



To: Board of County Commissioners  
Planning Board

From: Jeremiah Combs, Planner

Date: April 10, 2023

Re: PD #2023-2  
Garden Street Communities Southeast, LLC  
Parcel ID# 00702, 26955, and 27330

*The following information is for use by the Lincoln County Board of Commissioners and Planning Board at their joint meeting/public hearing on May 1, 2023.*

### Request

The applicant is requesting the rezoning of 158.78 acres from R-T (Transitional Residential) and R-SF (Residential Single Family) to PD-R (Planned Development-Residential) to permit a subdivision with up to 104 single-family detached homes. Under the Lincoln County Unified Development Ordinance, any proposed subdivision with 50 or more lots is subject to approval through the planned development process. A concept plan and a PD-R report with terms and conditions for the proposed development have been submitted as part of the rezoning application and would serve as the master plan for the development if the rezoning request is approved. In addition, the applicant has provided minutes from a community involvement meeting that was held on March 16, 2023.

### Site Area and Description

The subject property is located on the west side of Salem Church Road about 1700 feet south of the intersection with Keever Dairy Farm Road in Ironton Township. The property is adjoined by parcels zoned R-T, R-SF and R-S (Residential Suburban). Land uses in this area are primarily residential and agricultural.



### Plan Conformance

This property is part of an area designated by the Lincoln County Land Use Plan as Single-Family Neighborhood, suitable for densities up to 2.0 dwelling units per acre. The proposed density for this development is 0.65 units per acre.

### Traffic Impact Analysis & Improvements

A traffic impact analysis (TIA) was performed for the proposed development, based upon the vehicular trips expected to be generated from 152 homes. The North Carolina Department of Transportation has reviewed and accepted the recommendations of the study, and Lincoln County Planning staff has confirmed that the recommendations of the study are in compliance with the level of service standards in the Lincoln County Unified Development Ordinance. No formal off-site improvements were recommended by the results of the study. Since the review and approval of the TIA, the applicant has reduced the number of proposed lots to 104, which did not change the recommendations of the TIA.

### Utilities

The applicant is proposing to serve the development with public water and private on-site wastewater systems.

### Additional Information

The UDO requires that a planned development include a minimum of 12.5% recreation and open space. Approximately 24.5% of the acreage in this proposed development would be reserved as recreation and open space. The proposed master plan complies with the UDO's subdivision and planned development standards for external access, internal road connectivity, sidewalks, and street trees, and an undisturbed 50-foot project boundary buffer.

### Staff's Recommendation

Staff recommends approval of the request. See the proposed statement on the following page.



## Zoning Amendment

### Staff's Proposed Statement of Consistency and Reasonableness

<b>Case</b>	PD #2023-2
<b>Applicant</b>	Garden Street Communities Southeast, LLC
<b>Parcel ID#</b>	00702, 26955, and 27330
<b>Location</b>	west side of Salem Church Road about 1700 feet south of the intersection with Keever Dairy Farm Road
<b>Proposed amendment</b>	Rezone 158.78 acres from R-T (Transitional Residential) and R-SF (Residential Single Family) to PD-R (Planned Development-Residential) to permit a subdivision with up to 104 single-family detached homes

This proposed amendment **is consistent** with the Lincoln County Land Use Plan and other adopted plans in that:

**The subject property is part of an area designated by the Lincoln County Land Use Plan as Single-Family Neighborhood, suitable for densities up to 2.0 dwelling units per acre. The proposed density for this development is 0.65 units per acre.**

This proposed amendment **is reasonable** in that:

**Developed property in the surrounding area is primarily residential. The plans for this subdivision meet all of the requirements of the Unified Development Ordinance. Approximately 24.5% of the property will be set aside as recreation and open space.**



**Planned Development Rezoning Application**

Lincoln County Planning and Inspections Department  
Zoning Administrator  
302 N. Academy St., Lincolnton, NC 28092  
Phone: (704)736-8440 Fax: (704)732-9010

