

A New Building for:

Catawba Bethel Building

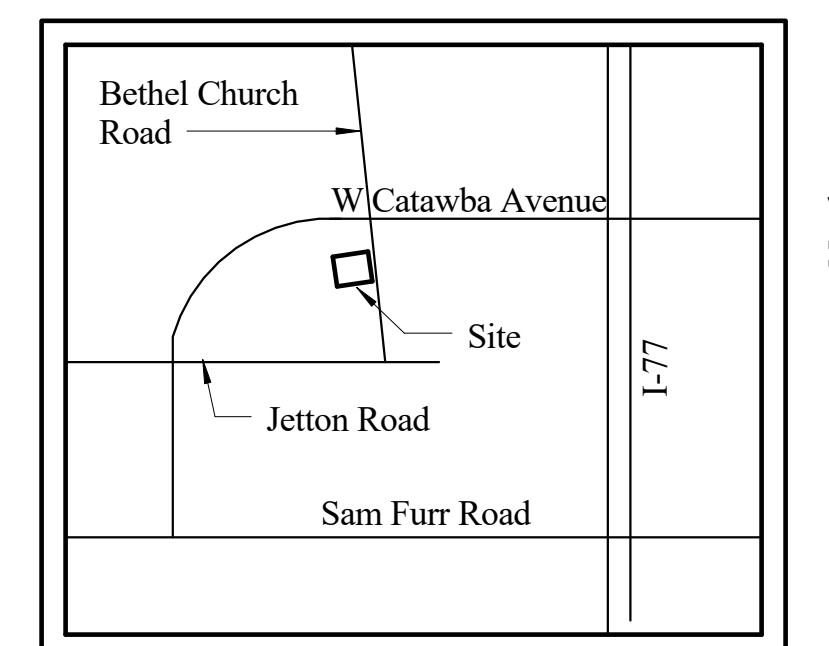
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Cornelius, NC 28031

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Vicinity Map

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3/7/2017

Catawba Bethel Building

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:

Cover Sheet

Project 14515
Date 3/7/2017

Revisions

No.	Description	Date

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Sheet:

CS-01

2012 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (Includes: New Construction, Upfits, Renovations, Additions) (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)



a. Project Information – (Required information for all projects)
 Name of Project: Catawba Bethel Building
 Address: 19711 Bethel Church Road, Cornelius, NC Zip Code: _____
 Proposed Use: Multi-tenant shell building - Business occupancy
 Owner/Authorized Agent: Neill Fortune Phone # (704) 366 3639 E-Mail: neil@fortune-architects.com
 Owned by: City/County Private State
 Code Enforcement Jurisdiction: City County MECKLENBURG State _____

b. Project Summary/ Alternative Means of Compliance – (Required information for all projects)

Building description: _____
 Type: V-B 2 story building of approximately 6,000 sq ft shell status except for common entry and elevator lobby.

Scope of work details: (If phased construction, please see plan submittal guidelines for submittal requirements.)
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Tools/Forms/Documents/paid.pdf
New construction, not upfit.

Does this project have air rights, easements, an assumed or deeded property line, no build easements or other circumstances similar to the aforementioned? Yes No If yes, please provide a copy of the official documents.

Renovation projects only: If you are using Chapter 34 (3412- Existing buildings) in the NCSCB or NFPA 101 as an alternative for Code compliance please schedule a preliminary review before submitting your project for review. Notes for Plans Examiner and Inspectors: Please reproduce the evaluation form on the plans.

If applicable to your project: Alternative Means of Compliance/Engineering Judgment:
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Tools/CodeInterpretations/Pages/default.aspx
 (Approval needed from the Code Administrator is required before submitting.)

Check if applicable to your project:

Industrial equipment with declaration document attached [See www.Meckpermit.com/Electrical Services]
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Inspections/Templates/Industrial/Documents/IndustrialMachineryFAQ.pdf

RTAP (Revisions to approved plans) [See www.Meckpermit.com/Commercial Plan Review Services]
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/PlanReview/Pages/RevisionsToApprovedPlans/Process.aspx

c. Design Professional Information – (Required Information for All Projects)

LEAD DESIGN PROFESSIONAL: W. Neill Fortune

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	Fortune Architects	W. Neill Fortune	3416	() 394-266-9039	neil@fortune-architects.com
Civil	Wadkins Design, P.C.	Ray De Bevoise, Jr.	10011	() 384-211-6267	peroxy@wadkinsdesign.com
Electrical	Todd W. Cary & Associates, PA	Todd W. Cary	99079	() 384-669-0121	tdodd@tdoddw.com
Fire Alarm	Todd W. Cary & Associates, PA	Todd W. Cary	99079	() 384-669-0121	tdodd@tdoddw.com
Plumbing	Todd W. Cary & Associates, PA	Todd W. Cary	99079	() 384-669-0121	tdodd@tdoddw.com
Mechanical	Todd W. Cary & Associates, PA	Todd W. Cary	99079	() 384-669-0121	tdodd@tdoddw.com
Sprinkler-Standpipe	Reynolds Engineering PC	Randy M. Reynolds	03613	() 394-778-1192	randy@reynoldsengineering.com
Structural					
Retaining Walls >5' High					
Other					

d. Type of work being performed – (Required Information for All Projects)

What type of work is being performed?
 New Construction:
 (A project from the site work through the completion of work required for tenant occupancy) This includes Shell buildings.
 Alteration: (An Existing Building that is adding heated or unheated space. This could be an addition to the footprint or a vertical expansion)
http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolinaBuilding/PDFs/Chapter4%20-%20Definitions.pdf
 Upfit: (First Time Interior Completion)
 (Upfit – the first time interior completion of a virgin (never occupied) shell space in a newly constructed building. The applicant must provide a copy of the approved shell.)
 Alteration/Renovation: (Previously Occupied Space) This includes Change of Use.
http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolinaBuilding/PDFs/Chapter4%20-%20-%20Definitions.pdf

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	ALT./RE	NEW TOTAL
6 th Floor				
5 th Floor				
4 th Floor				
3 rd Floor				
2 nd Floor		2,724		
Mezzanine				
1 st Floor		3,047		
Basement				
TOTAL		5,771		

e. Code Information- NCSCB – (If using the R/HAB code please go section f.)

Building Code: 2012 North Carolina State Building Code (NCSCB)
 2012 Chapter 34 (attach building evaluation per section 3412)
 2015 NC Existing Building Code
 New Building: New building Shell building
 First time interior completion (upfit)
 Addition
 Existing Building: Change of use/occupancy
 Building/tenant space interior completion (Alteration / Renovation)
 Year of construction: _____ Previous use: _____

Alteration/Renovation projects: Please see 3411 NCSCB for compliance for Accessibility for Existing Buildings. A letter from the designer will be required to be reproduced on the plans to verify how compliance will be achieved. This can be placed on the plans after the Appendix B.
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/PlanReview/Documents/Section 3409 Compliance.pdf

f. R/HAB Code (Existing Building Code)

http://charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/PlanReview/Pages/NCRHABCode.aspx
 2012 NC R/HAB Code Information: Scope of work / work area must be listed and delineated on the plans.
 Check all that apply: Repair Renovation Alteration Reconstruction Change of use Addition
 Last known legal occupancy use: _____ Historic Property: Yes No
 Original Building Construction Date: _____ Date of Preliminary Meeting: _____
 Justifications for using the R/HAB code: _____

Reviewers Notes for Field Inspector: _____

g. Basic Building Data – (Required information for all projects)

Construction Type: (Table 601) I-A I-B I-1A I-1B I-1C I-1D I-1E I-1F I-1G I-1H I-1I I-1J I-1K I-1L I-1M I-1N I-1O I-1P I-1Q I-1R I-1S I-1T I-1U I-1V I-1W I-1X I-1Y I-1Z
 (check all that apply)
 Sprinklers: (Section 903) No Partial Yes NFPA 13-07 NFPA 13R-07 NFPA 13D-07
 Standpipes: (Section 905) No Yes Class I II III Wet Dry NFPA 14-07
 Fire District: http://charmeck.org/city/charlotte/Fire/Pages/default.aspx No Yes (Primary/Appendix D)
 Flood Hazard Area: (Appendix G) No Yes
 Building Height: (feet) 35 (Table 503) Stories: 2
 Gross Building Area: _____

o. Exit Requirements – (Required for all Projects)

NUMBER AND ARRANGEMENT OF EXITS (TABLE 1021.1)

FLOOR, ROOM OR SPACE	MEMBER'S NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS (SECTION 1018.2)	
	REQUIRED	SHOWN	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.3)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED	ACTUAL SHOWN ON PLANS
First Floor	2	2	200	45	76.7'	34'

¹ Corridor dead ends (Section 1018.4)
² Buildings with single exits (Table 1021.2). Spaces with one means of egress (Table 1015.1)
³ Common Path of Travel (Section 1014.3)

OCUPANT LOAD AND EXIT WIDTH (TABLE 1004.1)

USE GROUP OR SPACE DESCRIPTION	(a) GROSS AREA SQ. FT.	(b) AREA PER OCCUPANT	(c) CALCULATED OCCUPANT LOAD (a/b)	(d) EGRESS WIDTH PER OCCUPANT (SECTION 1005.1)	(e) REQUIRED WIDTH (a/c) x (d)	(f) ACTUAL WIDTH SHOWN ON PLANS
First Floor	3,047	100	30	0.3	36"	72"
Second Floor	2,724	100	28		36"	44"

¹ See Table 1004.1.1 to determine whether net or gross area is applicable.
² See definition "Area, Gross" and "Area, Net" (Section 1002)
³ Minimum stairway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1)
⁴ Minimum width of exit passageway (Section 1023.2)
⁵ See Section 1004.5 for covering exits.
⁶ The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
⁷ Assembly occupancy (Section 1028)
⁸ Spaces with occupancies or use groups shall be calculated independently. (Ex. Lobbies, lounges, break rooms, conference rooms. If room is less than 750 sq. ft., room may be calculated at 100 sq. ft. per person for egress.)

p. Accessible Dwelling Units and sleeping units -- (Only for R-1, R-2 occupancy)

ACCESSIBLE DWELLING UNITS (1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

h. Allowable Area / Occupancy Classification – (Required information for all projects)

Occupancy(6): (Chapter 3)
 Assembly (303) A-1 A-2 A-3 A-4 A-5
 Business (304) B
 Educational (305) E
 Factory (306) F-1 Moderate F-2 Low
 Hazardous (307) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional (308) I-1 I-2 I-3 I-4
 Mercantile (309) M
 Residential (310) R-1 R-2 R-3 R-4
 Storage (311) S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous (312) U

Accessory Occupancies (S 1014): (S08) If Applicable
 Assembly A-1 A-2 A-3 A-4 A-5
 Business B
 Educational E
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4
 I-3 Condition 1 2 3 4 5
 Mercantile M
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous U

Incidental Uses: If applicable, areas with additional requirements (Table 508.2.5):
 Furnace room where any piece of equipment is over 400,000 Btu per hour input
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
 Refrigerant machine rooms
 Hydrogen cutoff rooms, not classified as Group H
 Incinerator rooms
 Paint shops, not classified as Group H, located in occupancies other than Group E
 Laboratories and vocational shops, not located as Group H, located in a Group E or I-2 occupancy
 Laundry rooms over 100 square feet
 Group 1-3 cells equipped with padded surfaces
 Group 1-2 waste and linen collection rooms
 Waste and linen collection rooms over 100 square feet
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterruptible power supplies
 Rooms containing fire pumps Rooms containing Life-Safety generator Rooms containing primary transformers
 Group 1-2 storage rooms over 100 square feet
 Group 1-2 commercial kitchens
 Group 1-2 laundries equal to or less than 100 square feet
 Group 1-2 rooms or spaces that contain fuel-fired heating equipment

q. Accessible Parking – (Projects that are New Construction, Additions, Change of Use)

(1105)

TOTAL PARKING AREA	TOTAL # OF REQUIRED SPACES	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE PROVIDED
Existing	Center	Parking	
TOTAL			

r. Structural Design – (Primarily for New Construction, Additions and Change of Use)
 If adding dead loads or live loads to the building structural system information in any project shall be required. This information may be located on the structural sheets. The structural sheet must be in the same format as noted in this section. If it is on the structural sheets, please indicate here. (Located on Structural Sheet Number _____): Yes No

DESIGN LOADS:
 Importance Factors: (ASCE/SEI 7-05-11.5) Wind _____ Snow _____ Seismic _____
 Live Loads: Roof: (1603.1.2, 1607.11, 1611) _____ psf
 Floor: (1603.1.1, 1607.10, 1607.10) _____ psf
 Live load Reductions: (1603.1.1, 1607.9) _____ psf
 (1608.2) _____ psf
 Ground Snow Load: _____ psf
 Wind Load: Basic Wind Speed: (1609.3) _____ mph (ASCE-7)
 Exposure Category: (1609.4) _____
 Wind Base Shears (for MWRS/Engineer Cal's) Vx = _____ Vy = _____

SEISMIC DESIGN CATEGORY: (1613.1, 1613.5.6) A B C D
 Provide the following Seismic Design Parameters:
 Occupancy Category: (Table 1604.5) I II III IV V
 Spectral Response Acceleration: (Engineer cal's) S_s = _____ %g S₁ = _____ %g
 Site Classification (Table 1613.5.2) A B C D E F G
 Data Source: _____
 Basic structural system (check one): Field Test Presumptive Historical Data
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
 Seismic base shear: (Engineer Cal's) V_s = _____ V_e = _____
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, Components and/or PIP: Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report as a reference document) _____ psf
 Presumptive bearing capacity _____ psf
 Pile size, type, and capacity _____

SPECIAL INSPECTIONS REQUIRED: Yes No

Special Uses: If Applicable: 401 403 404 405 406 407 408 409 410 411
 412 414 415 416 417 418 419 420 421 422 423 424
 425 426 427

Special Provisions: If Applicable: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy Use: (506.5) If Applicable: No Yes Separation: _____ Hr. Exception: _____
 Incidental Use Separation: (508.2.5)
 This separation is not exempt as a Non-Separated Use (see exception).
 Non-Separated Use (508.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) – See below for area calculations.
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1. If applicable to this project please provide a key plan with all occupancies identified with square footage.

$$\frac{\text{Actual Area of Occupancy } A_1}{\text{Allowable Area of Occupancy } A_1} + \frac{\text{Actual Area of Occupancy } A_2}{\text{Allowable Area of Occupancy } A_2} \leq 1$$

STORY NO.	RECEPTION AND USE	(A) RELEV AREA PER STORY (ACTUAL)	(B) TABLE 503* AREA	(C) AREA FOR FOOTING INCREASE	(D) AREA FOR SPRINKLER INCREASE	(E) ALLOWABLE AREA OR INCREASE	(F) MAXIMUM BUILDING AREA*
1	business	3047	9000			9000	18,000
2	business	2724	9000			9000	

¹ Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Frontage = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase = [(F/P - 0.25) X W/30 = _____ (%)
² The sprinkler increase per Section 506.5 is as follows:
 a. Multi-story building, L = 200 percent
 b. Single story building, L = 300 percent
³ Unlimited area applicable under conditions of Section 507
⁴ Maximum Building Area = total number of stories in the building x E (506.4). Maximum of 3.
⁵ The maximum area of open parking garages must comply with Table 406.3.5. The maximum area of car traffic control towers must comply with Table 412.1.2.

i. Allowable Height (Chapter 5) – (Required for Additions, New Construction)

TYPE OF CONSTRUCTION	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE DIFFERENCE
Building Height in Feet	40	Foot = H + 20' = _____	35'	
Building Height in Stories	2	Stories = 1 + _____ = _____	2	

j. Fire Protection Requirements (Chapter 7) – (Required Information for all projects)

Please check our Plan Submittal Guidelines if a Life Safety Plan is required for your project.
http://www.charmeck.org/mecklenburg/county/LUESA/CodeEnforcement/Tools/Documents/Documents/pguide.pdf

l. Wall Legends – (Required for all Projects)

CHECK IF THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS:
 Fire Walls Fire Barriers Shaft Enclosures Fire Partitions Smoke Barriers Smoke Partitions No rated walls are present
 Smoke Partition #11 No rated walls are present

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REVD (W/RESECTION)	RATING (W/RESECTION)	DETAIL # AND SHEET #	SECTION # FOR RATED ASSEMBLY	DIVISION # RATED PENETRATION	SECTION # FOR RATED JOINT
Structural Frame, including columns, girders, trusses	0						
Bearing Walls (see section 601 - 602 if applicable)	0						
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions (see section 601 - 602 if applicable)	0						
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists	0	1 hr		1/A5.1	UL 263		
Roof Construction including supporting beams and joists	0						
Shaft Enclosures - Exit	1	1		A6.1	UL 1419		
Shaft Enclosures - Other than Exit							
Corridor Separation	N/A						
Occupancy Separation	N/A						
Emergency Exit Separation	N/A						
Smoke Barrier Separation	N/A						

LETTERS AND NUMBERS:

- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. (SEC. 1117B.5.6.1)
- RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH. (SEC. 1117B.5.6.2)
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT. (SEC. 1117B.5.6.3)
- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:3 AND 1:10. (SEC. 1117B.5.6.4)
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND. (SEC. 1117B.5.6.5)
- CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR IN COMPLIANCE WITH SECTION 1121B, THE MINIMUM CHARACTER HEIGHT SHALL BE 3". (SEC. 1117B.5.6.4)
- CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND. (SEC. 1117B.5.6.2)

SIGN LOCATIONS:

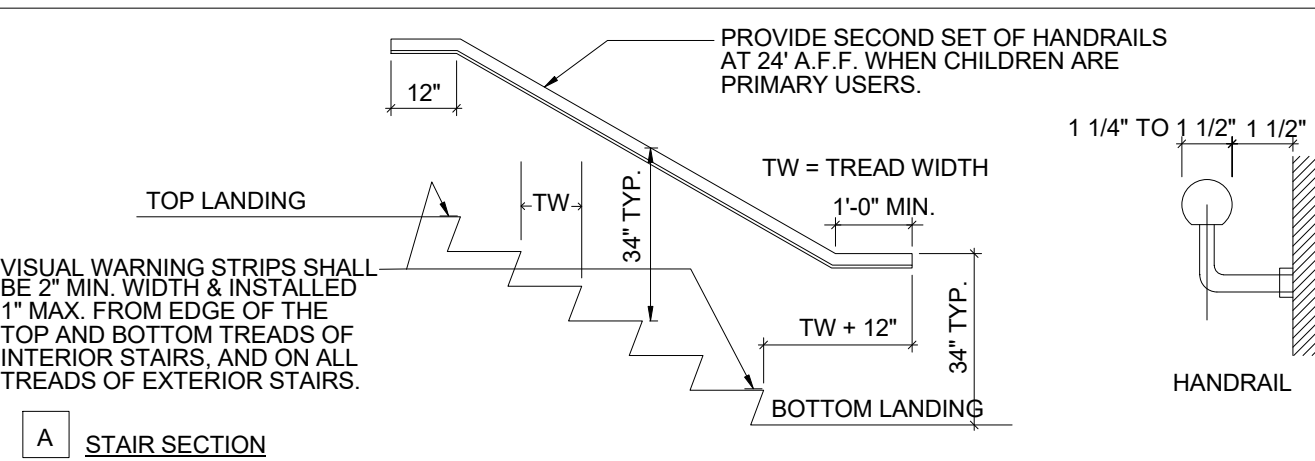
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS. (SEC. 1117B.5.7 & 1127B.3)
- WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (SEC. 1117B.5.9)
- ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
- BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

- STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
- WHITE FIGURE ON BLUE BACKGROUND. COLOR # 15090 ON FEDERAL STANDARD # 65A
- WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

BRAILLE:

- USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
- 0.2 INCH SPACE BETWEEN CELLS.
- DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.
- SEE 4T-4 FOR MORE INFO.



