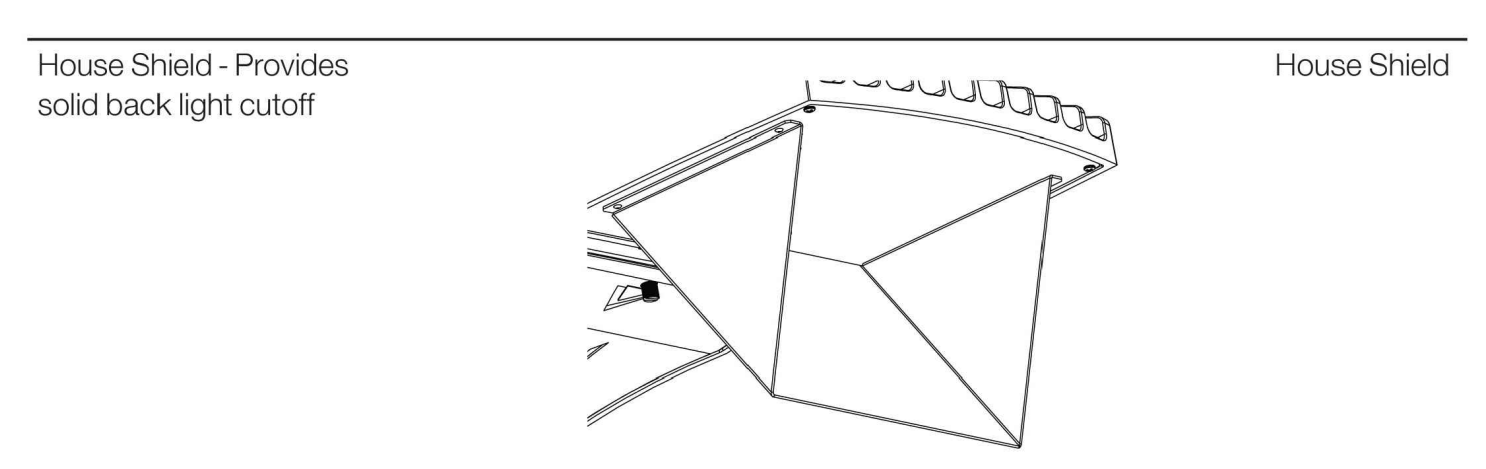


ORDERING : BL2RZ-78B-L24-ASY-WUE-D10-T30-C80-SRG

BL2RZ	Height	Finish	Lumens	Optic	Driver	LED	Options
40" Bollard	-40	B	1800lm (20W)	L18	Non-Dimming (120V)	Blank	None
59" Light Column	-59	W	2400lm (28W)	L24	ELV and TRIAC Dimming (120V)	-DIN	None
78" Light Column	-78	S	3000lm (36W)	L30	0-10V Dimming (120V/277V)	UE-D10	Surge Protector
98" Light Column	-98	W	3400lm (44W)	L34	Asymmetric Forward Throw	UE-DUN	Integral Emergency Battery
118" Light Column	-118	BZ			Asymmetric Wide		Frosted Lens

