

# LEGACY VILLAGE in MOBILE, ALABAMA

Located in Spring Hill | 9 Du Rhu Drive | Mobile, Alabama 36608



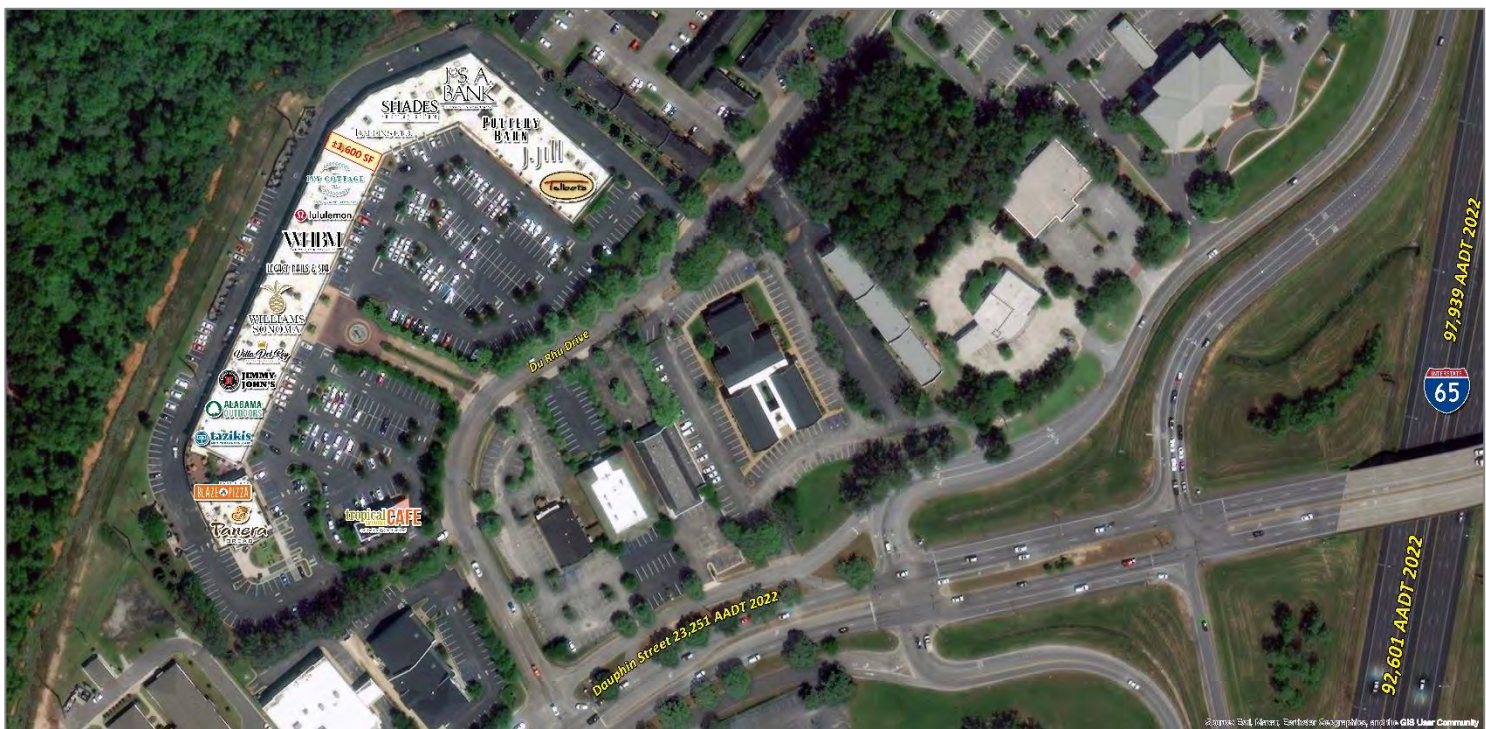
- Retail Space Available - ±1,600 SF
- Excellent Demographics
- National & Local Co-Tenants
- Zoned B-2, Neighborhood Business
- 2024 NNN Terms: \$5.68 PSF
- Most upscale center in Mobile
- Just off Dauphin Street & I-65
- Near Spring Hill College
- Minimum Lease Term: 5 Years
- Lease Rate: \$30.00 PSF

Legacy Village at Spring Hill is the most upscale shopping center in the Mobile, Alabama area. Tenants include lululemon, Williams Sonoma, Pottery Barn, Talbot's, J Jill, Jos A Banks, and Ann Taylor Loft. Located in the most affluent area in Mobile, with average household incomes of \$86,249 within one mile. Surrounded by professional medical offices and financial institutions. Located just across Dauphin Street from Springhill Medical Center, with 263 beds, 1100 employees, and 500+ physicians.

**VALLAS  
REALTY, INC.**

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SUMMARY INFORMATION

Table with 2 columns: Property Attribute (Address, Available Space, Year Built, Building GLA, Lot Size, Zoning, Parking Spaces, Lease Terms, 2024 NNN Expenses, Lease Rate) and Value (9 Du Rhu Drive, ±1,600 SF, 2007, ±73,271 SF, ±9.41 AC, B-2, 413, NNN, \$5.68 PSF, \$30.00 PSF).

