

OWNER: RANDI LUGG & SILVESTER MADRIGAL
3703 TWEEDY BOULEVARD, SOUTH GATE, CA
TENANT: THE PLACE @ TWEEDY
TEL: (310) 351-4403
3703 TWEEDY BOULEVARD, SOUTH GATE, CA
DESIGNER GROUP:
URBAN LIFE STYLE GROUP
TEL: (310) 351-1400
440 E. HUNTINGTON DR. ARCADIA CA 91006

PROJECT DIRECTORY

SCOPE OF WORK:

-Change of use from B occupancy to an A-2 occupancy.
-Conversion of existing structure and adjacent lot into an outdoor boulevard market with six individual retail unit spaces.
-Construction of new bar at the ground level and upper-level with required egress and accessibility features.
-Demolition of all non-structural interior partitions in the existing single story structure. The structural shell (exterior walls, roof, and structural framing) will remain. Interior will be reconfigured with new partition layout as shown.
-Installation of new landscape, landscape, outdoor lighting, and site furnishings throughout the market area.
-Installation of ADA-compliant paths of travel.
-Relocation of existing HVAC mechanical systems and installation of new equipment to serve reconfigured program area.
-Upgrade of electrical service and distribution for all new units, bar, lounge, and exterior market lighting.
-Installation of new electrical devices, lighting controls, illuminated signage, and outlet locations.
-New plumbing systems including water, waste, and vent lines to support new bar, restrooms, and retail stalls.
-Installation of restrooms and plumbing fixtures in compliance with code and accessibility standards.
-Exterior finish modifications including new cladding, windows, storefront systems, awnings, and paint.
-New landscape design featuring drought-tolerant planting, irrigation systems, tree wells, and bioswales.
-Structural work to support new rooftop elements, upper-level lounge, and recessed liver units.
-Provide and install a new alarm system for all entry points throughout the facility and property.

SCOPE OF WORK

ARCHITECTURAL

T-1 TITLE SHEET

OCCUPANT LOAD PLAN

L-01 LANDSCAPE PLAN

A-2 EXISTING FLOOR PLAN

I-01 ADA DETAILS

A-2 DEMO FLOOR PLAN

B-01 FRONT ELEVATION DETAILS

A-3 NEW FLOOR PLAN

C-01 BACK ELEVATION DETAILS

A-4 PROPOSED FLOOR PLAN

D-04 PERSPECTIVE RENDERINGS

A-5 TRASH ENCLOSURE DETAILS

D-05 MATERIAL BOARD

A-6 OCCUPANT LOAD PLAN

DRAWING INDEX

2022 CA. BUILDING CODE

2022 CA. ENERGY CODE

2022 CA. PLUMBING CODE

2022 CA. GREEN BLD

2023 CA. ELECTRICAL CODE

2023 LA COUNTY FIRE CODE

CODE COMPLIANCE

-Blade sign encroachment on the sidewalk

-Grading and Drainage Plan

-Low Impact Development (LID) Plan

DEFERRED SUBMITTALS

PROPERTY TYPE: COMMERCIAL

PARCEL: 600-007-001

LEGAL DESCRIPTION: 37TRACT NO 4707 EX OF ST LOT 5

TYPE OF CONSTRUCTION: TYPE V-B

NON-SPRINKLERED BUILDING

EXISTING OCCUPANCY: B

PROPOSED OCCUPANCY: A-2

SUBJECTS PROPERTY TOTAL SQ. FT.: 10,541 SQ. FT.

PROPOSED FIRST FLOOR: 4,350 SQ. FT.

PROPOSED SECOND FLOOR: 3,368 SQ. FT.

EXISTING BUILDING HEIGHT: 14'

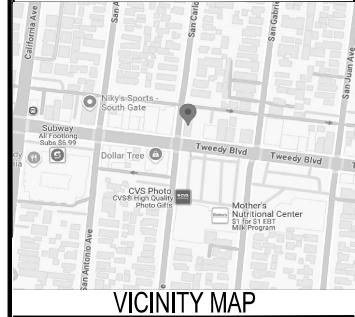
PROPOSED BUILDING HEIGHT: 14'

TWO STORY BUILDING

T.I. SQ. FT.: 10,541 SQ. FT.

OCCUPANT LOAD: 279

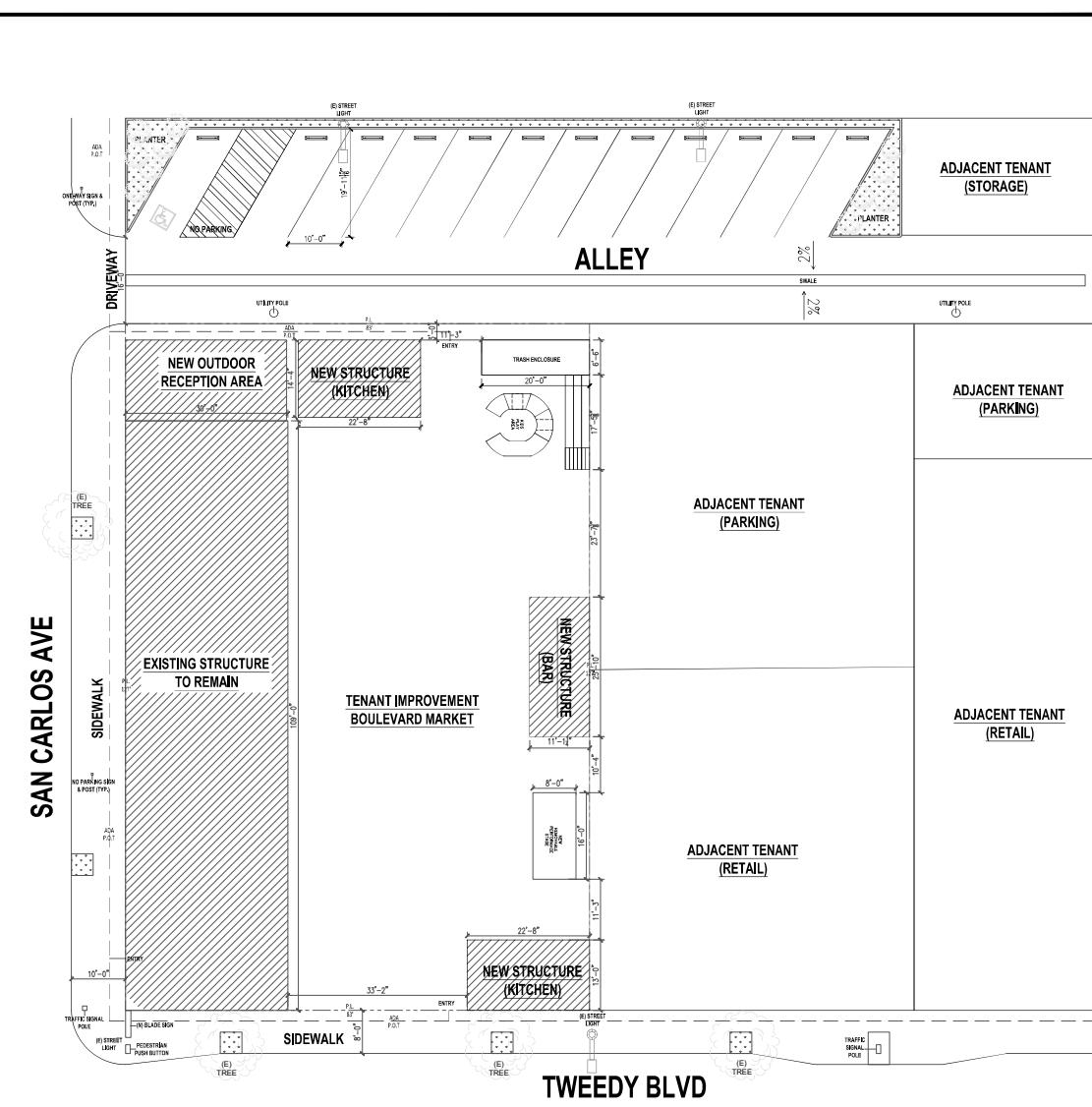
BUILDING DETAILS



NOTES:

1. No pavement cuts/excavations allowed along Tweedy Blvd frontage & >50 ft San Carlos Ave for 5 years; if damaged, full block repaving required and intersections fully restored.
2. All improvements per APWA Standard Specs ("Green Book") & Standard Plans; civil/utility/landscape/irrigation/water/sewer plans by Registered Civil Engineer on City-approved title block.
3. Must comply with ADA accessibility standards.
4. Landscaping shall be drought-tolerant, xeriscape principles, efficient irrigation, CA native plants.
5. All contractors/subs must obtain City Business License; Water Development Impact Fees apply if larger meter is required.
6. Contact Public Works (Louis Quezada, 323-357-5814) at least 48 hrs before inspection; full compliance with South Coast AQMD regulations.

