

424 S Main Street

GENERAL NOTES

The general contractor shall fully comply with the 2015 IBC and all additional state and local code requirements. The contractor shall assume full responsibility for any work knowingly performed contrary to such laws, ordinances, or regulations. The contractor shall also perform coordination with all utilities and state service authorities.

Written dimensions on these drawings shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings.

The general contractor is responsible for the design and proper function of plumbing, HVAC and electrical systems. The general contractor shall notify this office with any plan changes required for design and function of plumbing, HVAC and electrical systems.

This office shall not be responsible for construction means and methods, acts or omissions of the contractor or subcontractor, or failure of any of them to carry out work in accordance with the construction documents. Any defect discovered in the construction documents shall be brought to the attention of this office by written notice before proceeding with work. Reasonable time not allowed this office to correct the defect shall place the burden of cost and liability from such defect upon the contractor.

This plan set, combined with the building contract, provides building details for the project. The contractor shall verify that site conditions are consistent with these plans before starting work. Work not specifically detailed shall be constructed to the same quality as similar work that is detailed. All work shall be done in accordance with international building codes and local codes. contractor shall be responsible and bear any fines or penalties for code, ordinance, regulation or building process violations.

Written dimensions and specific notes shall take precedence over scaled dimensions and general notes. the engineer/designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes. contractor shall verify and is responsible for all dimensions (including rough openings).

Exhaust all vents and fans directly to outside via metal ducts, provide 90 cfm (min) fans to provide 5 air changes per hour in baths containing tub and / or shower and in laundry rooms.

Manufacturer's standard specifications and materials approved for project use are hereby made part of these notes with the same force and effect as if written out in full herein. All appliances, fixtures, equipment, hardware, etc. shall be installed in accordance with manufacturer's specifications and procedures.

Written words take precedence over drawn lines. Large-scale details and plans take precedence over smaller details and plans. Should a conflict arise between the specifications and drawings, the requirements deemed most stringent shall be used.

Details not usually shown or specified but necessary for proper and acceptable construction, installation, or operation of any part of the work as determined by the architect shall be included in the work as if it were specified or indicated on the drawings.

No deviation from the drawings or specifications or intent of same shall be made without the architect's written authorization.

LEGEND

A.C.I.	AMERICAN CONCRETE INSTITUTE
B.LDG.	BUILDING
CONC.	CONCRETE
C.J.	CONTROL JOINT
COL.	COLUMN
DET.	DETAIL
DIA.	DIAMETER
DN.	DOWN
EL./ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
FIN.	FINISH
FLR.	FLOOR
GALV.	GALVANIZED
GP.	GYP SUM
I.D.	INSIDE DIAMETER
JT.	JOINT
MECH.	MECHANICAL
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPG.	OPENING
O.D.	OUTSIDE DIAMETER
U.N.O.	UNLESS NOTED OTHERWISE
REF.	REFERENCE
R.	RISER
R.O.	ROUGH OPENING
RM.	ROOM
S/STL.	STAINLESS STEEL
STRUCT.	STRUCTURAL
SPEC.	SPECIFICATIONS
T.O.	TOP OF (..)
T.O.F.	TOP OF FRAMING
T.O.STL.	TOP OF STEEL
T.O.W.	TOP OF WALL
T.	TREAD
TYP.	TYPICAL
@	AT
+	AND
BD.	BOARD
A.F.F.	ABOVE FINISHED FLOOR
U.N.O.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD

ENERGY CODE

SYSTEM	2018 IECC CODE REQUIRED MINIMUMS
Windows:	U-Value: 0.32
Skylights:	U-Value: 0.55
Roof:	R-38 or R-30 (continuous above deck)
Walls:	R-20 or R-13 (cavity) + R-3.8 (continuous)
Floor:	R-30
Heated Slab:	R-15 for 24" below + R-5 full slab
Unheated Slab:	R-10 for 24" below

APPLICABLE CODES

Applicable Codes	2018 IBC
	2017 Idaho State Plumbing Code (2015 UPC)
	2017 NEC
	2018 IMC
	2018 IFC
	2018 IEBC
	2009 ANSI A117.1

