

## INDUSTRIAL

- 10,000 - 15,000 SF Available
- 500 AMP/ 280v Power
- Modern office space built out
- Open warehouse with high ceiling clearance
- Two docks / One GL door
- Yard space



### RE/MAX ASSOCIATES

**ASHLEE BONHAM**  
Commercial Real Estate Agent  
ashlee.bonham@remax.net  
11800722-SA00, UT

**ROBERT FARNSWORTH**  
Associate Broker  
(801) 898-8810  
robertfarnsworth@remax.net  
5450670-AB00, UT

**RANDY CUMMINS**  
Commercial Real Estate Agent  
801-641-8004  
randycummins@remax.net  
75467636-SA00, UT





## Property Summary

APN:	21-13-452-030-0000
Building SF:	10,000 - 15,000
Dock Doors:	1
Foundation:	Concrete
Lease Rate:	\$15
Lot Size:	1.05 Acres
Power:	500 amp/208 3 Phase
Year Built:	2000
Zoning:	M-G
Sublease through	5/31/2028
Ground Level Door	2
Sublease Through	5/31/2028

## Property Overview

10,000 SF of industrial space coming available for sublease in Murray with up to 15,000 SF (the entire building, unit 5918) coming in June. Rare yard space is included in this lease making this price a bargain. Within the 10,000 option are two docks and one ground level door with lots of open warehouse space and modern office built out. The building features a versatile layout of flexible industrial space perfect for light industrial uses, distribution, equipment storing and more. Price is firm with sublease terms. Located in the M-G (Manufacturing) zone with many approved industrial uses. Property is not fire-sprinkled. Sublease is through 5/31/2028.

## Location Overview

Centrally located near I-15 and I-215 this location offers excellent mid valley access to all major transportation corridors. If you are looking for industrial space right in the center of the Salt Lake Valley, you won't find a better option.



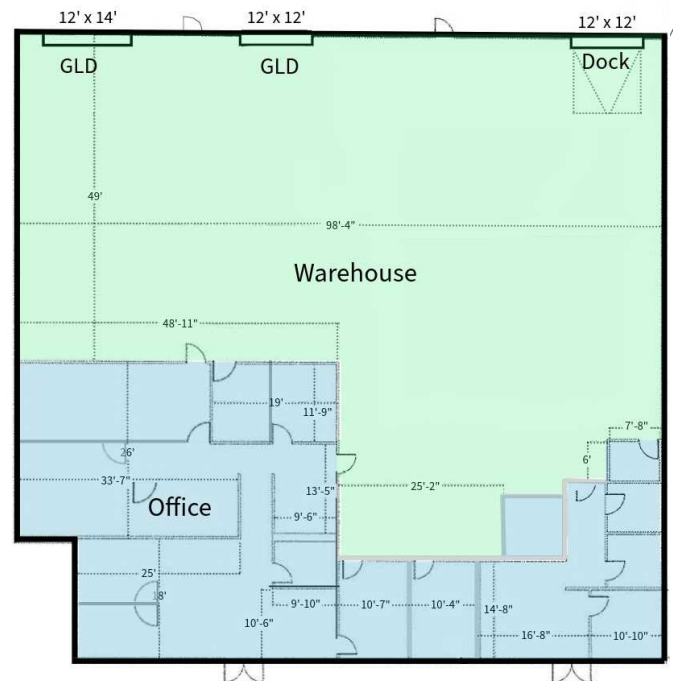
# LOCATION / FLOOR PLAN

**MURRAY INDUSTRIAL**

5924 South 350 West  
Murray, UT 84107



Up to three unit, entire building available. Combined units (10,000 SF) as shown in floor plan below are 5924-5922. Additional unit (5000 SF) 5918 coming available June 2026



The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. Users should consult with a professional in the respective legal, accounting, tax or other professional.



