

# AVAILABLE WAREHOUSE

70,000 sq. ft.



1170 Valley Brook Ave, Lyndhurst, NJ 07071

- 70,000 sq ft available April 1, 2026
- 128,000 sf free standing warehouse - 2 tenant building
- 58,000 sq ft leased to Solgar Vitamins through 2029
- Prestigious Meadowlands location
- At NJ Turnpike / Route 95 exit 16W, Routes 3 & 17
- Fully air conditioned warehouse
- 25' clear height
- 5 tailboard loading docks
- 1 drive-in door
- 6,000 sf two story office
- 40' x 42' column spacing
- Gas heat
- Wet sprinkler system
- 45 Car parking

For additional information and inspection, please contact

Gregory Mechaber

Palin Enterprises

Owner/Developer

Office: 908-355-2344 Cell: 201-638-6666

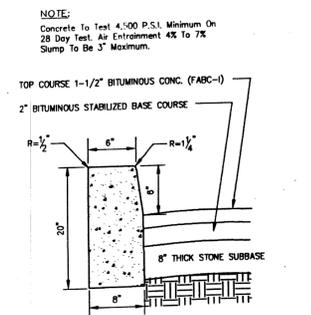
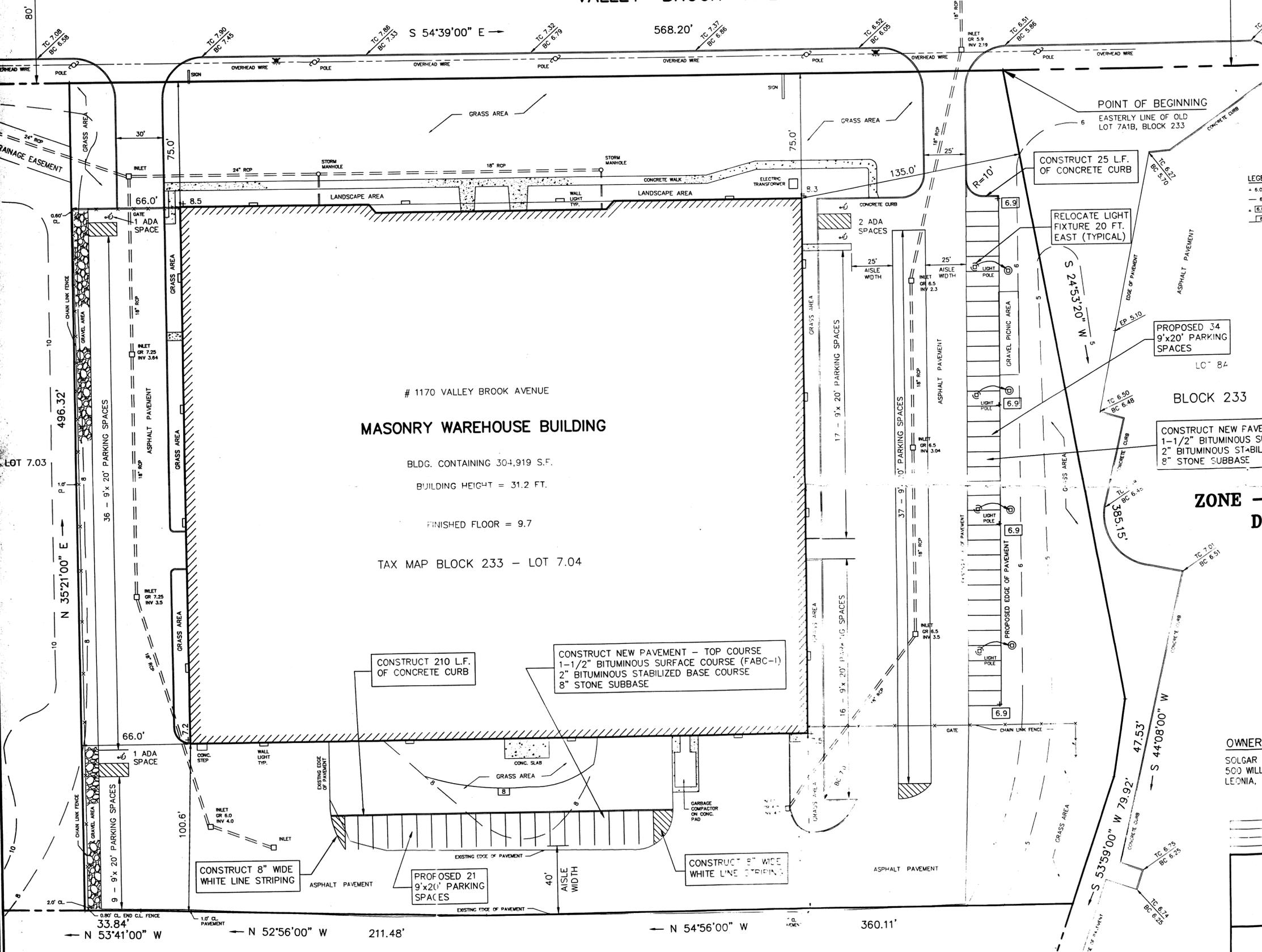
[GMechaber@yahoo.com](mailto:GMechaber@yahoo.com)

