

# BRANDYWINE CORPORATE CENTER

650 NAAMANS ROAD  
CLAYMONT, DE 19703

INVESTOR/USER OPPORTUNITY  
WITH IN-PLACE INCOME



CBRE

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# EXECUTIVE SUMMARY

## CLASS A+ OFFICE BUILDING AVAILABLE FOR SALE INVESTOR / USER OPPORTUNITY

Brandywine Corporate Center offers a rare opportunity to combine owner / occupier space with a predictable income stream on a portion of the building from existing tenants. Priced well below replacement cost, the building offers a flexible design and myriad of demising options that will allow the owner to adjust the amount of space dedicated to future income producing tenants or occupied space for owner/user requirements.

Brandywine Corporate Center offers investors a premier office building with tremendous lease-up and income potential. For the owner/user, the property has the full third floor, 27,653±, available office space and an income stream from multiple tenants.

- › Class A+ Office Building
- › Ideal location along I-95 and I-495 with immediate access to I-95
- › Adjacent to the Crown Plaza Hotel, restaurants, lodging and shopping
- › Served by Dart Bus Route #61
- › Within 10 minutes to the Philadelphia Airport
- › Within 30 minutes to Center City Philadelphia
- › Less than 10 minutes to the City of Wilmington

## VALUATION SUMMARY

NOI	\$399,101
Cap Value	(\$4,988,762) @ 8.00%
PSF	\$99.97
Unoccupied	27,653
Value PSF	\$145 PSF
Value - Unoccupied	\$4,011,238
Total Value	\$9,000,000