DESIGN CRITERIA

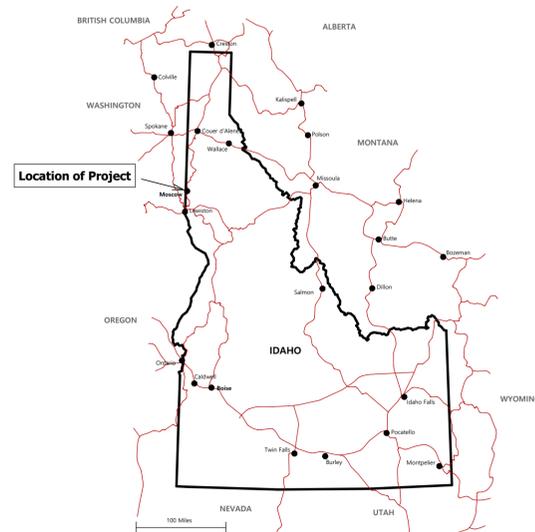
OCCUPANCY CLASSIFICATION:	Proposed Group A-3 & Existing Business Group B
CONSTRUCTION TYPE:	TYPE III-B
FIRE BARRIER:	2Hr SEPARATION
SPRINKLER PROTECTION:	NOT REQUIRED
STANDPIPE PROTECTION:	NOT REQUIRED
FIRE ALARM DETECTION:	FULL
GROSS SQUARE FOOTAGE:	5,450 SF
ACTUAL NO. OF STORIES:	1
GROUND SNOW LOAD:	64 PSF
ROOF SNOW LOAD:	60 PSF
WIND SPEED:	90 MPH IRC; IBC 115 MPH
SEISMIC CATEGORY:	B
WEATHERING DAMAGE:	SEVERE
FROST LINE DEPTH:	30 INCHES
TERMITE INFESTATION:	SLIGHT TO MODERATE
WINTER DESIGN TEMP.:	10 DEGREES F
ROOF ICE BARRIER:	REQUIRED
AIR FREEZING INDEX:	960
MEAN ANNUAL TEMP.:	47 DEGREES F
WIND EXPOSURE:	8
SOIL:	2,000 PSF ALLOWABLE (ASSUMED), TO BE VERIFIED AT TIME OF EXCAVATION

PROJECT DESCRIPTION

Tenant Improvement of existing one-story building to include proposed new Assembly Group A-3 tenant space and existing Business Group B. Provide new 2 hr Fire Barrier separating proposed new Assembly tenant from Existing Business tenant. New accessible restrooms for new proposed Assembly Group A-3 tenant.

SHEET LIST

ARCHITECTURAL
A-1 Cover Sheet
A-2 Site Plan
A-3 As-Built Plan
A-4 Floor Plan
A-5 Elevations
A-6 Restroom Plans
A-7 Egress & Details
A-8 ADA Clearance



ALLOWABLE AREA:	2 hr separation, non sprinklered Occupancy A-3 = IBC 506.2	9,500 sq ft per floor per 2018
	2 hr separation, non sprinklered Occupancy B =	19,000 sq ft
ACTUAL AREA:	2 hr separation, non sprinklered Occupancy A-3 =	2,400 sq ft
	2 hr separation, non sprinklered Occupancy B =	2,123 sq ft
ALLOWABLE NO. OF STORIES:	1	
ACTUAL NO. OF STORIES:	1	

Assembly Space, 1,100 s.f.	7 net = 158 occupants
Assembly space offices, 540 s.f.	1:150 = 4
Vacant office space, 2,037 s.f.	1:150 = 14 occupants

Occupancy Load = 176
Two exits required in Assembly A-3 area, two provided
One exit required in Group B vacant office space, two exits provided

Plumbing Fixtures (Per 2015 UPC Table 422.1)

Occ. Type	Occ. A-3 Assembly	Occ. B Tenant
Toilets	Male (2) Female (3)	Male (1) Female (1)
Urinals	Male (1)	
Lavatories	Male (1) & Female (1)	Male (1) & Female (1)
Drinking Fountains	(1)	1
Bathtub/Shower	0	0
Service sink	1	1