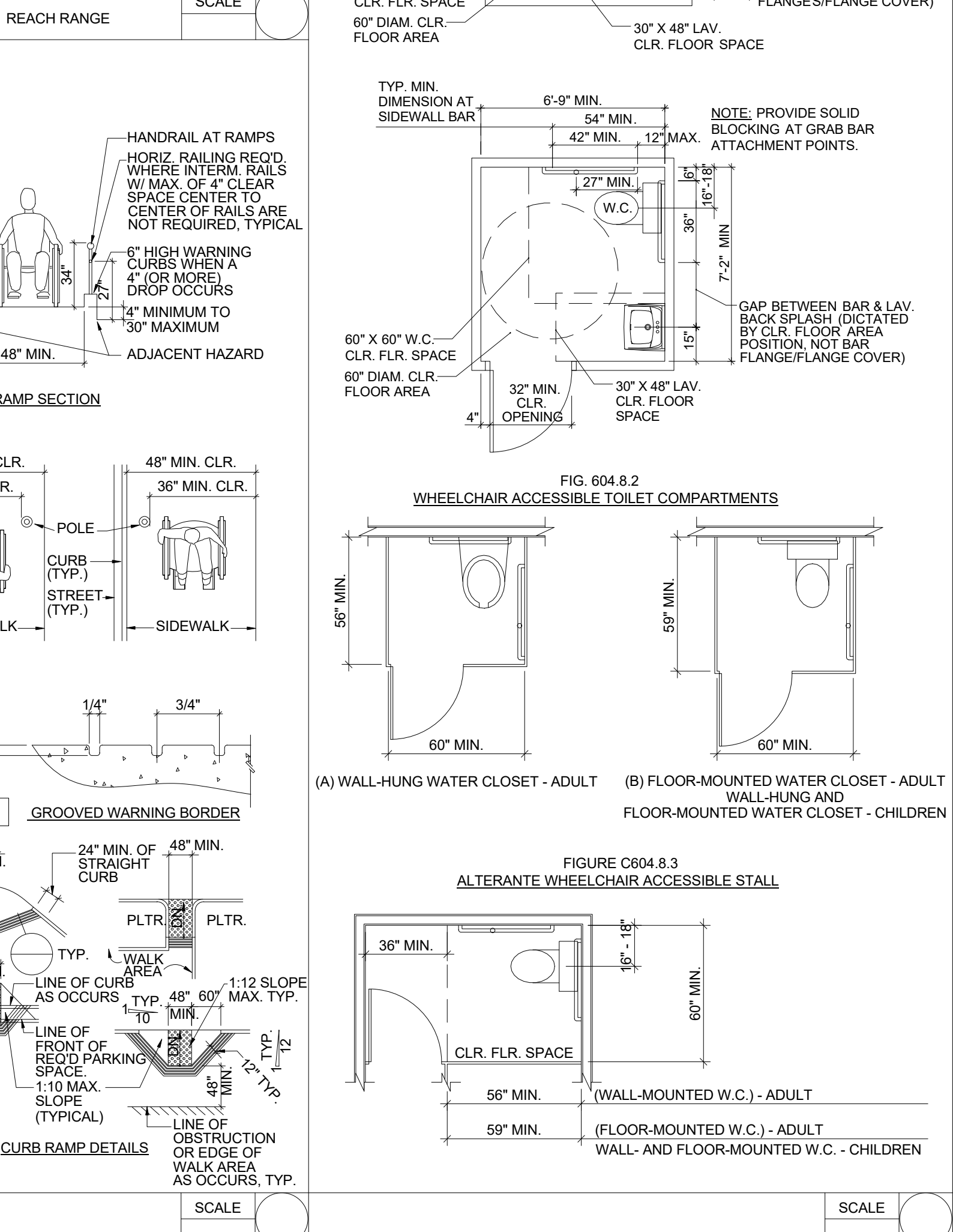
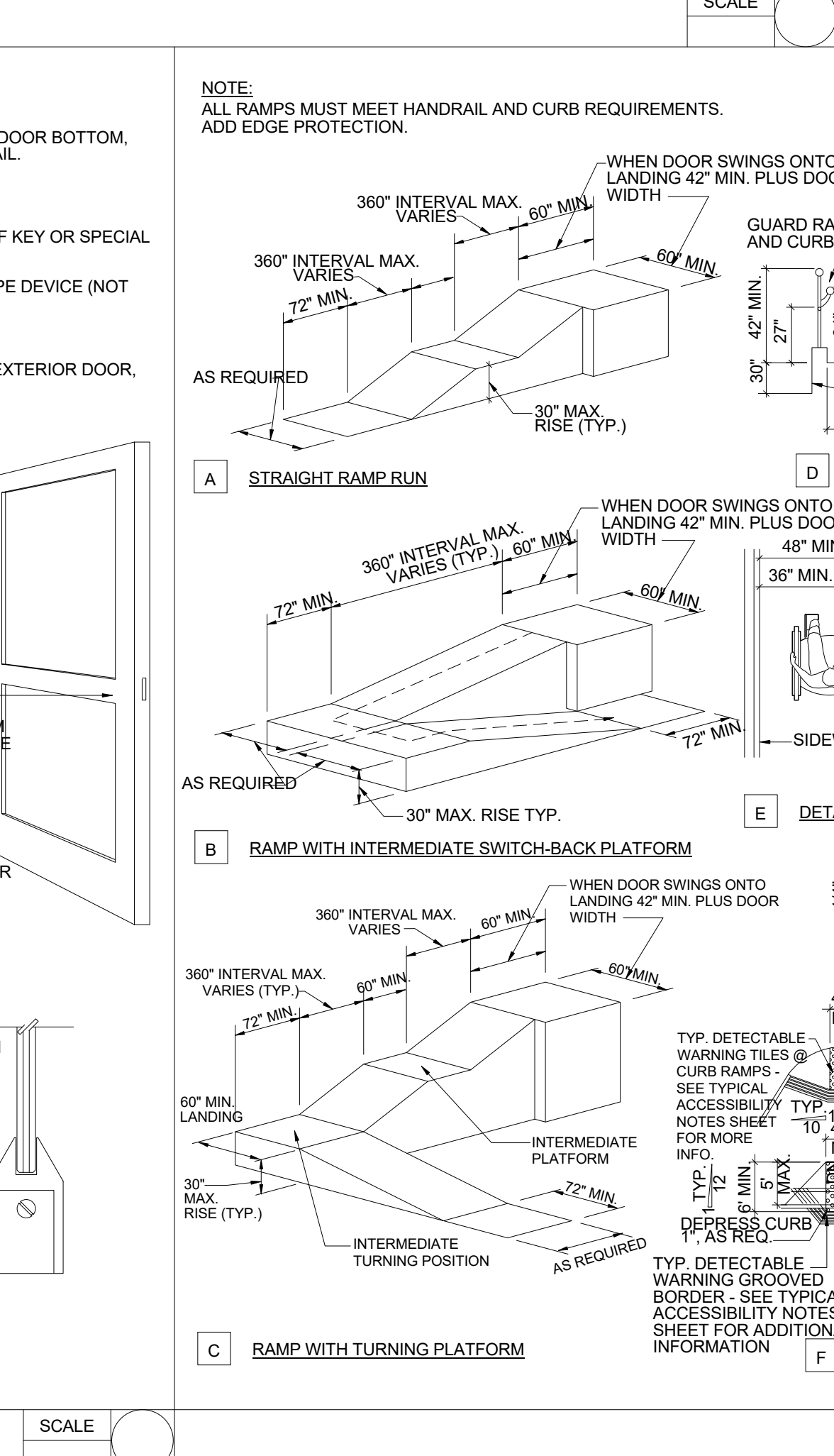
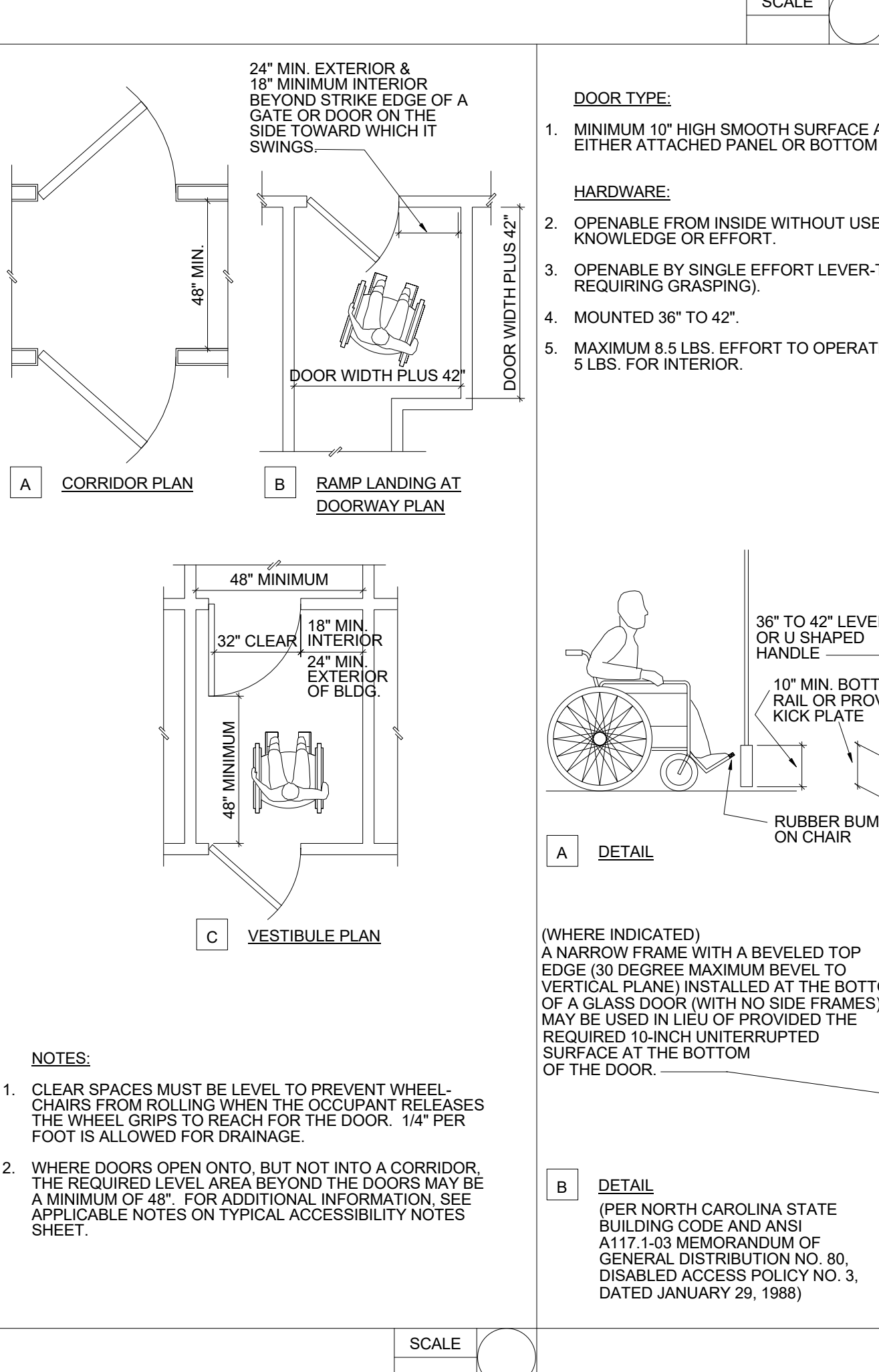
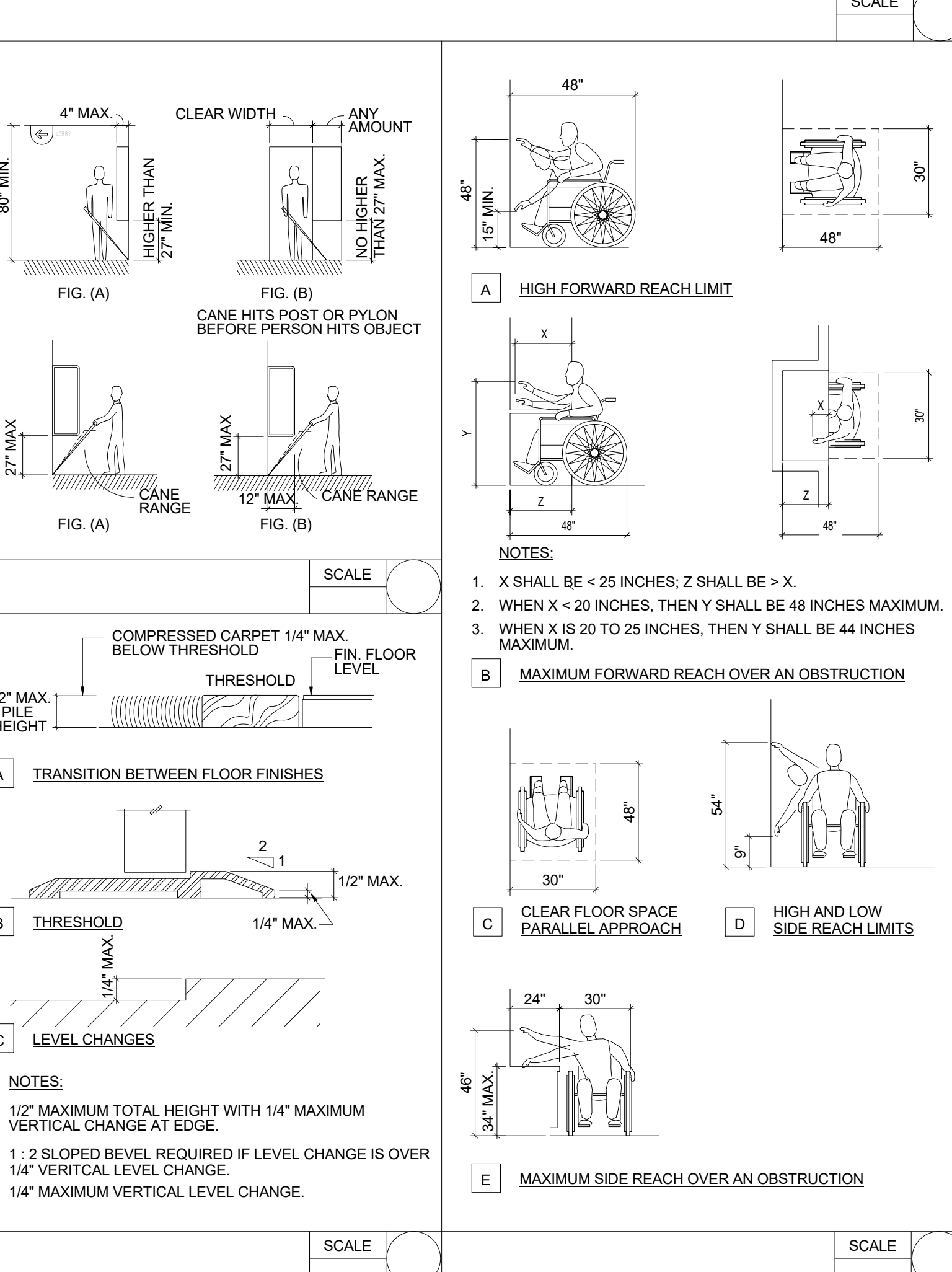
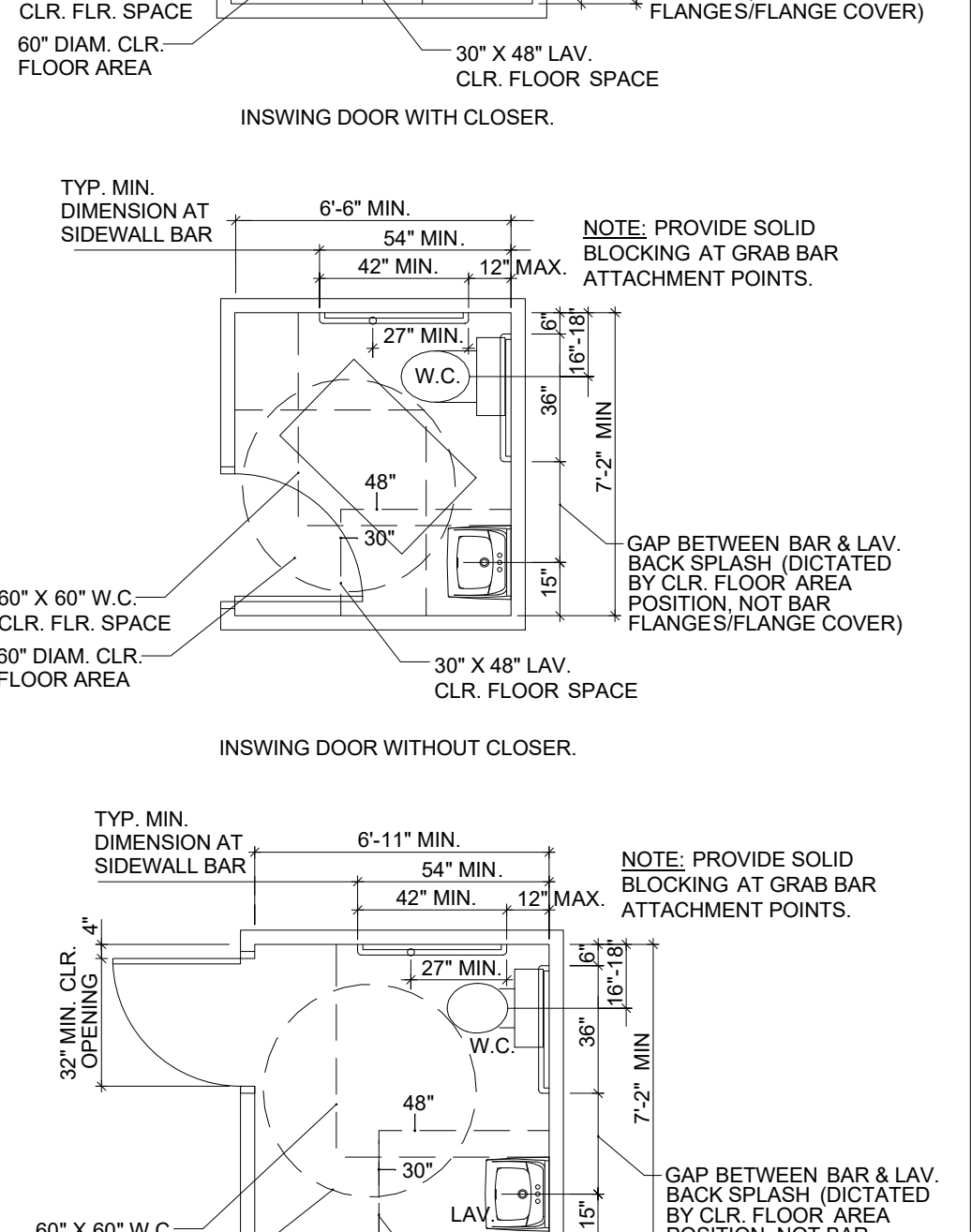
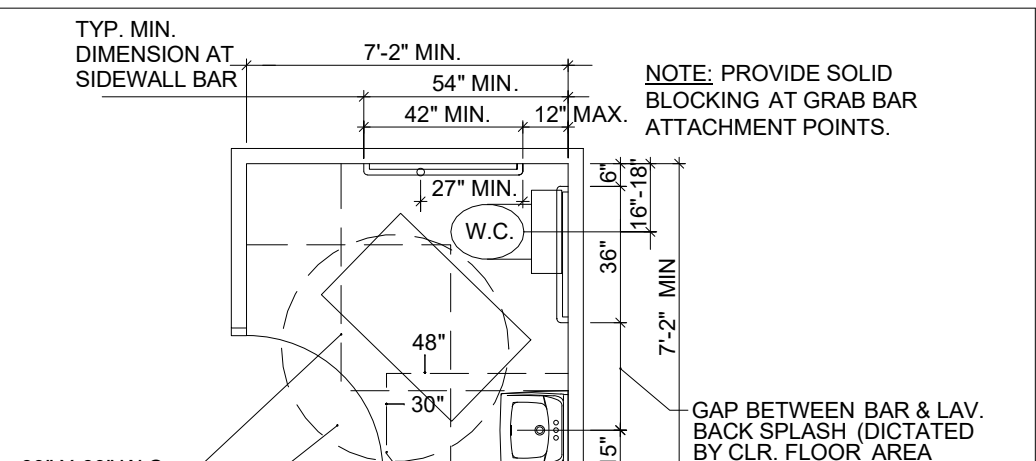
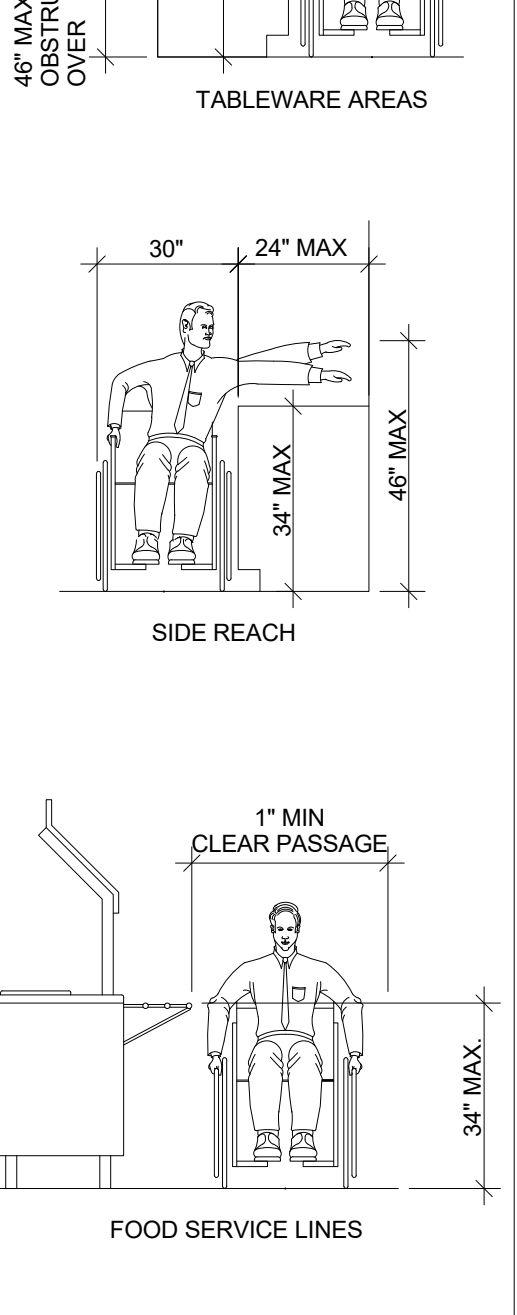
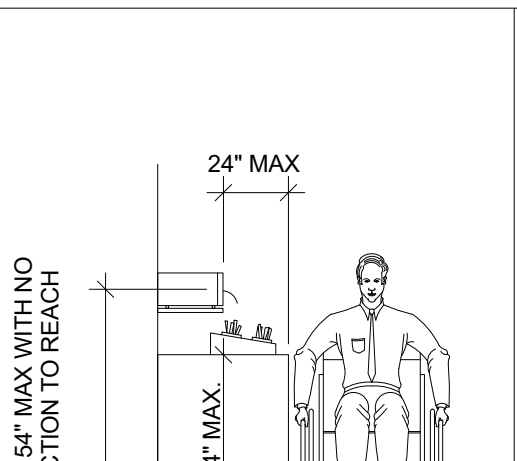
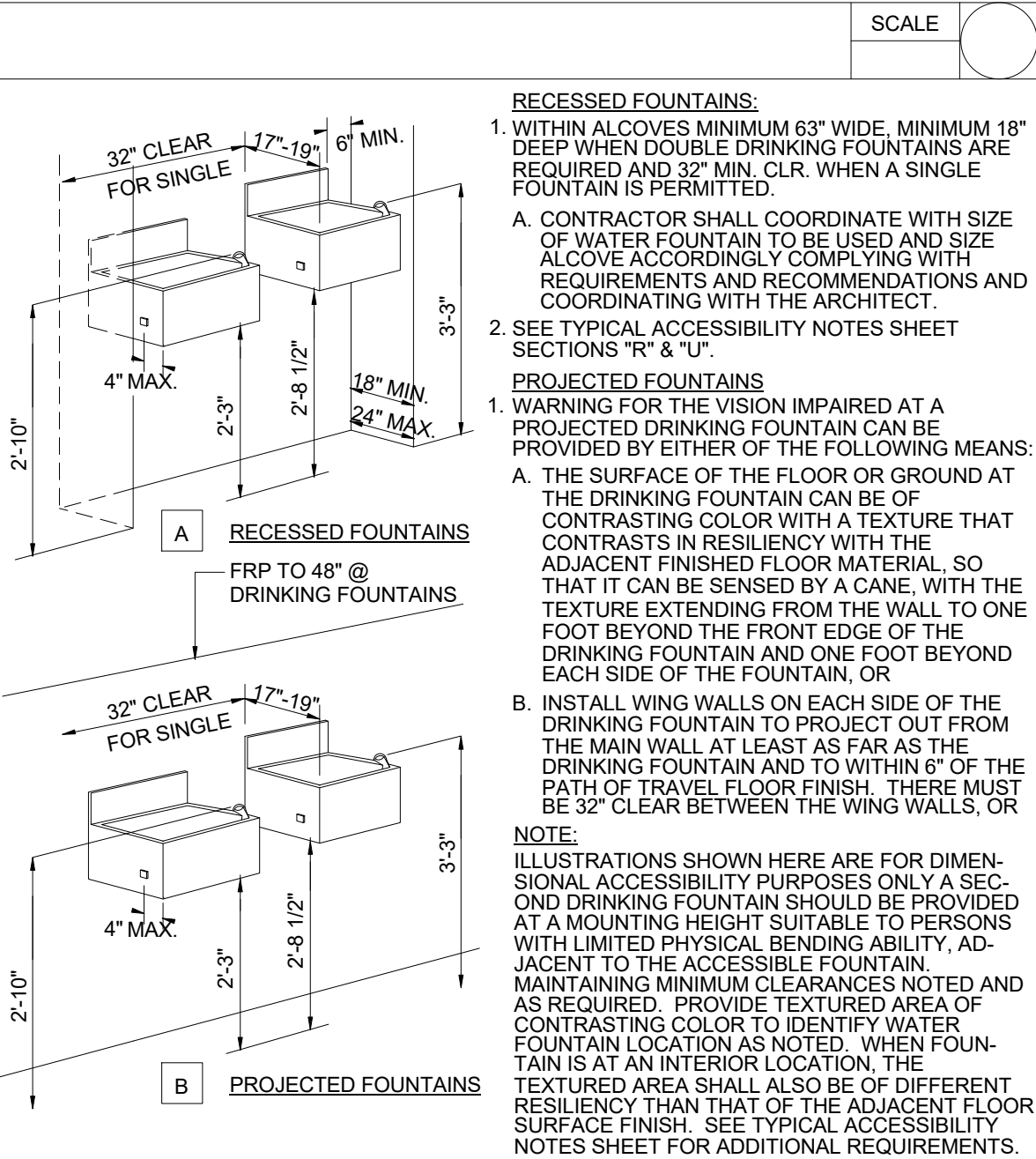
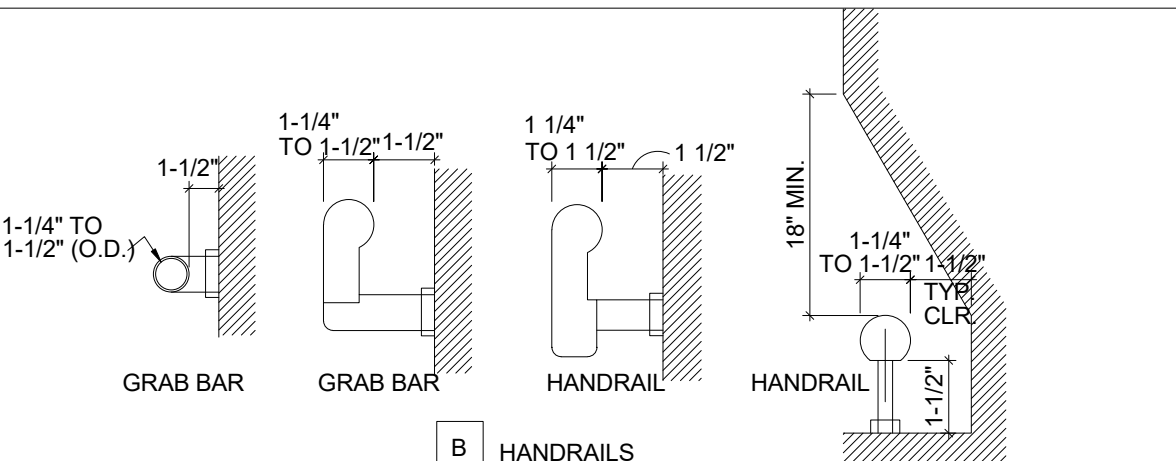
RECESSED FOUNTAINS:

- WITHIN ALCOVES MINIMUM 63" WIDE, MINIMUM 18" DEEP WHEN DOUBLE DRINKING FOUNTAINS ARE REQUIRED AND 32" MIN. CLR. WHEN A SINGLE FOUNTAIN IS PERMITTED.
- CONTRACTOR SHALL COORDINATE WITH SIZE OF WATER FOUNTAIN TO BE USED AND SIZE ALSO ACCORDINGLY COMPLYING WITH REQUIREMENTS AND RECOMMENDATIONS AND COORDINATING WITH THE ARCHITECT.

PROJECTED FOUNTAINS:

- WARNING FOR THE VISION IMPAIRED AT A PROJECTED DRINKING FOUNTAIN CAN BE PROVIDED BY EITHER OF THE FOLLOWING MEANS:
 - THE SURFACE OF THE FLOOR OR GROUND AT THE DRINKING FOUNTAIN CAN BE OF CONTRASTING COLOR WITH A TEXTURE THAT CONTRASTS IN RESILIENCY WITH THE ADJACENT FINISHED FLOOR MATERIAL, SO THAT IT CAN BE SENSED BY A CANE, WITH THE TEXTURE EXTENDING FROM THE WALL TO ONE FOOT BEYOND THE FRONT EDGE OF THE DRINKING FOUNTAIN AND ONE FOOT BEYOND EACH SIDE OF THE FOUNTAIN, OR
 - INSTALL WING WALLS ON EACH SIDE OF THE DRINKING FOUNTAIN TO PROJECT OUT FROM THE MAIN WALL AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6" OF THE PATH OF TRAVEL FLOOR FINISH. THERE MUST BE 32" CLEAR BETWEEN THE WING WALLS, OR

ILLUSTRATIONS SHOWN HERE ARE FOR DIMENSIONAL ACCESSIBILITY PURPOSES ONLY A SECOND DRINKING FOUNTAIN SHOULD BE PROVIDED AT A MOUNTING HEIGHT SUITABLE TO PERSONS WITH LIMITED PHYSICAL BENDING ABILITY. MAINTAINING MINIMUM CLEARANCES NOTED AND AS REQUIRED. PROVIDE TEXTURED AREA OF CONTRASTING COLOR TO IDENTIFY WATER FOUNTAIN LOCATION AS NOTED. WHEN FOUNTAIN IS AT AN INTERIOR LOCATION, THE TEXTURED AREA SHALL ALSO BE OF DIFFERENT RESILIENCY THAN THAT OF THE ADJACENT FLOOR SURFACE FINISH. SEE TYPICAL ACCESSIBILITY NOTES SHEET FOR ADDITIONAL REQUIREMENTS.



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Catawba Bethel Building

19711 Bethel Church Road
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Building Standards Number:

Content:
ADA Notes

Project: 14515
Date: 3/7/2017

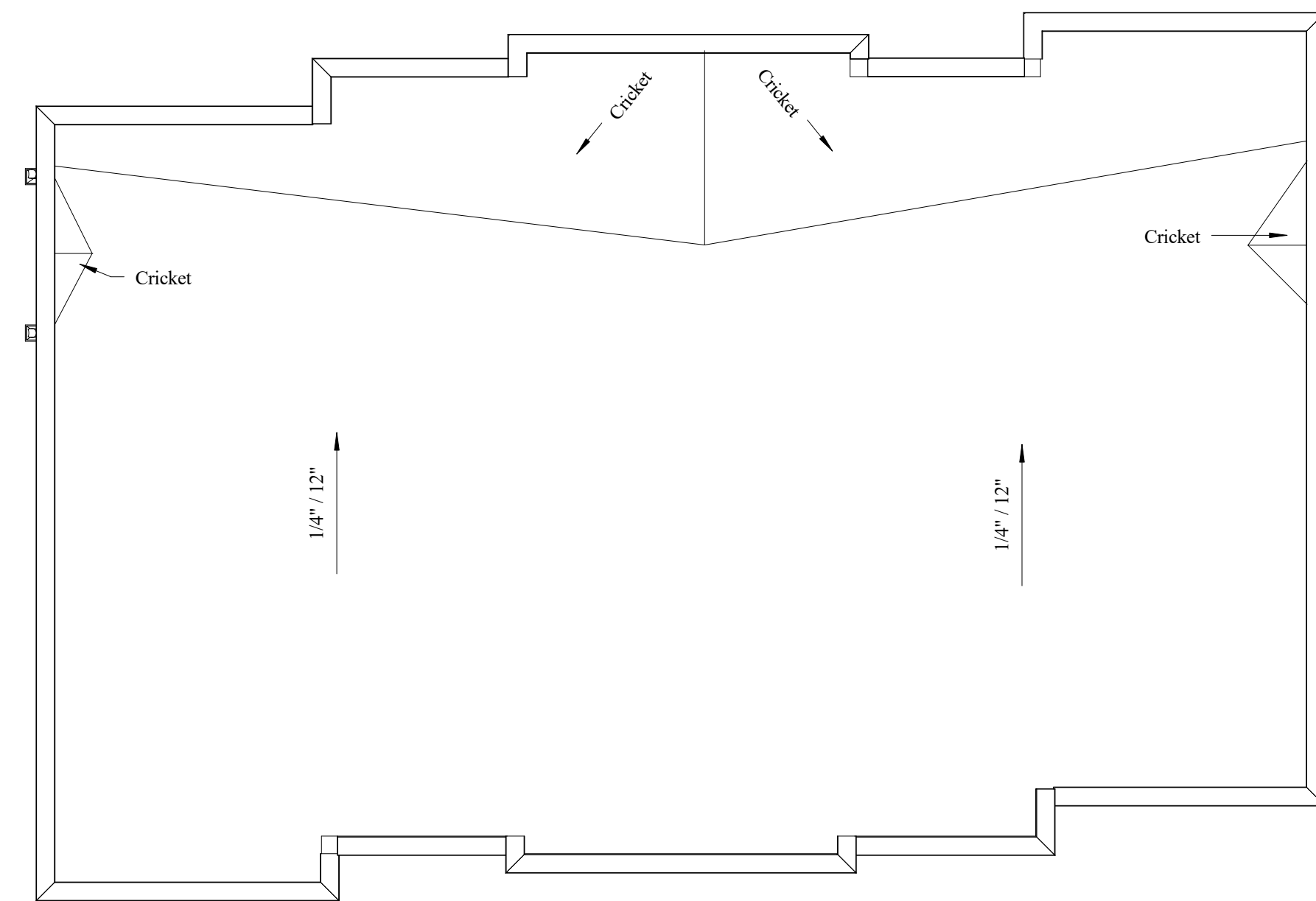
Revisions

No.	Description	Date

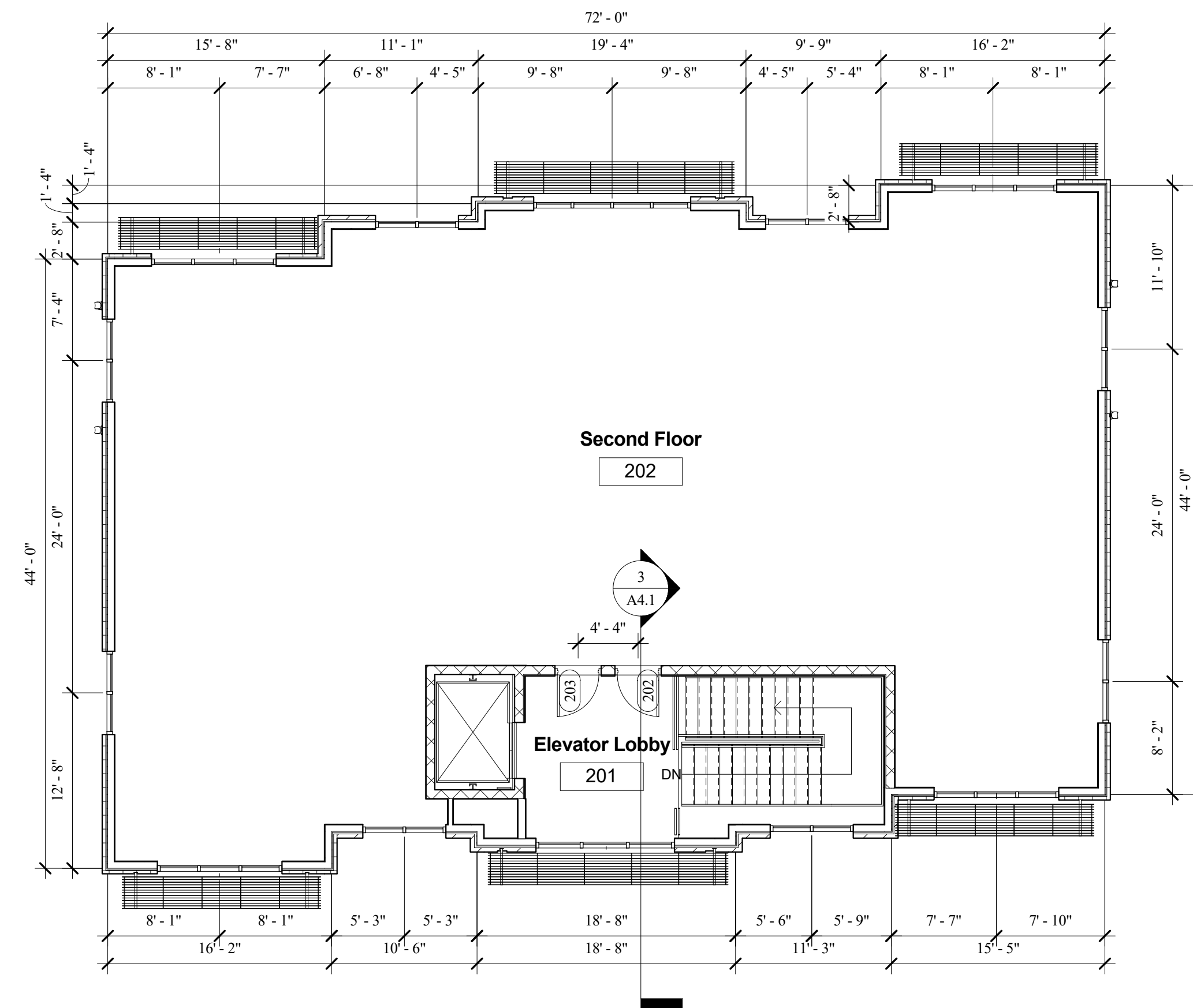
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Sheet:

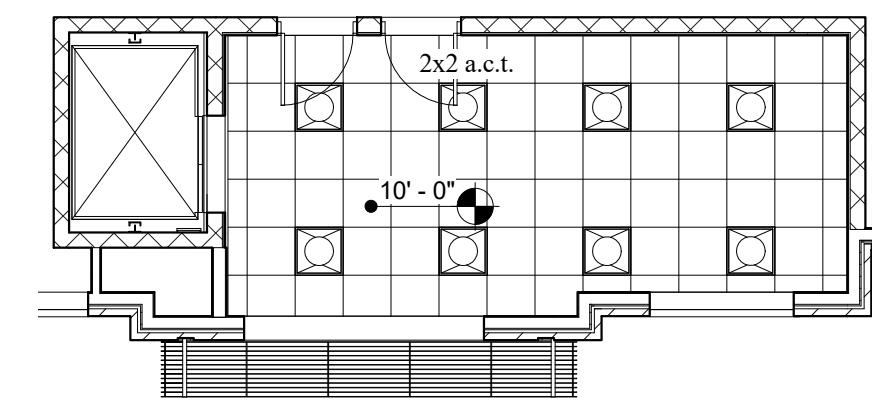
CS-04



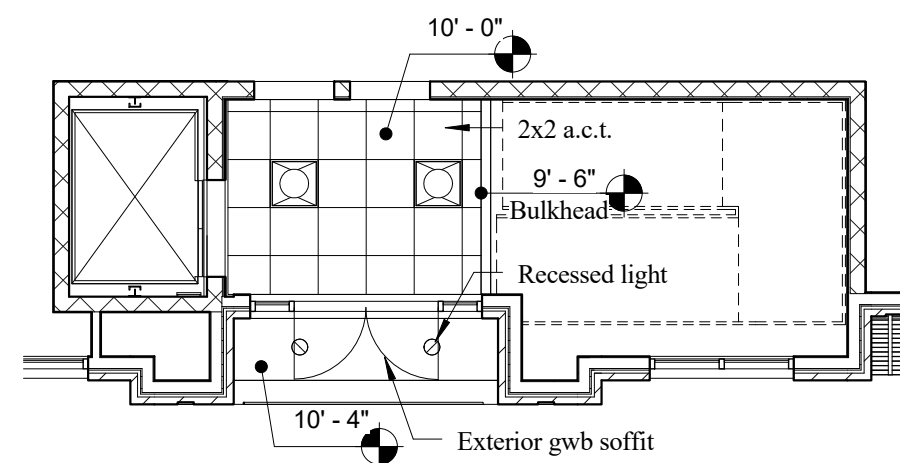
3 Roof Plan
1/8" = 1'-0"



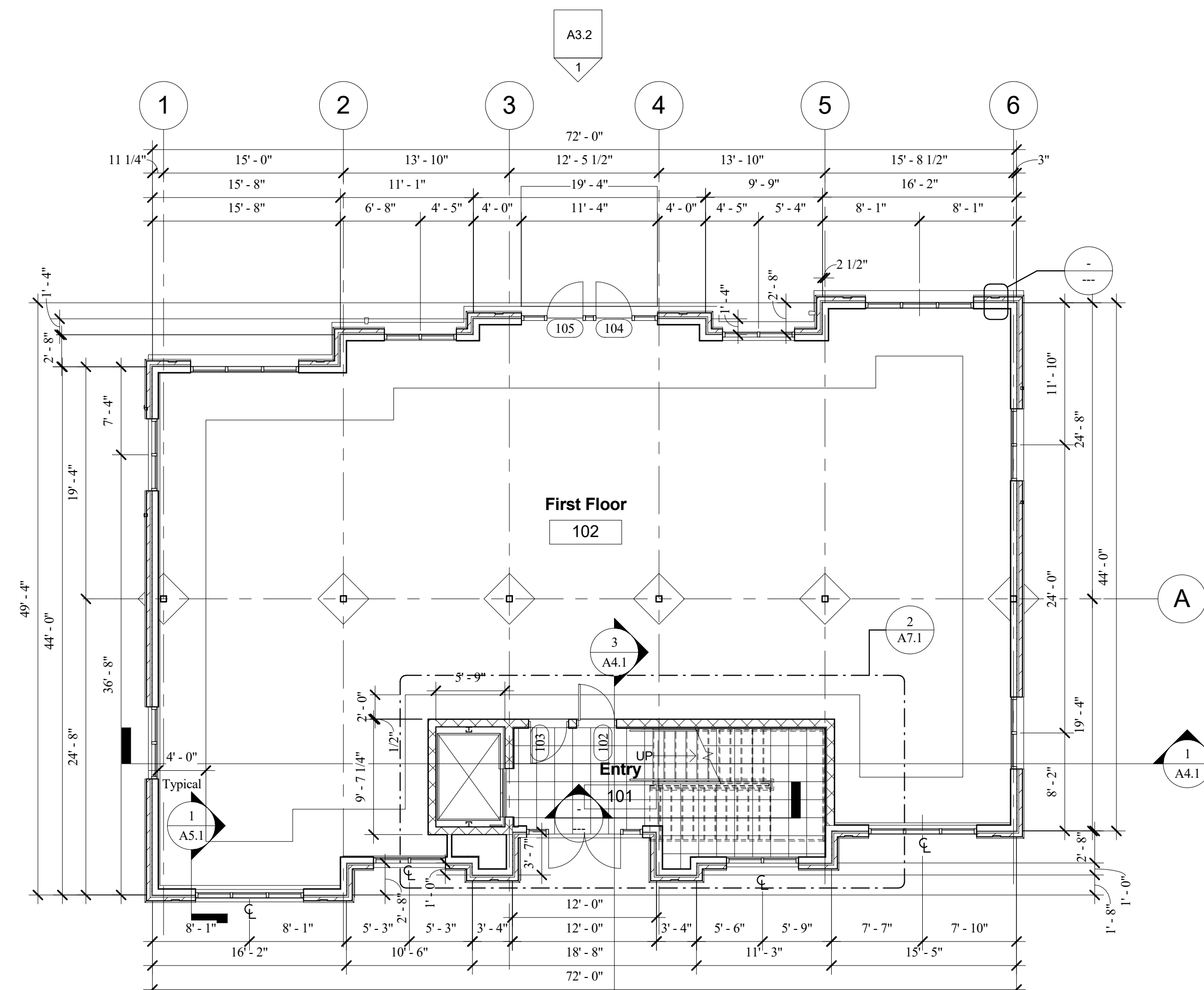
2 Second Floor
1/8" = 1'-0"



4 Second Floor Entry Reflected Ceiling Plan
1/8" = 1'-0"



5 First Floor Entry Reflected Ceiling Plan
1/8" = 1'-0"



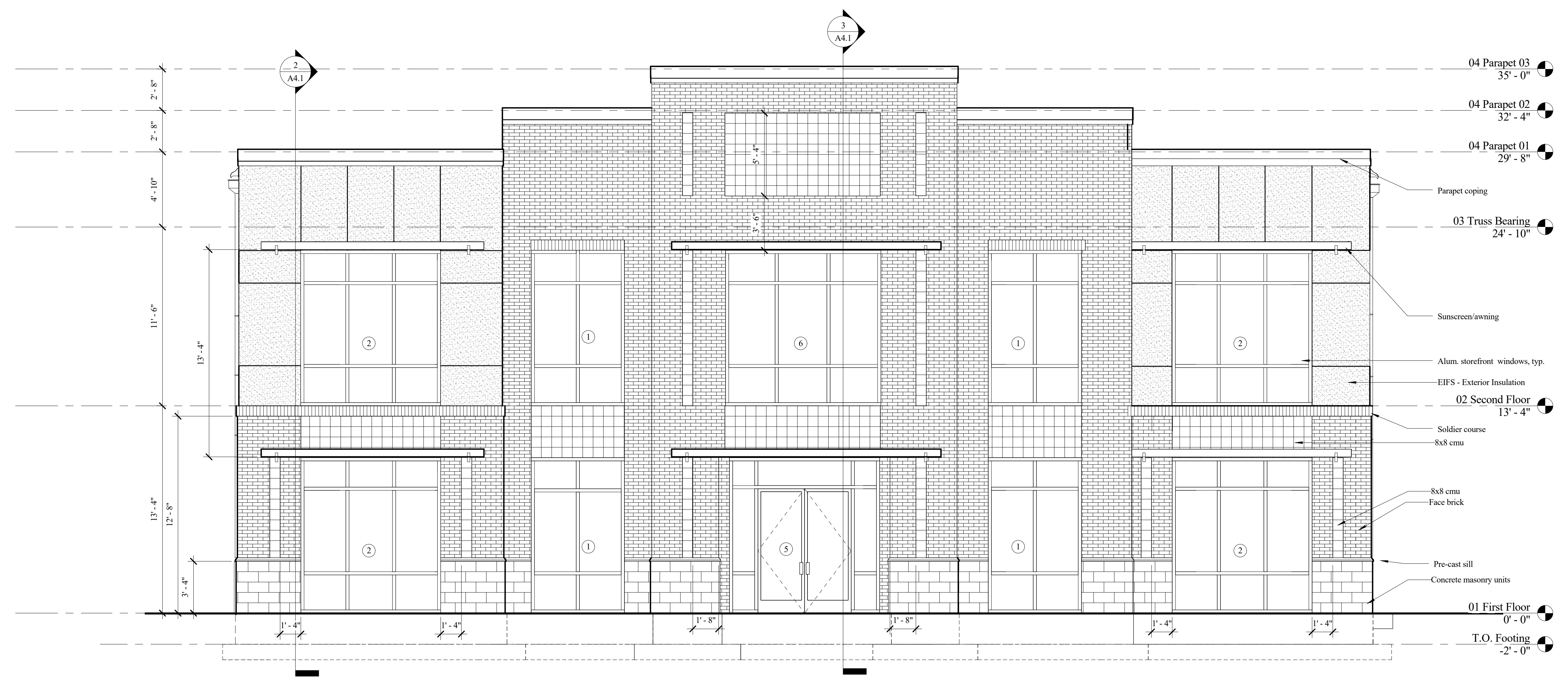
1 First Floor
1/8" = 1'-0"

Building Area	
First Floor	3047 SF
Second Floor	2724 SF
	5772 SF

No.	Description	Date

**Catawba Bethel
Building**

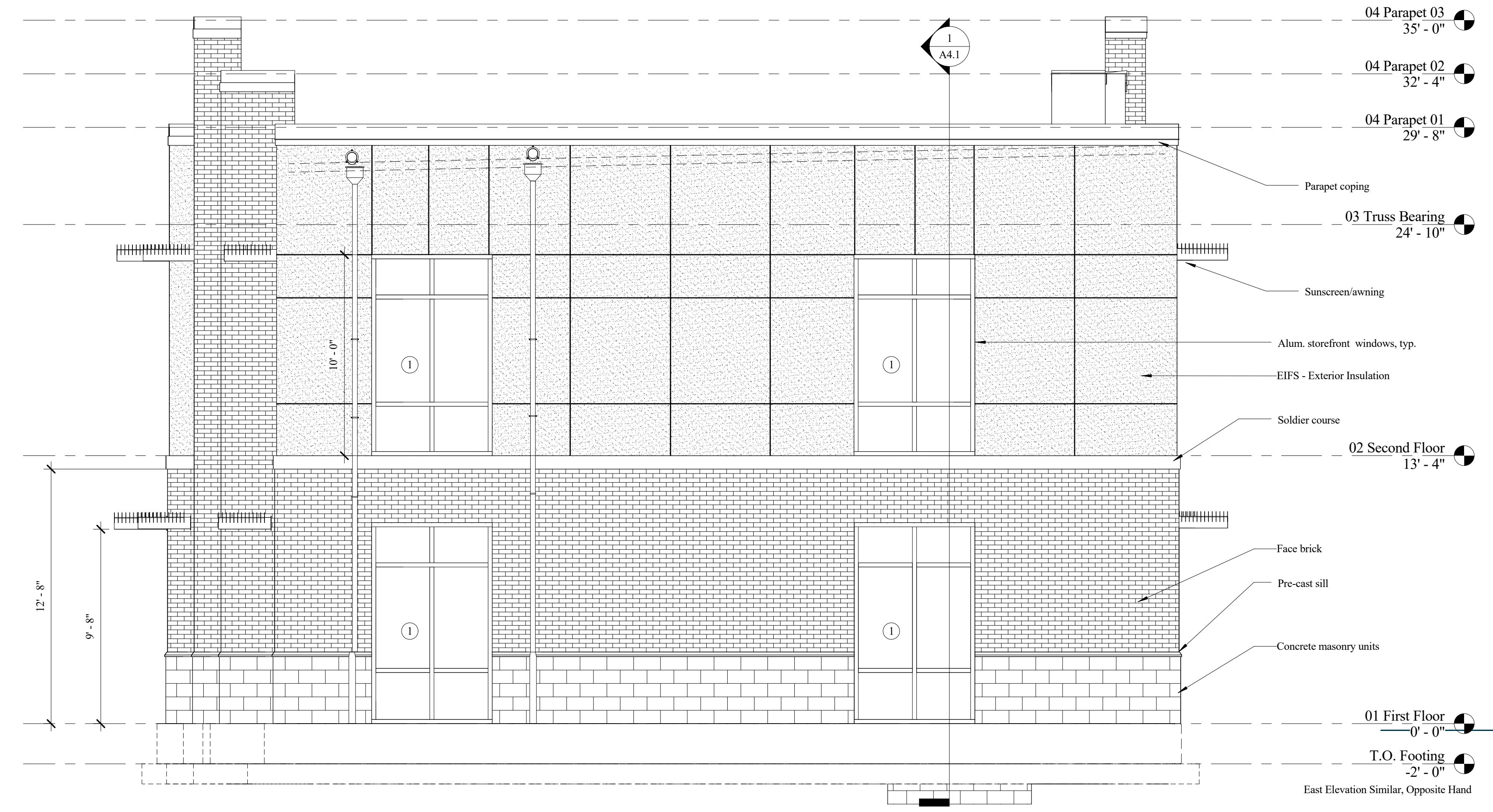
19711 Bethel Church Road
Cornelius, NC 28031



① South Elevation
1/4" = 1'-0"

- 04 Parapet 03
35' - 0"
- 04 Parapet 02
32' - 4"
- 04 Parapet 01
29' - 8"
- Parapet coping
- 03 Truss Bearing
24' - 10"
- Sunscreen/awning
- Alum. storefront windows, typ.
- EIFS - Exterior Insulation
- 02 Second Floor
13' - 4"
- Soldier course
- 8x8 cmu
- 8x8 cmu
- Face brick
- Pre-cast sill
- Concrete masonry units
- 01 First Floor
0' - 0"
- T.O. Footing
-2' - 0"

Note:
See sheet A6.1 for storefront
details. Number on storefront
corresponds with drawing on sheet



③ West Elevation
1/4" = 1'-0"

- 04 Parapet 03
35' - 0"
- 04 Parapet 02
32' - 4"
- 04 Parapet 01
29' - 8"
- Parapet coping
- 03 Truss Bearing
24' - 10"
- Sunscreen/awning
- Alum. storefront windows, typ.
- EIFS - Exterior Insulation
- Soldier course
- 02 Second Floor
13' - 4"
- Face brick
- Pre-cast sill
- Concrete masonry units
- 01 First Floor
0' - 0"
- T.O. Footing
-2' - 0"
- East Elevation Similar, Opposite Hand

Building Standards Number:

Content:
Elevations

Project 14515
Date 3/7/2017

Revisions

No.	Description	Date

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Sheet:

**Catawba Bethel
Building**

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:
Elevations

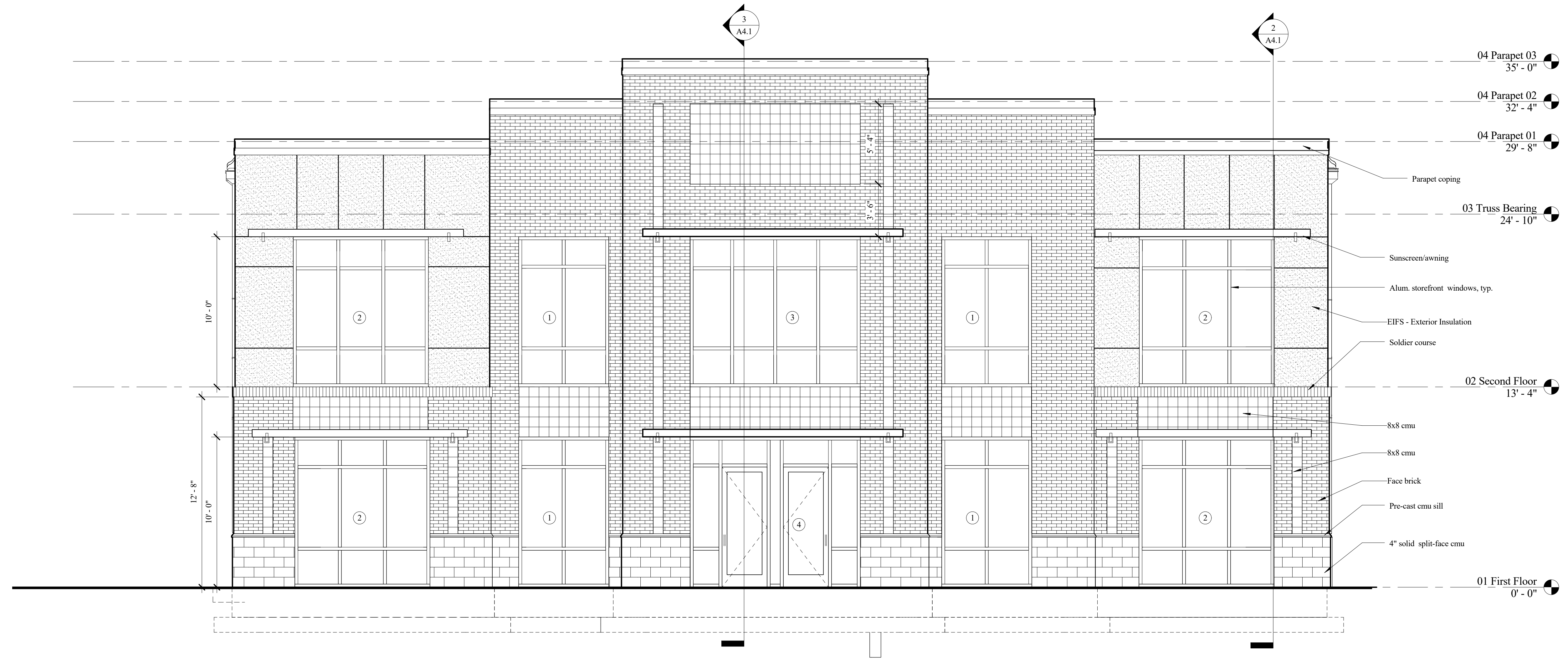
Project 14515
Date 3/7/2017

Revisions

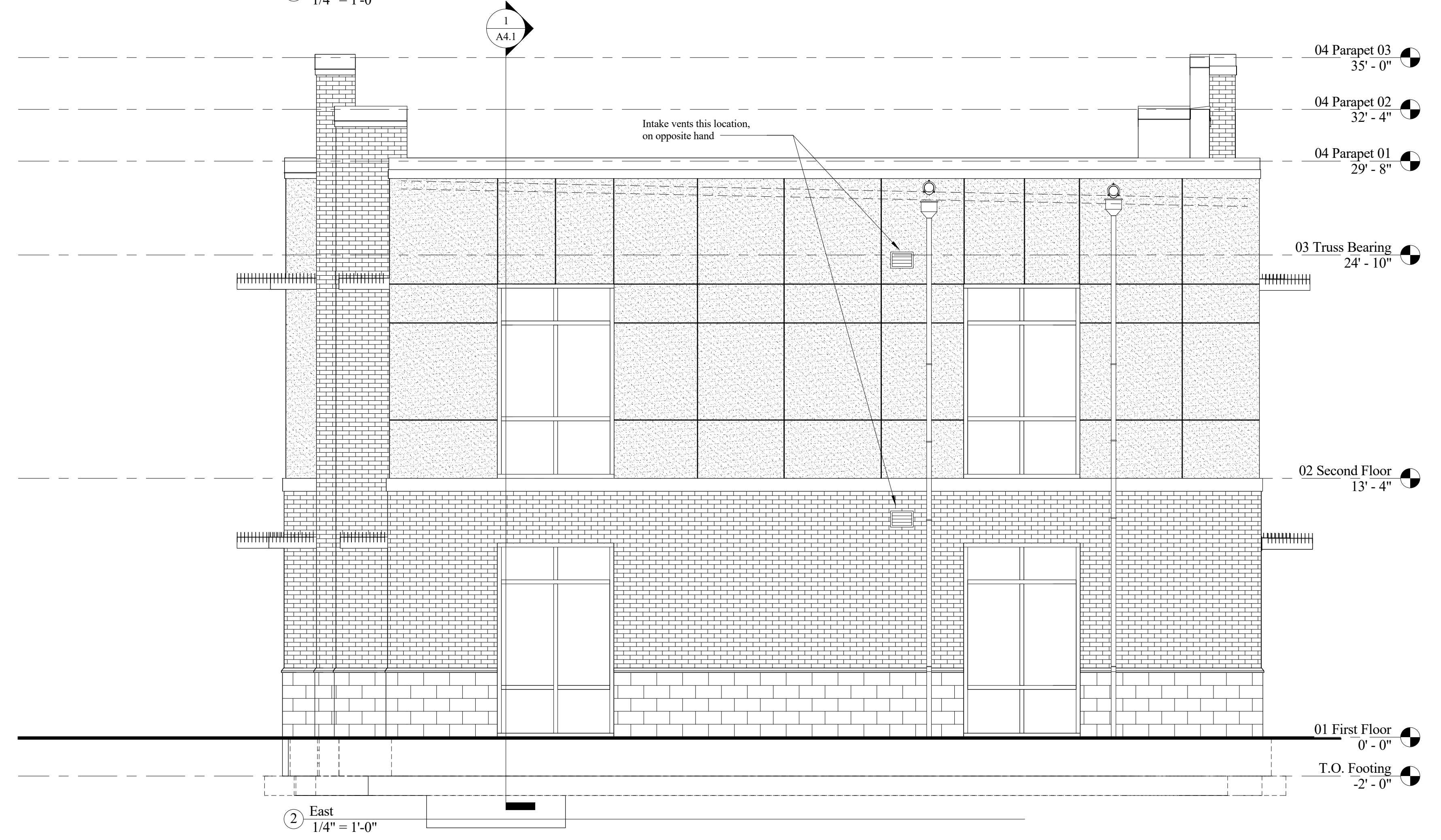
No.	Description	Date

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Sheet:



① North Elevation
1/4" = 1'-0"



② East
1/4" = 1'-0"

Note:
See sheet A6.1 for storefront details. Number on storefront corresponds with drawing on sheet



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**Catawba Bethel
Building**

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:
Building Sections

Project 14515
Date 3/7/2017

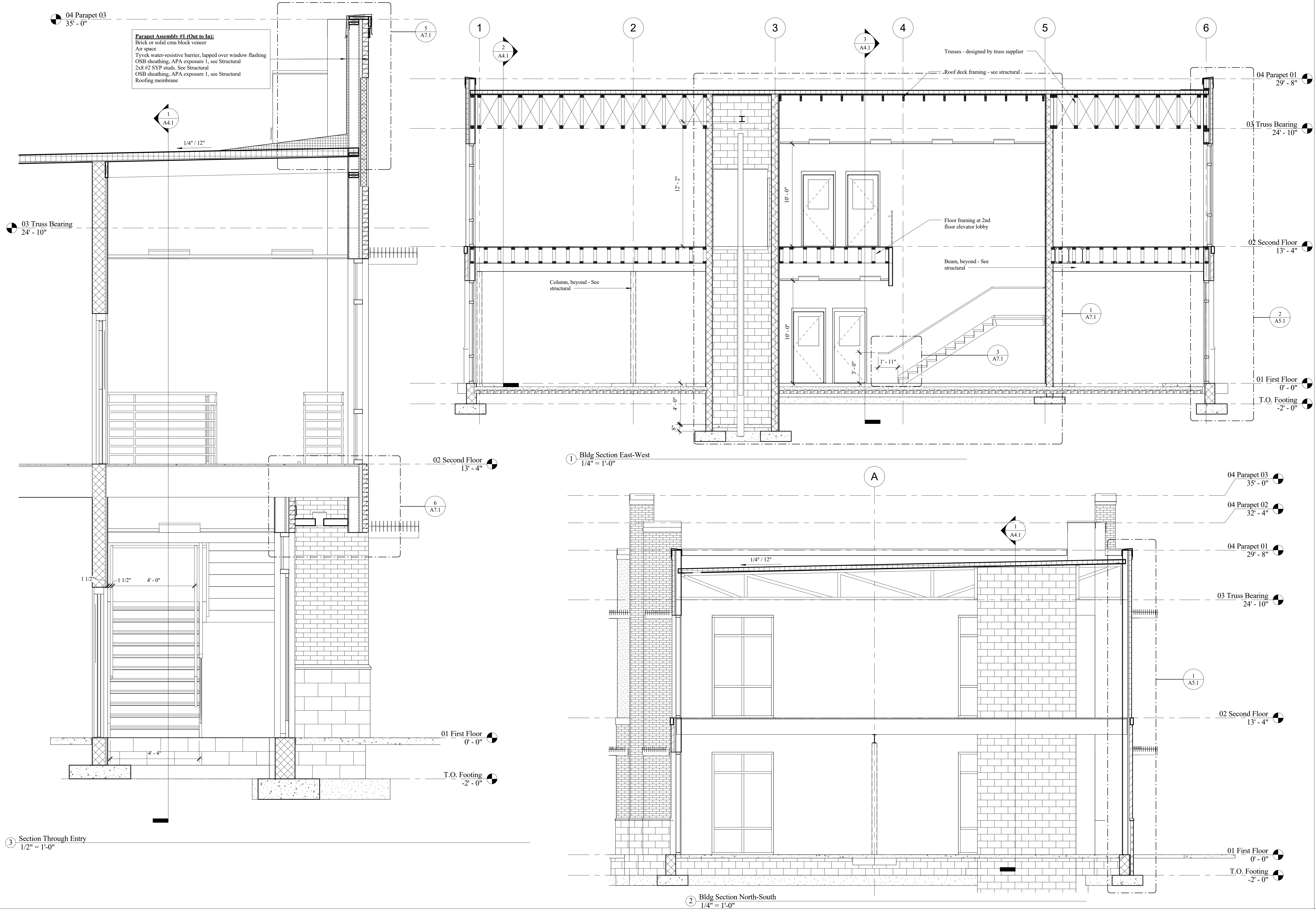
Revisions

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Sheet:

A4.1



3 Section Through Entry
1/2" = 1'-0"

1 Bldg Section East-West
1/4" = 1'-0"

2 Bldg Section North-South
1/4" = 1'-0"

**Catawba Bethel
Building**

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:

Wall Sections

Project 14515
Date 3/7/2017

Revisions

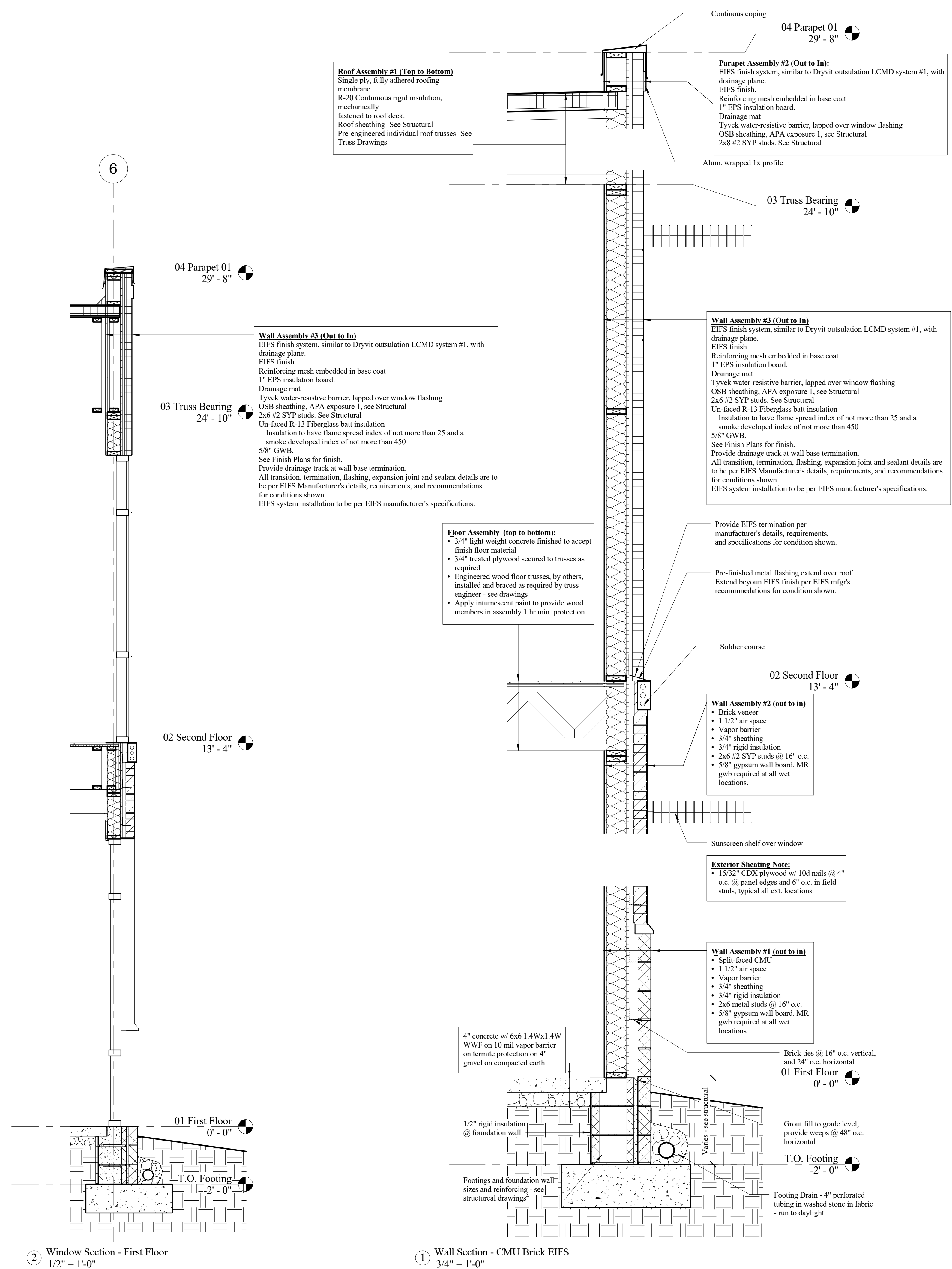
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Sheet:

A5.1



2 Window Section - First Floor
1/2" = 1'-0"

1 Wall Section - CMU Brick EIFS
3/4" = 1'-0"

**Catawba Bethel
Building**

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:

Schedules

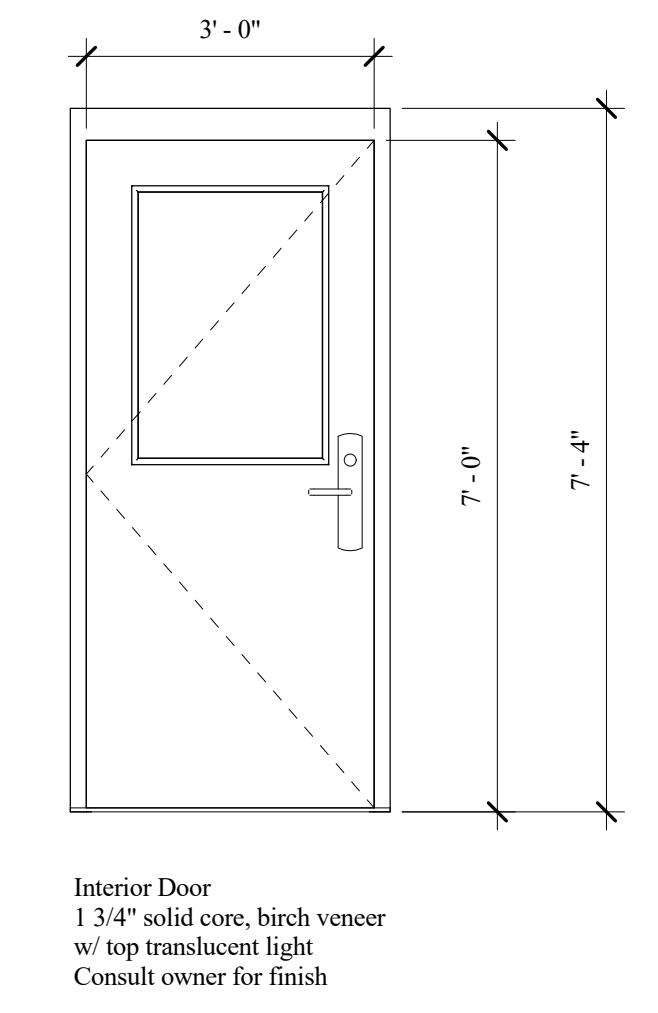
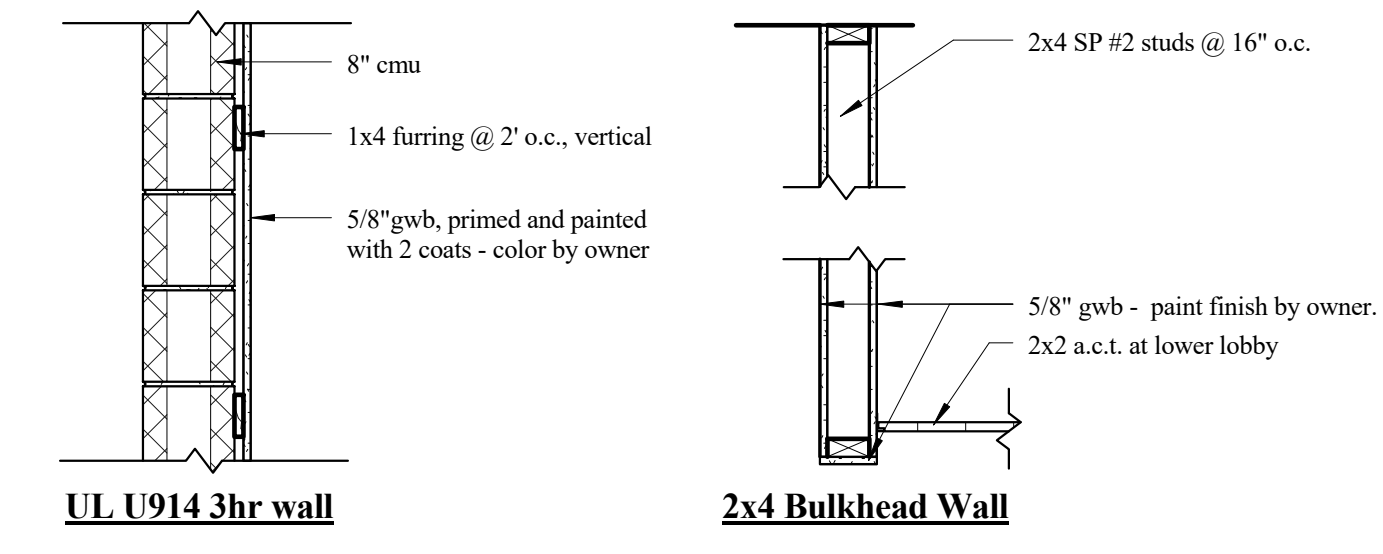
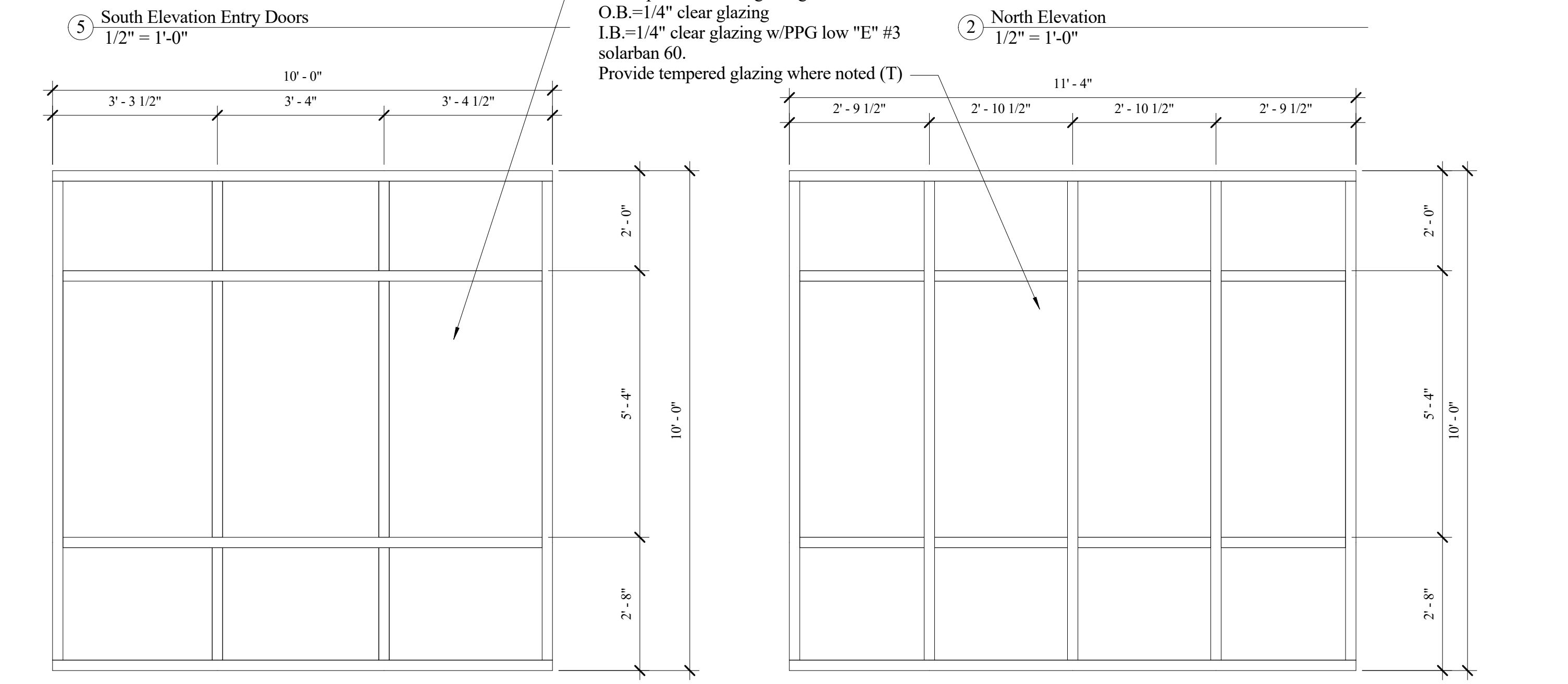
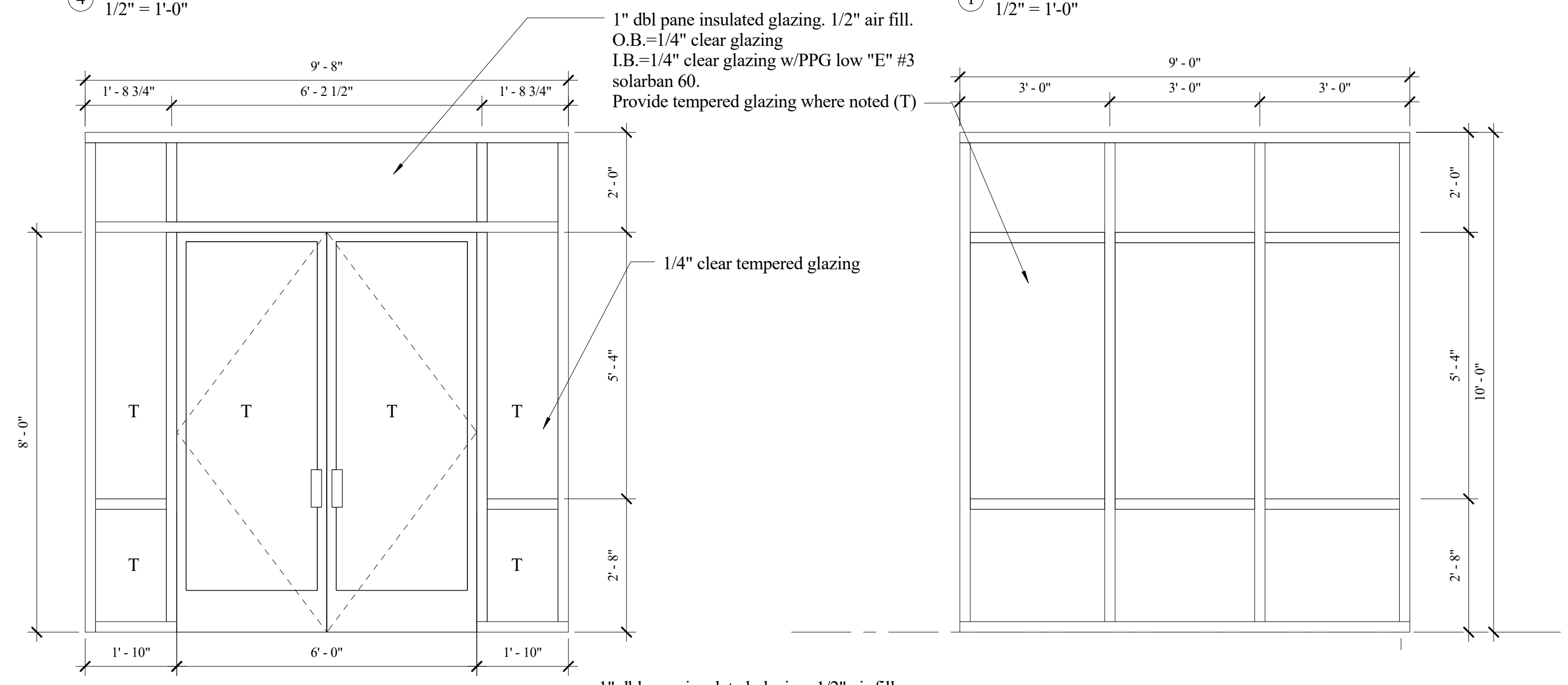
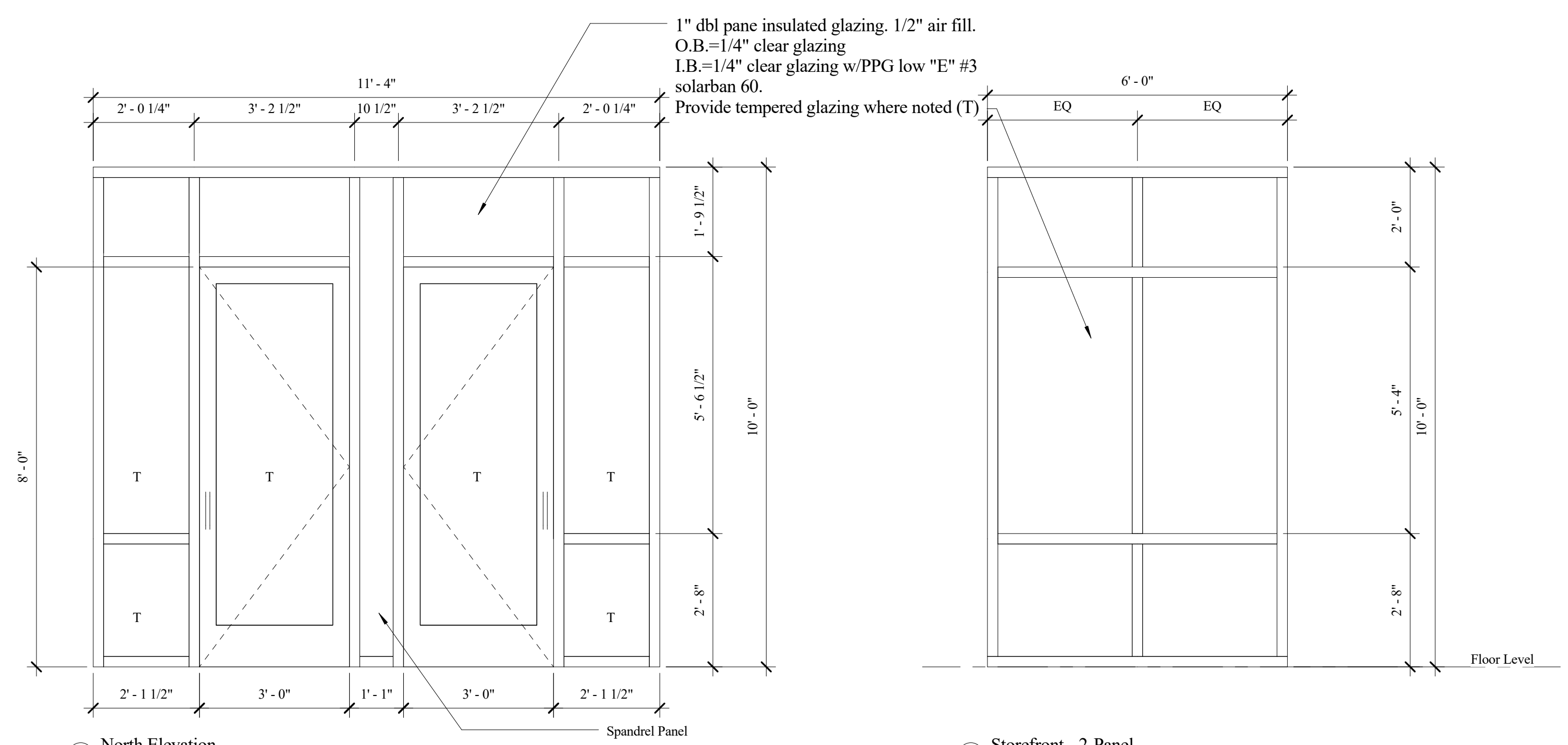
Project Date 14515
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Revisions

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Sheet:



Door Schedule
1/2" = 1'-0"

Wall Partitions
3/4" = 1'-0"

Door Schedule											
Door Number	Width	Height	Thickness	Door			Fire Rating	Hardware	Frame		Comments
				Material	Finish	Light			Type	Finish	
101	6'-0"	8'-0"	8'-0"	Alum. Storefront		0	A				
102	3'-0"	7'-0"	0'-1 3/4"	SC wood - glazed light	Stain	1 hr.	A	HM	Paint		
103	3'-0"	7'-0"	0'-1 3/4"	SC wood - glazed light	Stain	1 hr.	A	HM	Paint		
104	3'-0"	8'-0"		Alum. Storefront			A				Key as entry door 102
105	3'-0"	8'-0"		Alum. Storefront			A				Key as entry door 103
202	3'-0"	7'-0"	0'-1 3/4"	SC wood - glazed light	Stain	1 hr.	A	HM	Paint		
203	3'-0"	7'-0"	0'-1 3/4"	SC wood - glazed light	Stain	1 hr.	A	HM	Paint		

Set A:

- 3 Butts (tamper resistant hinges) each leaf
- Standard weight ball bearing
- Brass w/stainless steel pin
- Push/Pull hardware
- Door latch keyed both sides - must comply w/ NCBC 1008.1.9.3
- S.S. latch guard
- 1 Surface mount closer, push side
- Alum. saddle threshold (1/4" max.)
- Silencers
- Weather strip package
- Door sweep
- Door D101 permitted to have approved flush bolts one side

Hardware Notes:

- All hardware to meet the requirements of the NCBC Section 34 accessibility code
- All hardware to be certified grade II by ANSI/BHMA
- Consult owner for keying requirements



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**Catawba Bethel
Building**

19711 Bethel Church Road
Cornelius, NC 28031

Building Standards Number:

Content:

**Enlarged Stairway
Drawings &
Details**

Project 14515
Date 3/7/2017

Revisions

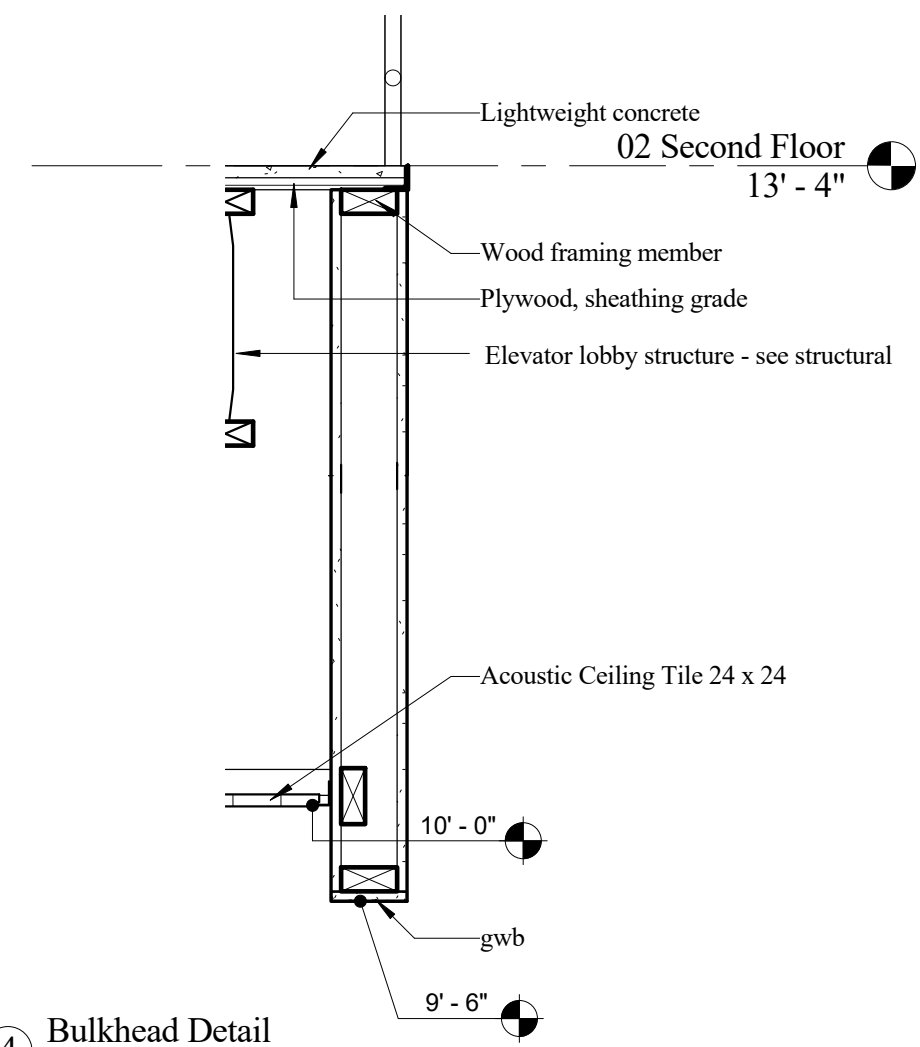
No.	Description	Date

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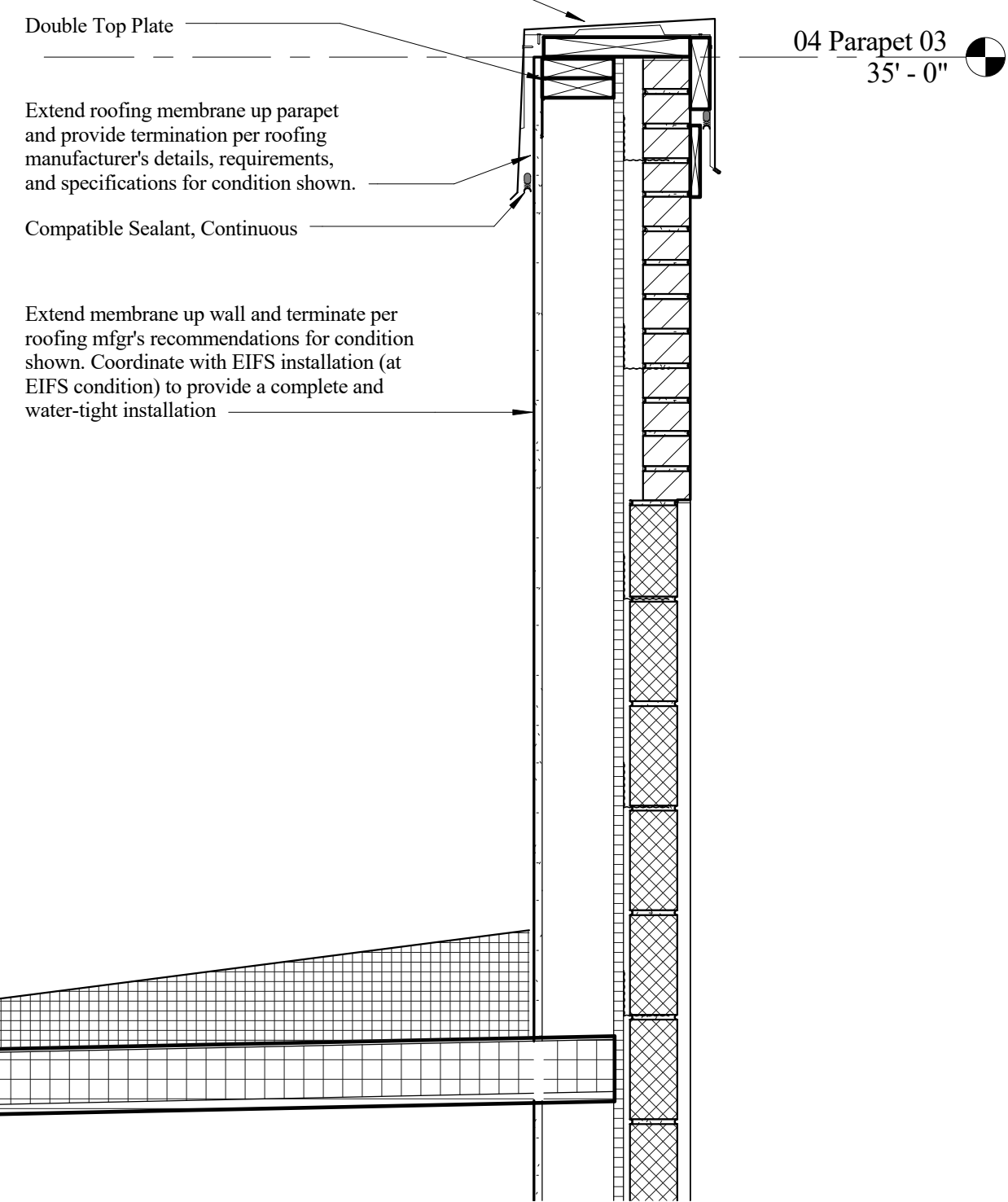
Sheet:

A7.1

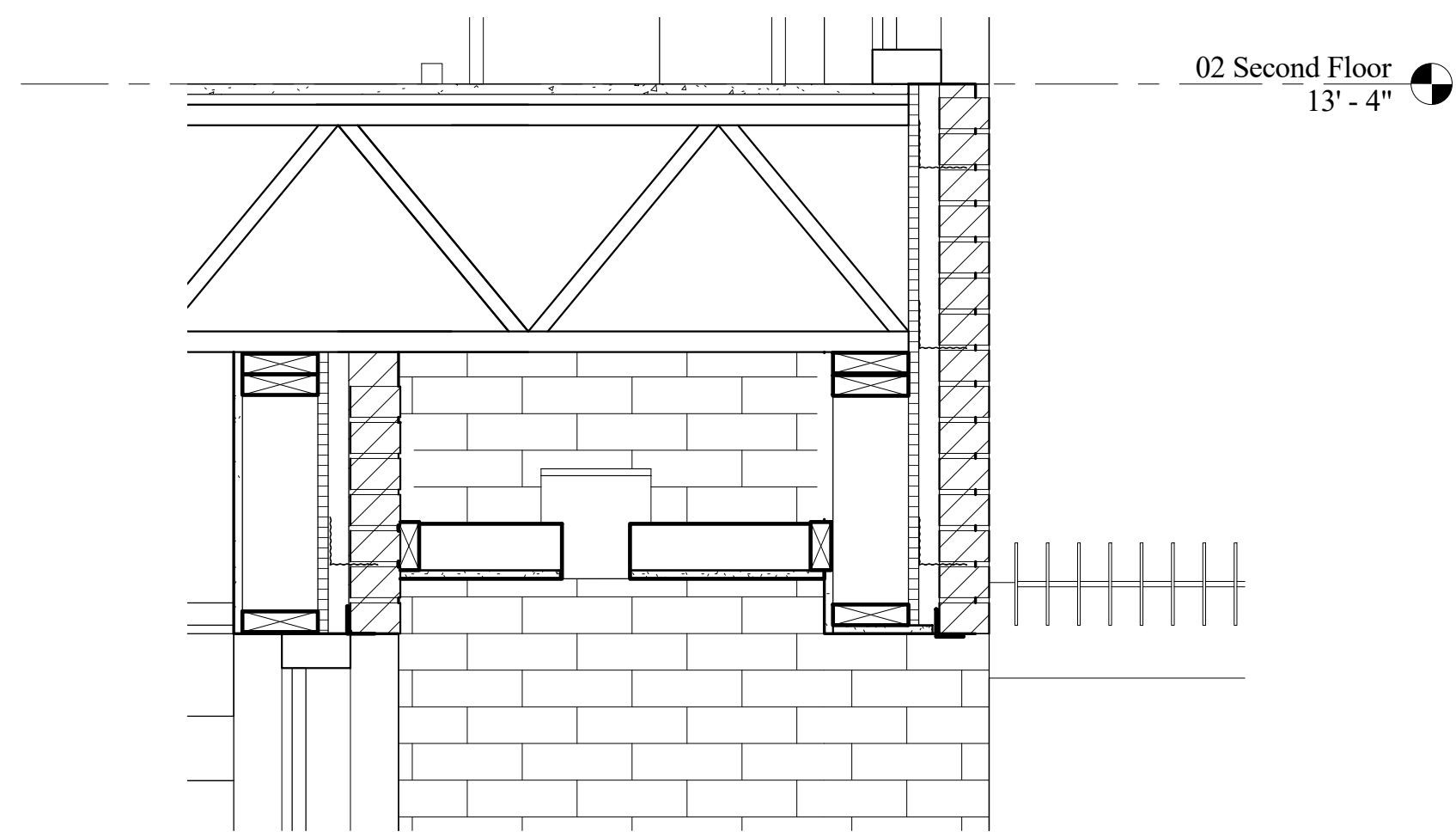


4 Bulkhead Detail
1" = 1'-0"

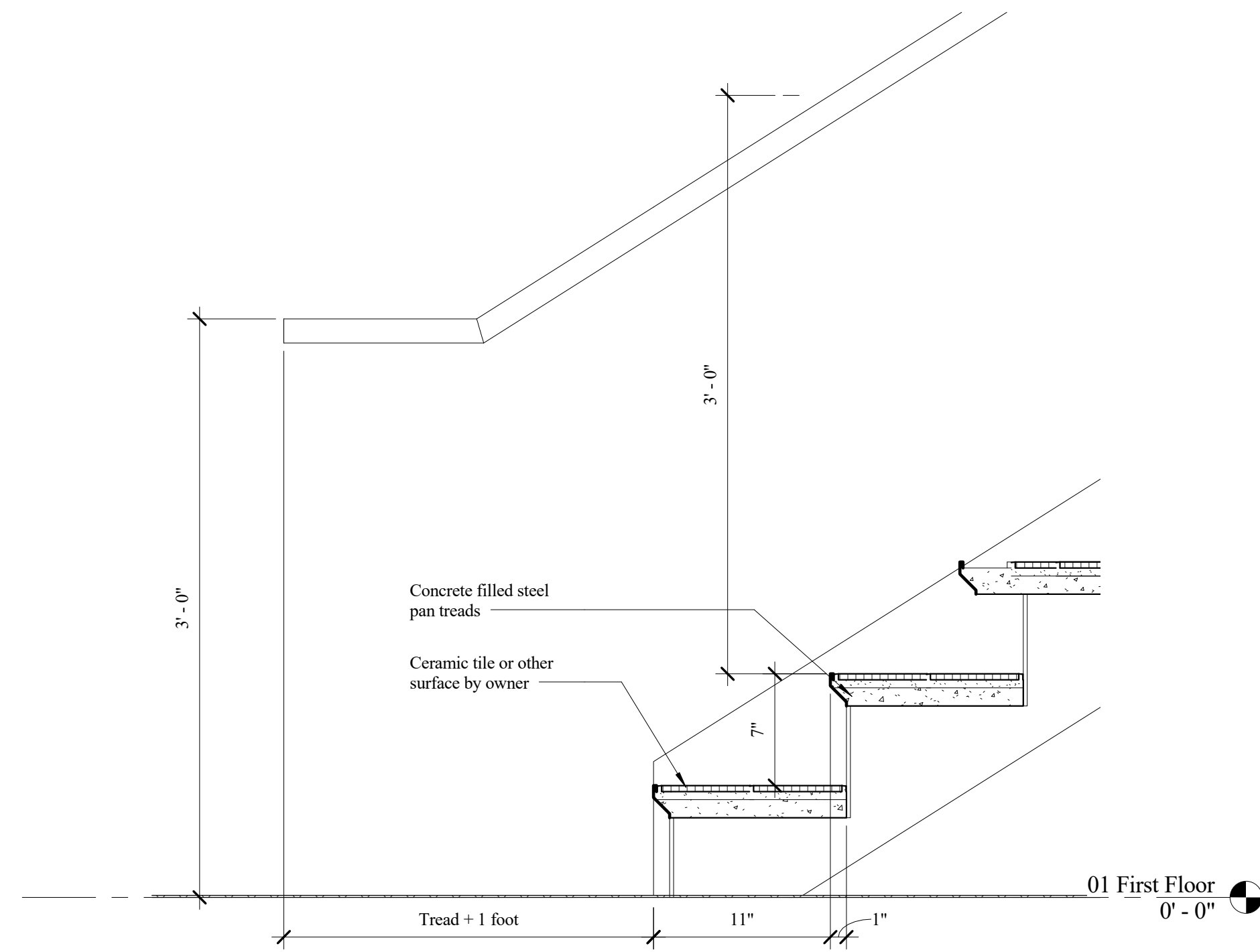
Pre-Finished metal cap flashing. Slope to roof. Provide concealed clip attachment. No exposed fasteners. Drip edge terminations.



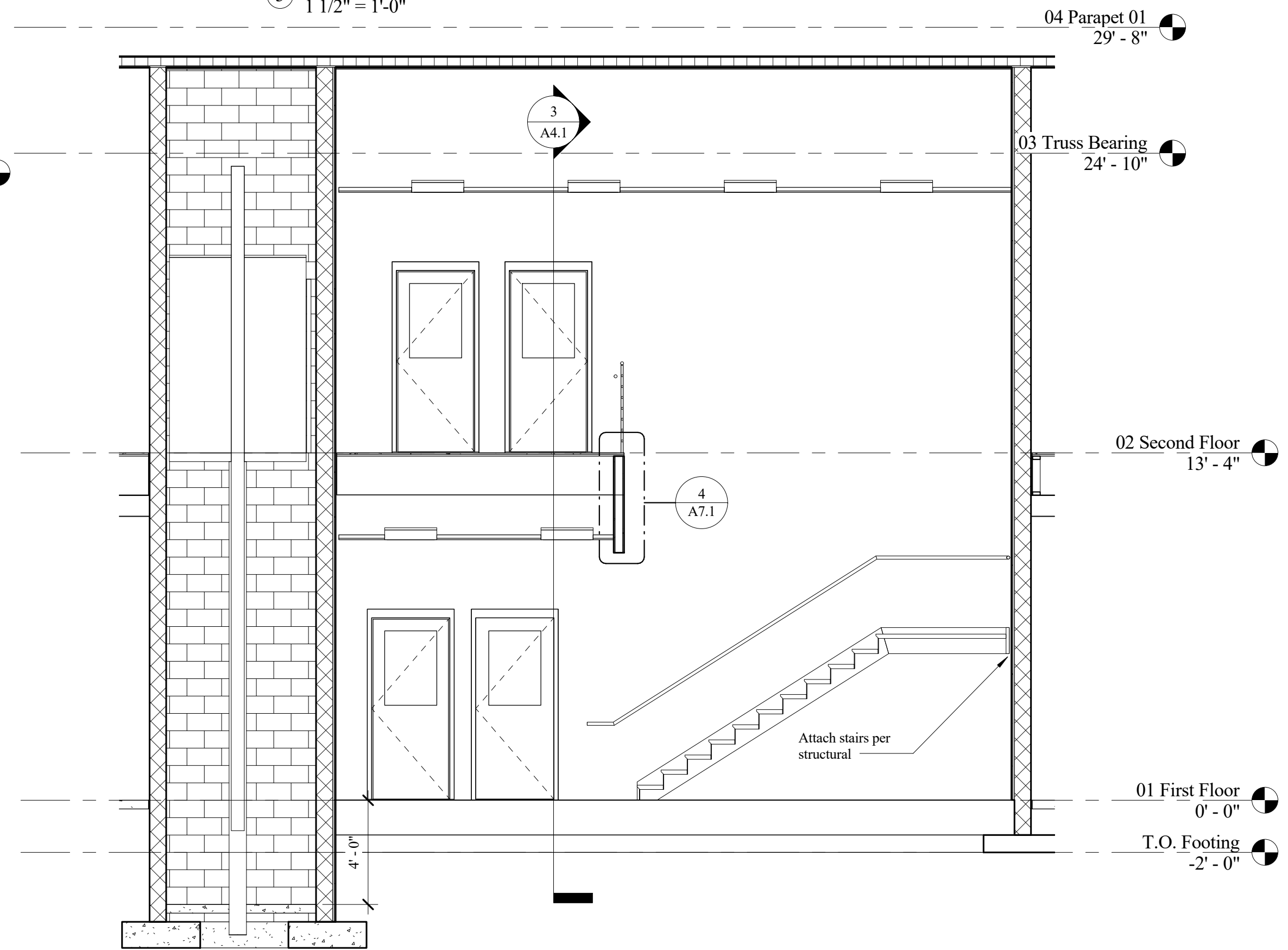
5 Parapet Section
1" = 1'-0"



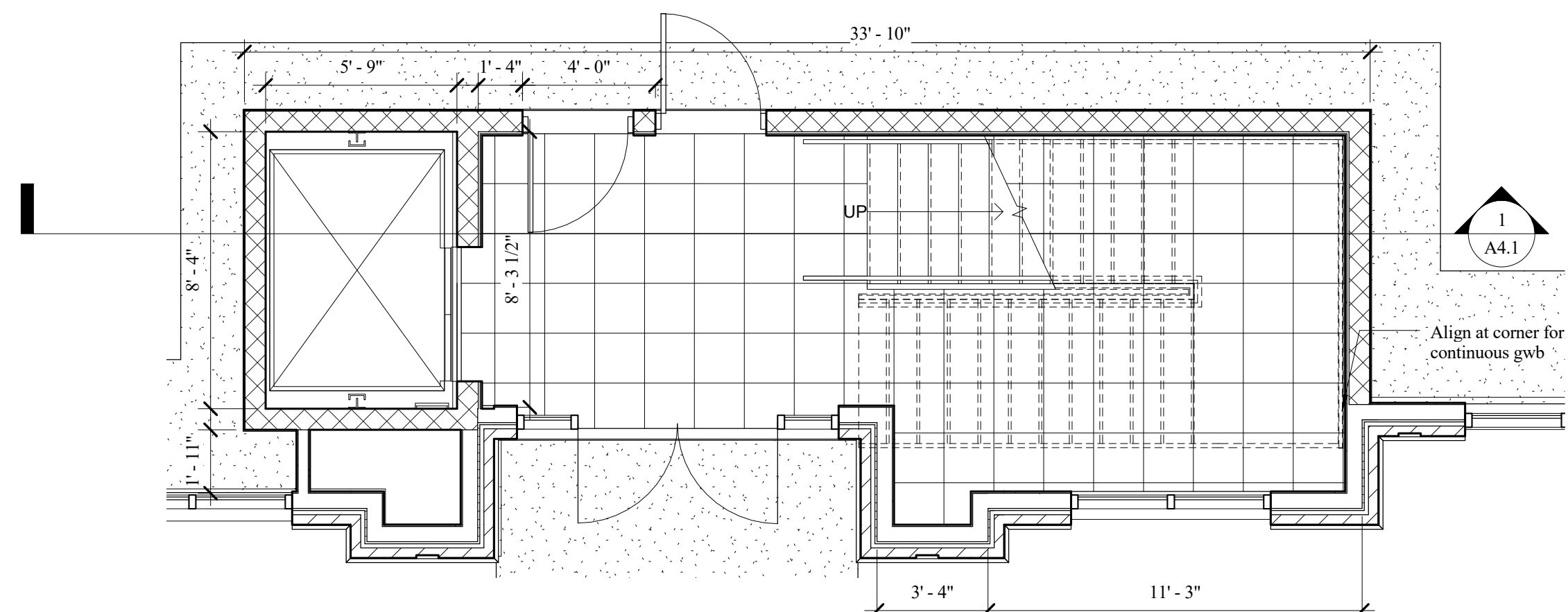
6 Entry Soffit
1" = 1'-0"