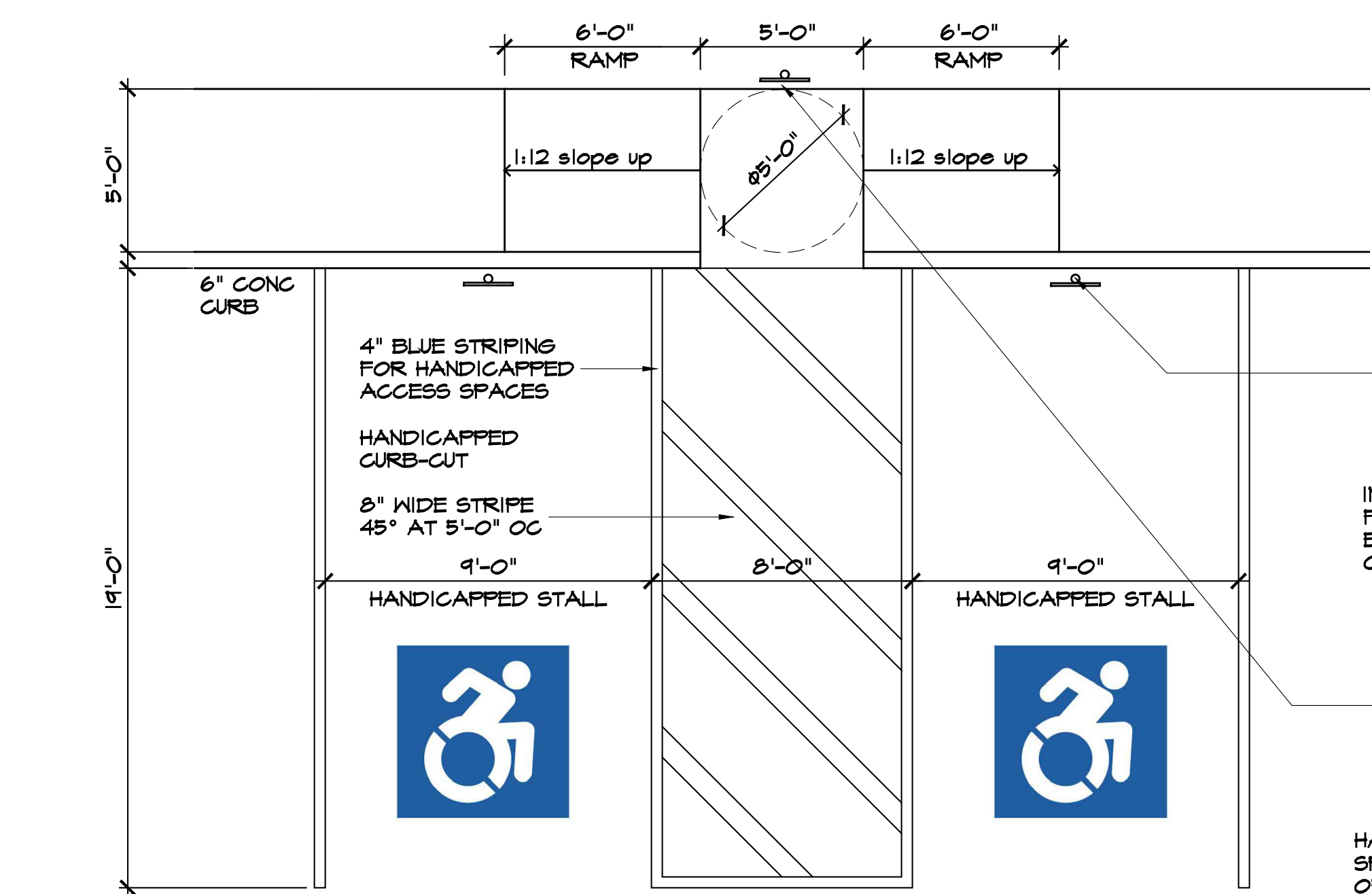
3 Bollard Path Light Specification
ST.6 scale: 1/2" = 1'-0"

- BOTTOM OF ALL HC SIGNS AS INDICATED TO BE MOUNTED 7'-0" TO BOTTOM OF SIGNAGE.
- ON-SITE SIDEWALK AND HANDICAPPED ACCESS RAMP TO BE 6" THICK POURED AIR-ENTRAINED CONCRETE WITH 6x6/1010 GA W/M WITH A MINIMUM OF 3" COVER.
- THIS DETAIL REPRESENTS THE STANDARD NYS DOT SPECIFICATION FOR HANDICAP ACCESSIBLE PARKING - PARKING STALL SIZING AND CURBING DETAILS TO BE MODIFIED AS REQUIRED FOR SPECIFIC SITE CONDITIONS - REFER TO SITE PLAN FOR SPECIFIC SITE CONDITIONS.

