

OWNER: ANDY LUGO & SILVESTRE MADRIGAL  
3703 TWEEDY BOULEVARD, SOUTH GATE, CA  
TENANT: THE PLACE @ TWEEDY  
TEL: (310) 351-1403  
3703 TWEEDY BOULEVARD, SOUTH GATE, CA  
DESIGNER GROUP:  
URBAN LIFESTYLE GROUP  
TEL: (310) 351-1403  
440 E. HUNTINGTON DR. ARCADIA CA 91006

## PROJECT DIRECTORY

### SCOPE OF WORK:

- Change of use from B occupancy to an A-2 occupancy.
- Conversion of existing structure and adjacent lot into an outdoor boulevard market with six individual retail unit spaces.
- Construction of new bar at the ground level and upper-level with required egress and accessibility features.
- Demolition of all non-structural interior partitions in the existing single story structure. The structural shell (exterior walls, roof, and structural framing) will remain. Interior will be reconfigured with new partition layout as shown.
- Installation of new hardscape, landscape, outdoor lighting, and site furnishings throughout the market area.
- Installation of ADA-compliant paths of travel.
- Relocation of existing hvac mechanical systems and installation of new equipment to serve reconfigured program areas.
- Upgrade of electrical service and distribution for all new units, bar, lounge, and exterior market lighting.
- Installation of new electrical devices, lighting controls, illuminated signage, and outlet locations.
- New plumbing systems including waste, water, and vent lines to support new bar, restrooms, and retail stalls.
- Installation of restrooms and plumbing fixtures in compliance with code and accessibility standards.
- Exterior finish modifications including new cladding, windows, storefront systems, awnings, and paint.
- New landscape design featuring drought-tolerant planting, irrigation systems, tree wells, and bioswales.
- Structural work to support new rooftop elements, upper-level lounge, and relocated hvac units.
- Provide and install a new alarm system for all entry points throughout the facility and property.

## SCOPE OF WORK

ARCHITECTURAL	A-2 OCCUPANT LOAD PLAN
A-1 TITLE SHEET	L-01 LANDSCAPE PLAN
A-1 EXISTING FLOOR PLAN	H-1 ADA DETAILS
A-2 DEMO FLOOR PLAN	D-1 FRONT ELEVATION DETAILS
A-3 PROPOSED FLOOR PLAN	D-2 SIDE ELEVATION DETAILS
A-4 PROPOSED FLOOR PLAN	D-3 BACK ELEVATION DETAILS
A-5 TRASH ENCLOSURE DETAILS	D-4 PERSPECTIVE RENDERINGS
A-6 OCCUPANT LOAD PLAN	D-5 MATERIAL BOARD

## DRAWING INDEX

2022 CA BUILDING CODE	2022 CA ENERGY CODE
2022 CA PLUMBING CODE	2022 CA GREEN BLDG
2022 CA ELECTRICAL CODE	2023 LA COUNTY FIRE CODE

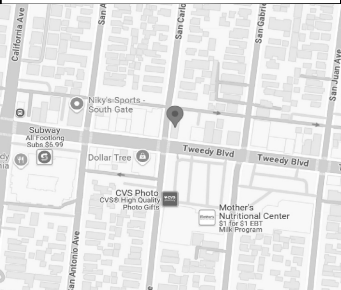
## CODE COMPLIANCE

- Blade sign encroachment on the sidewalk
- Grading and Drainage Plan
- Low Impact Development (LID) Plan

## DEFERRED SUBMITTALS

PROPERTY TYPE: COMMERCIAL  
PARCEL: 6203-017-004  
LEGAL DESCRIPTION: TRACT NO 4707 EX OF ST LOT 5  
TYPE OF CONSTRUCTION: TYPE V-B  
NON-SPRINKLERED BUILDING  
EXISTING OCCUPANCY: B  
PROPOSED OCCUPANCY: A-2  
SUBJECTS PROPERTY TOTAL SQ. FT.: 10,541 SQ. FT.  
PROPOSED FIRST FLOOR: 4,350 SQ. FT.  
PROPOSED SECOND FLOOR: 3,368 SQ. FT.  
EXISTING BUILDING HEIGHT: 14'  
PROPOSED BUILDING HEIGHT: 30'  
TWO STORY BUILDING  
T.L. SQ. FT.: 10,541 SQ. FT.  
OCCUPANT LOAD: 279