# PROPERTY PHOTOS

**MURRAY INDUSTRIAL**

5924 South 350 West  
Murray, UT 84107



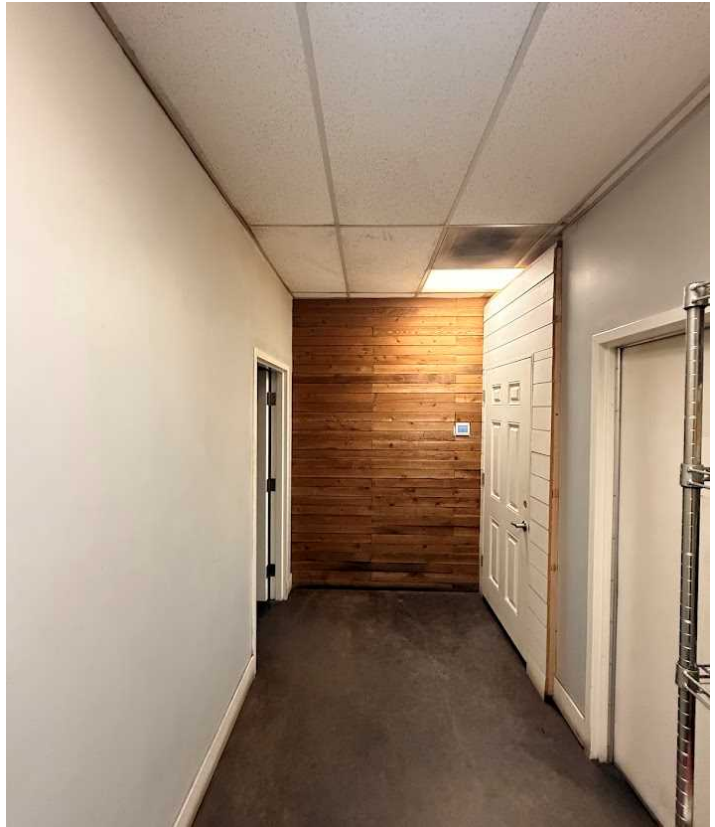
The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. Users should consult with a professional in the respective legal, accounting, tax or other professional.



