

**RE/MAX ASSOCIATES**

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PROPERTY SUMMARY

MURRAY INDUSTRIAL

5924 South 350 West
Murray, UT 84107



Property Summary

APN:	21-13-452-030-0000
Building SF:	10,000 - 15,000
Dock Doors:	1
Foundation:	Concrete
Lease Rate:	\$15
Lot Size:	1.05 Acres
Power:	500 amp/208 3 Phase
Year Built:	2000
Zoning:	M-G
Sublease through	5/31/2028
Ground Level Door	2
Sublease Through	5/31/2028

Property Overview

10,000 SF of industrial space coming available for sublease in Murray with up to 15,000 SF (the entire building, unit 5918) coming in June. Rare yard space is included in this lease making this price a bargain. Within the 10,000 option are two docks and one ground level door with lots of open warehouse space and modern office built out. The building features a versatile layout of flexible industrial space perfect for light industrial uses, distribution, equipment storing and more. Price is firm with sublease terms. Located in the M-G (Manufacturing) zone with many approved industrial uses. Property is not fire-sprinkled. Sublease is through 5/31/2028.

Location Overview

Centrally located near I-15 and I-215 this location offers excellent mid valley access to all major transportation corridors. If you are looking for industrial space right in the center of the Salt Lake Valley, you won't find a better option.

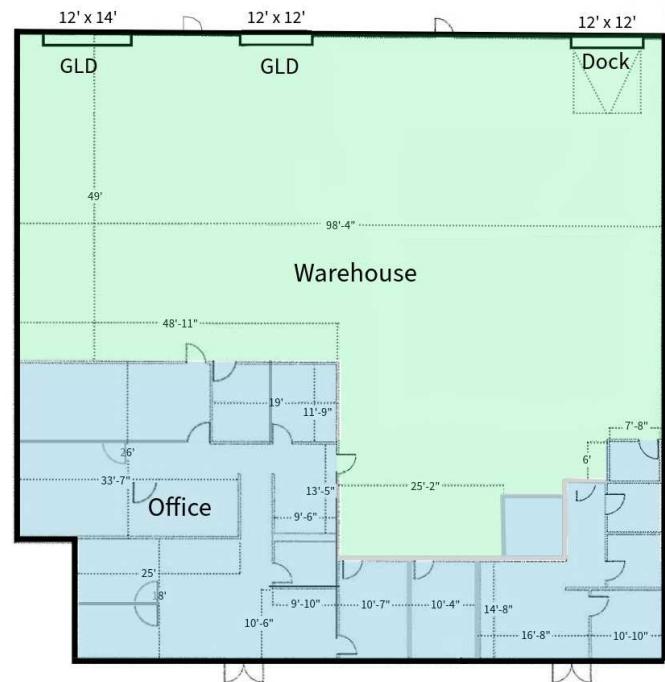
LOCATION / FLOOR PLAN

MURRAY INDUSTRIAL

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Up to three unit, entire building available. Combined units (10,000 SF) as shown in floor plan below are 5924-5922. Additional unit (5000 SF) 5918 coming available June 2026



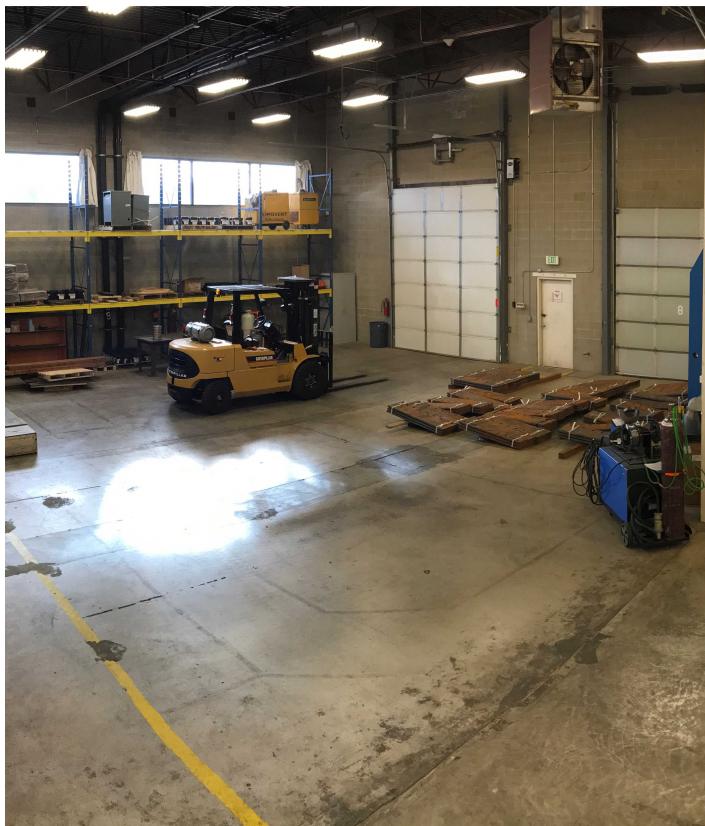
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PROPERTY PHOTOS