7. In accordance with the Conditions of Approval, the South Gate property shall comply with the following improvements: remove trees on San Carlos Ave south of alley and replace with 24" box Red Ironbark; reconstruct curb/gutter/sidewalk from removals; remove existing driveway approach on San Carlos Ave; repair alley & parking lot pavement (patch cracks, remove stump, replace damaged curb/asphalt); restore all damage to public improvements to original condition; paint property address on curb (per Fire & City); stripe City parking lot for ADA stalls & paths; remove temporary construction markings; preserve survey monuments (if disturbed, re-establish with licensed surveyor and file record).
8. All public improvements must be complete before Certificate of Occupancy; early occupancy requires Development Agreement + securities; City may add additional conditions for health/safety; all conditions must be met before release of Use & Occupancy. All conditions must be met before release of Use & Occupancy.



SITE PLAN

SCALE: 3/32" = 1'0"

NORTH

440 E HUNTINGTON DR STE 300, ARCADIA, CA 91006
TEL: 310-351-1400 Email: info@thelife.com

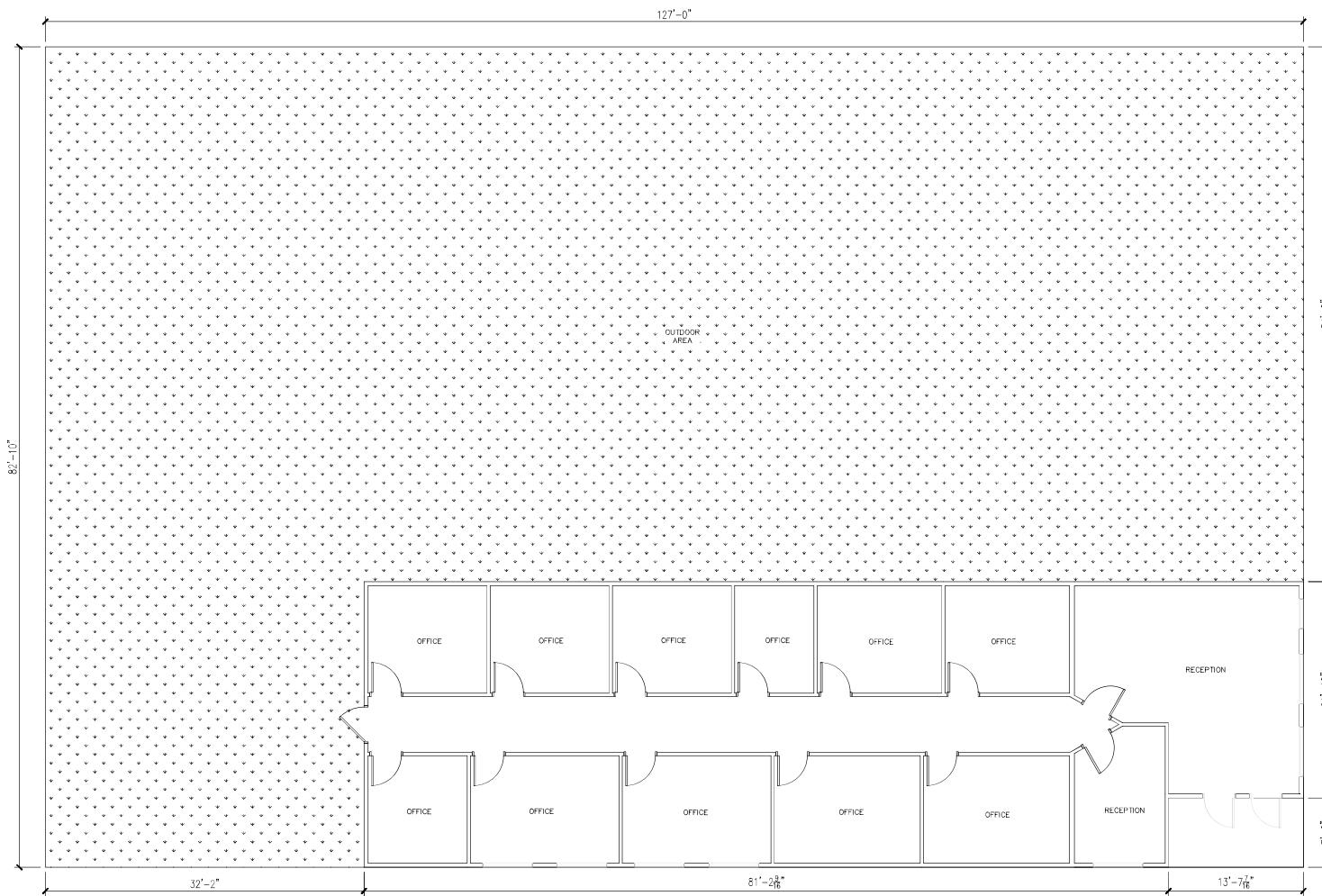
URBAN LIFE STYLE GROUP
ARCHITECTURE | ENGINEERING | DESIGN
440 E HUNTINGTON DR STE 300, ARCADIA, CA 91006

NO.	DATE	COMMENTS

THE PLACE @ TWEEDY
3703 Tweedy Blvd, South Gate, CA 90280

~SHEET~

OF
T-1



EXISTING FLOOR PLAN GROUND FLOOR

SCALE: $\frac{3}{16}$ " = 1'-0"



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GROUP

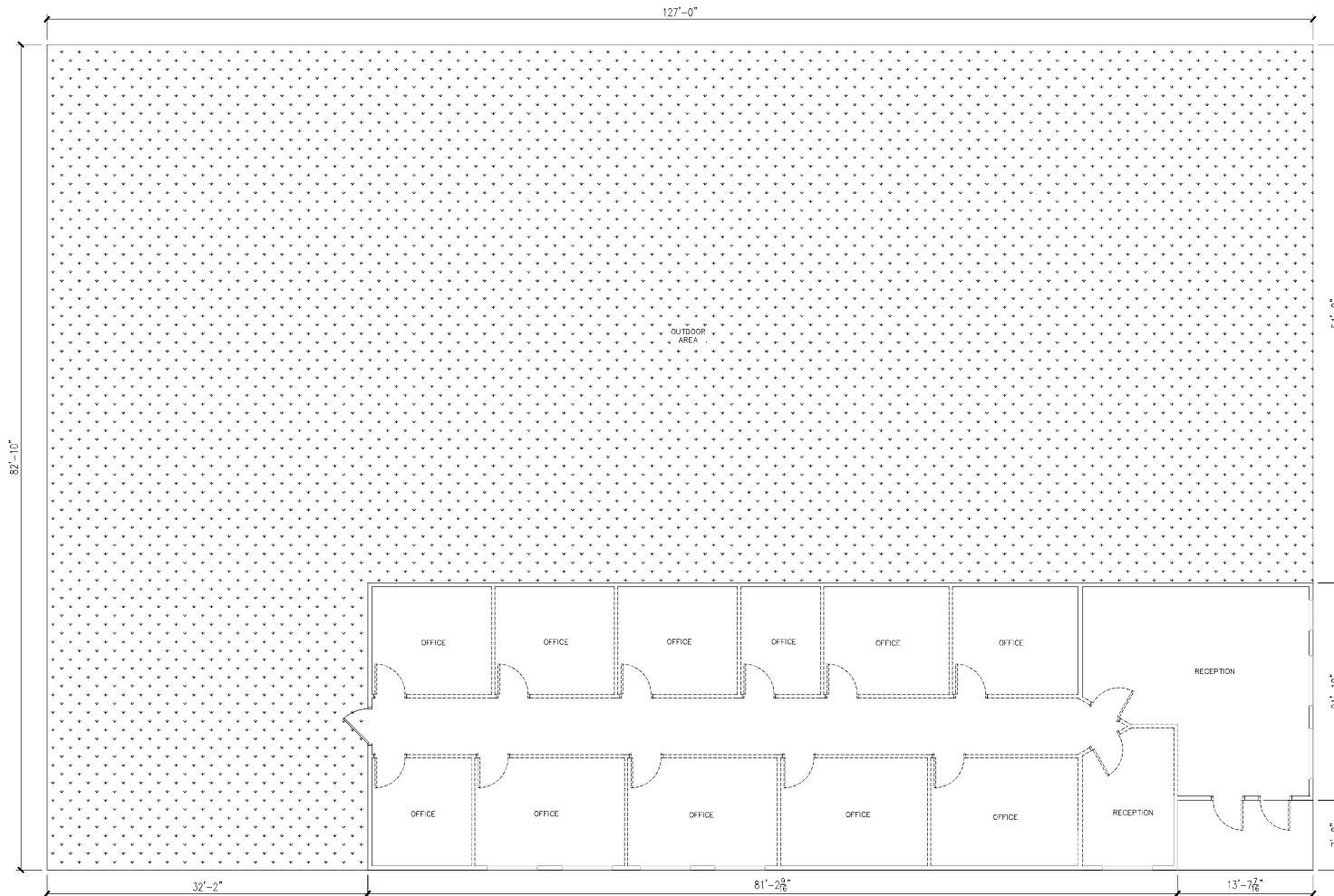
ARCHITECTURE | ENGINEERING | DESIGN | CONSTRUCTION