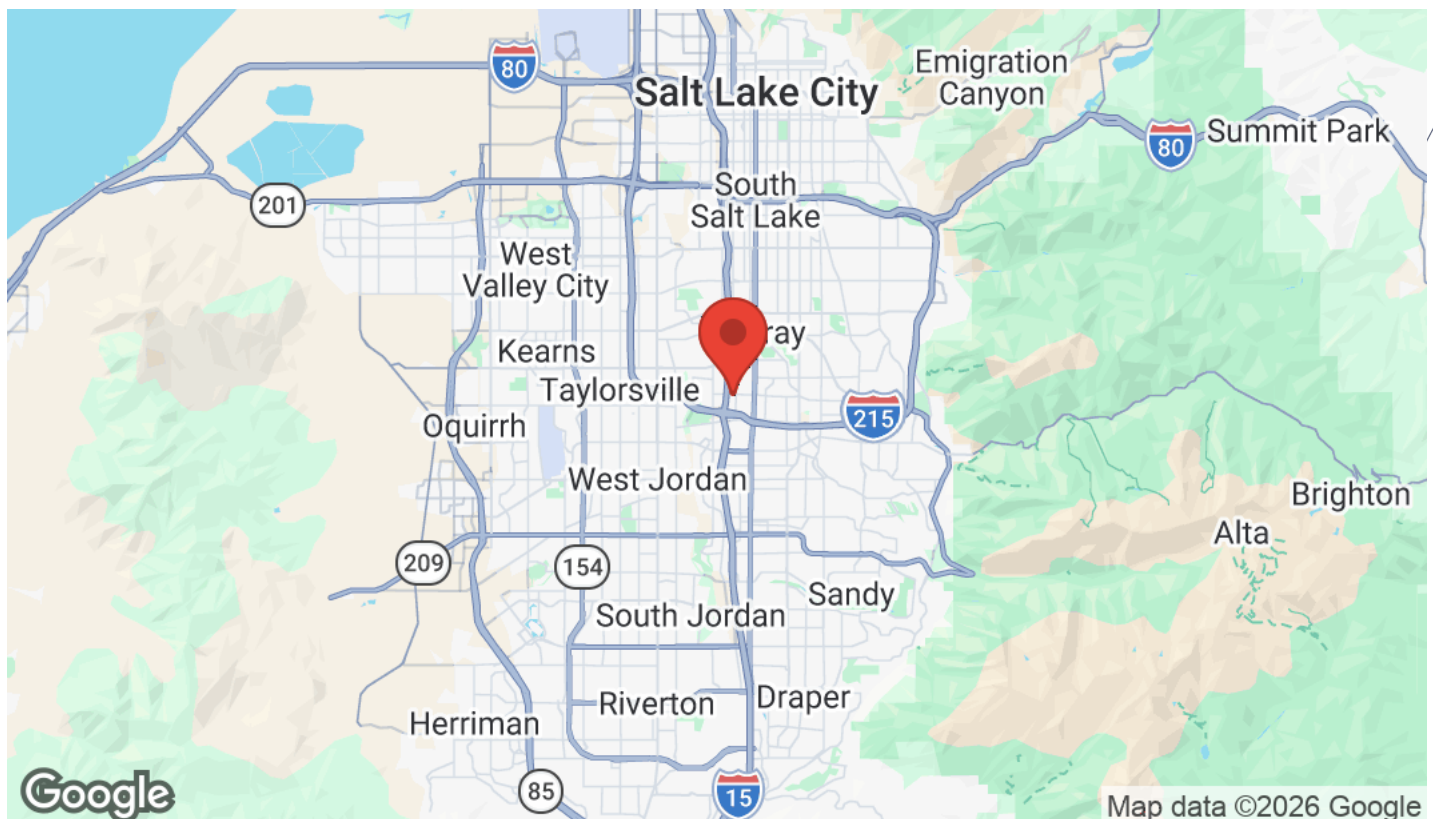
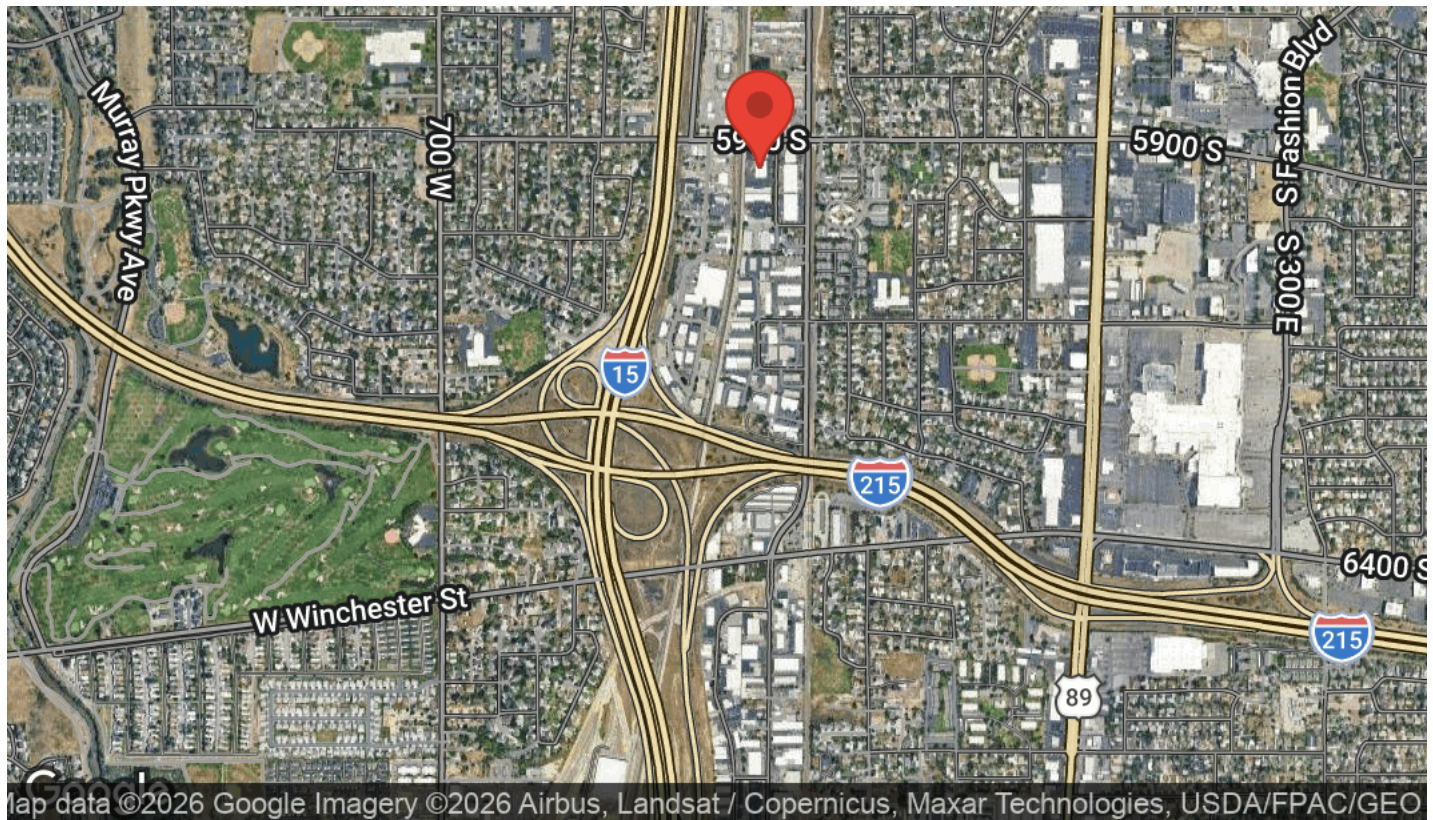
# OFFICE