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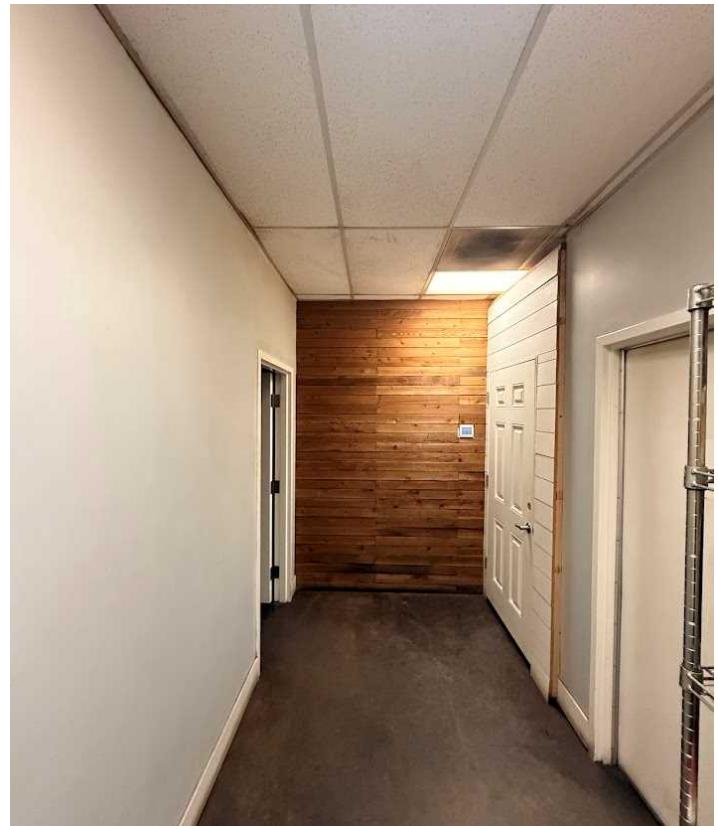
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OFFICE