MOBILE MARKET OVERVIEW

The Mobile CBSA, composed of Mobile County, is the largest metropolitan statistical area along the Gulf of Mexico between New Orleans and Tampa. Mobile is the third most populous city in Alabama, and is the county seat of Mobile County. Recognized as the hub in the region, Mobile is centrally located between Houston, Memphis, Atlanta, Dallas and Tampa, which provides excellent access to these and other major markets.

Mobile serves as a regional center for medicine for the Central Gulf Coast with four major medical centers within the city limits. The largest, Mobile Infirmary Medical Center, is a top employer in the CBSA. Additionally, Brookley Aeroplex (an industrial complex and airport) is currently the largest industrial and transportation complex in the region, housing more than 70 companies. Notable employers include Airbus North America Engineering and Continental Motors. The city of Mobile is the only seaport in Alabama and the Port of Mobile is a major economic driver. In terms of cargo tonnage, Port of Mobile is the 9th largest in the U.S.

The Mobile CBSA is recovering from the most recent economic disruption and looks to be in a better position than other metro areas, as Alabama is outpacing most other states in terms of speed of its recovery. According to Moody's Analytics and CNN Business, Alabama has the fifth best "back to normal" ranking in the U.S., based on job and production numbers.



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# Site Plan and Tenant Overview



## PROPERTY AND SELECT TENANT OVERVIEW

Vallas Realty, Inc. is pleased to present for lease Legacy Village at Spring Hill. This ±73,741 upscale shopping center was built in 2007, and currently has one vacancy of ±1,600 SF retail space. Join these great tenants in Legacy Village:

**Panera Bread** (±3,880 SF) is an American chain store of bakery-café fast casual restaurants with over 2,000 locations in North America. The company specializes in clean, nutritious food served in a warm, welcoming environment.

**Pottery Barn** (±13,435 SF) is an upscale home furnishing store chain offering expertly crafted collections offer a wide range of stylish indoor and outdoor furniture, accessories, and décor

**Williams Sonoma** (±7,213 SF) is a retail company that sells gourmet foods and professional-quality cookware, small kitchen appliances, cooking utensils and décor.

**Lululemon**, Lululemon is a yoga-inspired athletic apparel company that makes a variety of types of athletic wear, performance shirts, shorts, and pants, as well as lifestyle apparel.. Space is ±4,129 SF; Lease signed in 2019.

**Talbot's** (±9,335 SF) is a retailer offering modern classic selection of women's clothing, jewelry, accessories and shoes. Apparel in offered in misses, petite, plus size and plus size petite sizing.

**Shades Sunglasses and Apparel** (±5,646 SF) is a retailer of name-brand sunglasses and casual Southern apparel, with ten locations throughout the Southeast.



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Spring Hill is an affluent neighborhood of Mobile, in Mobile County, Alabama. Located on a tall broad hill 6 miles to the west of downtown Mobile, it has one of the highest elevations in the area. It gained its name from a number of natural springs at the site.

Spring Hill median real estate price is \$362,793, which is more expensive than 92.3% of the neighborhoods in Alabama and 69.2% of the neighborhoods in the U.S. The average rental price in Spring Hill is currently \$1,673, higher than 96.5% of the neighborhoods in Alabama. This neighborhood also has a higher income than 75.4% of the neighborhoods in America.

Due to its popularity among college students who already choose to live here, its walkability, and its above average safety from crime, the neighborhood is rated among the top 2.5% of college-friendly places to live in the state of Alabama. In addition to being an excellent choice for college students, this neighborhood is also a very good choice for highly educated executives and active retirees.

In the Spring Hill neighborhood, 55.1% of the working population is employed in executive, management, and professional occupations. The second most important occupational group in this neighborhood is sales and service jobs, with 22.9% of the residents employed.



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Additional Storefront Photos