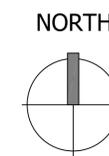
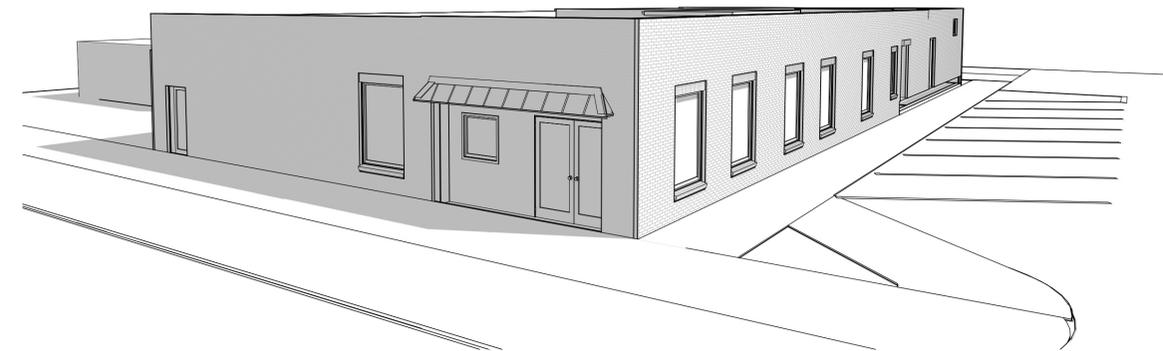
Per Idaho Plumbing Code 422.2.3, one toilet facility can be used for both sexes in B occupancy with a design occupant load less than 50

Parking Calculation

Ground Floor Area = 2,123 sq ft
Occ. Group B/Office = 1 per 200 sq ft
7.5 spaces = 8 spaces required
1-25 total spaces require 1 accessible parking space

Occ. Group A/Church = 1 per 28 sq ft
Ground Floor Area (Church) = 2,400 sq ft
69.64 spaces = 70 spaces required
51-75 total spaces require 3 accessible parking spaces

50+ on-street parking spaces available within 200' radius





NORTH HOUSE

NORTH HOUSE DRAFTING & DESIGN COMPANY
 512 S Main Street
 Moscow ID 83843
 PO BOX 8052
 208-596-2470

Drawn by
 Luke Ryan

Checked by
 Luke Ryan

Revisions	Date

Builder:
 Builder
 600 N Main St
 Moscow, ID 83843

Owner:
 Owner
 Moscow ID 83843

Project: **MAIN STREET OFFICES**
 424 S MAIN ST. TROY, ID 83871

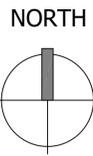
PRELIMINARY

Date: 2/2/2023
 Project No: 022-071

Site Plan

A-2

A2.1 Site Plan
 scale 1" = 20'