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THE PLACE @ TWEEBY

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DEMO FLOOR PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"



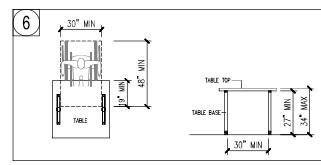
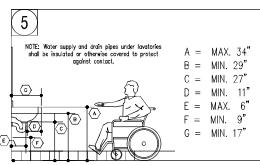
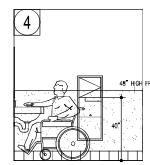
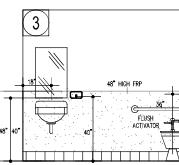
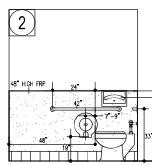
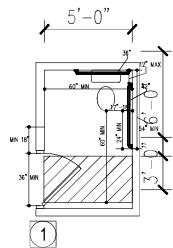
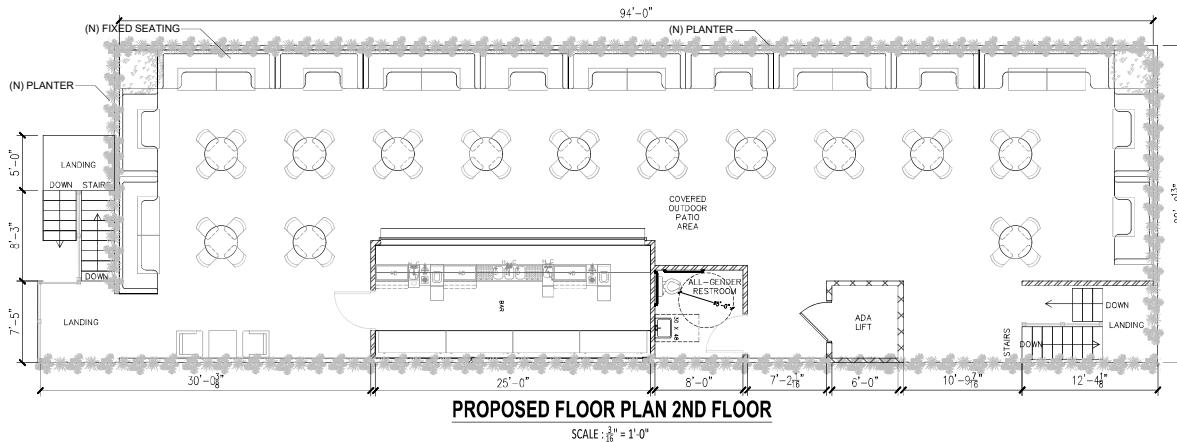
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TEL: 310-351-1403 Email: info@theulg.com

**URBAN LIFESTYLE
GROUP**
ARCHITECTURE | ENGINEERING | DESIGN | CONSTRUCTION

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THE PLACE @ TWEEDY
3703 Tweedy Blvd, South Gate, CA 90280

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OF
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LEGEND

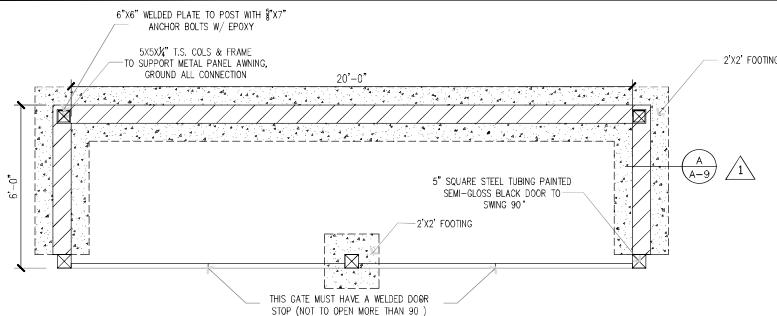
- (E) EXTERIOR WALLS
- (E) NON BEARING PARTITION
- (N) NON BEARING PARTITION
- (N) LOAD BEARING PARTITION
- (N) EXTERIOR WALLS

THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

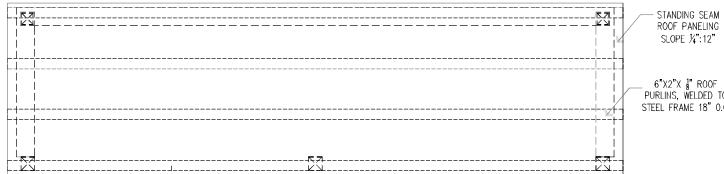
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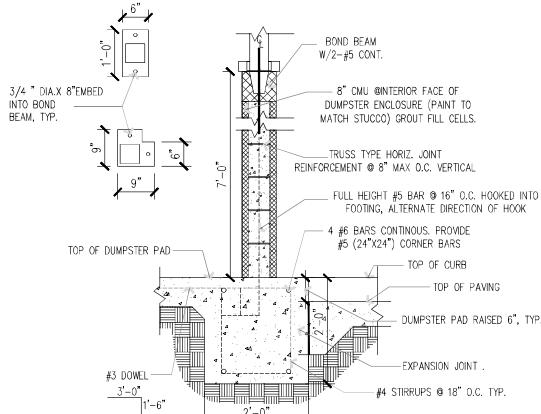
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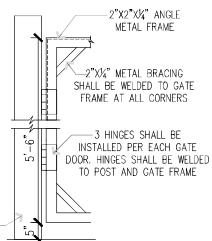
(1) (N) DUMPSTER ENCLOSURE PLAN