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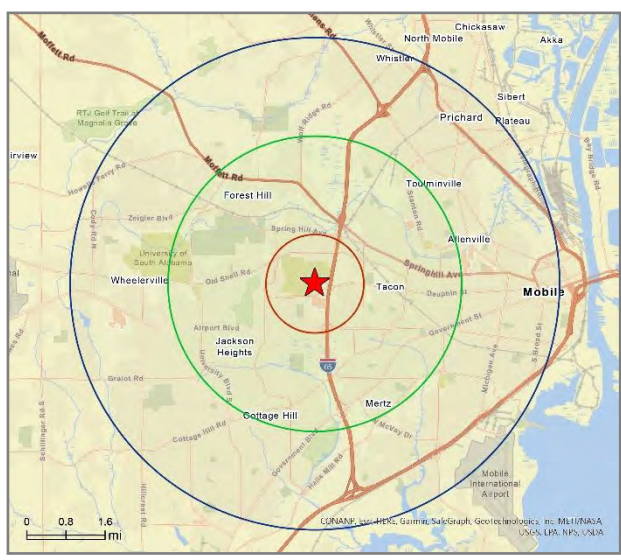
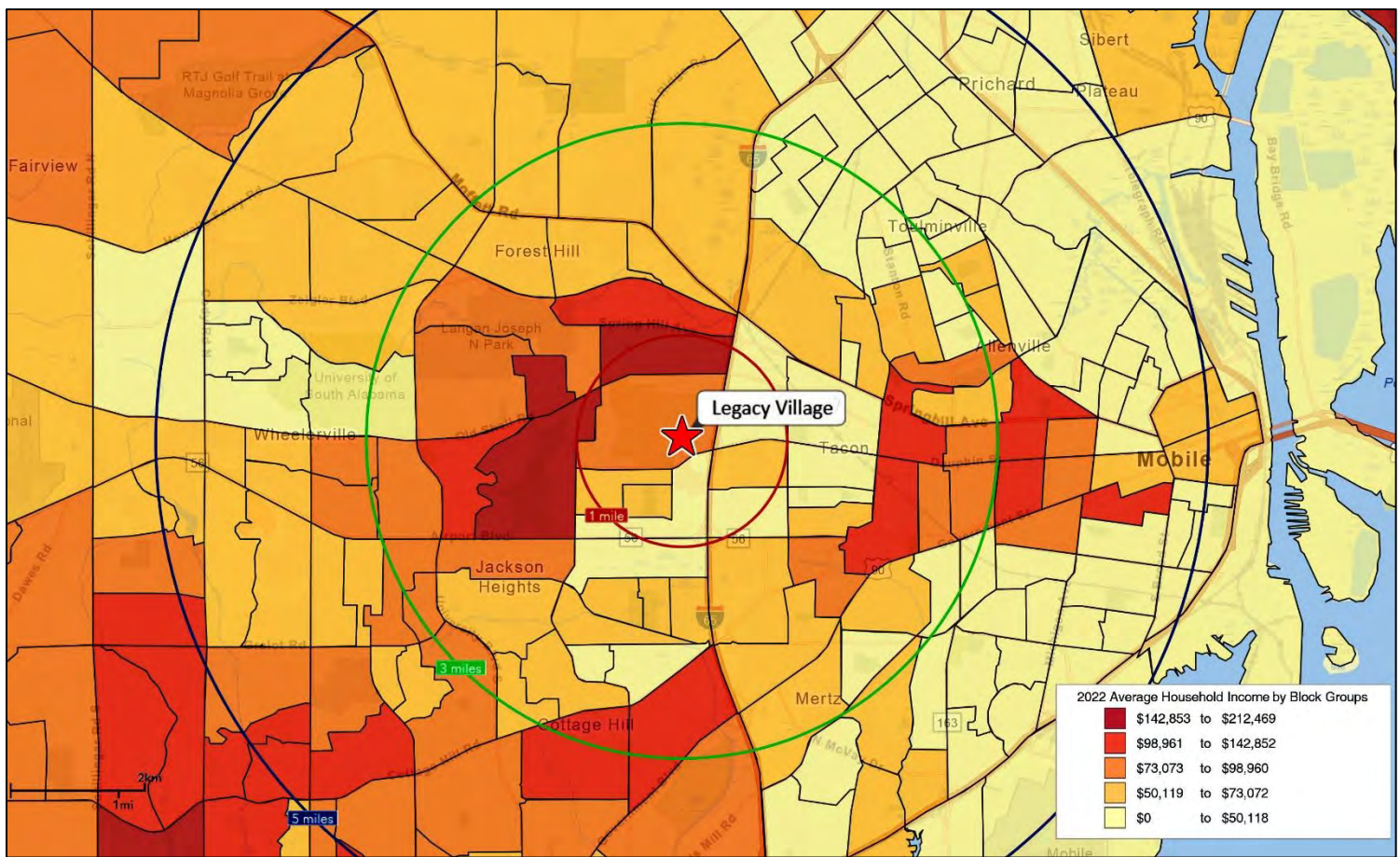
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# Average Household Income Heat Map and Demographics

LEGACY VILLAGE AT SPRING HILL | 9 DU RHU DRIVE | MOBILE, ALABAMA 36608



| 2022 Demographics        | 1 Mile | 3 Miles | 5 Miles |
|--------------------------|--------|---------|---------|
| Total Population         | 8,004  | 66,332  | 166,584 |
| Median Age               | 36.0   | 37.4    | 37.6    |
| Largest Median Age Group | 25-34  | 25-34   | 25-34   |
| Daytime Population       | 17,785 | 91,902  | 195,775 |

| Households & Income      | 1 Mile   | 3 Miles  | 5 Miles  |
|--------------------------|----------|----------|----------|
| Total Households         | 3,127    | 28,324   | 69,535   |
| Average Household Size   | 2.25     | 2.28     | 2.32     |
| Average Household Income | \$86,249 | \$72,793 | \$66,121 |

| Housing & Value        | 1 Mile    | 3 Miles   | 5 Miles   |
|------------------------|-----------|-----------|-----------|
| Owner Occupied Houses  | 36.2%     | 44.1%     | 44.5%     |
| Renter Occupied Houses | 52.6%     | 44.7%     | 41.7%     |
| Median House Value     | \$300,442 | \$169,859 | \$158,248 |



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