## BUILDING DETAILS

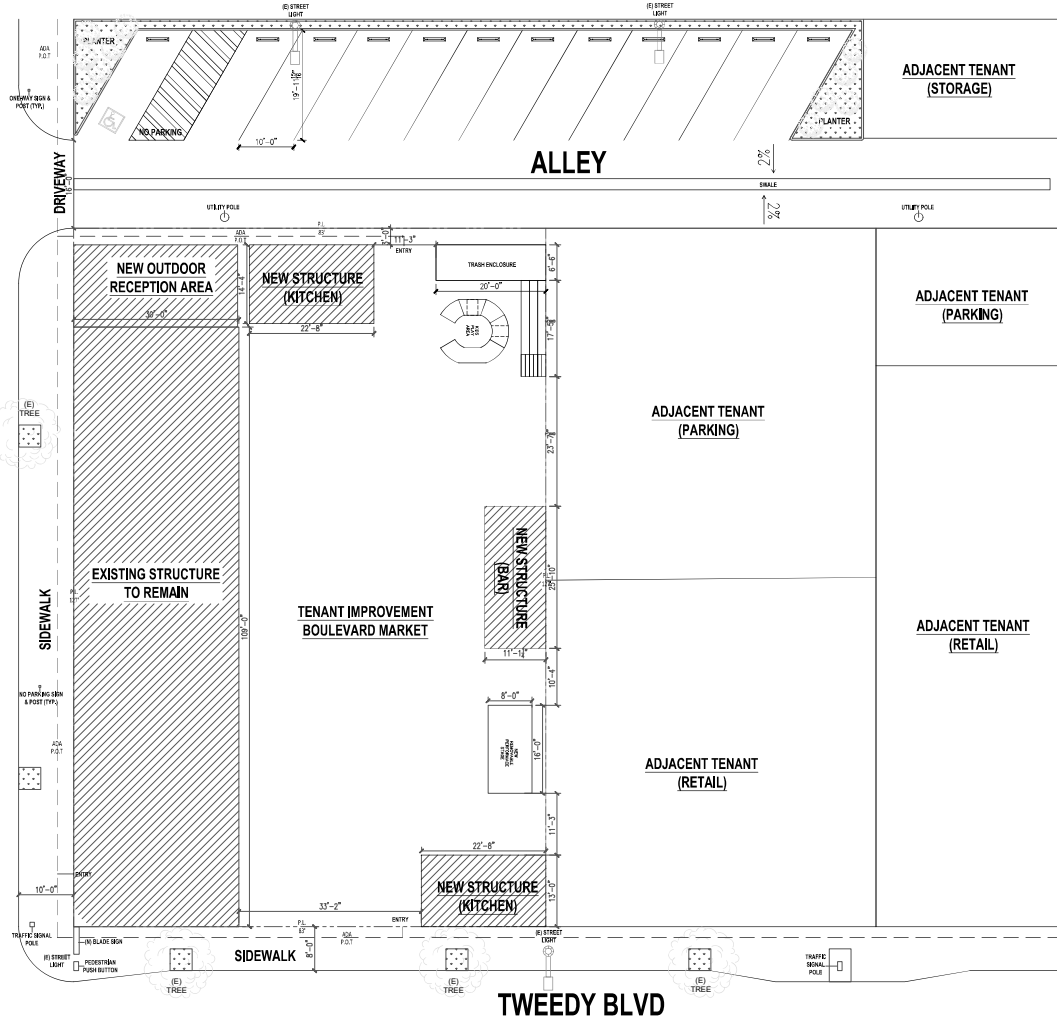


## VICINITY MAP

### NOTES:

- No pavement cuts/excavations allowed along Tweedy Blvd frontage & ~50 ft San Carlos Ave for 5 years; if damaged, full block repaving required and intersections fully restored.
- All improvements per APWA Standard Specs ("Green Book") & Standard Plans; civil/utility/landscape/irrigation/water/sewer plans by Registered Civil Engineer on City-approved title block.
- Must comply with ADA accessibility standards.
- Landscaping shall be drought-tolerant, xeriscape principles, efficient irrigation, CA native plants.
- All contractors/subs must obtain City Business License; Water Development Impact Fees apply if larger meter is required.
- Contact Public Works (Louis Quezada, 323-357-5814) at least 48 hrs before inspection; full compliance with South Coast AQMD regulations.
- In accordance with the Conditions of Approval, the South Gate property shall comply with the following improvements: remove trees on San Carlos Ave south of alley and replace with 24" box Red Ironbark; reconstruct curb/gutter/sidewalk from removals; remove existing driveway approach on San Carlos Ave; repair alley & parking lot pavement (patch cracks, remove stump, replace damaged curb/asphalt); restore all damage to public improvements to original condition; paint property address on curb (per Fire & City); stripe City parking lot for ADA stalls & paths; remove temporary construction markings; preserve survey monuments (if disturbed, re-establish with licensed surveyor and file record).
- All public improvements must be complete before Certificate of Occupancy; early occupancy requires Development Agreement + securities; City may add additional conditions for health/safety; all conditions must be met before release of Use & Occupancy. All conditions must be met before release of Use & Occupancy.

SAN CARLOS AVE



## SITE PLAN

SCALE: 3/32" = 1'-0"