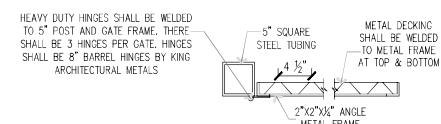
(N) DUMPSTER ROOF PLAN



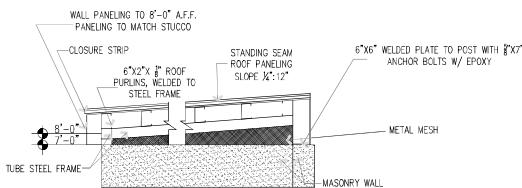
(A) MASONRY WALL ENCLOSURE



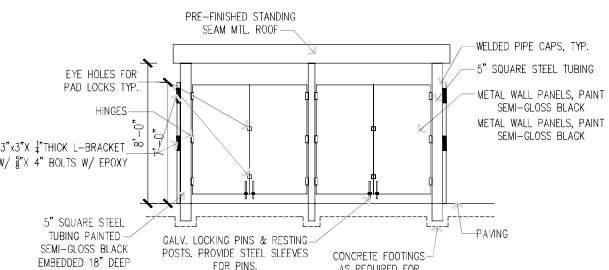
GATE TO POST CONNECTION



GATE TO POST CONNECTION



DUMPSTER ENCLOSURE ROOF



(N) DUMPSTER ENCLOSURE ELEVATION



THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

SHEET
OF A-5

633 W. 5TH STREET 2808 LOS ANGELES, CA 90017
TEL: 310-631-1409 Email: andy@tweedy.com

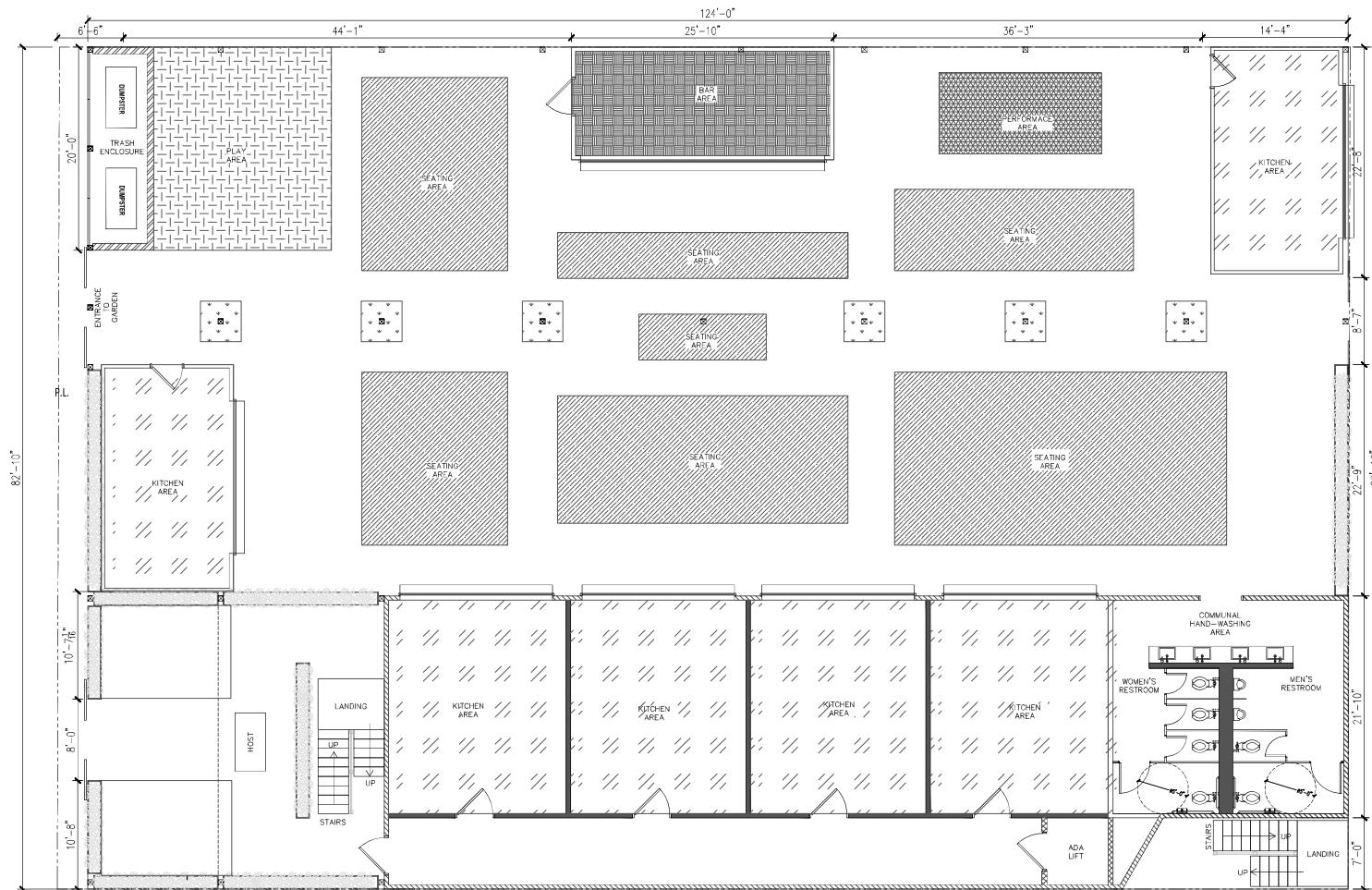
URBAN LIFESTYLE
GROUP

Architectural, Interior, Urbanistic, Landscaping

REF. NO.	DATE	COMMENTS

DRAWN BY: <i>Andy L. Gardner</i>	
CHECKED BY:	
DATE:	
SCALE:	1/4" = 1'-0"

633 W. 5TH STREET 2808 LOS ANGELES, CA 90017
TEL: 310-631-1409 Email: andy@tweedy.com



PROPOSED OCCUPANT PLAN GROUND FLOOR

SCALE: $\frac{1}{16}$ = 1'-0"

OCCUPANT LOAD ANALYSIS			
SPACE (OCCUPANCY)	SC. FT.	OL. X AC/SH	
SEATING AREA	1184	15	118
KITCHEN AREA	2000	200	10
BAR AREA	265	200	1
WIT AREA	118	15	9
PERFORMANCE AREA	118	15	9
TOTAL	3662		962



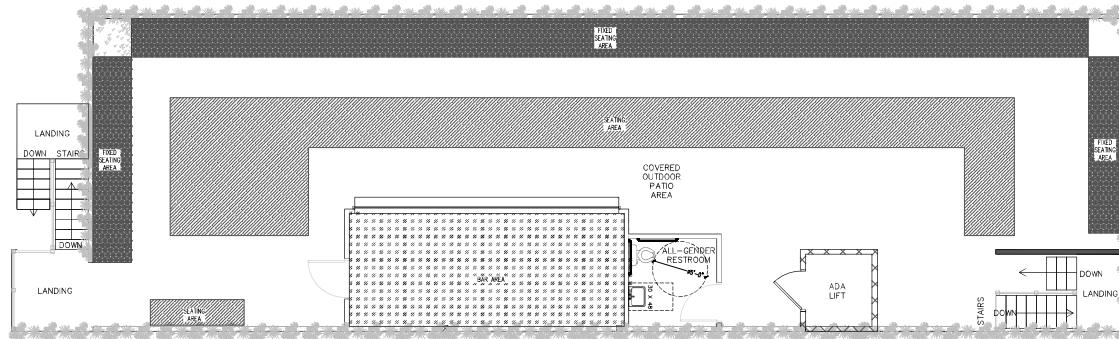
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THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

440 E HUNTINGTON DR STE 300, ARCOMA, CA 91006
TEL: 310-551-4405 Email: info@theplacegroup.com

URBAN LIFESTYLE
ARCHITECTURE | INTERIOR DESIGN | CONSTRUCTION
[Logo]



PROPOSED FLOOR PLAN 2ND FLOOR

SCALE: $\frac{3}{16}$ " = 1'0"

OCCUPANT LOAD ANALYSIS		
SPACE (OCCUPANCY)	SF FT ²	GLL FACTOR
TODDLER ZONE AREA	124.12	.82
ADULT ZONE AREA	243.00	.34
STAFF ZONE AREA	262.00	.20
TOTAL	529.12	.17