## MURRAY INDUSTRIAL

5924 South 350 West  
Murray, UT 84107







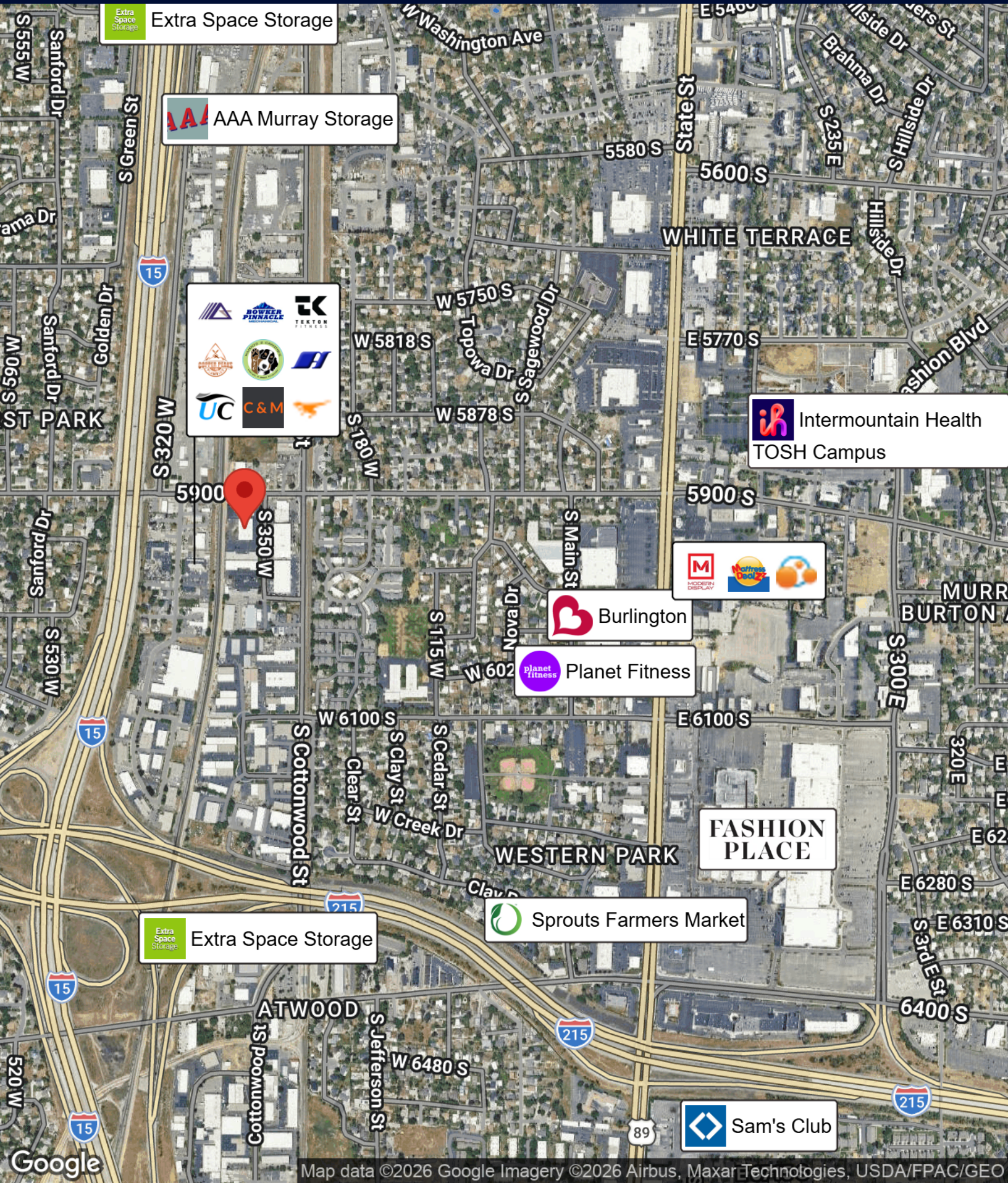


# BUSINESS MAP

**MURRAY INDUSTRIAL**

5924 South 350 West

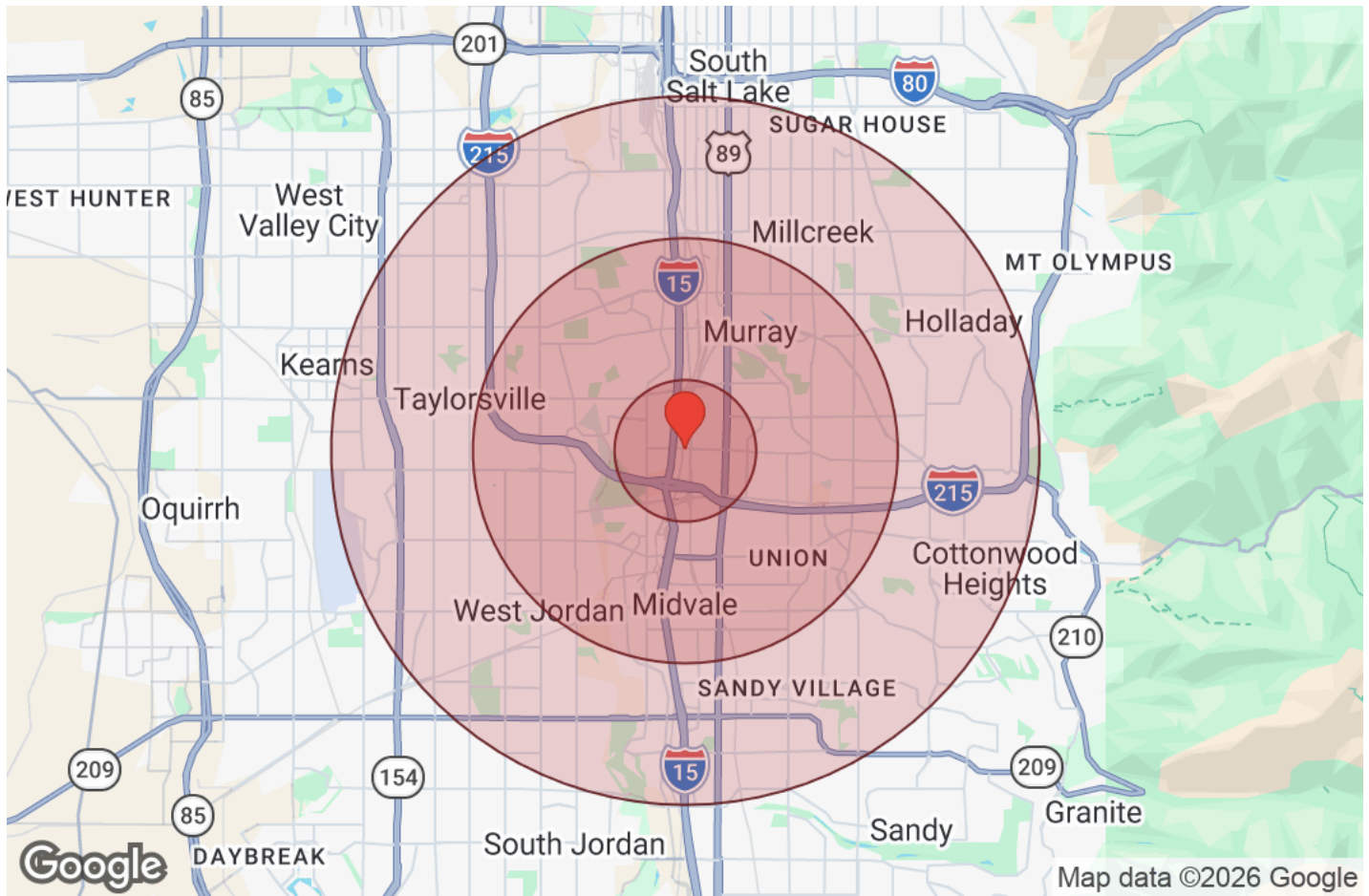
Murray, UT 84107











Distance: 1 Mile 3 Miles 5 Miles

Population	1 Mile	3 Miles	5 Miles
Male	4,587	72,349	195,469
Female	4,739	72,974	193,413
Total Population	9,325	145,323	388,882