440 E HUNTINGTON DR. STE. 300 ARCADIA, CA 91006  
TEL: 310-351-1403 Email: info@ulgroup.com



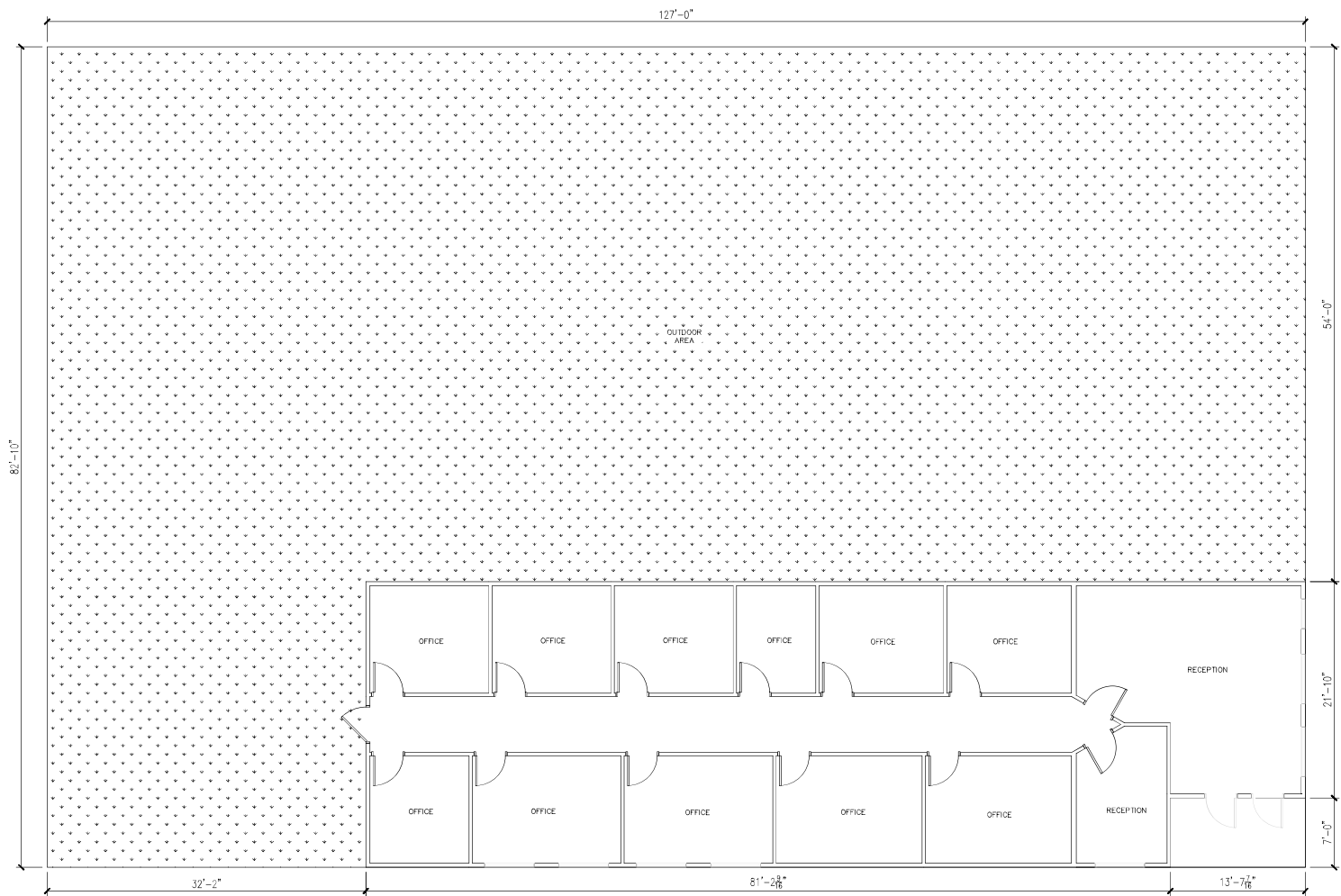
NO	DATE	COMMENTS
1	08/08/2024	

DRAWN BY: Andy Lugo
CHECKED BY:
DATE: 08/08/2024
SCALE: 3/32" = 1'-0"

THE PLACE @ TWEEDY  
3703 Tweedy Blvd, South Gate, CA 90280

SHEET





**EXISTING FLOOR PLAN GROUND FLOOR**  
 SCALE:  $\frac{3}{16}" = 1'-0"$



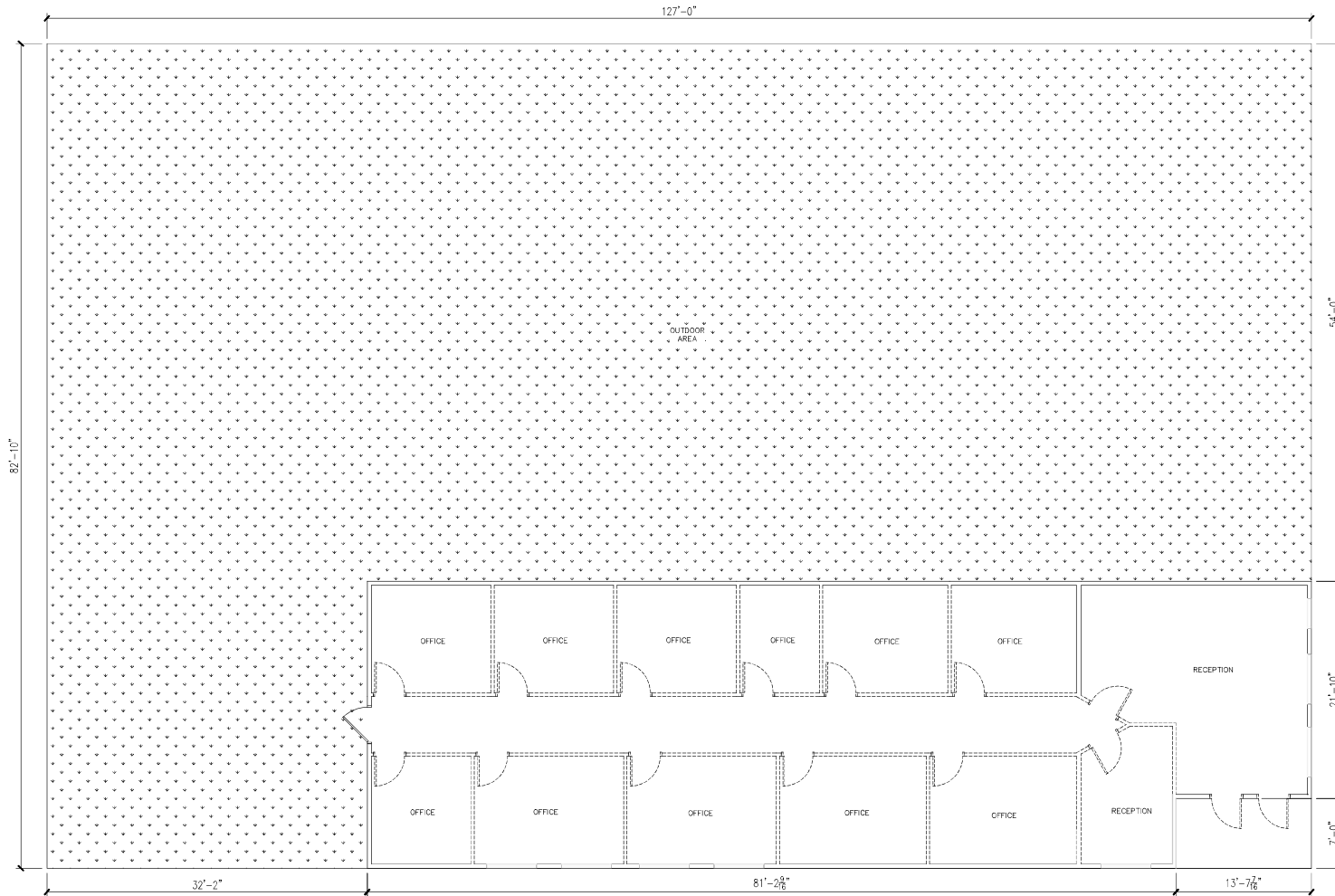
NO.	DATE	COMMENTS

DRAWN BY: Andy Lucio
CHECKED BY:
DATE:
SCALE: 3/16" = 1'-0"