THE PLACE @ TWEEDY
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~SHEET~

Of
A-1

440 E HUNTINGTON DR STE 300, ALCOMA, CA 91006
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URBAN LIFESTYLE
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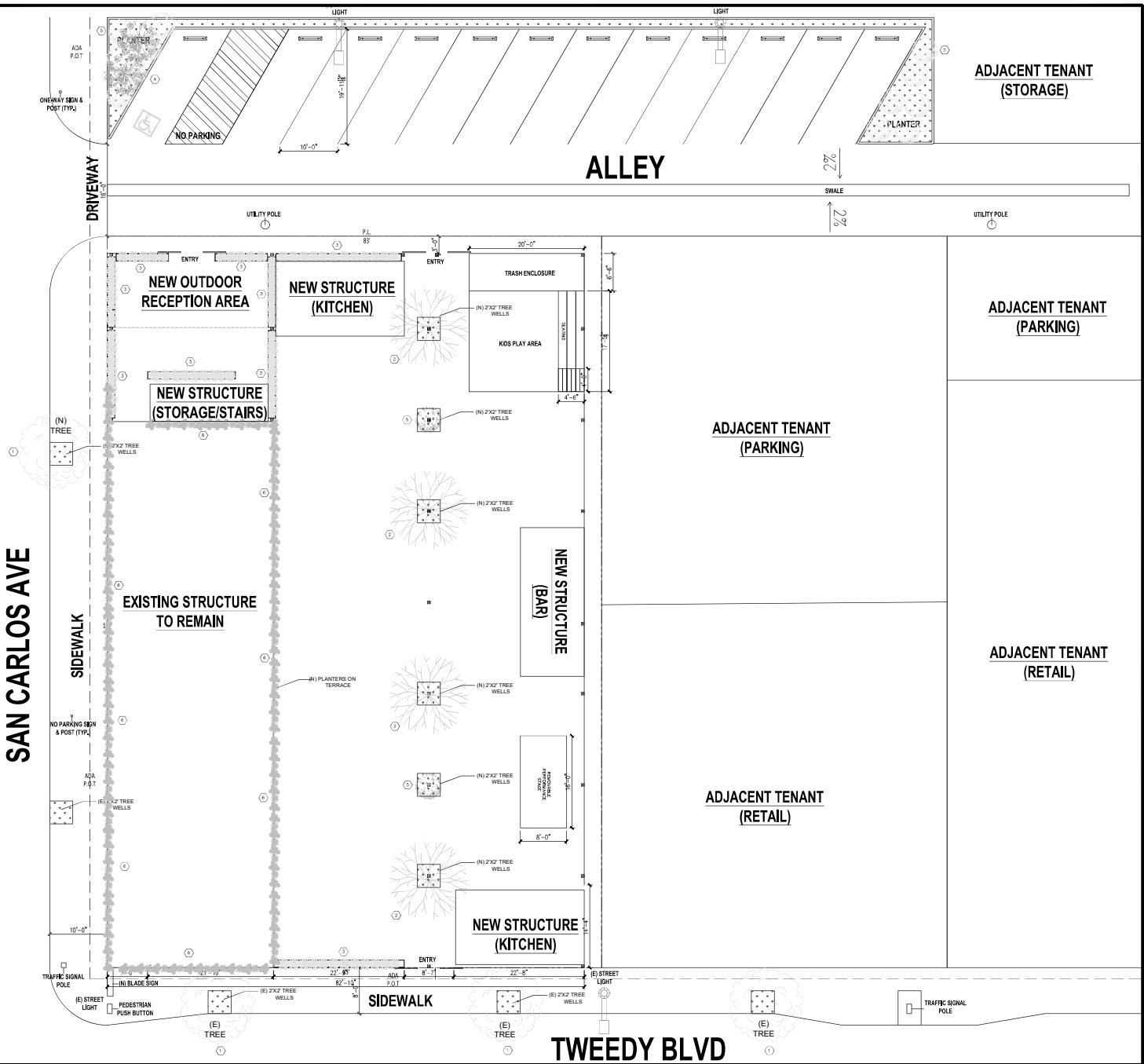


PLANT SCHEDULE					
TREES		BOTANICAL NAME		CONT	WATER
SYMBOL	ITEM#				
	1	(4) <i>Eucalyptus sideroxylon</i>	2'X2'	WELL	LOW
	2	(4) <i>Olea europaea</i>	2'X2'	WELL	LOW
	3	(74) <i>Ficus microcarpa</i>	5 GAL.		LOW
	4	(2) <i>Quercus agrifolia</i>	TREE	WELL	LOW
SHRUBS					
	5	(14) <i>Rhaphiolepis indica</i>	2'X2'	WELL	LOW
	6	(171) <i>Ochnandra argentea</i>	5 GAL.		LOW

NOTE

All proposed landscaping shall be drought-tolerant and designed in accordance with xeriscape principles, incorporating California native and low-water-use plant species.

A circular registration stamp for Leonard J. Cerdoni, Architect. The text "REGISTERED" is at the top, "LEONARD J. CERDONI" is in the center, "No. C 9955" is below that, "EXP 9/30/25" is to the right, and "CALIFORNIA" is at the bottom. A signature "Cerdoni" is written across the bottom of the stamp.



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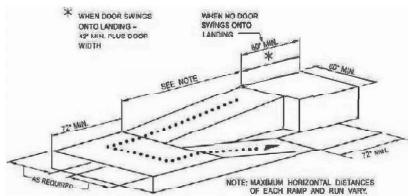
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RECORDED 12-10-2011 BY ANNE LUCAS
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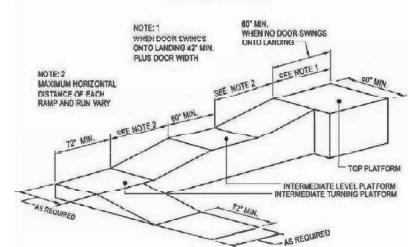
THE PLACE @ TWEEDY
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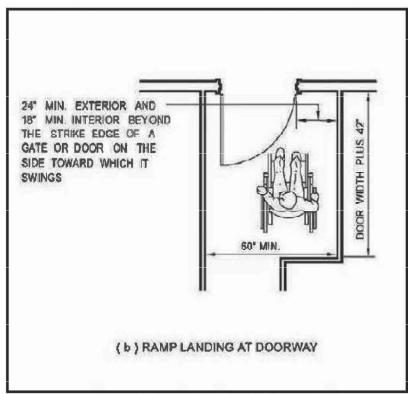
ACCESSIBILITY DETAILS FOR RAMPS



RAMP WITH INTERMEDIATE SWITCH-BACK PLATFORM



RAMP WITH TURNING PLATFORM



(b) RAMP LANDING AT DOORWAY

RAMP LANDING AND DOORWAY

ACCESSIBILITY DETAILS FOR DOORS MANEUVERING SPACES & ROUTES

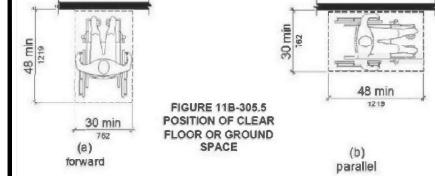


FIGURE 11B-305.5
POSITION OF CLEAR
FLOOR OR GROUND
SPACE

(b) parallel

NOTE:

- FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT TYPE, CBC 11B-302.1
- DOORS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS MAXIMUM. CBC 11B-309.4
- WORK ELEMENTS WITHIN EMPLOYEE WORK AREAS SHALL BE DESIGNED AND CONSTRUCTED SO THAT INDIVIDUALS WITH DISABILITIES CAN APPROACH, ENTER, AND EXIT THE EMPLOYEE WORK AREA. CBC 11B-203.9
- DINING AND WORK AREAS SHALL MEET CBC 11B-302.2 AND 11B-302.3
- WORK SURFACES ARE PROVIDED FOR COMPUTERS, MEALS OR FOOD OR DRINK, AT LEAST 5% OF THE SEATING SPACES, AND STANDING SPACES AT THE DINING SURFACES SHALL COMPLY WITH 11B-302.
- DISHWARE, CONDIMENTS, FOOD AND BEVERAGES SHALL COMPLY WITH 11B-308. CBC 11B-304.1
- VEHICLES USED FOR THE PURCHASE OF GOODS OR SERVICES THAT REQUIRE A PERSONAL IDENTIFICATION NUMBER (PIN) ZIP CODE, OR SIGNATURE SHALL COMPLY WITH THE REQUIREMENTS FOR POINT-OF-SALE DEVICES (P.O.S.) UBC 11B-202.1
- POINT-OF-SALE DEVICES WHEN PROVIDED AT CHECK STANDS AND SALES AND SERVICE COUNTERS SHALL PROVIDE THE OPPORTUNITY FOR THE SAME DEGREE OF PRIVACY OF INPUT AND OUTPUT AVAILABLE TO ALL INDIVIDUALS. CBC 11B-707.4 AND CBC 11B-707.9.2

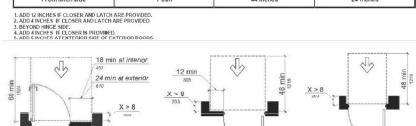
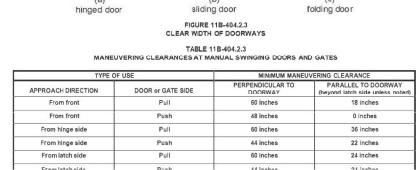
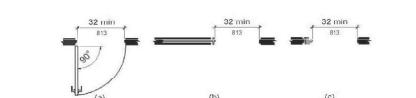
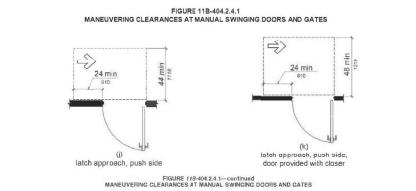
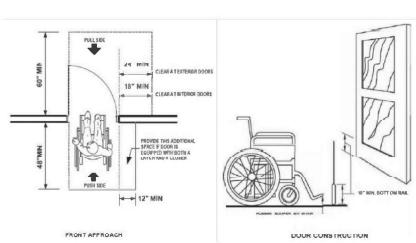