BLOCK 224

LOT 6

LOT 6

# VALLEY BROOK AVENUE



PARKING AREA CURB & PAVEMENT DETAIL  
NO SCALE

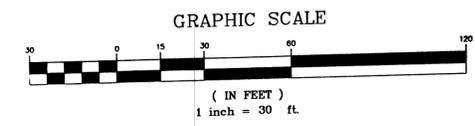
ZONE - RESEARCH DISTRIBUTION PARK		
	REQUIRED	PROVIDED
MINIMUM LOT AREA (ACRES)	4	7.0
MINIMUM LOT WIDTH (FT.)	200	568.20
MAXIMUM LOT COVERAGE (%)	40	39.1
MINIMUM OPEN SPACE (%)	20	23.5
F.A.R.	2.5	39.1
MINIMUM FRONT YARD (FT.)	75	75.0
MINIMUM SIDE YARD (ONE)(FT.)	30	68.0
MINIMUM SIDE YARD (TWO)(FT.)	120	201.0
MINIMUM REAR YARD (FT.)	100	100.6

- GENERAL NOTES:**
- 1) THE INTENTION OF THIS PLAN IS TO SHOW THE PAVEMENT IMPROVEMENTS REQUIRED TO CONSTRUCT 34 PARKING SPACES ALONG THE EAST SIDE OF SITE AND 21 PARKING SPACES ALONG THE SOUTH SIDE OF SITE.
  - 2) PAVEMENT SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE DIRECTED TOWARDS EXISTING DRAIN INLETS.
  - 3) FOUR (4) EXISTING LIGHT FIXTURES TO BE MOVED APPROXIMATELY 20 FEET TO THE EAST.
  - 4) ALL PARKING SPACES TO BE LINE STRIPED WITH 4" WIDE WHITE TRAFFIC PAINT.
  - 5) NO NEW CONSTRUCTION IS PROPOSED OTHER THEN 55 NEW PARKING SPACES.
  - 6) EXISTING CONCRETE WHEELSTOPS LOCATED ALONG ENTIRE LENGTH OF EDGE OF PAVEMENT ALONG BOTH EAST AND WEST SIDES OF SITE.
  - 7) EXISTING PARKING - 115 SPACES + 4 A.D.A. SPACES  
 PROPOSED - 55 SPACES  
 TOTAL PARKING - 170 SPACES + 4 A.D.A. SPACES

# 1170 VALLEY BROOK AVENUE  
**MASONRY WAREHOUSE BUILDING**  
 BLDG. CONTAINING 304,919 S.F.  
 BUILDING HEIGHT = 31.2 FT.  
 FINISHED FLOOR = 9.7  
 TAX MAP BLOCK 233 - LOT 7.04

**ZONE - RESEARCH DISTRIBUTION PARK**

AREA = 304,916 S.F. OR 7.0 ACRES



**OWNER & APPLICANT**  
 SOLGAR VITAMIN & HERB  
 500 WILLOW TREE ROAD  
 LEONIA, NEW JERSEY 07605

REVISION

**SITE PLAN**  
 1170 VALLEY BROOK AVENUE  
 TAX MAP BLOCK 233 - LOT 7.04  
 TOWNSHIP OF LYNDBURST  
 BERGEN COUNTY, NEW JERSEY