**THE PLACE @ TWEEDY**  
 3705 Tweedy Blvd, South Gate, CA 90280

**SHEET**





# DEMO FLOOR PLAN

SCALE:  $\frac{3}{16}" = 1'-0"$



NO.	DATE	COMMENTS
1		
2		
3		

DRAWN BY: Andy Lucio
CHECKED BY:
DATE:
SCALE: $\frac{3}{16}" = 1'-0"$

THE PLACE @ TWEEDY  
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SHEET

OF A-2

440 E HUNTINGTON DR STE 300 ARCADIA, CA 91006  
 TEL: 314-514-403 Email: info@ulgroup.com

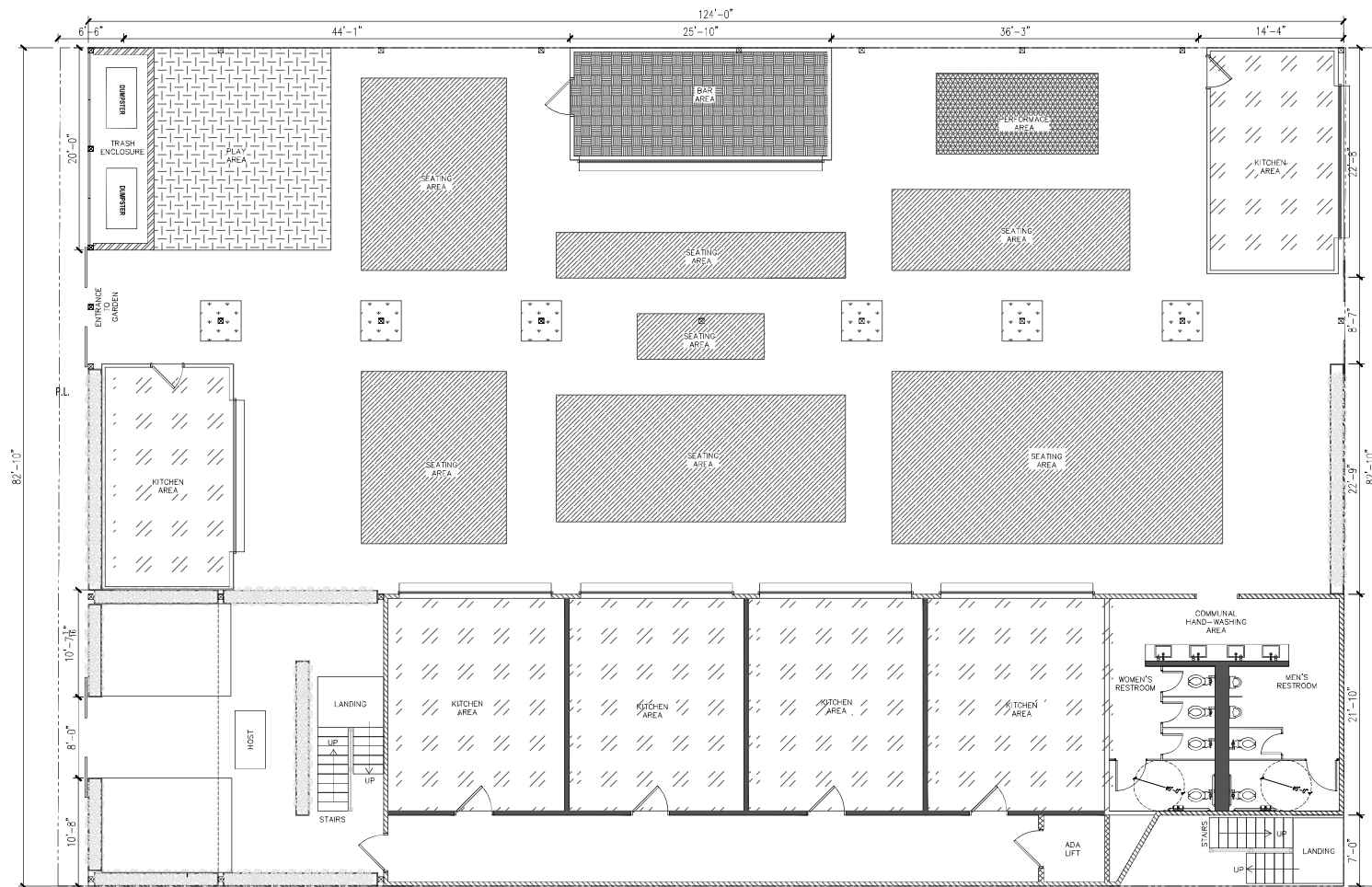
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**PROPOSED OCCUPANT PLAN GROUND FLOOR**

SCALE:  $\frac{1}{8}" = 1'-0"$

OCCUPANT LOAD ANALYSIS			
SPACE (OCCUPANCY)	B.C. F.T. O.L. FACTOR		
SEATING AREA	1766	15	118
KITCHEN AREA	2000	200	10
BAR AREA	265	200	1
PLAY AREA	348	15	24
PERFORMANCE AREA	108	10	6
TOTAL			92



NO.	DATE	COMMENTS

DRAWN BY: Andy Lucco  
 CHECKED BY:   
 DATE:   
 SCALE: 1/8" = 1'-0"

THE PLACE @ TWEEDY  
 3705 Tweedy Blvd, South Gate, CA 90280

SHEET

A-6

440 E HUNTINGTON BLVD STE 300, ARCADIA, CA 91006  
 TEL: 314-354-4483 Email: info@tweedycorp.com

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SPACE (OCCUPANCY)	SQ. FT.	O.L. FACTOR	
FIXED SEATING AREA	124 LF	18*	8
SEATING AREA	504	15	2
BAR AREA	262	200	
TOTAL			