**PART I**

Applicant Name Garden Street Communities Southeast, LLC  
Applicant Address 3401 St. Vardell Ln. Ste B Charlotte NC 28217  
Applicant Phone Number 704 558-4527  
Property Owner Name B + T. Development Inc.  
Property Owner Address 4362 Asbury Church Rd Lincolnton NC 28092  
Property Owner Phone Number 704 740-8020

**PART II**

Property Location Salem Church Rd  
Property ID (10 digits) 364-221-9568 Property size 168.76 Acres  
Parcel # (5 digits) 27330 Deed Book(s) N/A Page(s) \_\_\_\_\_  
00702, 26958

**PART III**

Existing Zoning District RS Proposed Zoning District PD-R

Briefly describe how the property is being used and any existing structures.  
Property is vacant, primarily wooded with some cut over from previous timber. No structures on the property

Briefly described the proposed planned development.  
104 lot 1 acre and up size single family residential

**\*SEE PLANNING DEPT. FOR PLANNED DEVELOPMENT FEES.**

I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.

Applicant's Signature [Signature]  
Garden Street Communities Southeast, LLC  
Michael Patrick Green, V.P. OF OPERATIONS

2.1.2023  
Date

The Shoals Subdivision  
Salem Church Road  
LINCOLN COUNTY, NC

## 1. PROJECT INFORMATION

The Shoals Subdivision is a proposed single family residential community consisting of single family detached homes on an approximately 158.76 acre site on the west side of Salem Church Rd. (see Preliminary Development Concept Plan). The project will include Parcel ID numbers 27330, 26955 & 00702 and Identified as Pin numbers 3642-22-6857, 3642-21-9568 & 3642-41-6636. The current plan features a total of up to 104 single family lots with a density of up to .65 units per acre.

Access to the site will be from Salem Church Rd., as generally depicted on the Preliminary Development Concept Plan. Land uses surrounding the site consist of single family residential homes. The Preliminary Development Concept Plan with vicinity map is included for reference.

A key feature of the proposed community will be the ample open spaces and existing stream. Approximately +/- 24.53 % of the site will be left undeveloped as natural buffer area and/or passive open space.

The property is currently zoned R-SF. Proposed zoning will be PD-R. The property is located in a regulated watershed of the South Fork of the Catawba River, which limits density to 2 homes per acre.

## 2. GENERAL PROVISIONS

The Planned Development Concept Plan is intended to reflect a generalized arrangement of the site in terms of lot layout, street network, and open space areas. Final lot configuration, placement and size of the individual site elements, streets alignments, etc. may be altered or modified within the limits of the Lincoln County Unified Development Ordinance and the standards established within these conditional notes during the design development (platting) and construction documentation phases. The Petitioner reserves the right to make minor modifications and adjustments to the approved Planned Development Concept Plan, including minor reconfiguration of lots and street layout, subject to staff approval, provided that the total number of residential units does not exceed the maximum permitted. Any major modifications will require resubmittal to the Board of Commissioners per section 9.5.12 of the UDO.

## 3. DEVELOPMENT STANDARDS

Pursuant to Sections 2.4.9 and 9.5 of the Lincoln County Unified Development Ordinance entitled Planned Development Districts and Planned Development Review respectively; the Petitioner seeks to obtain approval of the use of the following Development Standards concurrently with the approval of the Rezoning Petition. These standards, as established both by the conditional notes as set out below and as depicted on the Planned Development Concept Plan shall be followed for the development of the property. Unless otherwise approved as part of these conditional notes, the Lincoln County Unified Development Ordinance shall prevail when developing the site.

Each home shall contain no less than 2 different materials on front elevations exclusive of trim. These materials may consist of brick, stucco, stone, architectural concrete, cement fiber board, vinyl siding, wood, or shakes.

#### A. PERMITTED USES

The project shall be limited to detached single family residential dwellings along with any incidental or accessory uses and amenity.