MURRAY INDUSTRIAL

5924 South 350 West

Murray, UT 84107



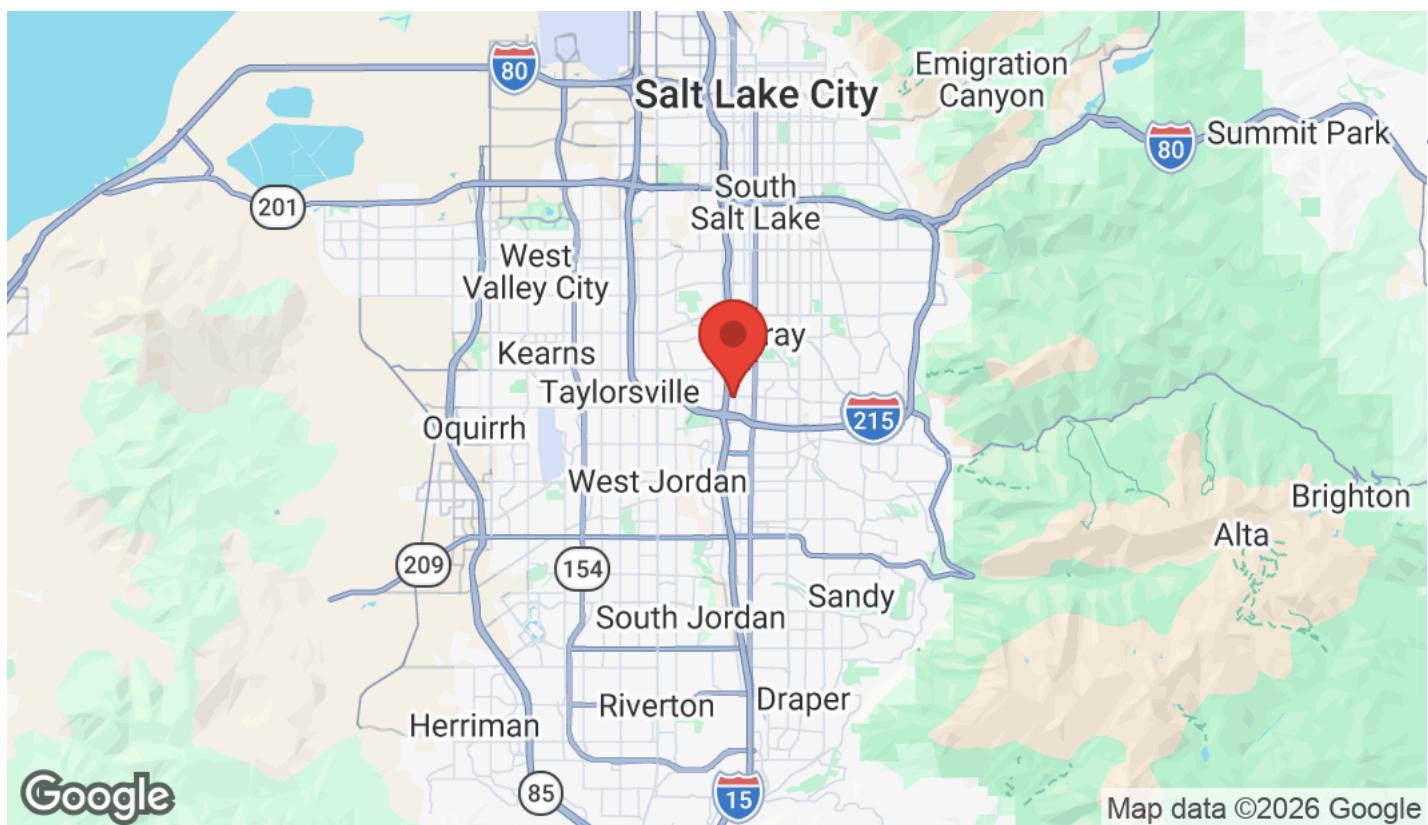