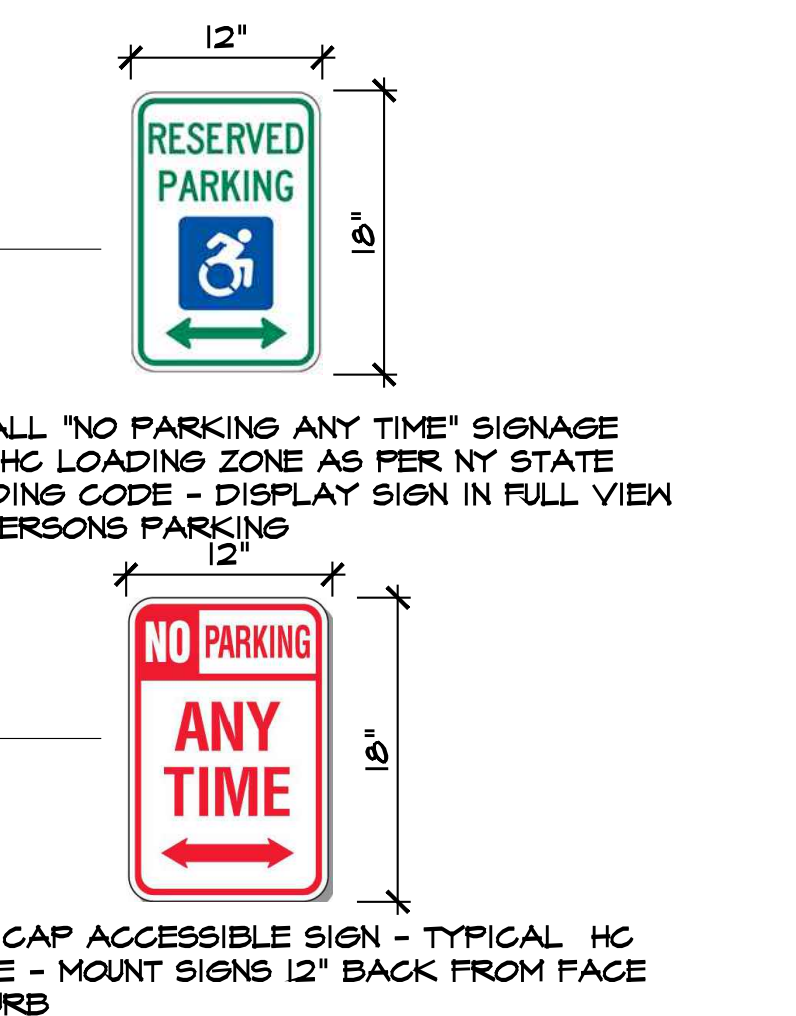


3a Light Shield Specification
ST.6 scale: 1/2" = 1'-0"

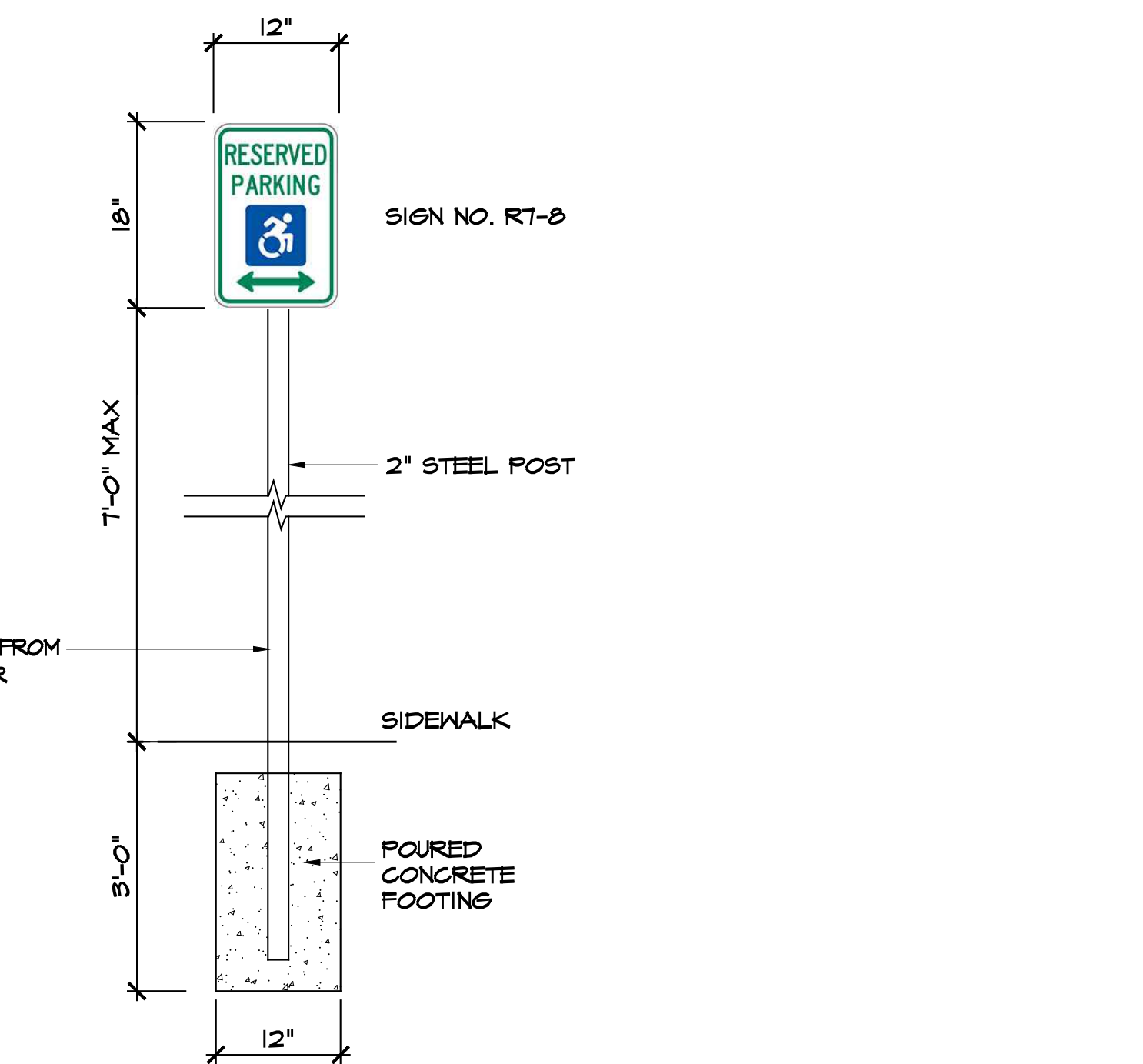
- GENERAL LIGHTING NOTES:
- LIGHTING SHALL BE DIRECTED AS NOT TO SHINE ONTO NEIGHBORING PROPERTIES, PROVIDE SHIELDS AS NECESSARY.
 - LIGHTING TO BE IN COMPLIANCE WITH ARTICLE LII OF THE ZONING CODE TOWN OF ISLIP (68-682-694)
 - MAX @ PL THAT ADJOINS RESIDENTIAL/PUBLIC RIGHT OF WAY - $f_c = 0.05$
MAX @ PL THAT ADJOINS COMMERCIAL PROPERTIES - $f_c = 0.1$
 - ALL LIGHTING TO BE APPROVED BY TOWN OF ISLIP
 - ALL FIXTURES TO MEET IESNA FULL CUTOFF CLASSIFICATION AND DARK SKIES COMPLIANT.