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MAIN STREET OFFICES

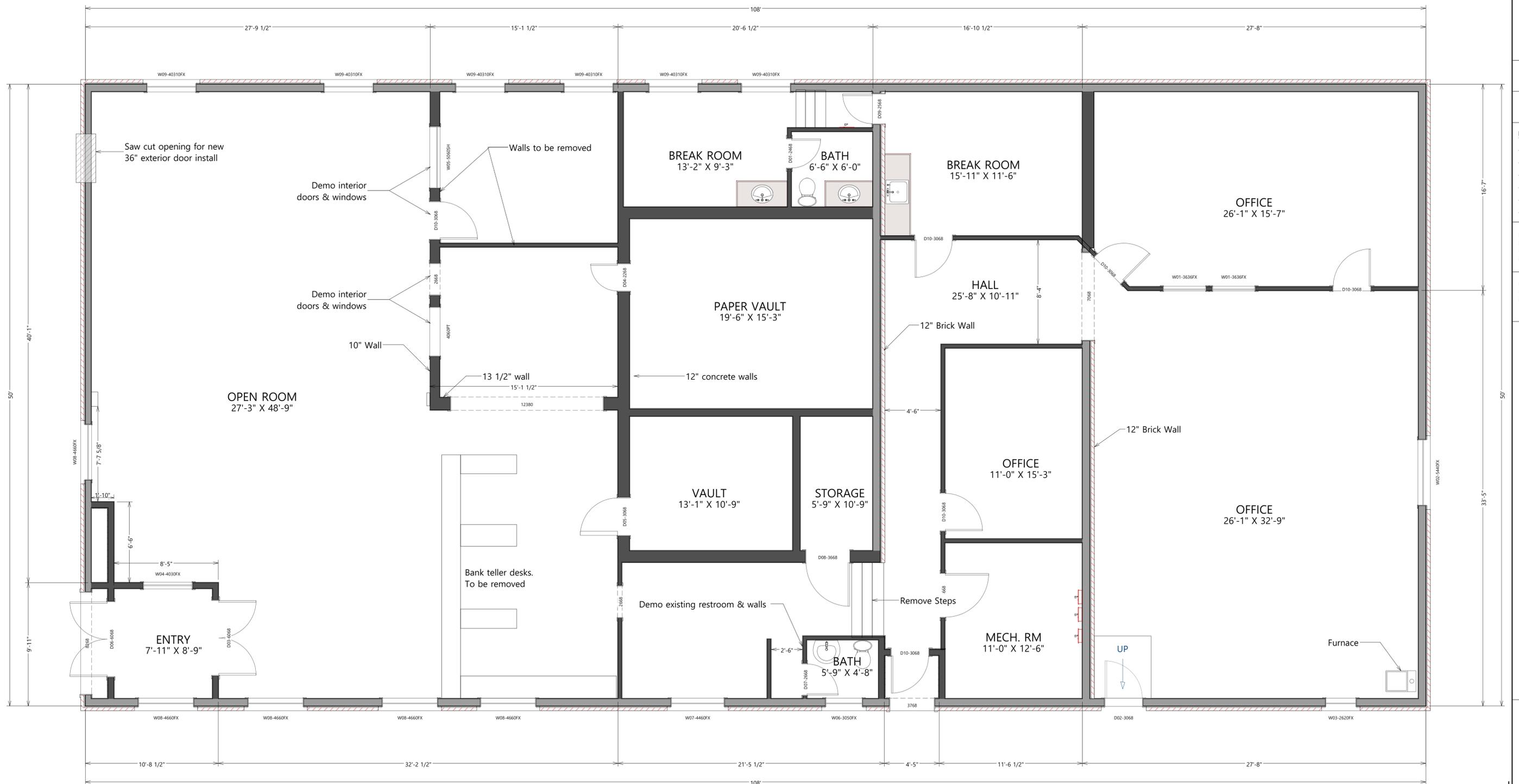
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PRELIMINARY

Date: 2/2/2023
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As-Built Plan

A-3



A3.1 Floor Plan - As-Builts
scale 1/4" = 1'

Notes

Existing conditions
Verify window and door sizes.
Verify all dimensions on site.

Revisions	Date



A4.1 Proposed Floor Plan
scale 1/4" = 1'

- New Interior Wall
- Existing Interior Wall
- Existing Brick Wall with Interior framed wall

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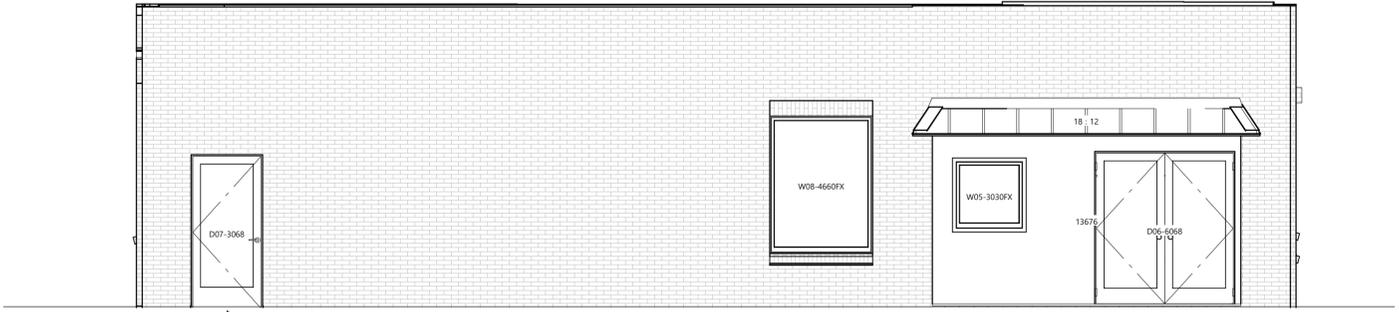
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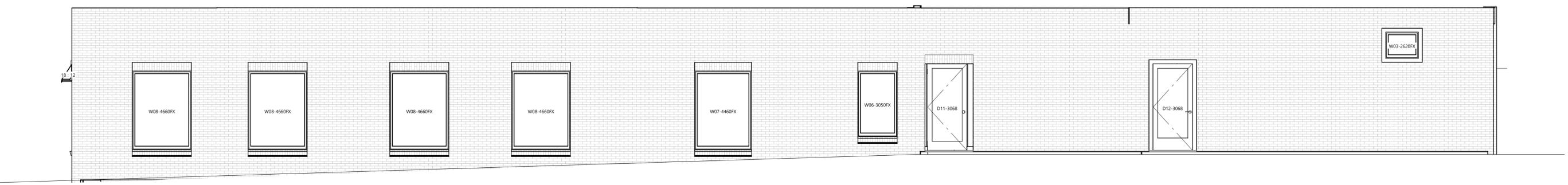
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Elevations