Race / Ethnicity	1 Mile	3 Miles	5 Miles
White	6,933	94,474	251,996
Black	110	4,520	11,316
Am In/AK Nat	28	727	1,906
Hawaiian	39	1,453	4,355
Hispanic	1,553	31,041	84,582
Asian	327	7,964	21,466
Multiracial	309	4,679	12,289
Other	26	480	1,011

Housing	1 Mile	3 Miles	5 Miles
Total Units	3,786	64,080	160,960
Occupied	3,520	58,828	148,052
Owner Occupied	2,895	32,394	87,962
Renter Occupied	625	26,434	60,090
Vacant	266	5,252	12,908

Age	1 Mile	3 Miles	5 Miles
Ages 0 - 14	1,641	27,042	73,848
Ages 15 - 24	1,138	19,976	53,890
Ages 25 - 54	3,708	62,048	164,994
Ages 55 - 64	1,189	14,691	39,330
Ages 65+	1,648	21,566	57,321

Income	1 Mile	3 Miles	5 Miles
Median	\$111,048	\$87,697	\$91,520
Under \$15k	109	3,698	8,362
\$15k - \$25k	67	2,296	5,420
\$25k - \$35k	101	3,077	7,324
\$35k - \$50k	422	6,061	13,996
\$50k - \$75k	479	9,671	23,529
\$75k - \$100k	365	9,079	23,296
\$100k - \$150k	949	12,020	30,635
\$150k - \$200k	468	6,202	16,683
Over \$200k	561	6,722	18,808



All materials and information received or derived from RE/MAX Associates its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

Neither RE/MAX Associates its directors, officers, agents, advisors, or affiliates makes any representation or warranty, express or implied, as to accuracy or completeness of the materials or information provided, derived, or received. Materials and information from any source, whether written or verbal, that may be furnished for review are not a substitute for a party's active own due diligence to determine these and other matters of significance to such party. RE/MAX Associates will not investigate or verify any such matters or conduct due diligence for a party unless otherwise agreed in writing.

EACH PARTY SHALL CONDUCT ITS OWN INDEPENDENT INVESTIGATION AND DUE DILIGENCE.

Any party contemplating or under contract or in escrow for a transaction is urged to verify all information and to conduct their own inspections and investigations including through appropriate third-party independent professionals selected by such party. All financial data should be verified by the party including by obtaining and reading applicable documents and reports and consulting appropriate independent professionals. RE/MAX Associates makes no warranties and/or representations regarding the veracity, completeness, or relevance of any financial data or assumptions. RE/MAX Associates does not serve as a financial advisor to any party regarding any proposed transaction.

All data and assumptions regarding financial performance, including that used for financial modeling purposes, may differ from actual data or performance. Any estimates of market rents and/or projected rents that may be provided to a party do not necessarily mean that rents can be established at or increased to that level. Parties must evaluate any applicable contractual and governmental limitations as well as market conditions, vacancy factors and other issues in order to determine rents from or for the property. Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants, and governmental agencies.

**RE/MAX ASSOCIATES**6955 Union Park Center Drive, Suite 140  
Salt Lake City, UT 84047

Each Office Independently Owned and Operated

**PRESENTED BY:****ASHLEE BONHAM**Commercial Real Estate Agent  
C: (801) 602-6850  
ashlee.bonham@remax.net  
11800722-SA00, UT**ROBERT FARNSWORTH**Associate Broker  
O: (801) 898-8810  
C: (801) 898-8810  
robertfarnsworth@remax.net  
5450670-AB00, UT**RANDY CUMMINS**Commercial Real Estate Agent  
O: 801-641-8004  
randycummins@remax.net  
75467636-SA00, UT

The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. Users should consult with a professional in the respective legal, accounting, tax or other professional.



# PROPERTIES AROUND THE WORLD

When working with a RE/MAX Commercial® broker, you gain access to a global network backed by the power of one of the most recognized brands in real estate, RE/MAX®.

A presence in over 110 countries and territories and over 140,000 agents means more potential investment opportunities for you.

**RE/MAX**  
COMMERCIAL®

[remaxcommercial.com](http://remaxcommercial.com)



MULTI-FAMILY



RETAIL



LAND



OFFICE



INDUSTRIAL



HOSPITALITY



FARM & RANCH