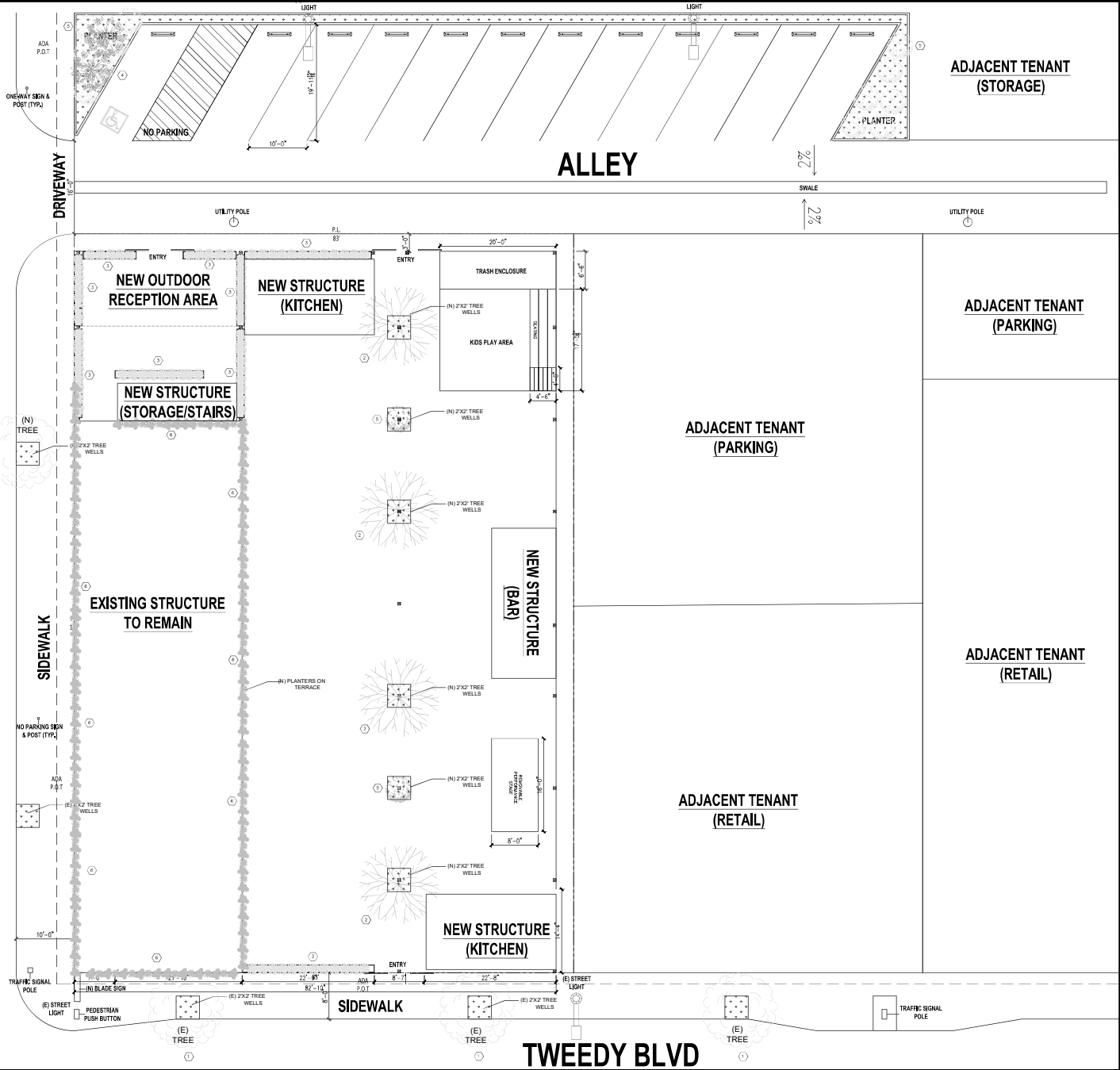


PLANT SCHEDULE				
TREES				
SYMBOL	ITEM#	BOTANICAL NAME	CONT	WATER
	1	(4)Eucalyptus sideroxylon	2'x2' WELL	LOW
	2	(4)Olea europaea	2'x2' WELL	LOW
	3	(74)Ficus microcarpa	5 GAL.	LOW
	4	(2)Quercus agrifolia	TREE WELL	LOW
SHRUBS				
	5	(14)Rhaphiolepis indica	2'x2' WELL	LOW
	6	(171)Dichondra argentea	5 GAL.	LOW

NOTE:  
All proposed landscaping shall be drought-tolerant and designed in accordance with xeriscape principles, incorporating California native and low-water-use plant species.



SAN CARLOS AVE



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NO	DATE	COMMENTS

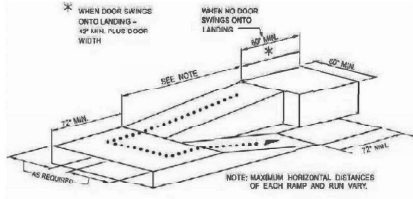
DRAWN BY: Andy Luchio
CHECKED BY:
DATE:
SCALE: 1/8" = 1'-0"

THE PLACE @ TWEEDY  
3705 Tweedy Blvd, South Gate, CA 90280

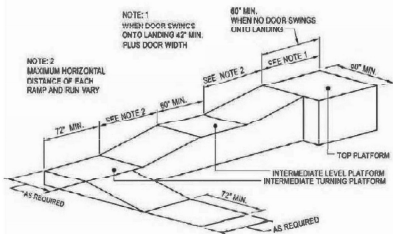
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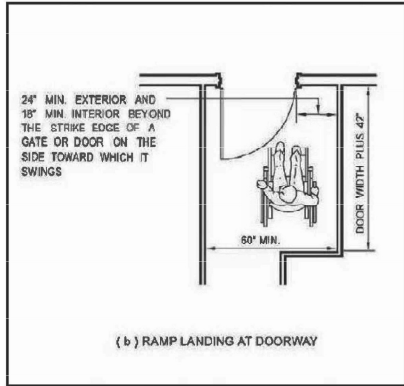
# ACCESSIBILITY DETAILS FOR RAMPS