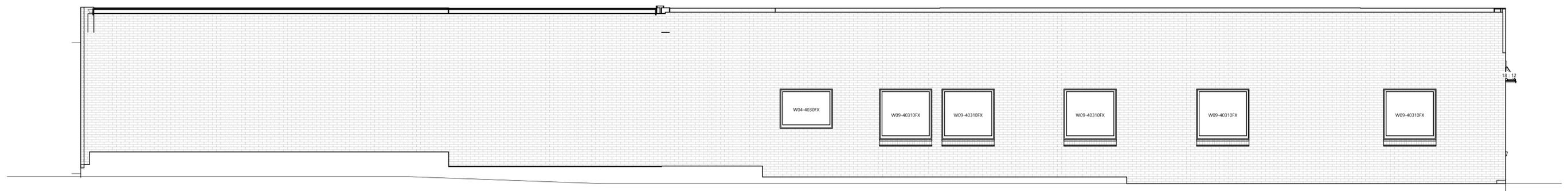
A-5



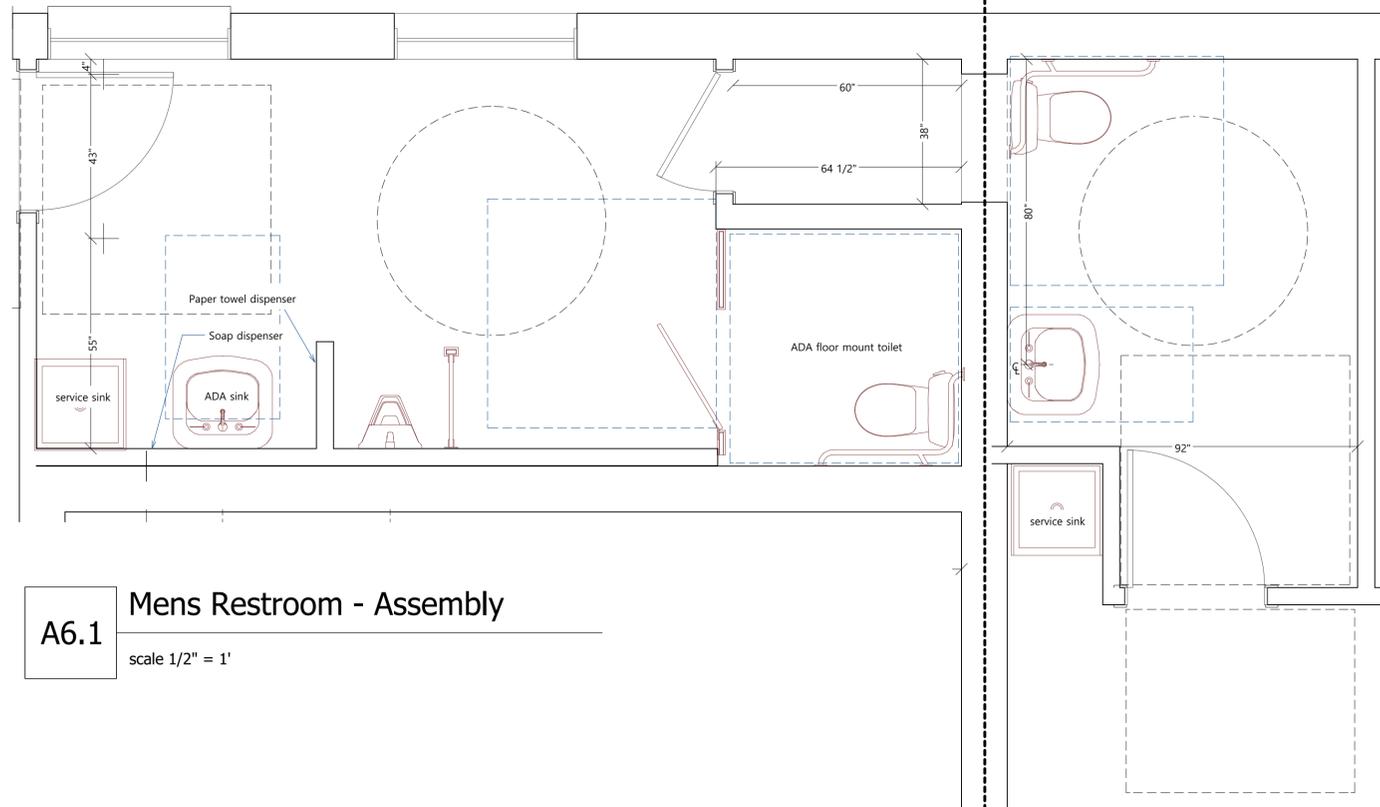
A5.1 West Elevation
scale 1/4" = 1'