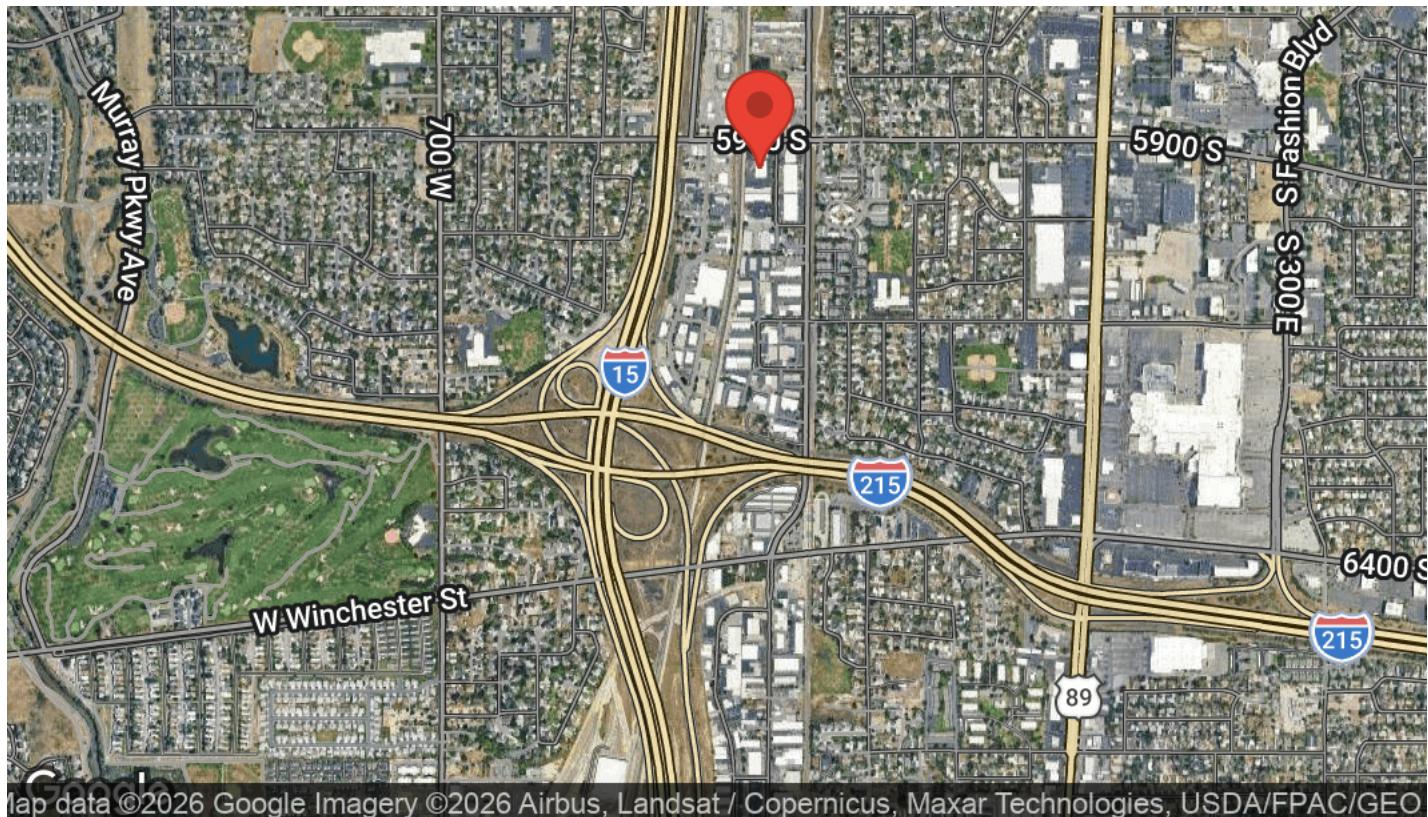
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LOCATION MAPS