Along I-95  
and I-495



76,551± SF  
Total Building Size



Sale Price:  
\$9,000,000  
\$117.91/SF



Lease Income and  
Premium Unoccupied  
Suites



Up to 27,653± SF  
Available  
Full 3rd Floor



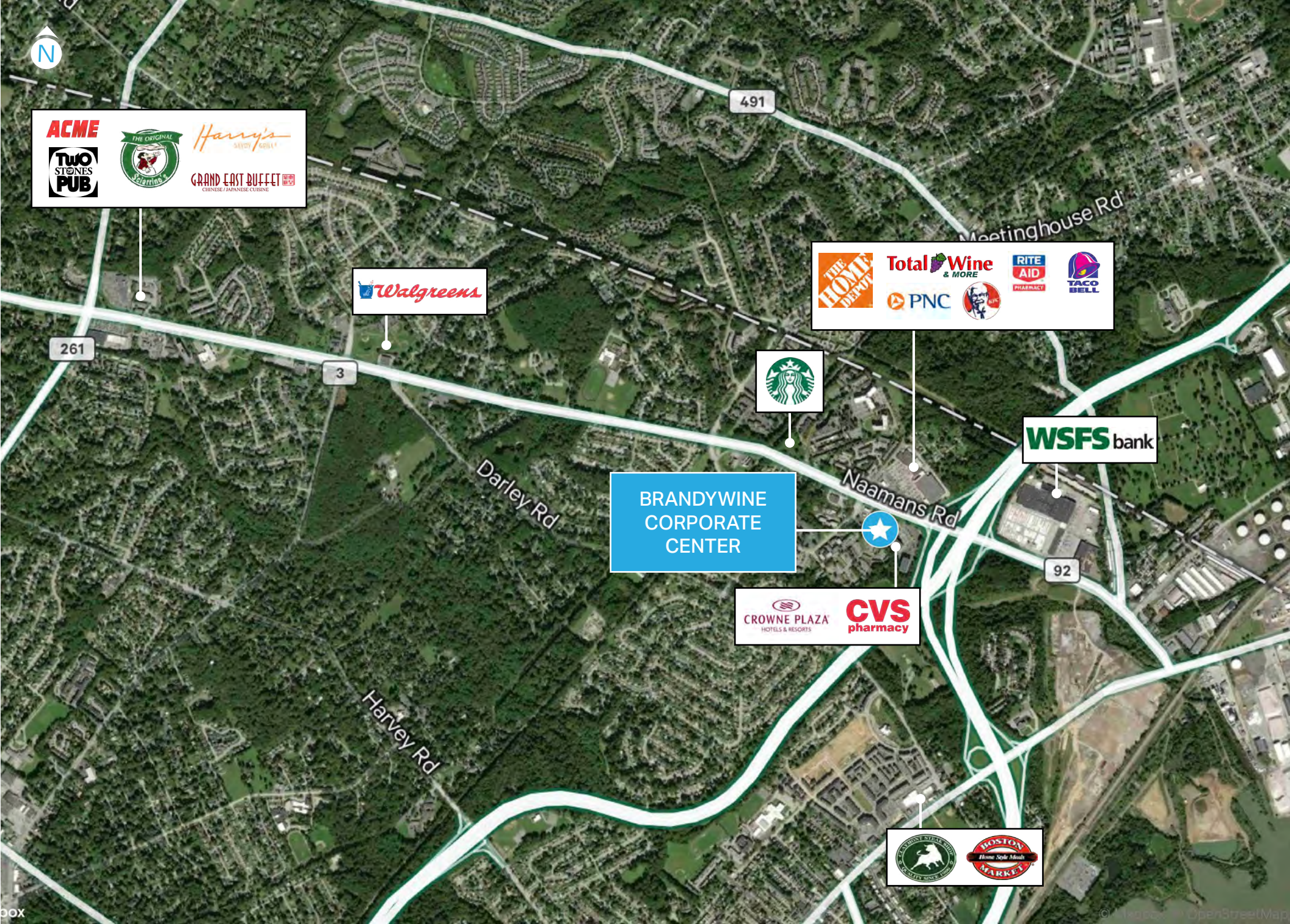