A5.2 South Elevation
scale 1/4" = 1'



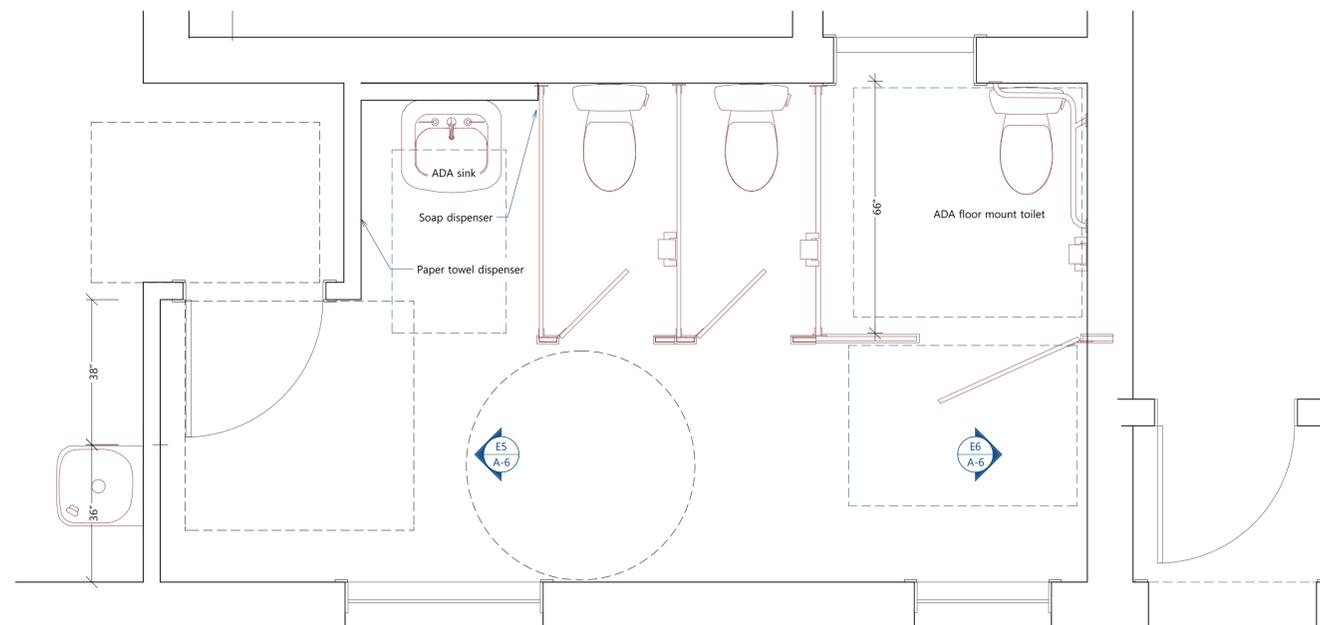
A5.3 North Elevation
scale 1/4" = 1'