Uses on the Common Open Space (COS) may include pool, clubhouse, landscaping, fences, walls, berms, pedestrian trails, recreational uses, entry signage, monuments, and storm water BMPs (if required).

#### B. DENSITY

Gross residential density for the project will not exceed .65 units per acre with open swales. Open space areas shall be included in the calculations for gross residential density.

#### C. LOT STANDARDS

The proposed development includes a Class 'B' buffer around the perimeter of the project per section 3.4.6 of the UDO. Existing vegetation will be used to meet the buffer requirements where possible. Residential lots will have the following minimum setbacks:

<b>Front Minimum Setback</b>	<b>30 feet</b>
<b>Garage Minimum Setback:</b>	<b>30 feet (from right of way)</b>
<b>Side Minimum Setback:</b>	<b>10 feet</b>
<b>Side Corner Minimum Setback:</b>	<b>20 feet</b>
<b>Rear Minimum Setback</b>	<b>40 feet</b>

Building height shall be limited to 40 feet. Lot platting will meet Lincoln County subdivision regulations.

Overhanging roof, eave, gutter, chimneys, bay windows, cornice or other architectural feature and awnings may extend into required yards in conjunction with yard encroachments discussed in section 2.6.10.B in the UDO.

#### D. GENERAL SITE DESIGN

The following items are offered as part of this development:

1. Streets within the subdivision shall be designed per NCDOT standards. Roadways will be dedicated to NCDOT for maintenance once density requirements are met.
2. The project will contain the following amenity features. These proposed amenities will be installed prior to the recording of the plat for Phase 2.
  - a. Landscape areas
  - b. Enhanced entry

- c. A signage plan shall be submitted at the time construction drawings are prepared for the first section of the development. Signage shall conform to standards of the Lincoln County Unified Development Ordinance. Signage shall be monumentation constructed of stone or brick material with integrated fencing or other similar mixture of materials at the petitioner's discretion, which complement the architectural characteristics of the neighborhood.
3. A minimum of a 50' COS with a 20' perimeter undisturbed Class B buffer will be provided along the project boundary.
4. Canopy street trees, with a minimum of 1.5 inch caliper at time of planting, shall be placed at the rate of one canopy tree per lot or one canopy tree for every 40 linear feet (spaced a maximum of 50 feet apart) along both sides of the proposed streets. Driveway locations and street intersections may vary the placement of street trees.
5. ("Intentionally left blank")
6. Mailbox kiosks will be located and reviewed by the Postmaster.
7. Telephone, cable TV, electricity, and natural gas will be provided by local utility companies, if applicable. Utilities within the community shall be placed underground. The main feed lines and transformers from the main road may be located above ground.
8. Garbage collection will be provided by a private service and included in homeowner association dues.
9. Open Space:
  - a. The project will exceed the minimum 12.5% common open space requirement by offering a minimum of +/- 24.53% common open space in the development. Common open space will be provided as generally depicted on the Planned Development Concept Plan.
  - b. The project will offer a Class B perimeter buffers as required by the Lincoln County UDO.

#### E. STORMWATER COMPLIANCE

The development will be subject to Lincoln County's storm water management regulations in place at the time of preliminary plat submittal. Storm water BMPs are currently not proposed but will be used if required by 401/404 state permits. Stream buffers shall be provided along all jurisdictional streams in accordance with NCDENR and Lincoln County requirements.

The Petitioner will work with staff to provide a thorough explanation on how site stormwater will be managed on site in an effort to mitigate off site run off during peak storm events.

## F. ESTABLISHMENT OF A HOME OWNERS ASSOCIATION

A Home Owners Association shall be established and will be responsible for maintaining all rights-of-way, landscaping, signs, amenity features, storm water BMPs (if required), trails and common open space areas. The documents covering the structure of the association shall be filed with the recorded final plat.

## G. RESTRICTIVE COVENANTS

Restrictive Covenants will be created and recorded prior to final plat recordation, to establish, among other items, permitted uses and maintenance responsibility of the home owners association. Restrictive covenants will include language that ensures stream buffers, perimeter buffers, and setback areas are protected.