Numerous Nearby  
Amenities



NAAMANS RD



BRANDYWINE CORPORATE CENTER



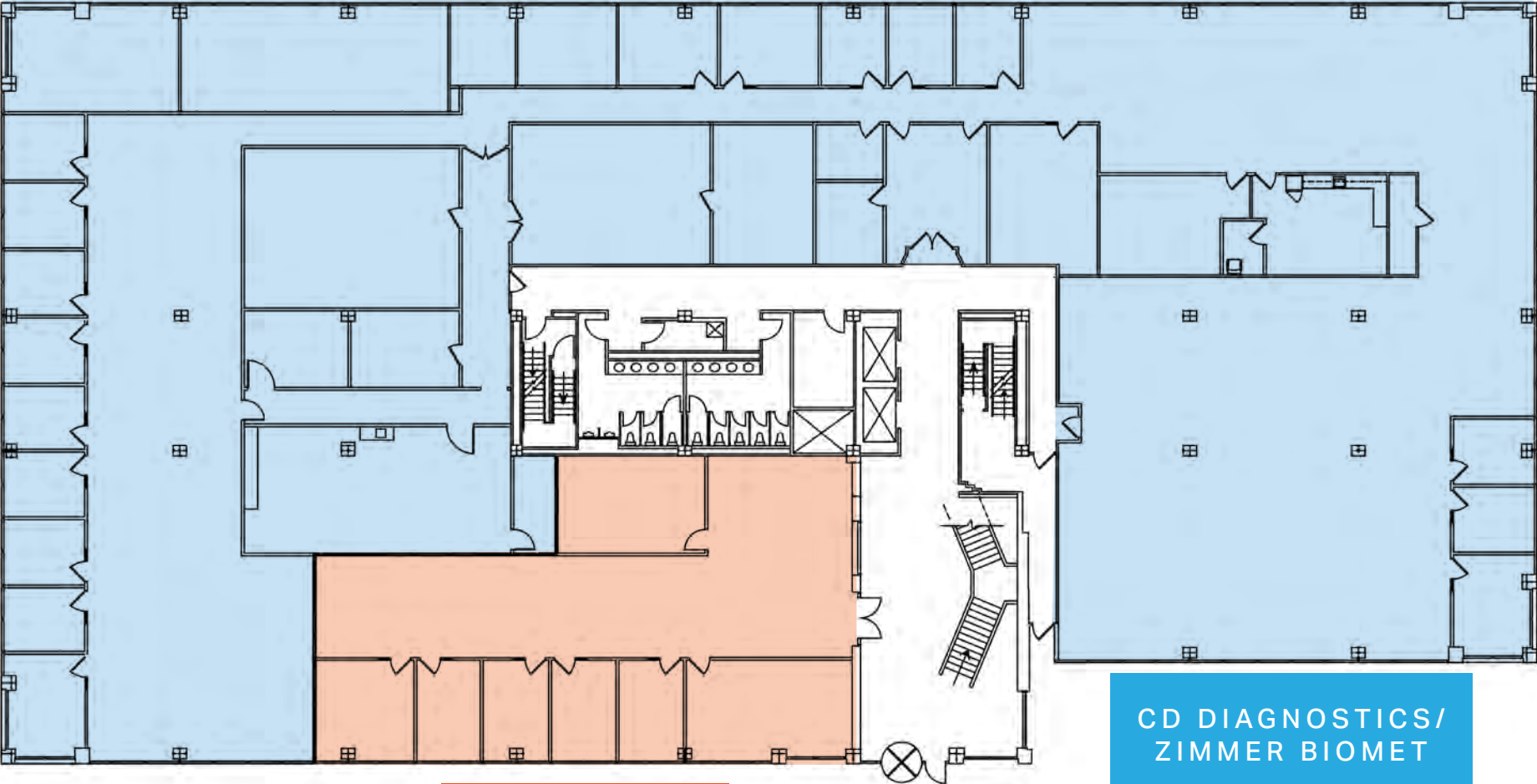
BRANDYWINE  
CORPORATE  
CENTER

THIRD FLOOR  
27,653± RSF  
AVAILABLE

FIRST FLOOR  
CD Diagnostics/ZIMMER Biomet  
LifeStance