FIGURE 11B-404.2.3
CLEAR WIDTH OF DOORWAYS

TABLE 11B-404.2.3
MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

TYPE OF USE	DOOR OR SIDE	MINIMUM MANEUVERING CLEARANCE		PARALLEL TO DOORWAY (parallel to side unless noted)
		PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY	
From front	Pull	60 inches	0 inches	
From front	Push	48 inches	0 inches	
From hinge side	Pull	60 inches	36 inches	
From hinge side	Push	44 inches	22 inches	
From latch side	Push	60 inches	24 inches	
From latch side	Push	44 inches	24 inches	

1. ADD 12 INCHES TO CLEARANCE AND LATCH ARE PROVIDED.
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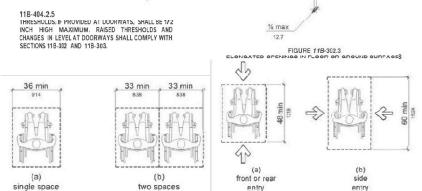
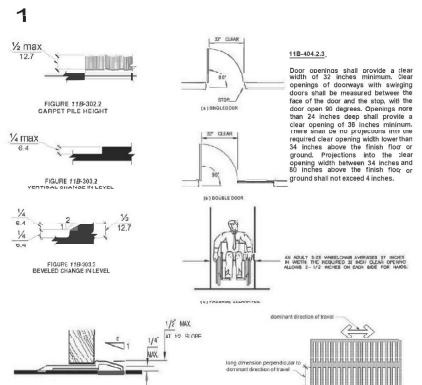


FIGURE 11B-402.1.2
WIDTH OF WHEELCHAIR SPACES

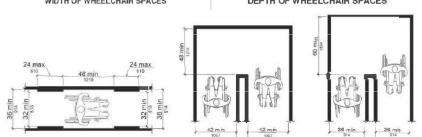


FIGURE 11B-403.1
CLEAR WIDTH AT TURN

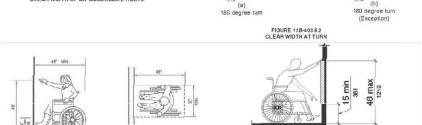


FIGURE 11B-403.2
CLEAR WIDTH AT TURN



FIGURE 11B-308.2.1
UNOBSTRUCTED FORWARD REACH



FIGURE 11B-308.2.2
OBSTRUCTED HIGH FORWARD REACH

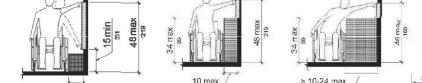


FIGURE 11B-308.3.1
UNOBSTRUCTED SIDE REACH



FIGURE 11B-308.3.2
OBSTRUCTED SIDE REACH

11B-703 Signs

11B-703.1 General. Signs shall comply with Section 11B-703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided.

11B-703.1.1 Plan review and inspection. Signs as specified in Section 11B-703, or in other sections of this code, when included in the construction of new buildings or facilities, or when included, altered or replaced due to additions, alterations or renovations to existing buildings or facilities, and when a permit is required, shall comply with 11B-703.1.1.2.

11B-703.1.1.1 Plan review. Plans, specifications or other information indicating compliance with these regulations shall be submitted to the enforcing agency for review and approval. 11B-703.1.1.2 Inspection. Signs and identification devices shall be field inspected after installation and approved by the enforcing agency prior to the issuance of a final certificate of occupancy per Chapter 1, Division II, Section 111, or final approval where no certificate of occupancy is issued. The inspection shall include, but not be limited to, verification that Braille dots and cells are properly spaced and the size, proportion and type of raised characters are in compliance with these regulations.

TABLE 11B-703.1 SHALLS DIMENSIONS	
MEASUREMENT RANGE	MINIMUM OR MAXIMUM DIMENSIONS IN INCHES
Ext base diameter	0.096 - 0.103
Distance between two dots in the same cell	0.100
Distance between corresponding dots in adjacent cells	0.025 - 0.037
Dot height	0.025 - 0.040
Distance between corresponding dots from one cell directly below	0.095 - 0.140

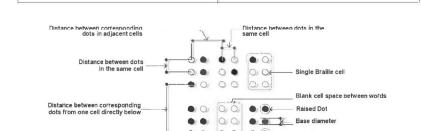


FIGURE 11B-703.1.1
BRILLE MEASUREMENT

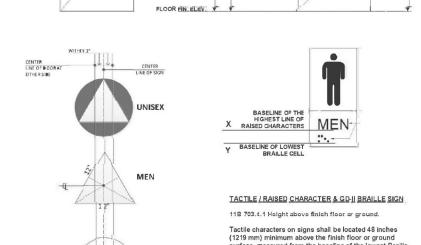
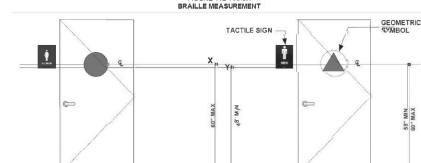


FIGURE 11B-703.1.2
TACTILE RAISED CHARACTER & G-II BRAILLE SIGN

11B-703.1.2 Height above finish floor or ground. Tactile characters on signs shall be located 48 inches (1219 mm) minimum above the finish floor or ground surface, measured from the baseline of the raised characters. Tactile characters on signs shall be located 48 inches (1219 mm) maximum above the finish floor or ground surface, measured from the baseline of the raised characters. Tactile characters for elevator car controls shall not be required to comply with Section 11B-703.1.