4 Handicapped Accessible Parking Stall and Signage Detail
ST.6 scale: 1/4" = 1'-0"



- NOTES:
- BOTTOM OF ALL HC SIGNS AS INDICATED TO BE MOUNTED 7'-0" TO BOTTOM OF SIGNAGE.
 - ON-SITE SIDEWALK AND HANDICAPPED ACCESS RAMP TO BE 6" THICK POURED AIR-ENTRAINED CONCRETE WITH 6x6/1010 GA W/M WITH A MINIMUM OF 3" COVER.
 - THIS DETAIL REPRESENTS THE STANDARD NYS DOT SPECIFICATION FOR HANDICAP ACCESSIBLE PARKING - PARKING STALL SIZING AND CURBING DETAILS TO BE MODIFIED AS REQUIRED FOR SPECIFIC SITE CONDITIONS - REFER TO SITE PLAN FOR SPECIFIC SITE CONDITIONS.



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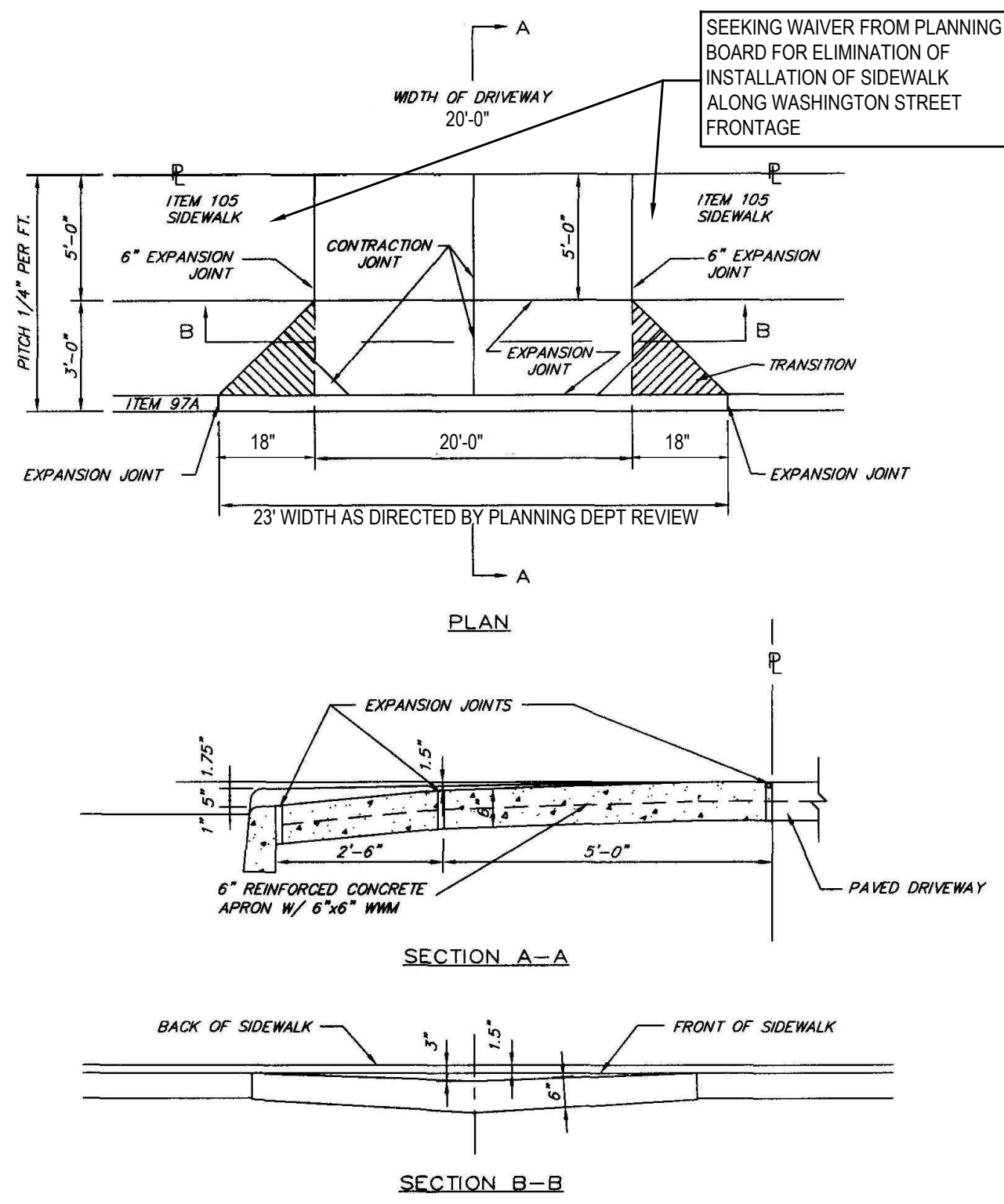
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7	6/14/18	ISSUED FOR PLAN DEPT APPROVAL