A6.1 Mens Restroom - Assembly
scale 1/2" = 1'

A6.2 Unisex Restroom - Business
scale 1/2" = 1'

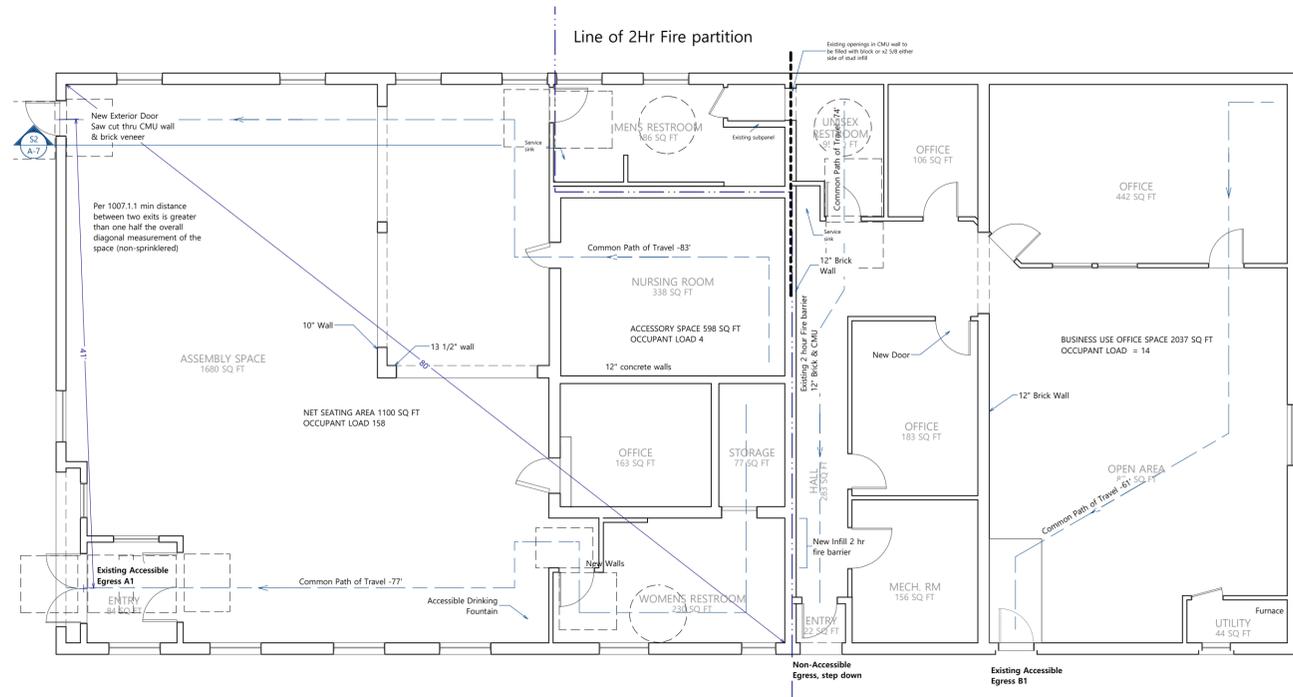
E4 Wall Elevation 1
scale 1/2" = 1'



A6.2 Womens Restroom - Assembly
scale 1/2" = 1'

E5 Wall Elevation 2
scale 1/2" = 1'

E6 Wall Elevation 3
scale 1/2" = 1'