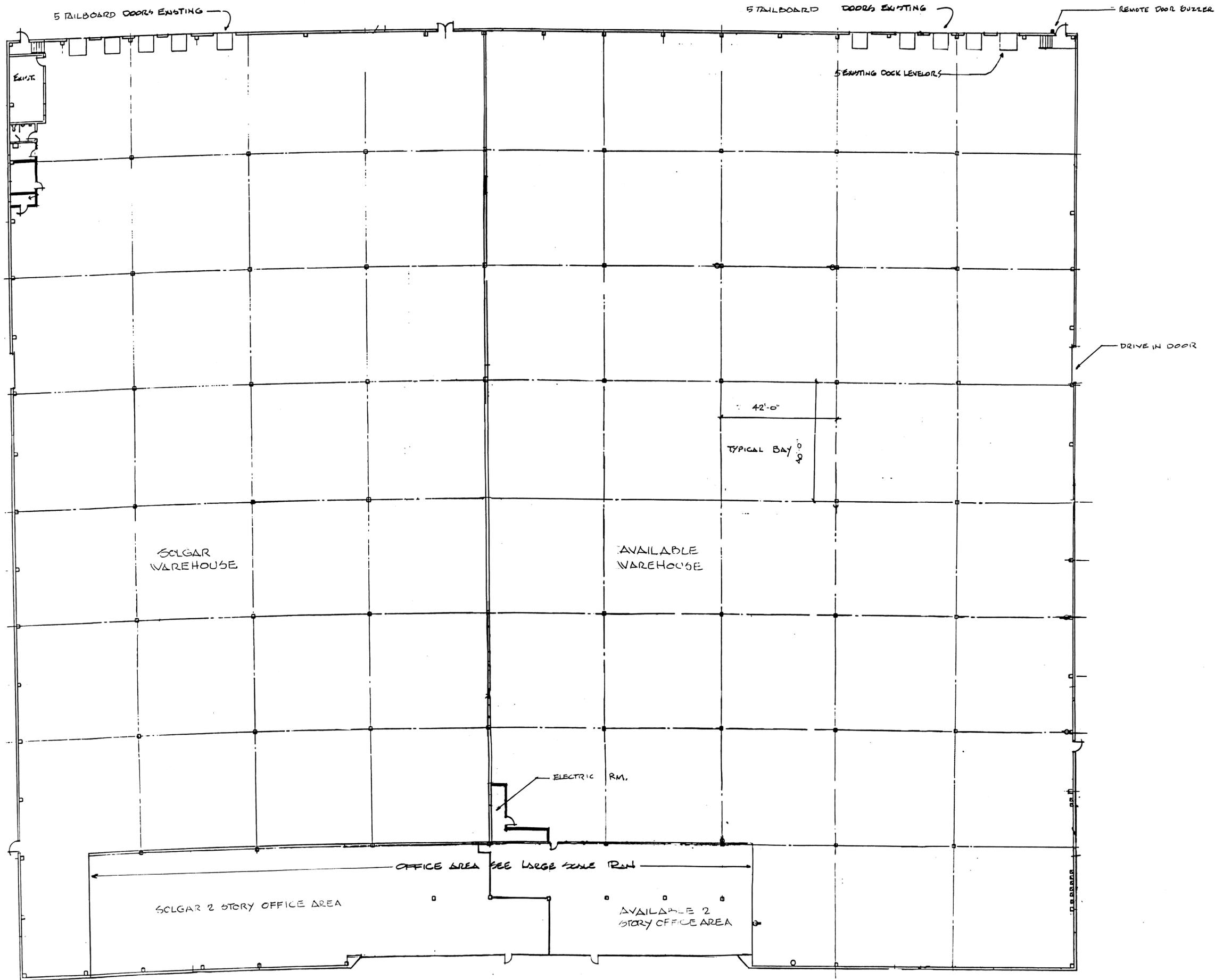
**OSTERKORN ENGINEERING ASSOCIATES**  
 ENGINEERING-SURVEYING-PLANNING-TEL.848-8190/FAX.848-0981  
 121 GODWIN AVENUE, WYCKOFF, N.J. 07481

*[Signature]*  
 N.J. LIC. NO. 29071  
**CHARLES L. OSTERKORN JR., P.E.,L.S.**

DATE: 01/31/03    SCALE: 1"=30'    SHEET SP-2    JOB NO. P-2725

**NOTE:**  
 THE UTILITIES DELINEATED HEREIN ARE BASED UPON AVAILABLE RECORDS, SURFACE FIELD OBSERVATION, AND CONSULTATION WITH UTILITY COMPANIES. IT IS NOT TO BE ASSUMED THAT ALL ADDITIONAL SUBSURFACE EXPLORATIONS HAVE BEEN CONDUCTED. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITIES BEFORE CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES OR AGENCIES AND BEFORE THE DIGGING OF TEST PITS.

## ZONE - REDEVELOPMENT AREA



**FLOOR PLAN**  
SCALE 1/16" = 1'-0"

**ABRAHAM GOODMAN • ARCHITECT**  
107 TRUMBULL STREET ELIZABETH, NJ  
PHONE 908 529 1200 FAX 908 529 0200

*Abraham Goodman*

**SOLGAR**  
1170 VALLEY BROOK AVE. LYNDHURST BERGEN CO. N.J.

JOB NO. 9926  
DATE 4/12/00

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