project New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY
drawing Site Lighting Details
Handicap Parking Details

project no. 17015
project date 03/17
scale AS NOTED
drawn by GRB
checked by GRB/CL
seal
George Badger, RA
Charles Lembo, RA
drawing number

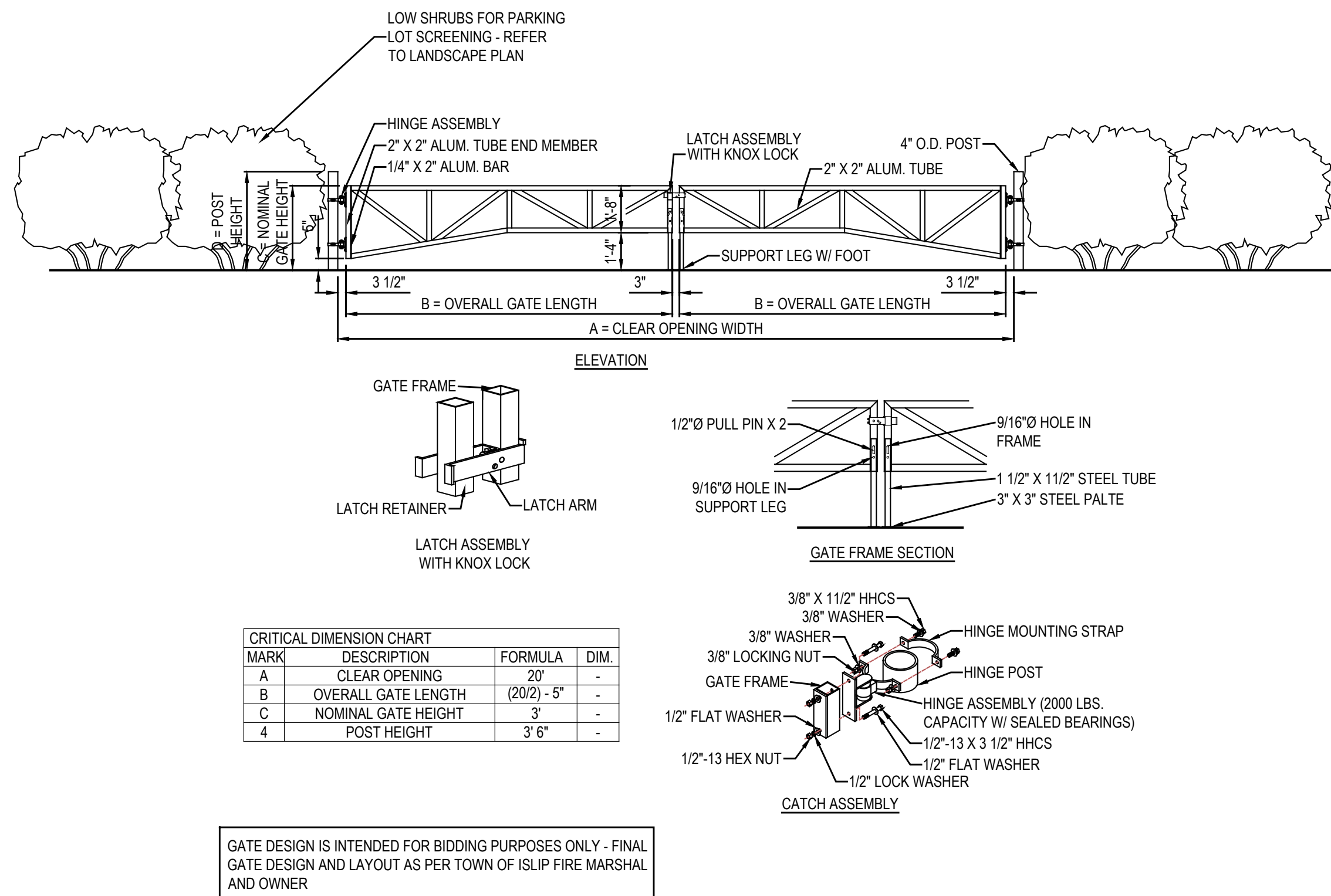
1
ST.7 **Washington Street Driveway Apron**
scale: 1/2" = 1'-0"