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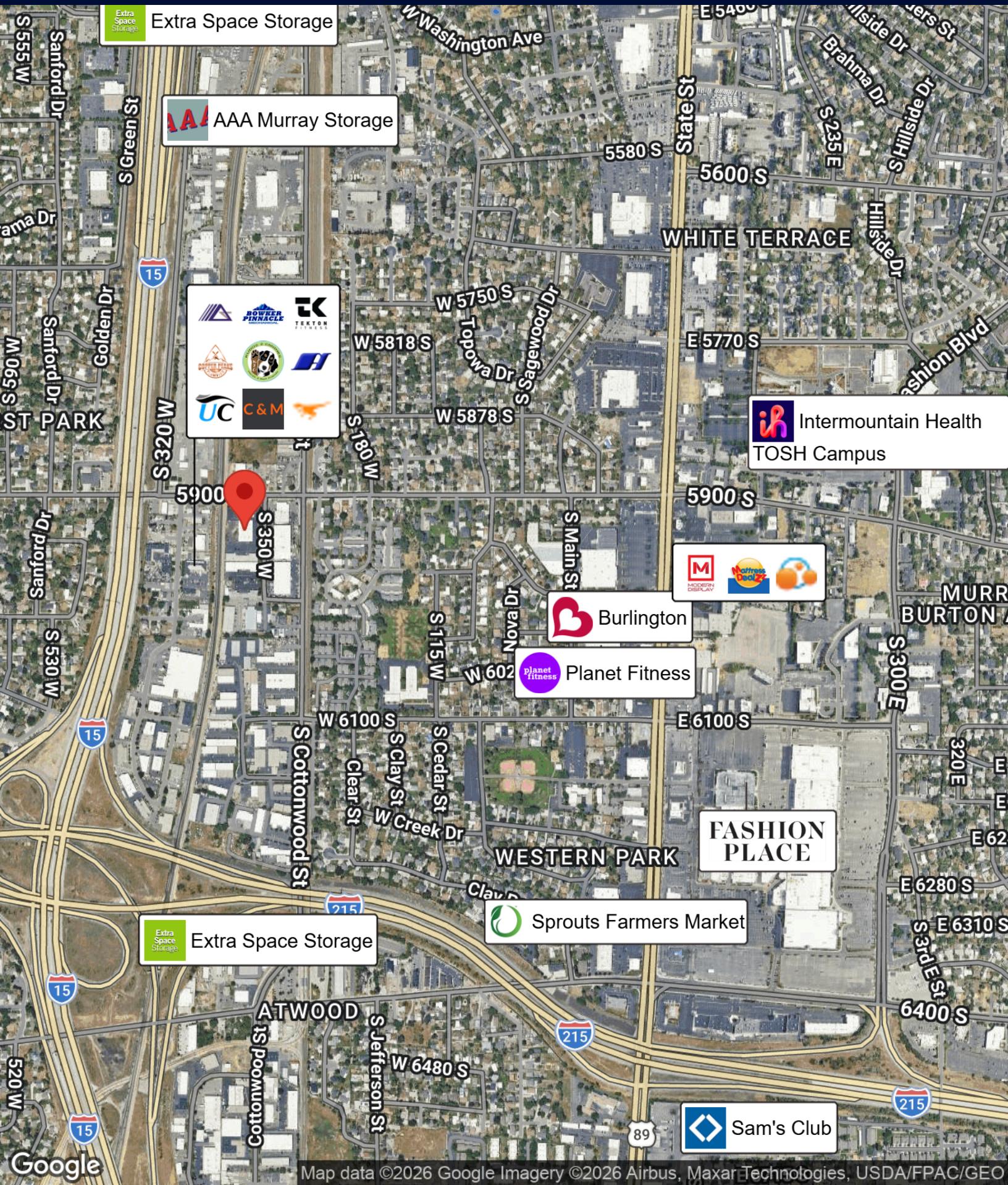
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BUSINESS MAP