RAMP WITH INTERMEDIATE SWITCH-BACK PLATFORM



RAMP WITH TURNING PLATFORM



RAMP LANDING AND DOORWAY

## ACCESSIBILITY DETAILS FOR DOORS MANEUVERING SPACES & ROUTES

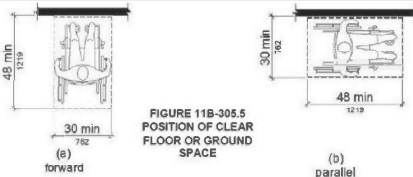


FIGURE 11B-305.5 POSITION OF CLEAR FLOOR OR GROUND SPACE

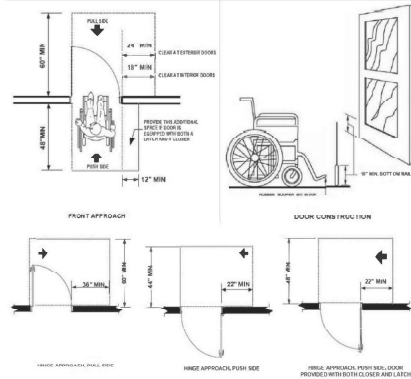


FIGURE 11B-404.2.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

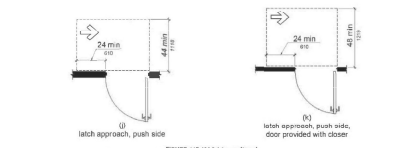


FIGURE 11B-404.2.2 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

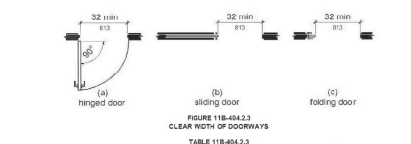


FIGURE 11B-404.2.3 CLEAR WIDTH OF DOORWAYS

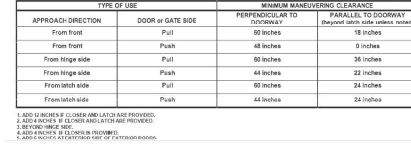


FIGURE 11B-404.2.3 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

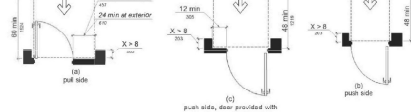


FIGURE 11B-404.2.3 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

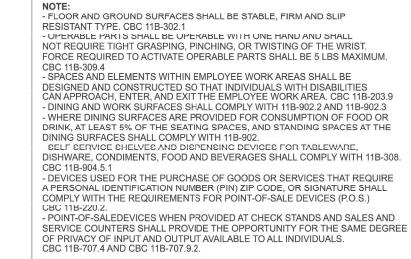
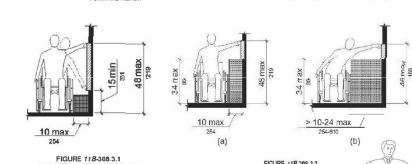
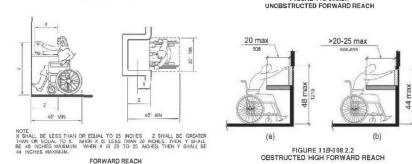
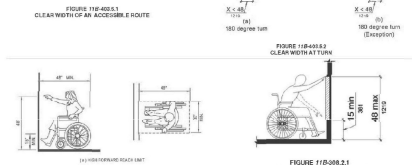
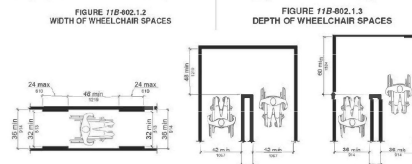
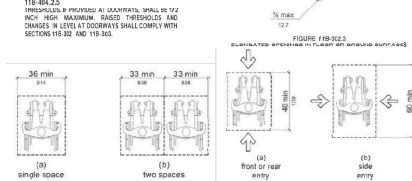
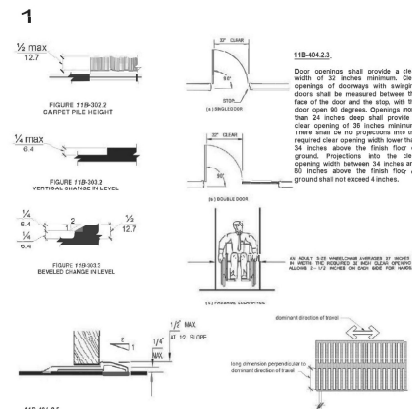
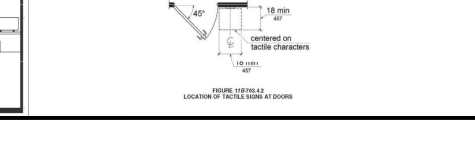
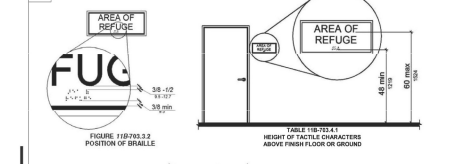
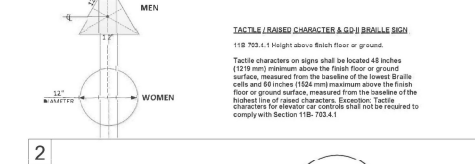
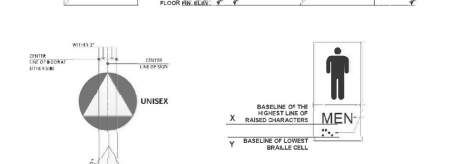
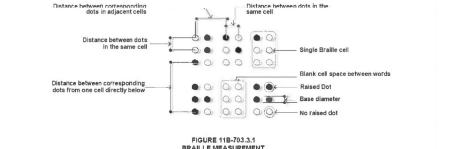