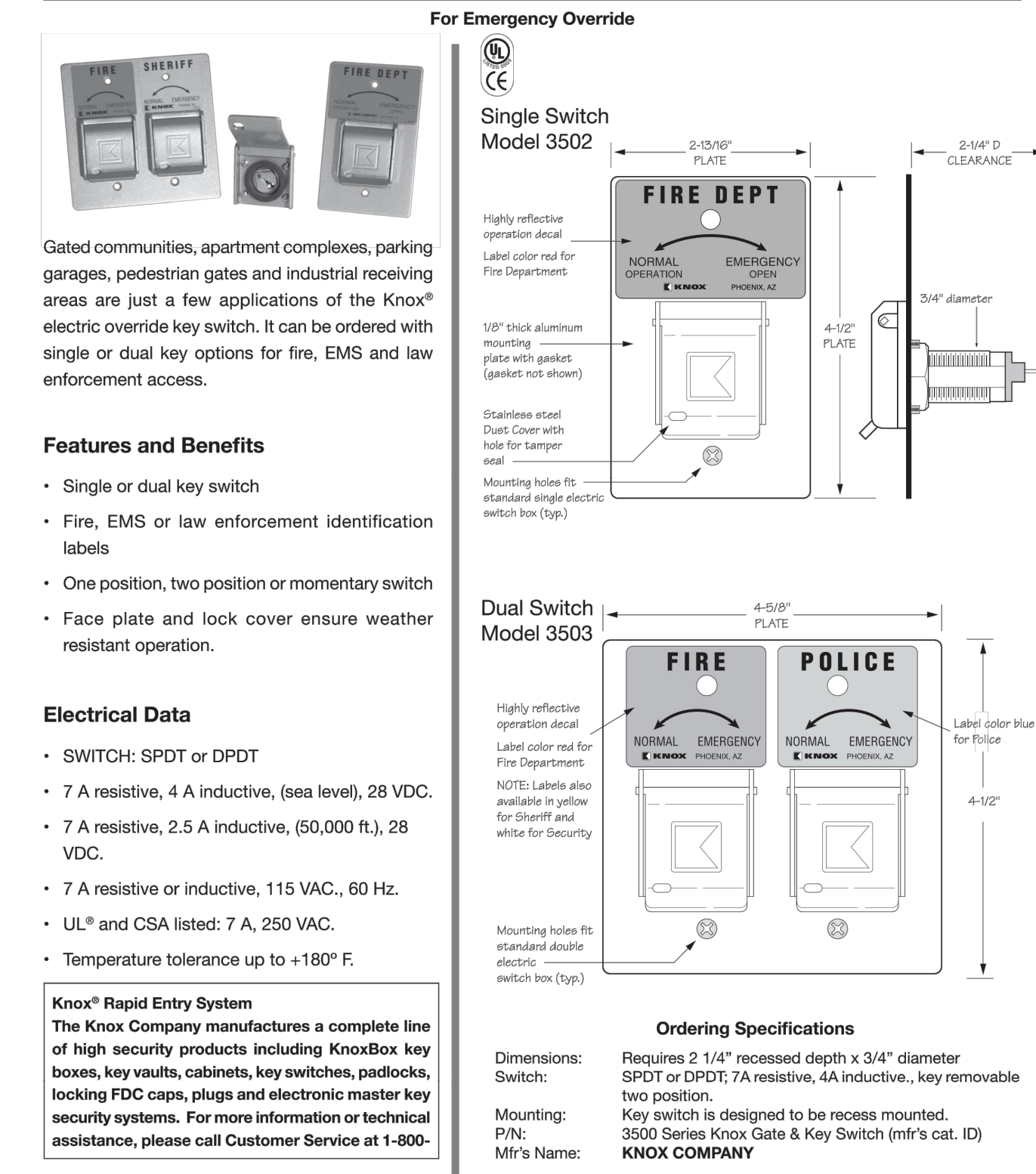
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SITE-6 - 24