MURRAY INDUSTRIAL

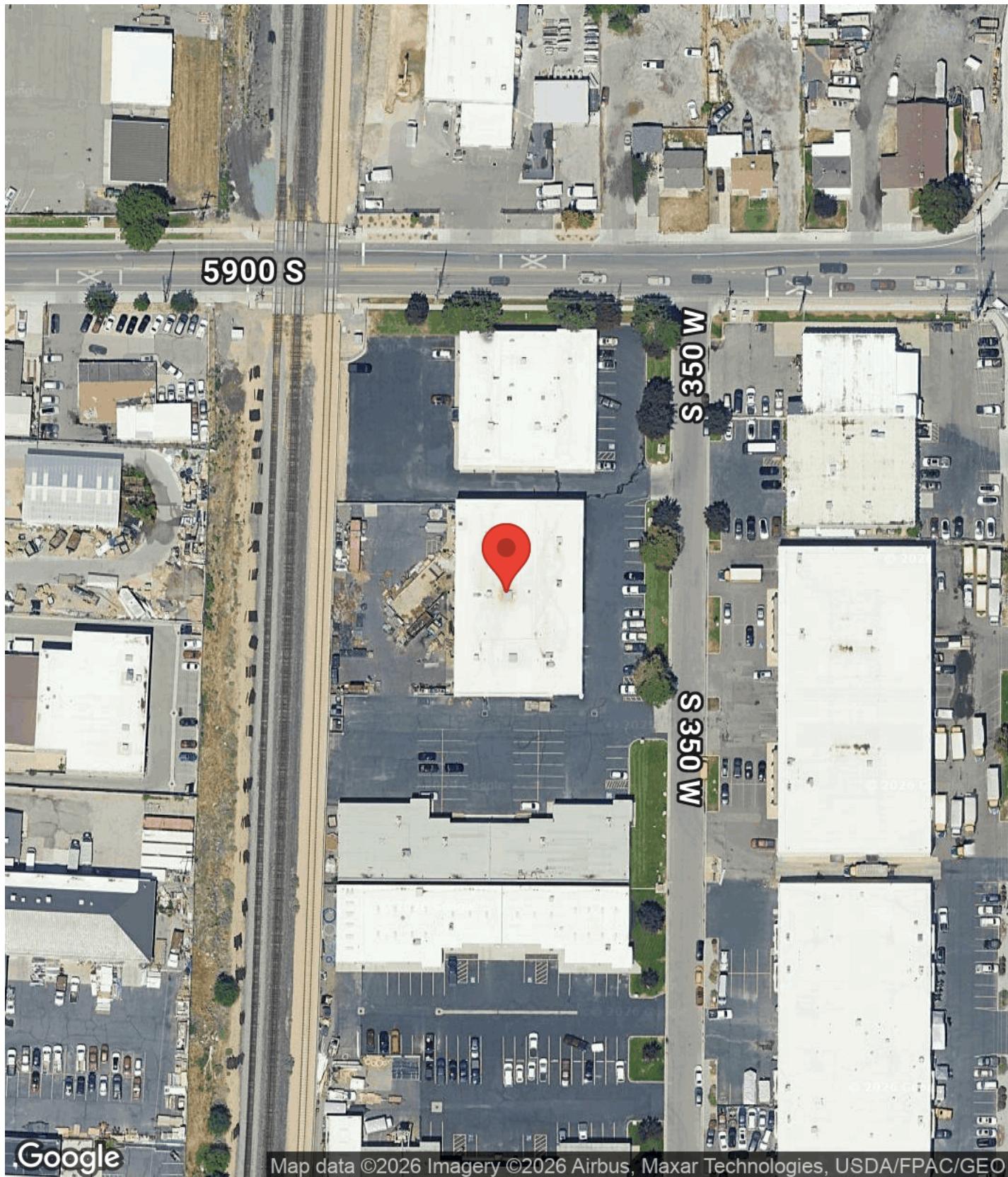
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AERIAL MAP