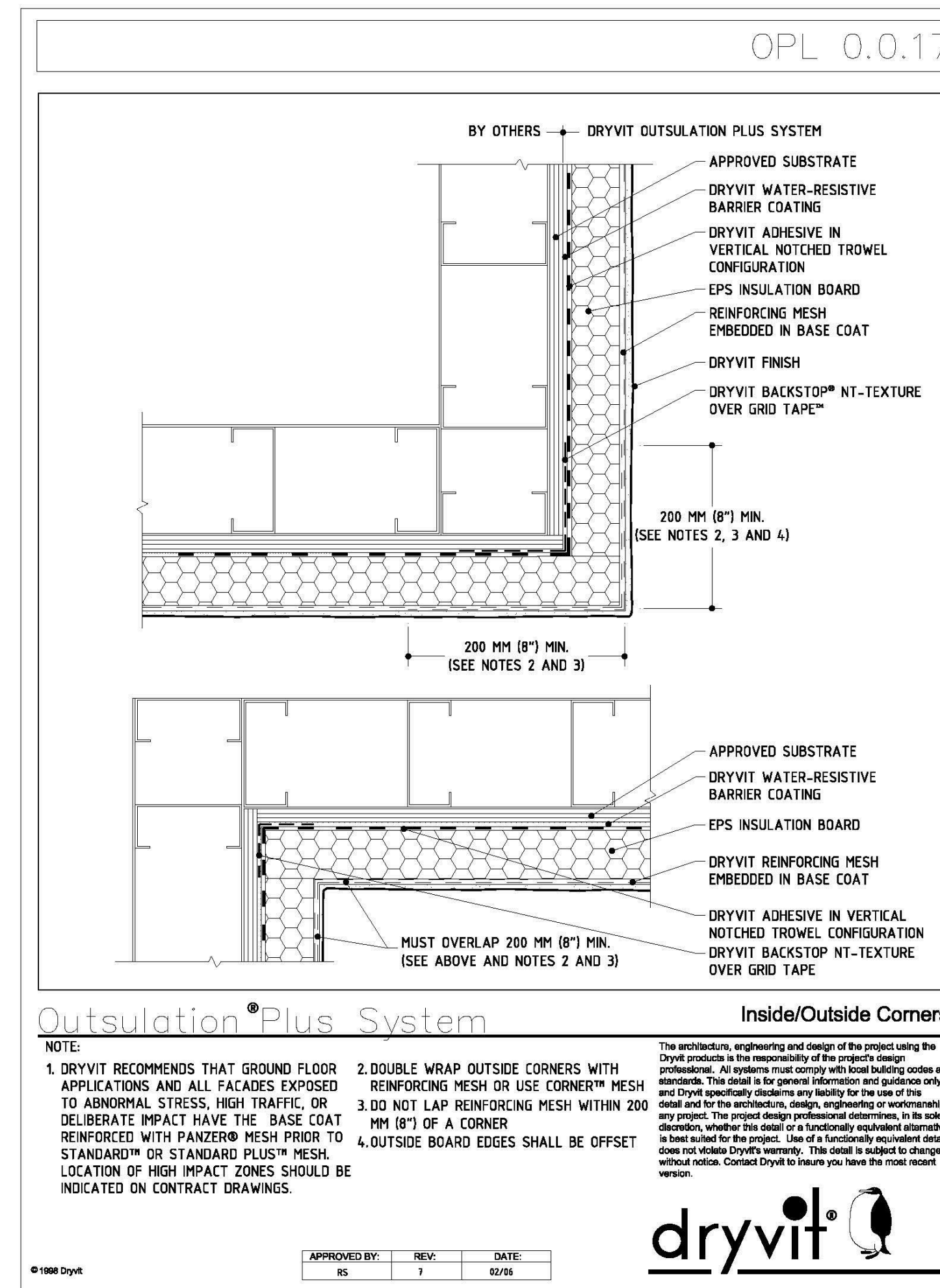
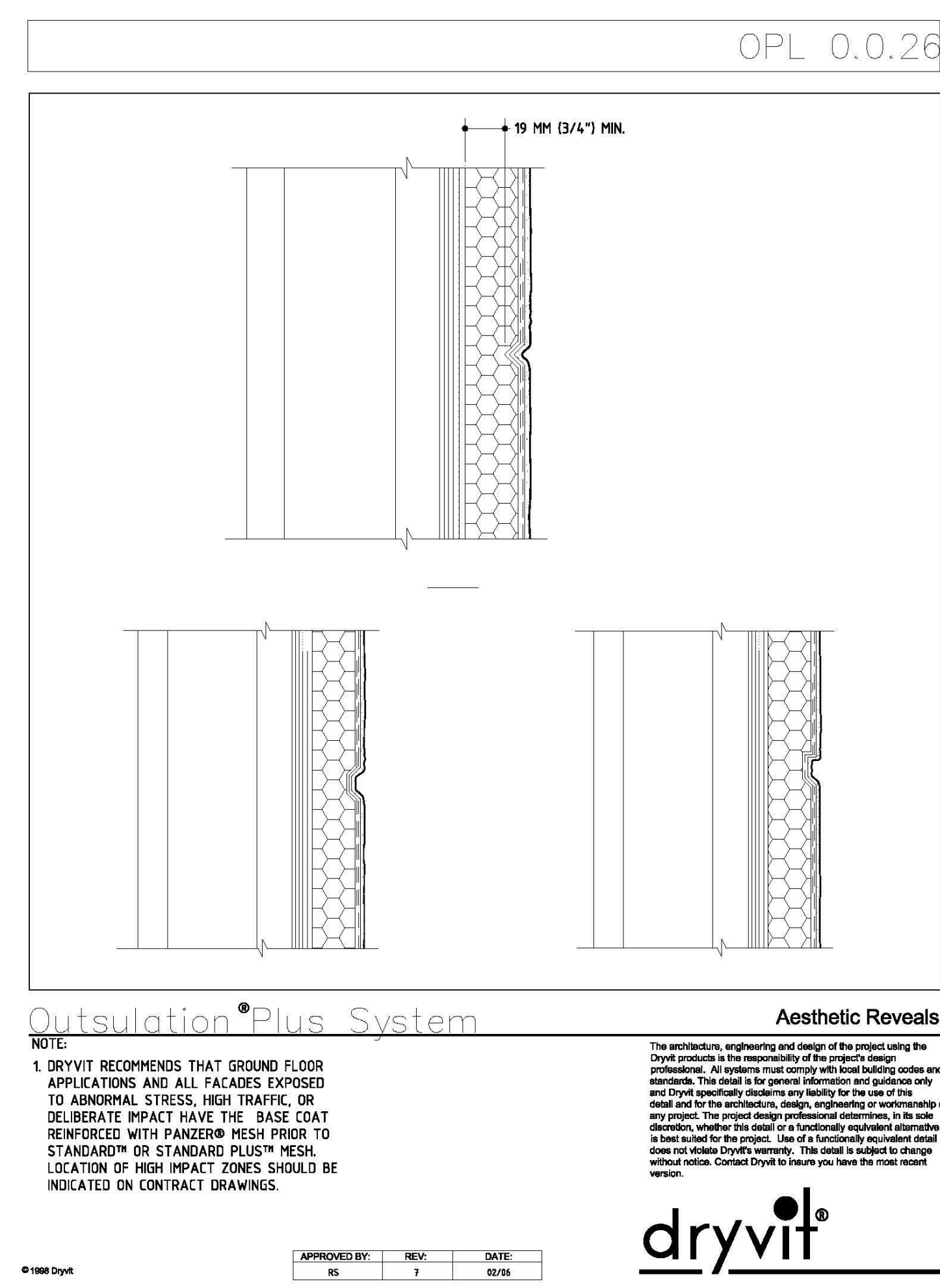
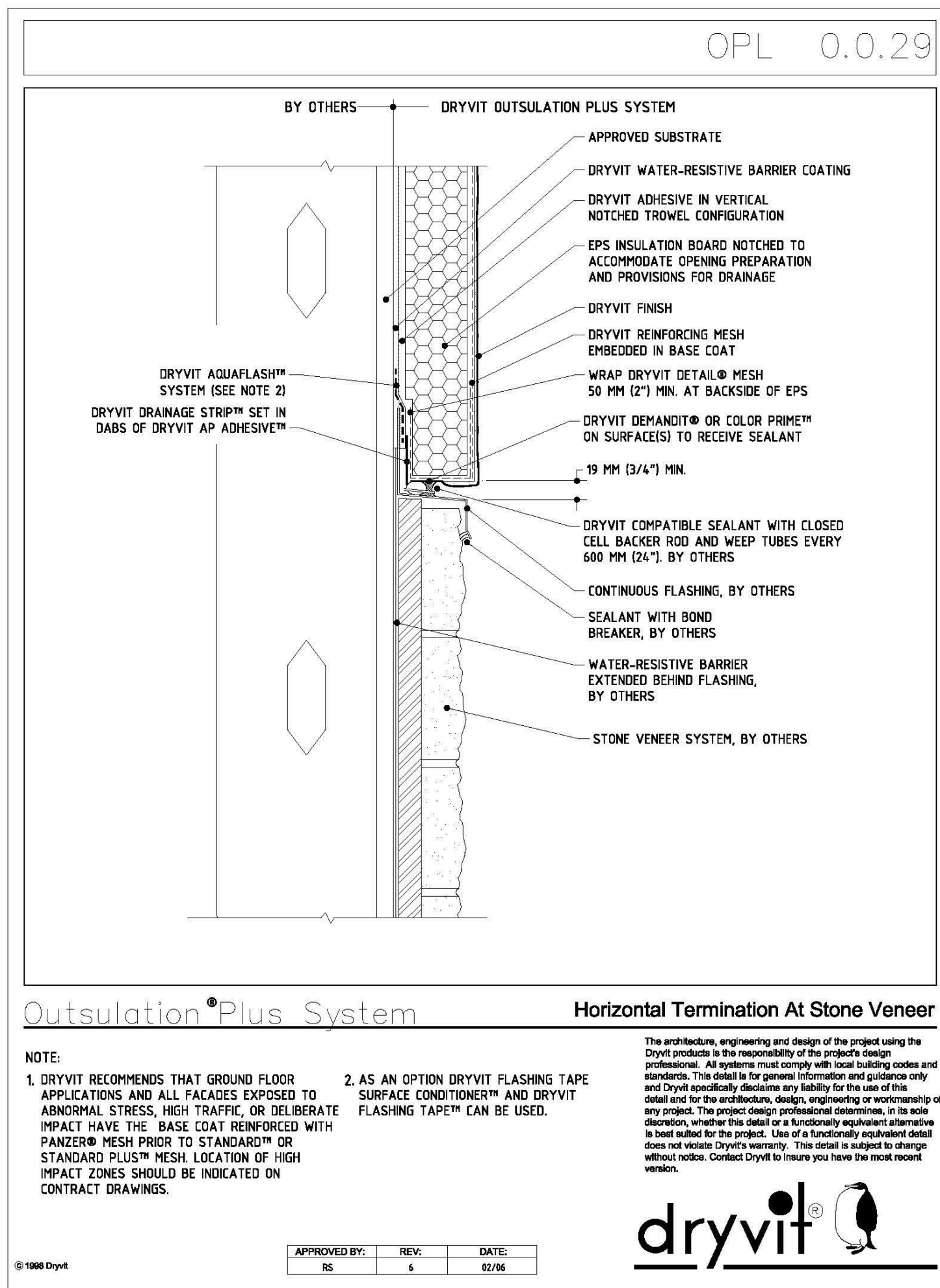
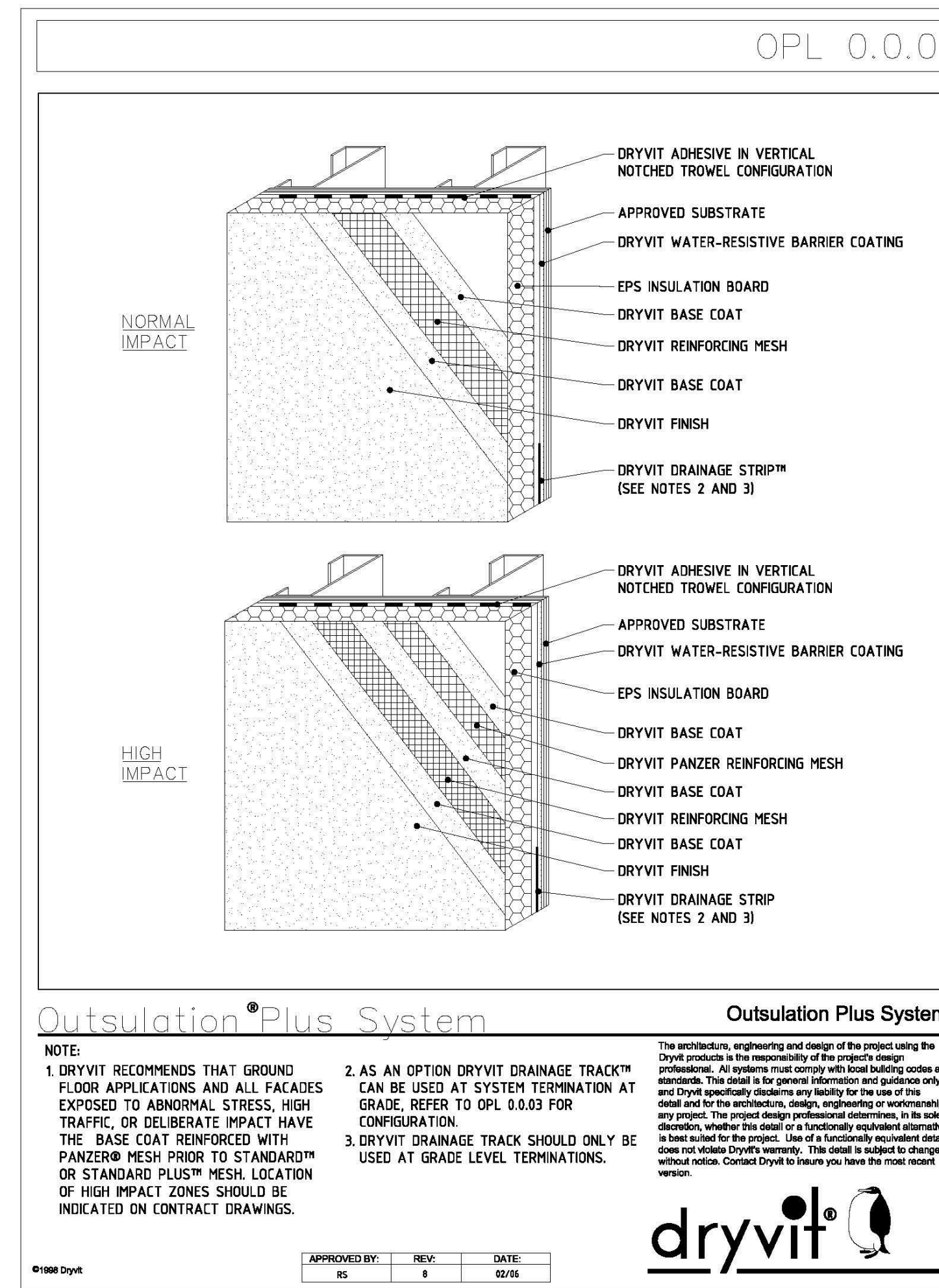
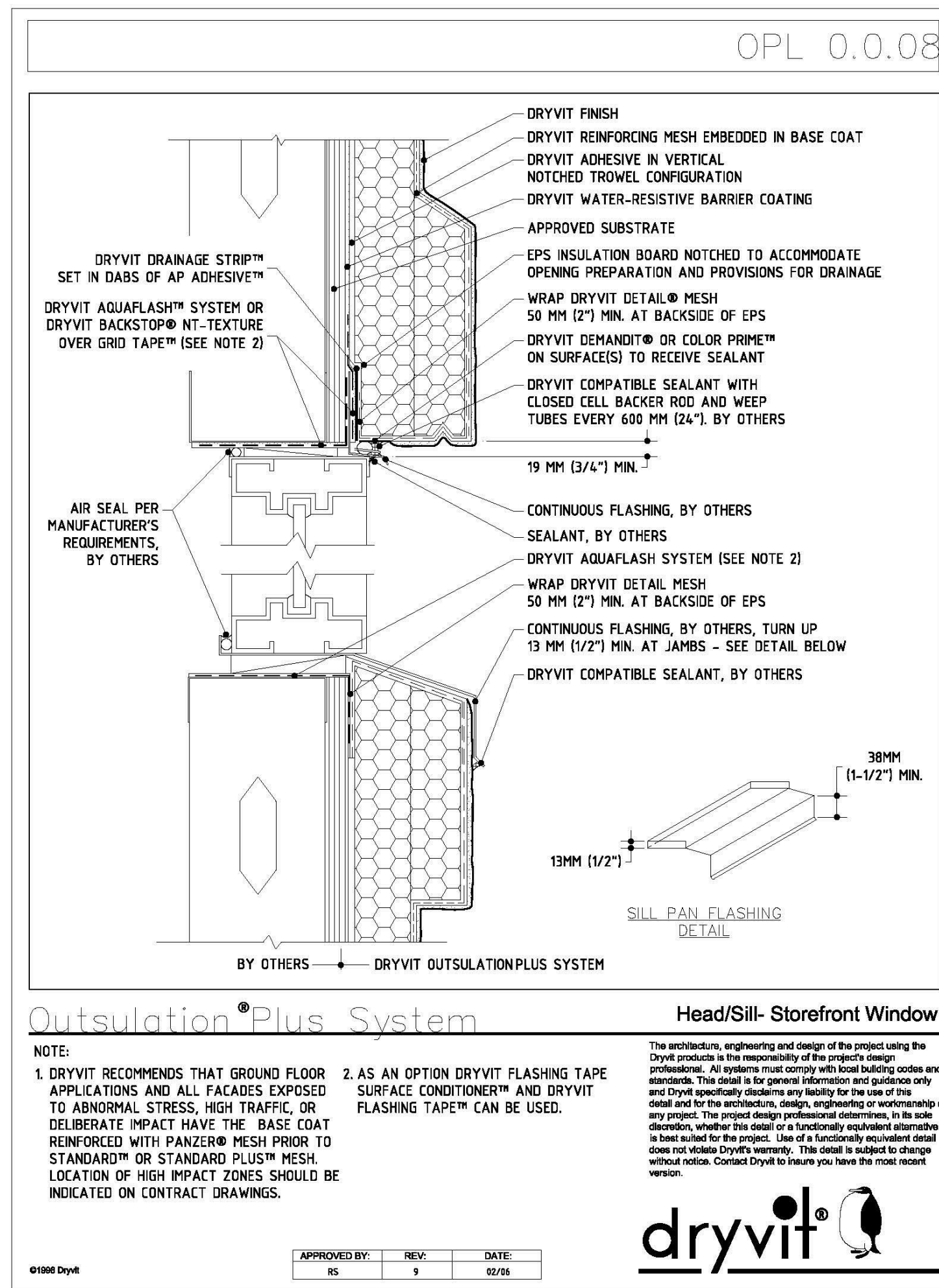
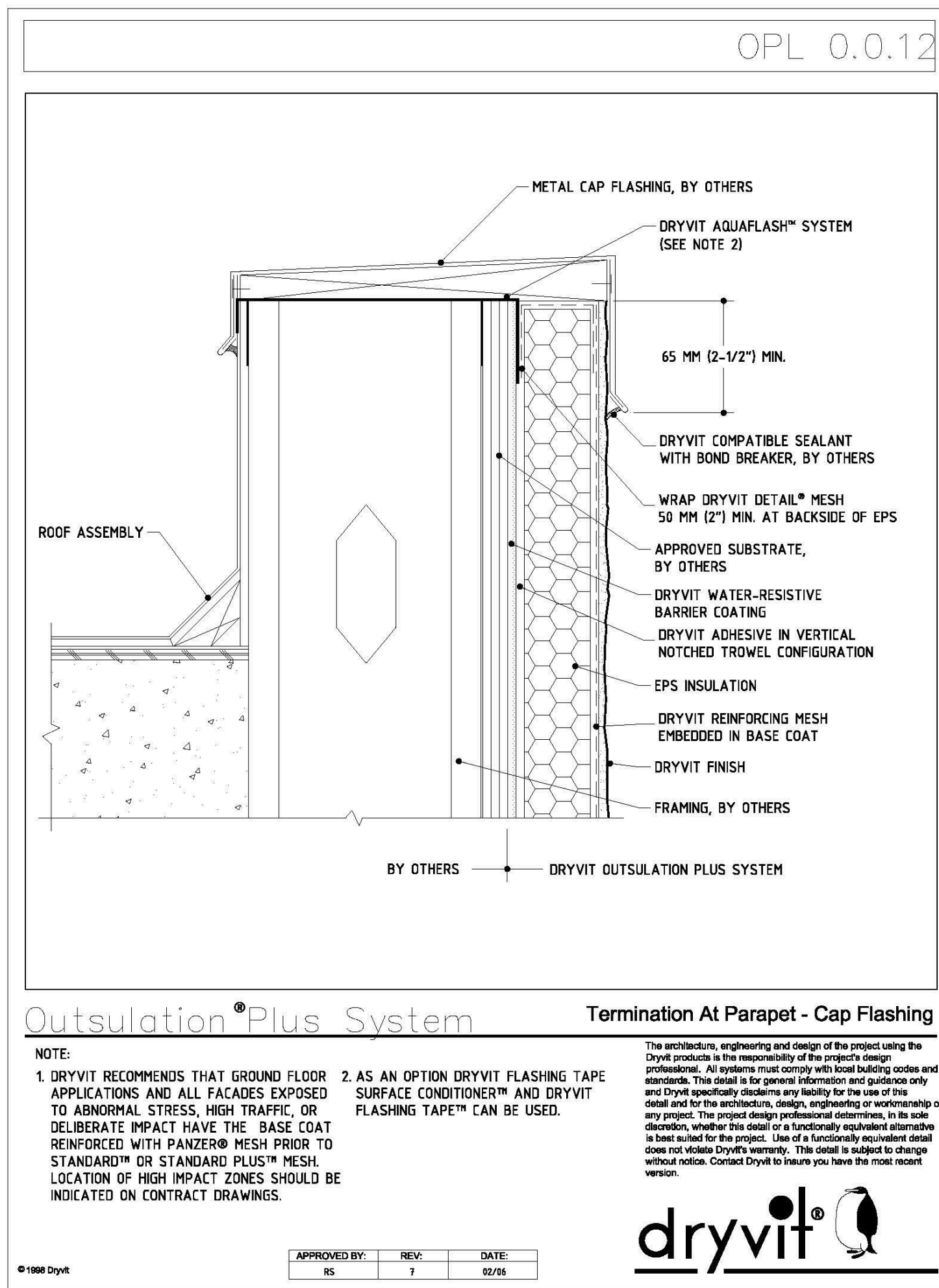
3 Stair Detail
1 1/2" = 1'-0"



1 Enlarged Stair Section
1/4" = 1'-0"



2 Enlarged Entry lobby Plan
1/4" = 1'-0"



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EIFS Details

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Sheet:

A7.2