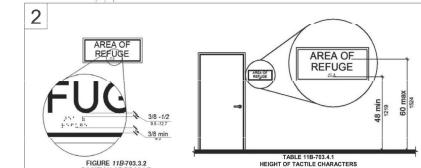


FIGURE 11B-703.2.2
POSITION OF BRAILLE

TABLE 11B-703.4.1
NEAREST BRAILLE CHARACTERS
ABOVE FLOOR OR GROUND



FIGURE 11B-704.2
LOCATION OF BRAILLE SIGN AT DOORS



PROPOSED FRONT ELEVATION

SCALE : NTS



440 E HUNTINGTON DR STE 300, ALCOMA, CA 91016
TEL: 310•551•4405 Email: info@theplace.com

URBAN LIFESTYLE GROUP
ARCHITECTURE | ENVIRONMENTAL DESIGN | CONSTRUCTION

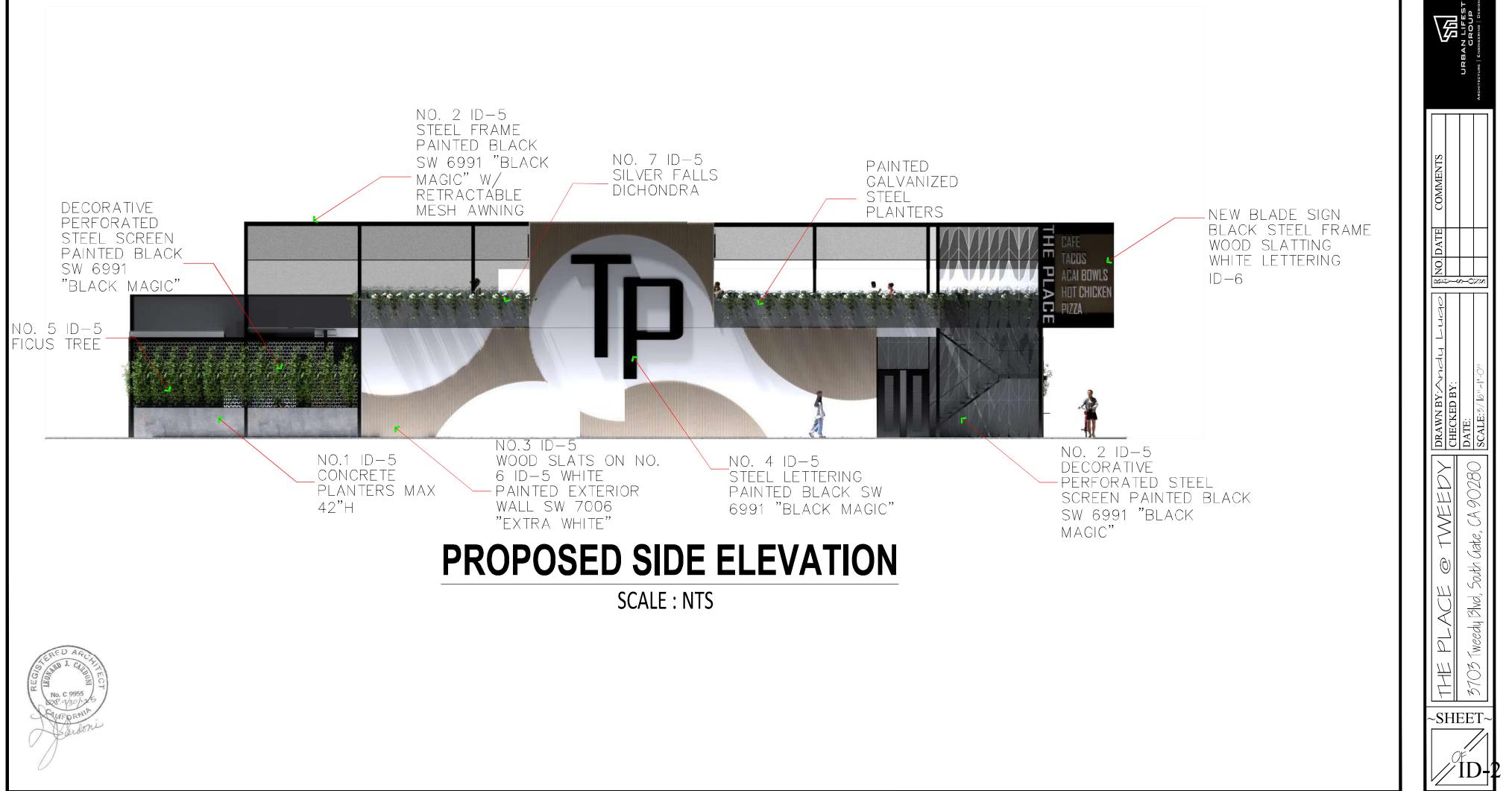
NO.	DATE	COMMENTS

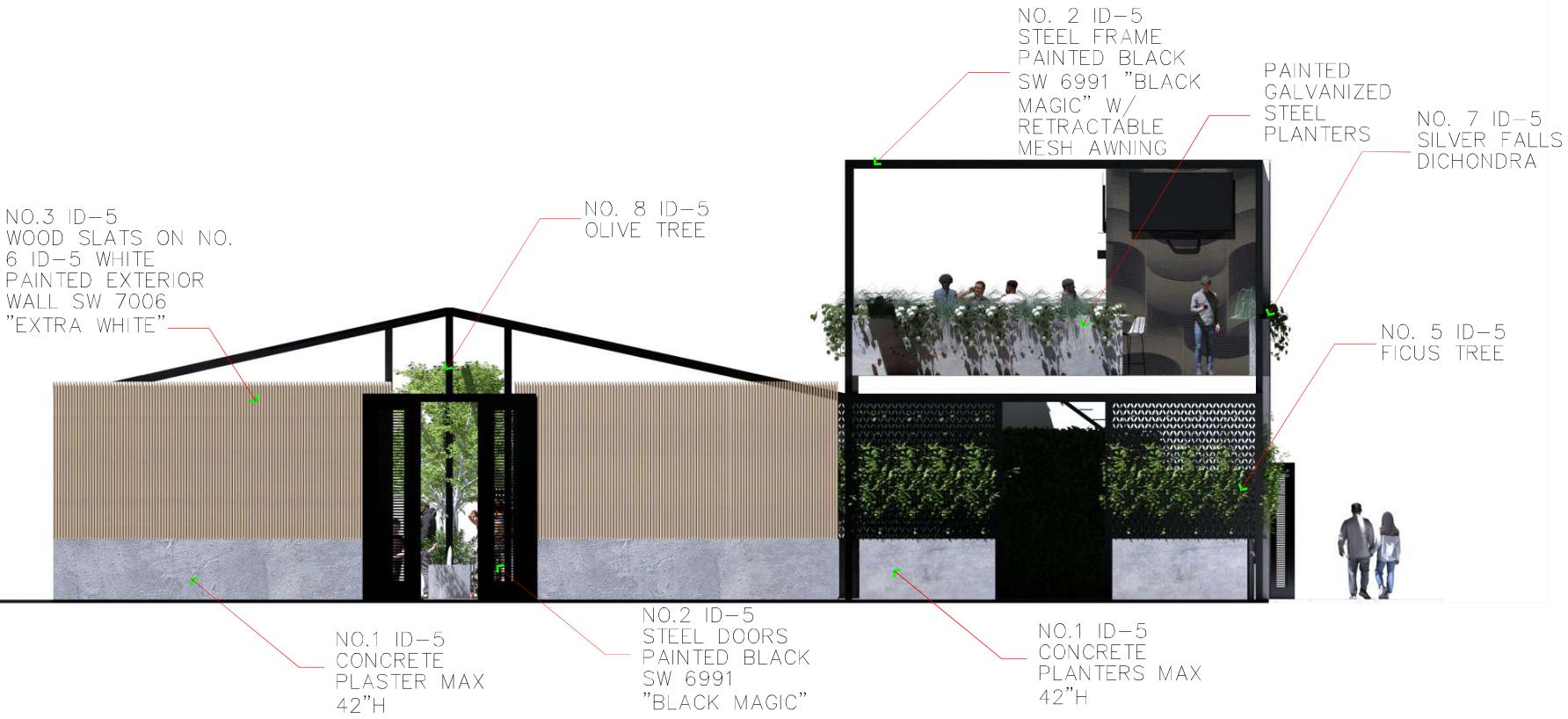
DRAWN BY: *✓* *✓* *✓* *✓* *✓* *✓* *✓*
CHECKED BY: *✓* *✓* *✓* *✓* *✓* *✓* *✓*
DATE: *✓* *✓* *✓* *✓* *✓* *✓* *✓*
SCALE: *✓* *✓* *✓* *✓* *✓* *✓* *✓*

THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

~SHEET~







PROPOSED BACK ELEVATION

SCALE : NTS



THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

~SHEET~



440 E HUNTINGTON DR STE 300, ALCOMA, CA 91016
TEL: 310-251-4405 Email: info@ulsg.com

DRAWN BY	checked	Lucas
CHECKED BY:		
DATE:		
SCALE:	1:100	

440 E HUNTINGTON DR STE 300, ALCOMA, CA 91016
TEL: 310-251-4405 Email: info@ulsg.com



440 E HUNTINGTON DR STE 300, ARCOMA, CA 91006
TEL: 310-551-1405 Email: info@thelsg.com

URBAN LIFESTYLE GROUP
ARCHITECTURE | ENGINEERING | DESIGN | CONSTRUCTION

DRAWN BY: ✓ revised LUCAS
CHECKED BY: _____
DATE: _____
SCALE: 1:100

THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280
RE-REGISTERED ARCHITECT
EDWARD J. DALE, FAIA
No. C 9955
EST. 1961
CALIFORNIA
J. L. Leron

~SHEET~
of
ID-4



NO.1 ID-5
CONCRETE
PLASTER MAX
42" H

SW 6991

Black Magic

FULL DETAILS ^

LRV: 3 [i](#)

RGB: 50 / 49 / 50

Hex Value: #323132

Location Number: 251-C3



NO.3 ID-5
WOOD SLATS



NO. 4 ID-5
STEEL LETTERING
PAINTED BLACK SW
6991 "BLACK MAGIC"



NO. 5 ID-5
FICUS TREE

SW 7006

Extra White

FULL DETAILS ^

LRV: 86 [i](#)

RGB: 238 / 239 / 234

Hex Value: #EEFEFA

Location Number: 257-C1

NO.6 ID-5 WHITE
PAINTED EXTERIOR
WALL SW 7006
"EXTRA WHITE"