## VEHICULAR ACCESS AND ROAD IMPROVEMENTS

Vehicular access: Access will be provided via two main entrances along Salem Church Rd., as generally depicted on the Preliminary Development Concept Plan. The local residential streets will have a 50' right-of-way with a minimum of a five foot sidewalk and six foot planting median on one side of the street only as depicted on the Preliminary Development Concept Plan. Access locations depicted on the Preliminary Development Concept Plan are subject to NCDOT approval and may be modified as needed to meet NCDOT requirements.

Improvements to Existing Roads: A Traffic Impact Study (TIS) is not required for this project.

Salem Church Rd and Site Drive 1 (Southern Main Entrance Drive):

- Construct Site Drive 1 with one ingress lane and one shared egress lane (left-right), as required by NCDOT.

Salem Church Rd and Site Drive 2 (Northern Secondary Entrance Drive):

- Construct Site Drive 2 with one ingress lane and one shared egress lane (left-right), as required by NCDOT.

## I. PERMITTING

The Petitioner understands that all permits from Lincoln County and appropriate agencies must be obtained prior to grading or construction activities.

## J. CONSTRUCTION SCHEDULE AND PHASING

This proposed residential community shall be constructed in two (2) phases and phase lines are preliminary identified on the Preliminary Development Concept Plan. Construction of infrastructure will begin in the third quarter of 2023. The subsequent second phase will be completed and recorded by 2024 given favorable market conditions.

## K. MODEL HOMES / SALES OFFICES

Model homes may be constructed within residential areas. Mobile temporary sales offices shall be allowed at the developer's discretion and shall be subject to any special permits required by Lincoln County.

## L. WATER AND SEWER AVAILABILITY

The Petitioner understands that water and sewer availability must be approved by Lincoln County prior to development. It is the Petitioner's responsibility to incur all permit fees, availability fees, infrastructure costs for providing the water and sewer throughout the project for all buildings.

Water is available along Salem Church Rd. Relocation of the existing water line along the property

frontage may be required due to lane widening for turn lanes. Any water line relocation will be coordinated with Lincoln County and NCDOT.

Gravity sewer is not currently available.

All utility installation will be performed in accordance with County standards.

## M. APPLICABLE ORDINANCES & PLANS

Development will be subject to the standards and requirements of the Lincoln County UDO in effect at the date of submission of the application for rezoning. The development is also subject to the Lincoln County Land Use Plan and recommendations thereof.

## N. BINDING EFFECT

All conditions applicable to the development of the property approved with this rezoning, unless amended by the manner provided in the UDO, shall be binding to the Petitioner and subsequent owners of the site and their assignees.

## O. AMENDMENTS TO THE APPROVED CONDITIONAL DISTRICT PLAN

It is understood that the owner of the property must apply for any future amendments to the Development Standards, Conditional Notes and in accordance to the provisions of the UDO.



**Lincoln County, NC**  
**Office of the Tax Administrator, GIS Mapping Division**  
 Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD.  
 Date: 4/10/2023      Scale: 1 Inch = 800 Feet