SECOND FLOOR  
Various Tenants

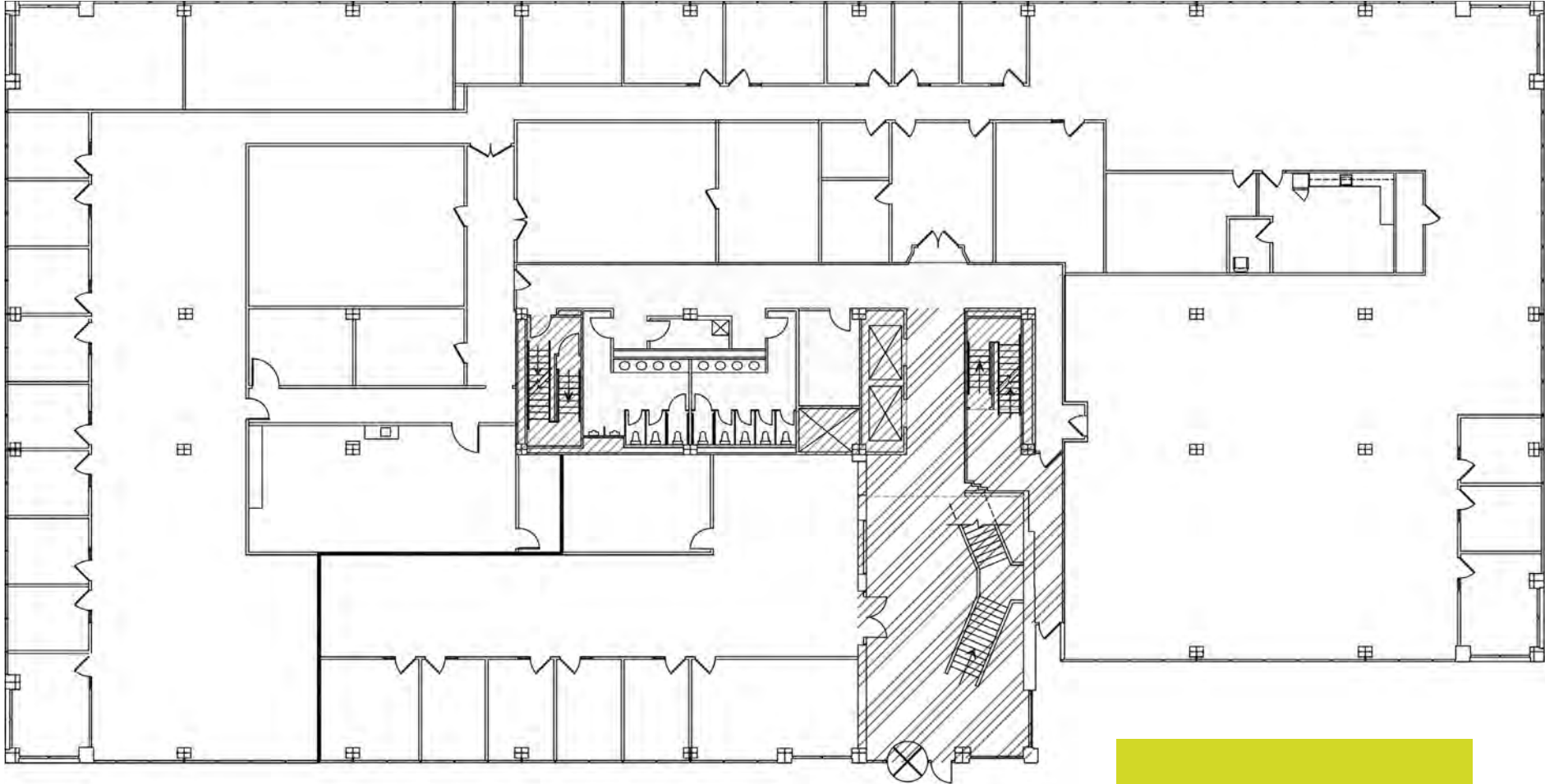
# FIRST FLOOR PLAN



LIFESTANCE

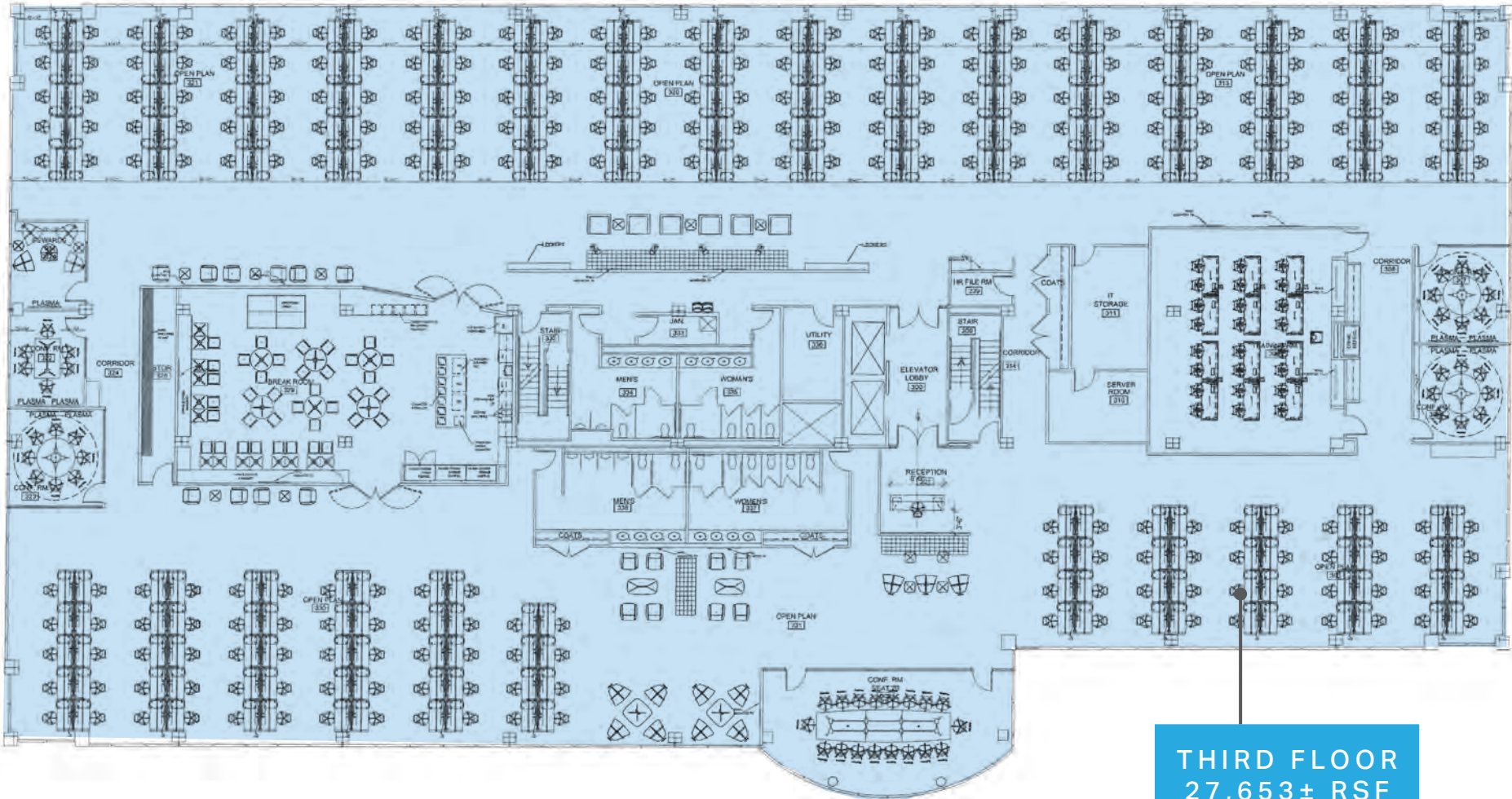
CD DIAGNOSTICS/  
ZIMMER BIOMET

# SECOND FLOOR PLAN



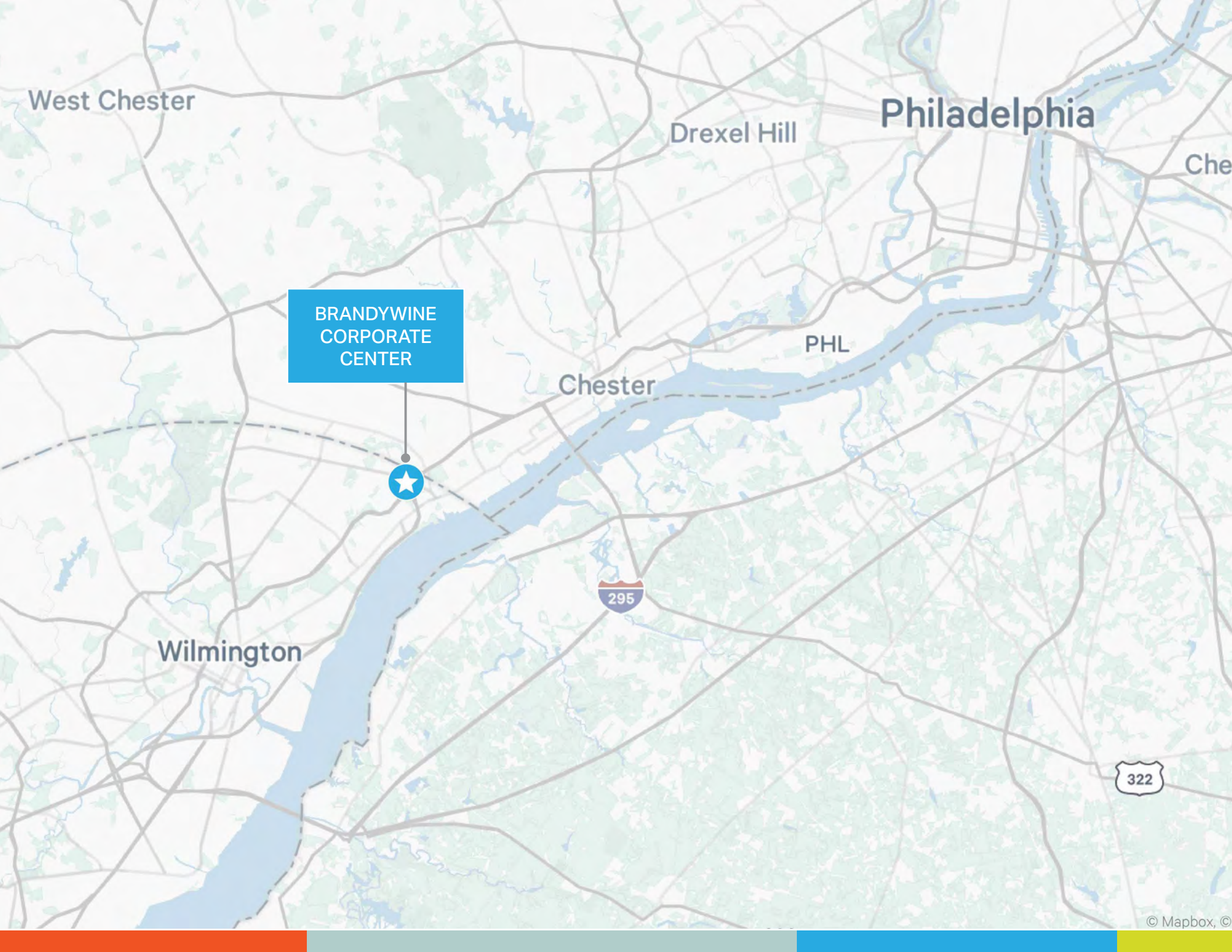
VARIOUS TENANTS

# THIRD FLOOR PLAN



THIRD FLOOR  
27,653± RSF  
AVAILABLE





West Chester

Drexel Hill

Philadelphia

Chester

BRANDYWINE  
CORPORATE  
CENTER

PHL

Chester

295

Wilmington

322

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