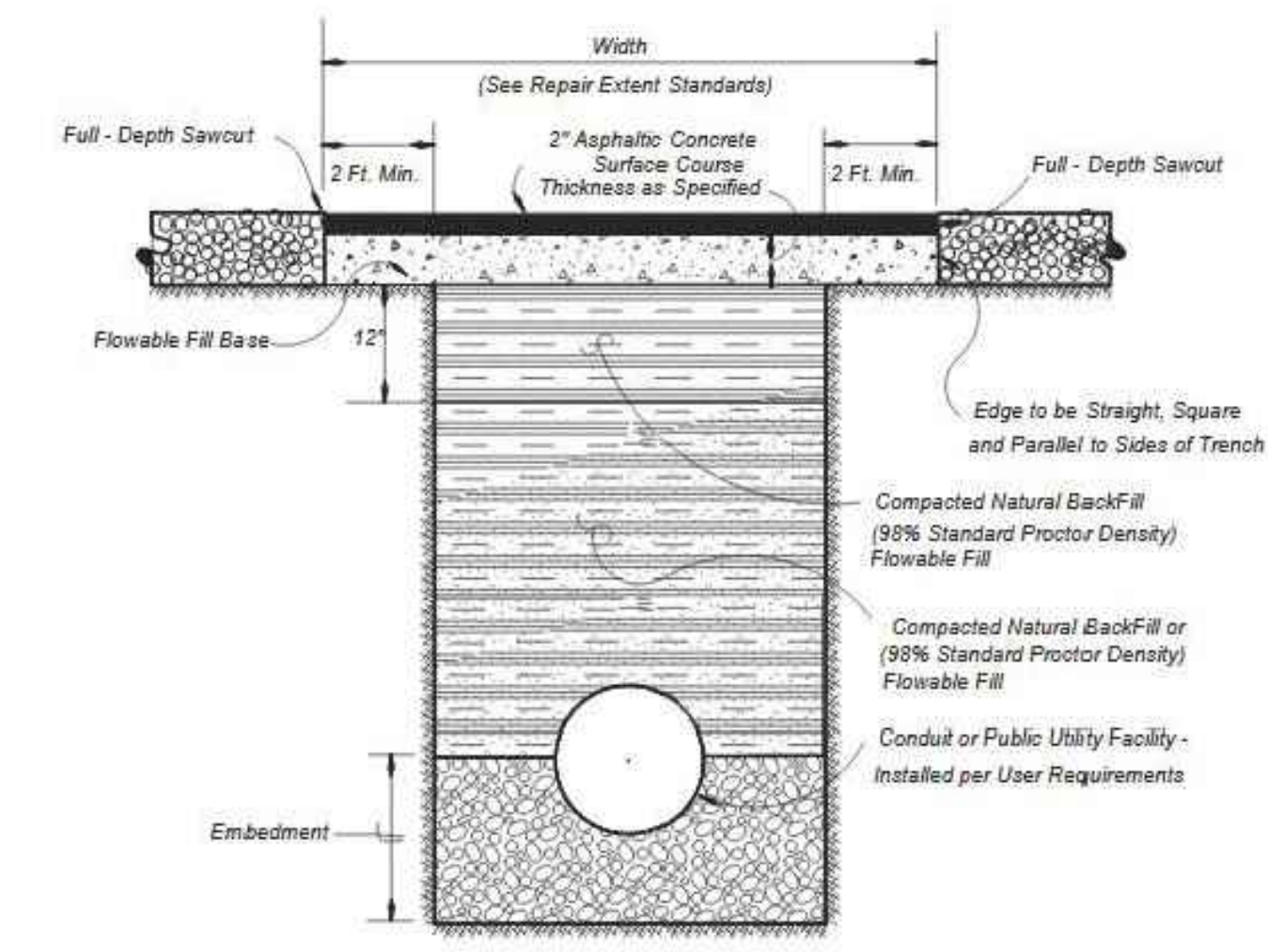
2
ST.7 **Emergency Access Gate Detail**
scale: none



KNOX **Knox Gate & Key Switch**



3
ST.7 **Knox Gate & Key Switch Detail**
scale: 1/2" = 1'-0"



4
ST.7 **Pavement Saw Cut Detail**
scale: 6" = 1'-0"

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project New Mixed Use Building
E&J Land Development, LLC
155 Carleton Avenue
East Islip, NY
drawing Site Emergency Access Details Retaining Wall Details

project no. 17015
project date 03/17
scale AS NOTED
drawn by GRB
checked by GRB/CL
seal