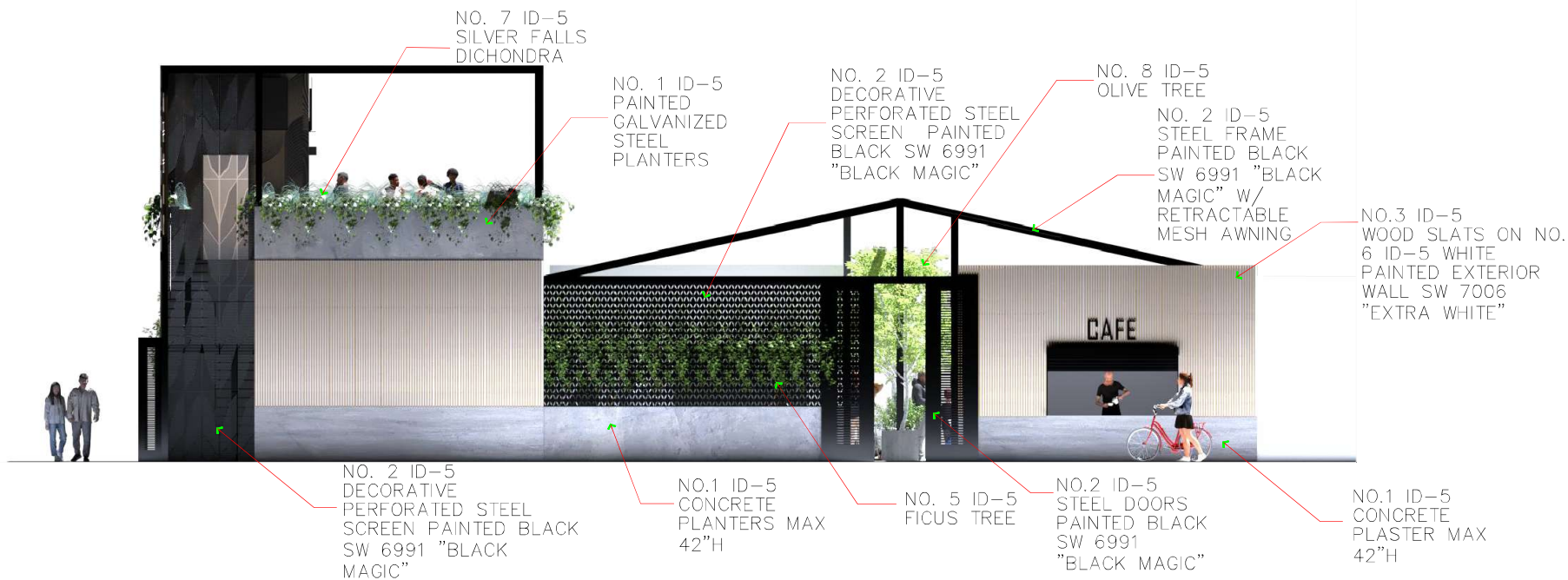
FIGURE 11B-404.2.3 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES



11B-703 Signs shall comply with Section 11B- 703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided. 11B-703.1.1 Plan review and inspection. Signs as specified in Section 11B-703, or in other sections of this code, when included in the construction of new buildings or facilities, or when included, altered or replaced due to additions, alterations or renovations to existing buildings or facilities, and when a permit is required, shall comply with Sections 11B- 703.1.1.1 and 11B-703.1.1.2. 11B-703.1.1.1 Plan review. Plans, specifications or other information indicating compliance with these regulations shall be submitted to the enforcing agency for review and approval. 11B-703.1.1.2 Inspection. Signs and identification devices shall be field inspected after installation and approved by the enforcing agency prior to the issuance of a final certificate of occupancy per Chapter 1, Division II, Section 111, or final approval where no certificate of occupancy is issued. The inspection shall include, but not be limited to, verification that Braille dots and cells are properly spaced and the size, proportion and type of raised characters are in compliance with these regulations.

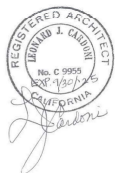
MEASUREMENT RANGE	MINIMUM INCHES	MAXIMUM INCHES
100 mm diameter	0.000	0.000
Distance between two dots in the same cell	0.000	0.000
Distance between corresponding dots in adjacent cells	0.000	0.000
Cell height	0.000	0.000
Distance between corresponding dots from one cell directly below	0.000	0.000





## PROPOSED FRONT ELEVATION

SCALE : NTS



440 E HUNTINGTON DR STE 300, ARCADIA, CA 91006  
TEL: 314-514-403 Email: info@ulgroup.com



NO	DATE	COMMENTS
1		
2		
3		

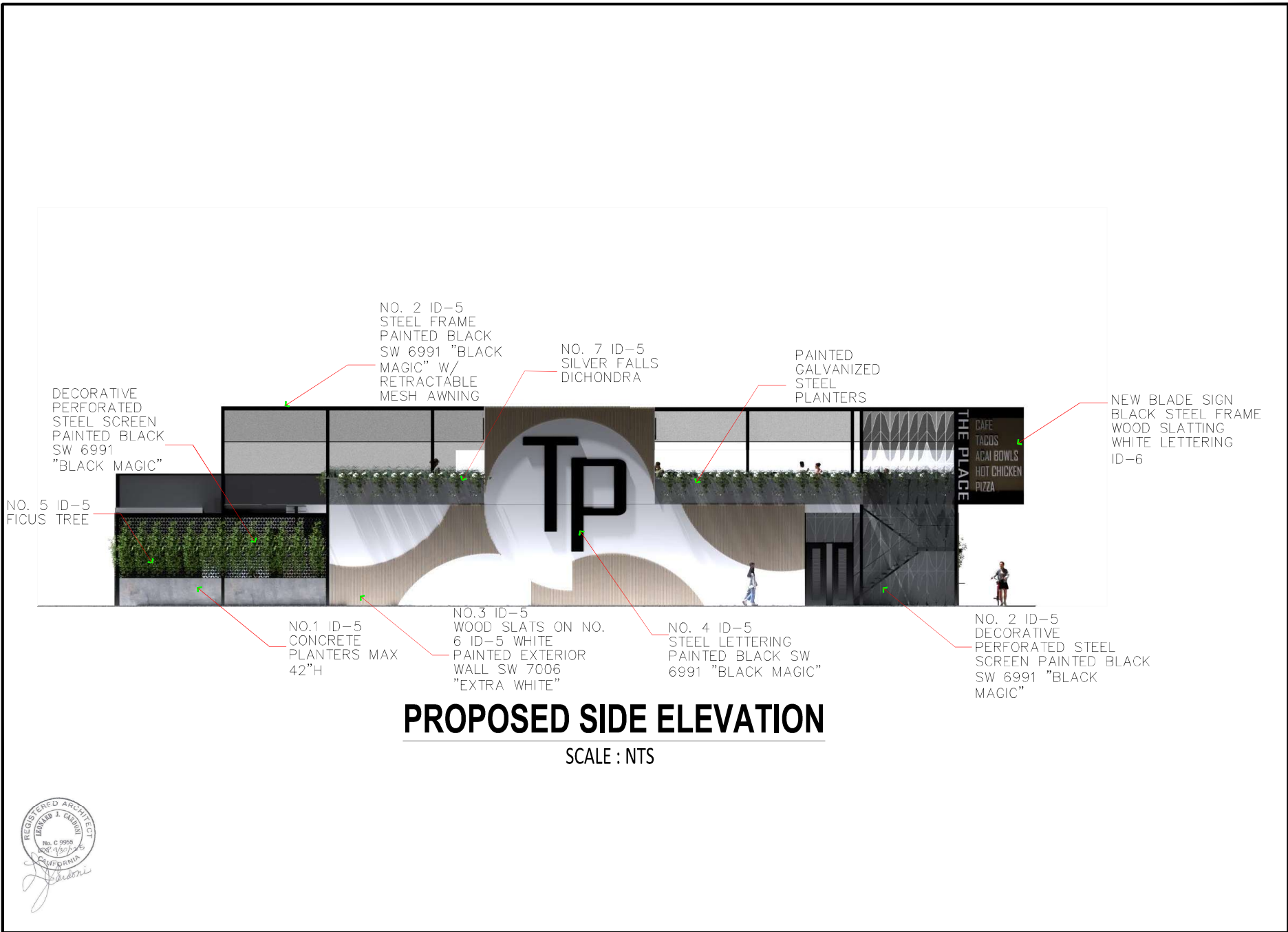
DRAWN BY: Andy Luo
CHECKED BY:
DATE:
SCALE: 1/4" = 1'-0"

THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

~ SHEET ~







**PROPOSED SIDE ELEVATION**

SCALE : NTS



440 E HUNTINGTON DR STE 300 ARCADIA, CA 91006  
TEL: 314-354-483 Email: info@bulgarni.com

**URBAN LIFESTYLE GROUP**  
ARCHITECTURE | CONSULTING | DESIGN | CONSTRUCTION

NO	DATE	COMMENTS
1		
2		
3		
4		
5		
6		
7		
8		

DRAWN BY: Andy Lugo

CHECKED BY:

DATE:

SCALE: 1/4"=1'-0"

**THE PLACE @ TWEEDY**

3103 Tweedy Blvd, South Gate, CA 90280

SHEET

OF

ID-2

NO.3 ID-5  
WOOD SLATS ON NO.  
6 ID-5 WHITE  
PAINTED EXTERIOR  
WALL SW 7006  
"EXTRA WHITE"

NO. 8 ID-5  
OLIVE TREE

NO. 2 ID-5  
STEEL FRAME  
PAINTED BLACK  
SW 6991 "BLACK  
MAGIC" W/  
RETRACTABLE  
MESH AWNING

PAINTED  
GALVANIZED  
STEEL  
PLANTERS

NO. 7 ID-5  
SILVER FALLS  
DICHONDRA

NO. 5 ID-5  
FICUS TREE

NO.1 ID-5  
CONCRETE  
PLASTER MAX  
42"H

NO.2 ID-5  
STEEL DOORS  
PAINTED BLACK  
SW 6991  
"BLACK MAGIC"

NO.1 ID-5  
CONCRETE  
PLANTERS MAX  
42"H

## PROPOSED BACK ELEVATION

SCALE : NTS



NO	DATE	COMMENTS
1		
2		
3		

DRAWN BY: Andy Lue
CHECKED BY:
DATE:
SCALE: 1/4" = 1'-0"

THE PLACE @ TWEEDY  
3105 Tweedy Blvd, South Gate, CA 90280

SHEET

OF 3  
ID-3



440 E HUNTINGTON DR STE 300, ARCADIA, CA 91706  
TEL: 314-354-4403 Email: info@ulgroup.com

URBAN LIFESTYLE GROUP

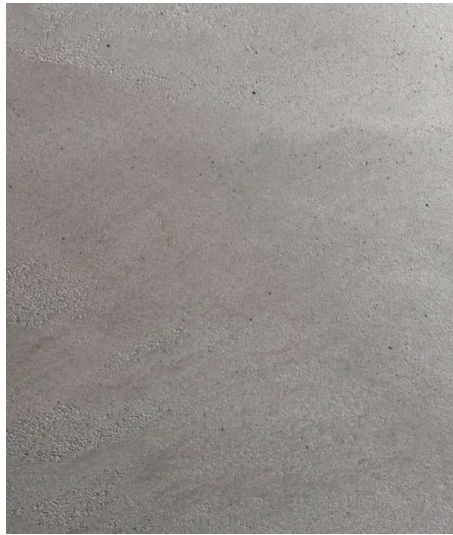
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DRAWN BY: Andy L. Lugo  
CHECKED BY:   
DATE: 10/1/20  
SCALE: 1/8" = 1'-0"

THE PLACE @ TWEEDY  
3105 Tweedy Blvd, South Gate, CA 90280

SHEET  
OF 4  
ID





NO.1 ID-5  
CONCRETE  
PLASTER MAX  
42"H

SW 6991

# Black Magic

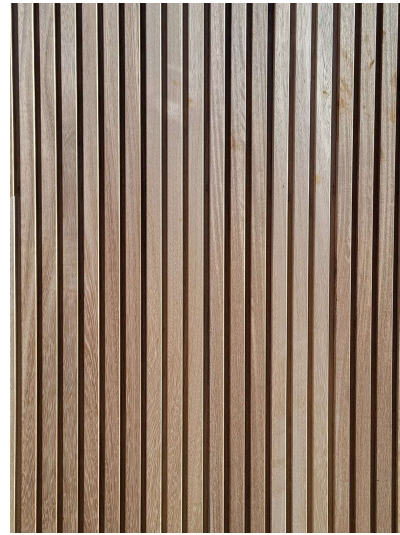
FULL DETAILS ^

LRV: 3 ⓘ

RGB: 50 / 49 / 50

Hex Value: #323132

Location Number: 251-C3



NO.3 ID-5  
WOOD SLATS



NO. 4 ID-5  
STEEL LETTERING  
PAINTED BLACK SW  
6991 "BLACK MAGIC"



NO. 5 ID-5  
FICUS TREE

SW 7006

# Extra White

FULL DETAILS ^

LRV: 86 ⓘ

RGB: 238 / 239 / 234

Hex Value: #EEEEFA

Location Number: 257-C1



NO. 7 ID-5  
SILVER FALLS  
DICHONDRA



NO. 8 ID-5  
OLIVE TREE



NO	DATE	COMMENTS

DRAWN BY: Andy L. Tweedy
CHECKED BY:
DATE:
SCALE: 1/4" = 1'-0"

THE PLACE @ TWEEDY  
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~SHEET~

OF 5