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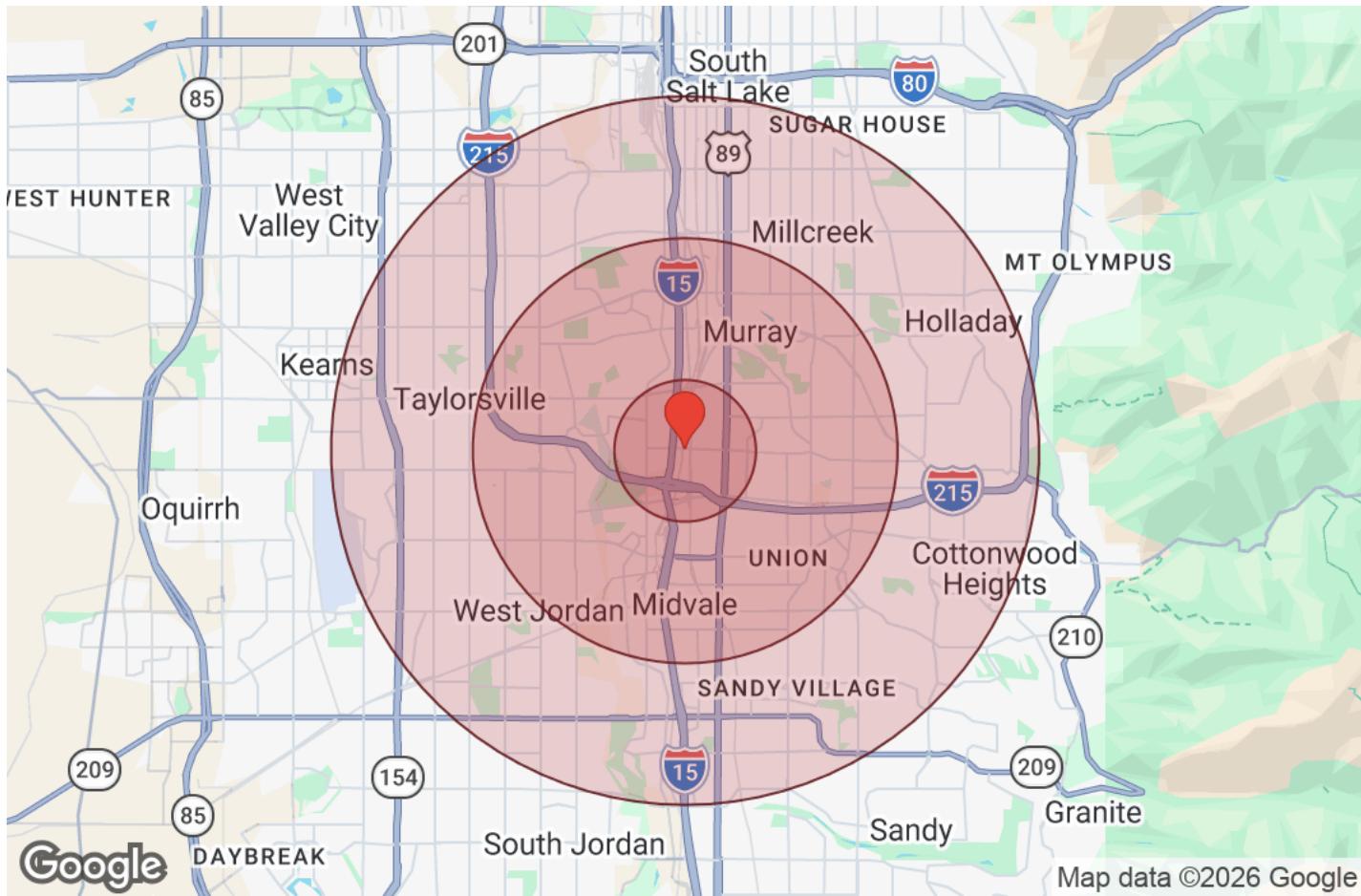
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DEMOGRAPHICS

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Distance: ● 1 Mile ● 3 Miles ● 5 Miles

Population	1 Mile	3 Miles	5 Miles	Age	1 Mile	3 Miles	5 Miles
Male	4,587	72,349	195,469	Ages 0 - 14	1,641	27,042	73,848
Female	4,739	72,974	193,413	Ages 15 - 24	1,138	19,976	53,890
Total Population	9,325	145,323	388,882	Ages 25 - 54	3,708	62,048	164,994
Race / Ethnicity	1 Mile	3 Miles	5 Miles	Ages 55 - 64	1,189	14,691	39,330
White	6,933	94,474	251,996	Ages 65+	1,648	21,566	57,321
Black	110	4,520	11,316	Income	1 Mile	3 Miles	5 Miles
Am In/AK Nat	28	727	1,906	Median	\$111,048	\$87,691	\$91,520
Hawaiian	39	1,453	4,355	Under \$15k	109	3,698	8,362
Hispanic	1,553	31,041	84,582	\$15k - \$25k	67	2,296	5,420
Asian	327	7,964	21,466	\$25k - \$35k	101	3,077	7,324
Multiracial	309	4,679	12,289	\$35k - \$50k	422	6,061	13,996
Other	26	480	1,011	\$50k - \$75k	479	9,671	23,529
Housing	1 Mile	3 Miles	5 Miles	\$75k - \$100k	365	9,079	23,296
Total Units	3,786	64,080	160,960	\$100k - \$150k	949	12,020	30,635
Occupied	3,520	58,828	148,052	\$150k - \$200k	468	6,202	16,683
Owner Occupied	2,895	32,394	87,962	Over \$200k	561	6,722	18,808
Renter Occupied	625	26,434	60,090				
Vacant	266	5,252	12,908				

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RE/MAX ASSOCIATES

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Each Office Independently Owned and Operated

PRESENTED BY:

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