George Badger, RA
Charles Lembo, RA
drawing number

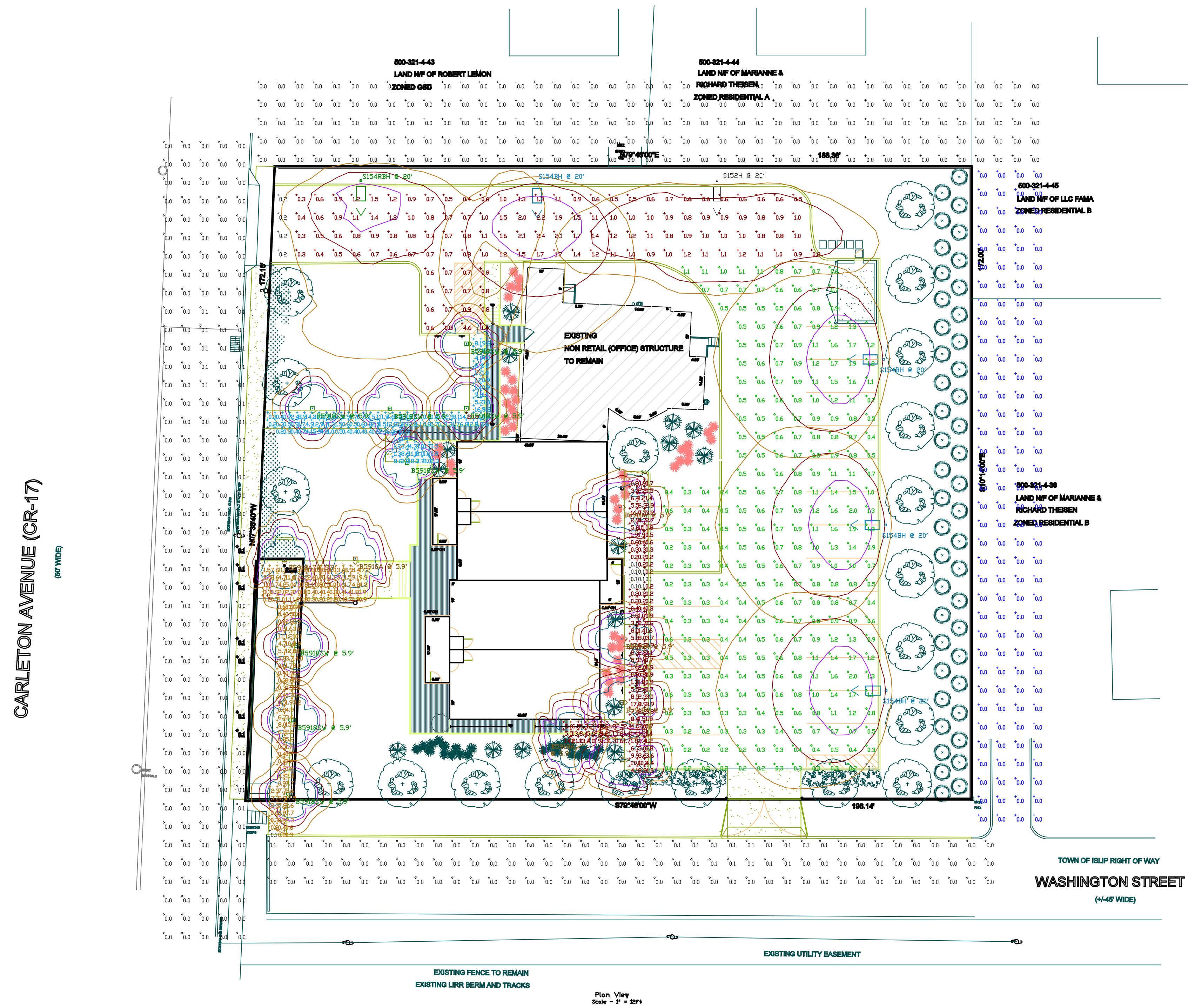
SP2018-057

ST.7

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	B5918A	7	LITON LIGHTING	BL2QZ-59-BL18-ASY-FT-T30-C90	Lumen Pole Square Column - 59in		1	BL2QZ-59-BL18-ASY-FT-T30-C90.IES	1051	0.95	43.06
	B5918SW	8	LITON LIGHTING	BL2QZ-59-BL18-SYM-W-T30-C90	Lumen Pole Square Column - 59in		1	BL2QZ-59-BL18-SYM-W-T30-C90.IES	1125	0.95	43.11
	S152H	1	Visionaire Lighting LLC	VSX-II-T2_16LC_5_3K_HSS_PRELIMINARY.ies			16	VSX-II-T2_16LC_5_3K_HSS_PRELIMINARY.ies	105	0.95	26
	S154RBH	1	Visionaire Lighting LLC	VSX-II-T4_16LC_5_3K_BRS_4IN_PRELIMINARY.ies			16	VSX-II-T4_16LC_5_3K_BRS_4IN_PRELIMINARY.ies	130	0.95	26
	S154BH	4	Visionaire Lighting LLC	VSX-II-T4_16LC_5_3K_BHS.ies			1	VSX-II-T4_16LC_5_3K_BHS.ies	2028	0.95	26

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FRONT WALKWAY	+	3.4 fc	21.0 fc	0.1 fc	210.0:1	34.0:1
LEFT SIDE-LIGHT TRESPASS	◇	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
LOWER LEFT WALKWAY	+	3.1 fc	20.6 fc	0.1 fc	206.0:1	31.0:1
RIGHT SIDE LIGHT TRESPASS	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
RIGHT SIDE PARKING AREA	◇	0.7 fc	2.0 fc	0.1 fc	20.0:1	7.0:1
TOP LEFT WALKWAY	+	4.6 fc	20.9 fc	0.1 fc	209.0:1	46.0:1
TOP PARKING AREA	+	1.0 fc	4.6 fc	0.2 fc	23.0:1	5.0:1
TOP-LIGHT TRESPASS	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
BOTTOM-LIGHT TRESPASS	◇	0.0 fc	0.1 fc	0.0 fc	N/A	N/A



NOTE: TOWN CODE 68-691 C REQUIRES ALL EXTERIOR LIGHTING EXISTING AND PROPOSED TO BE BROUGHT INTO COMPLIANCE WITH CURRENT REGULATIONS
 ANY LIGHTING INSTALLED WITHIN THE FRONTING RIGHT OF WAY SHALL BE COORDINATED WITH THE LIGHTING DIVISION OF THE ISLIP DEPARTMENT OF PUBLIC WORKS

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