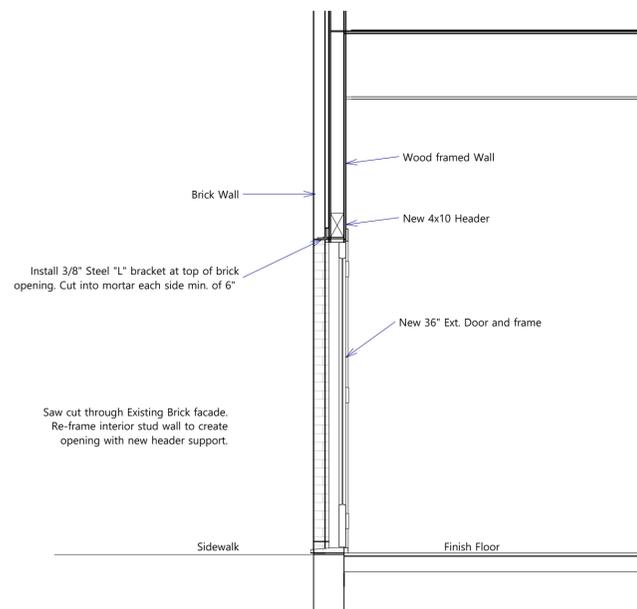


← 2x4 wood studs

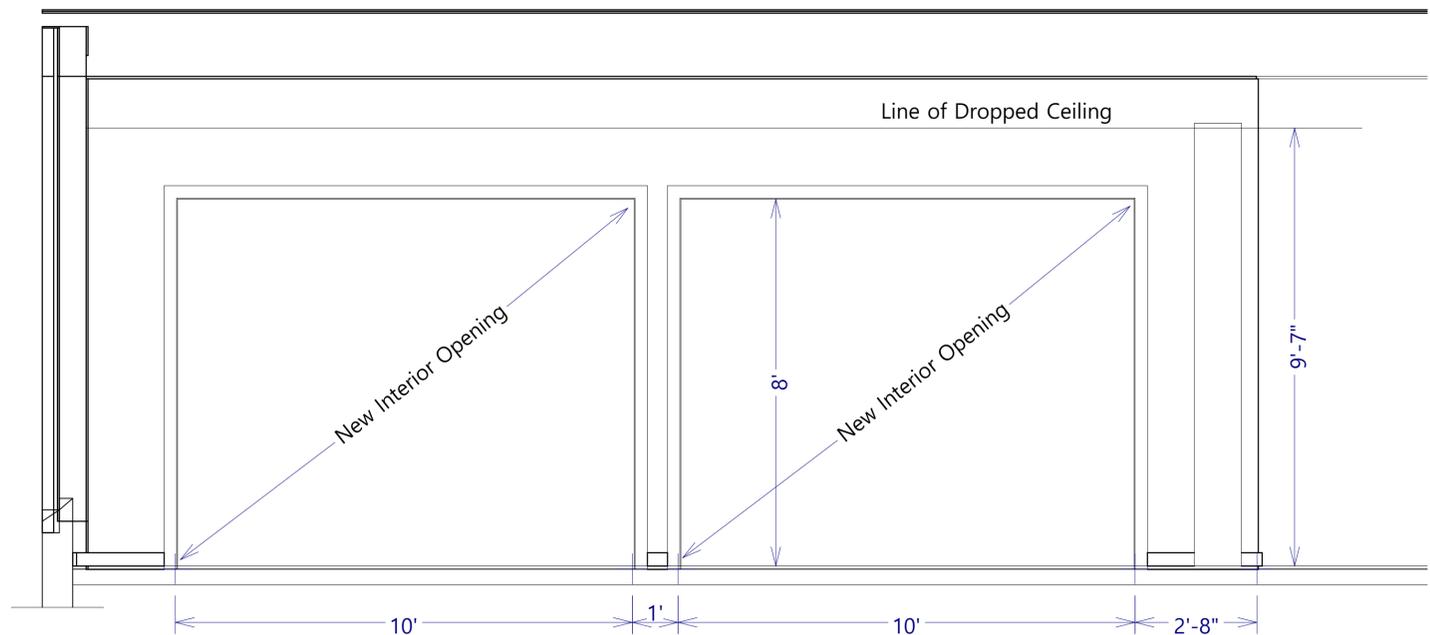
← Two layers of 5/8" Type X gypsum wallboard each side
Base layer applied vertically nailed @ 9"o.c.
Face layer applied vertically or horiz. nailed @ 7"o.c.

IBC 707 Assembly 14-1.5 2hr Wall Fire Barrier

A7.1 Fire Separation & Egress Plan
scale 1/4" = 1'



S2 Exterior Door Detail
scale 1/4" = 1'



Note: Demo interior door & window openings. Create framed opening in load bearing wall. Install new 6x12 Header Beam & 4x6 posts.

S1 Interior Elevation
scale 1/4" = 1'