NO. 7 ID-5
SILVER FALLS
DICHONDRA



NO. 8 ID-5
OLIVE TREE

440 E HUNTINGTON DR STE 300, ALCOMA, CA 91006
TEL: 310•551•4405 Email: info@theid5.com

URBAN LIFESTYLE
GROUP
ARCHITECTURE | ENVIRONMENTAL DESIGN | CONSTRUCTION

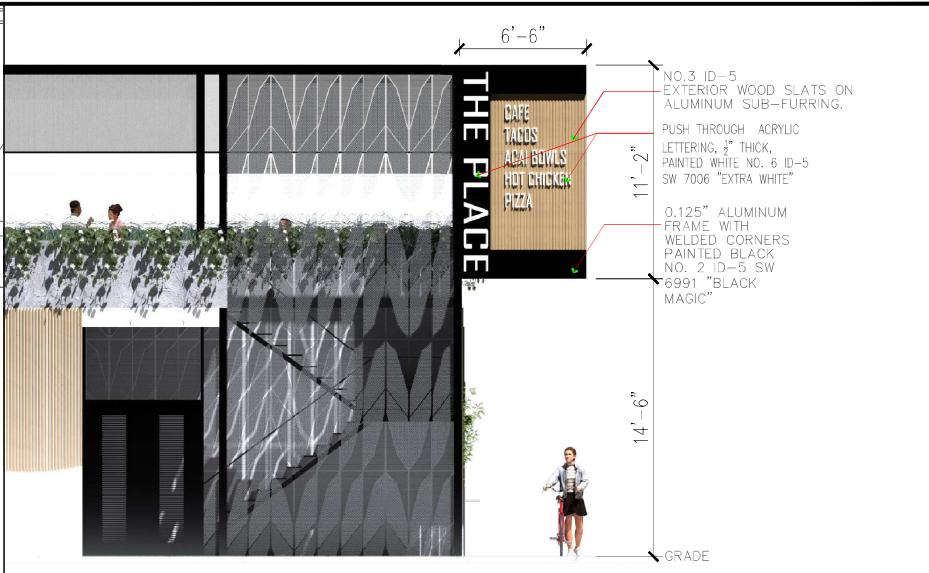
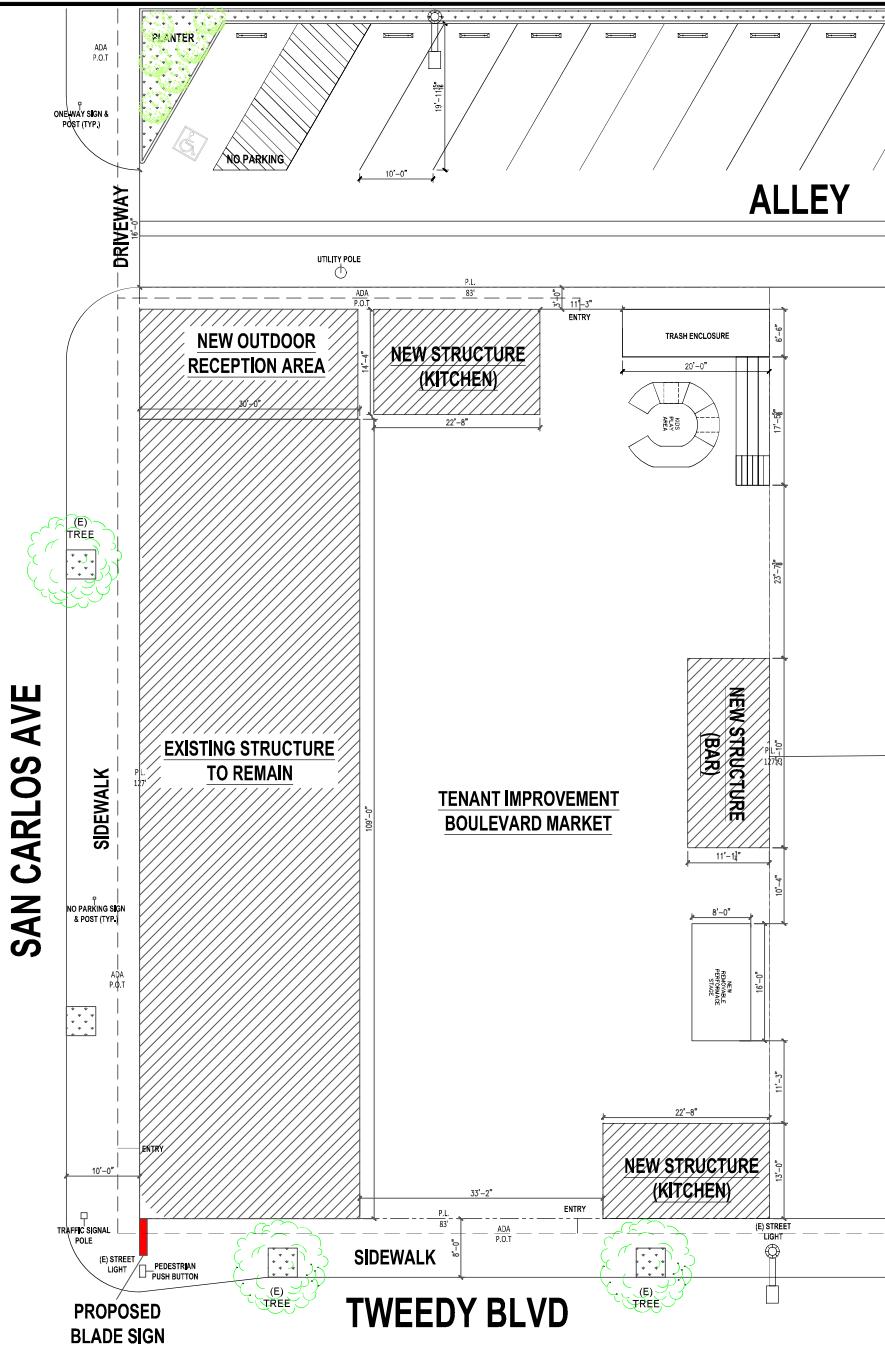
NO.	DATE	COMMENTS

THE PLACE @ TWEEDY
3705 Tweedy Blvd, South Gate, CA 90280

~SHEET~

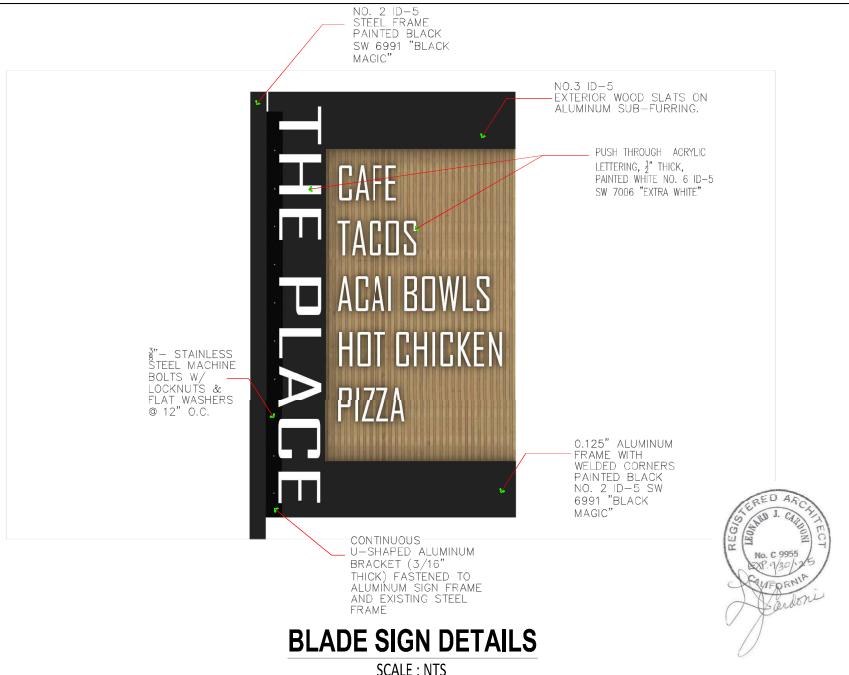
of
ID-5

REGISTERED ARCHITECT
LEONARD J. GARDNER
No. C 9995
SACRAMENTO, CALIFORNIA
J. L. Gardner



PROPOSED WEST ELEVATION BLADE SIGN

SCALE : NTS



BLADE SIGN DETAILS

440 E HUNTINGTON DR STE 300, ALEXANDRIA, VA 22314
TEL: 314-551-1403 Email: info@rithebig.com



THE PLACE @ TWEEDY	DRAWN BY: <i>✓necu</i>	NO DATE	COMMENTS
5350 Tweedy Blvd, South Gate, CA 902080	CHECKED BY: <i>✓necu</i>		
	SCALE: 1:1000000		

~SHEET~