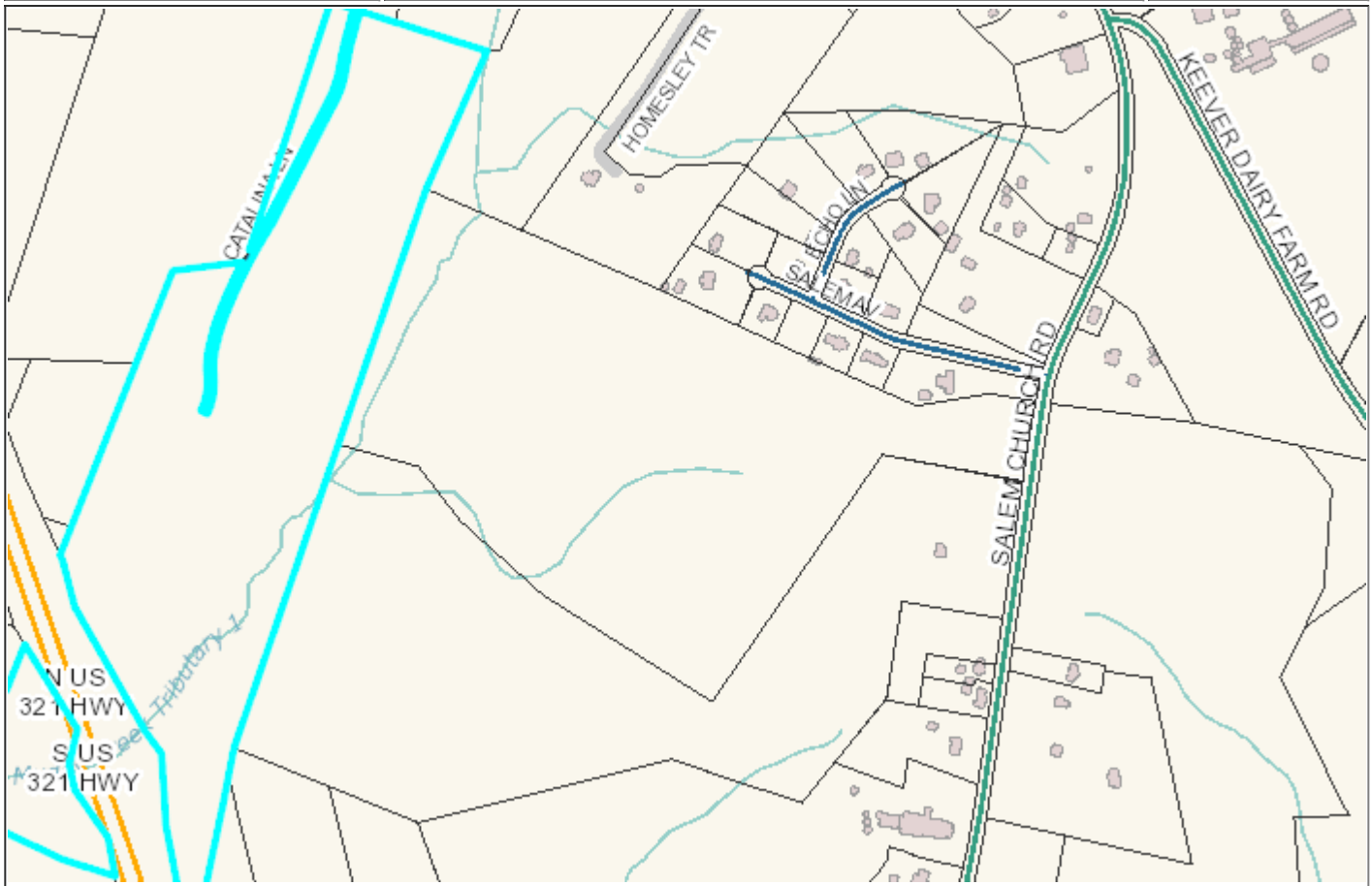
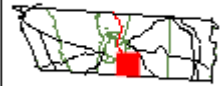


Photo Not Available

<b>Parcel ID</b>	26955	<b>Owner</b>	B & T DEVELOPMENT INC
<b>Map</b>	3642	<b>Mailing</b>	4362 ASBURY CH RD
<b>Account</b>	132484	<b>Address</b>	LINCOLNTON, NC 28092
<b>Deed</b>	1587 692	<b>Last Transaction Date</b>	05/05/2004
<b>Plat</b>		<b>Subdivision</b>	
<b>Land Value</b>	\$522,927	<b>Improvement Value</b>	\$0
<b>Previous Parcel</b>		<b>Total Value</b>	\$522,927

-----All values for Tax Year 2023 -----

<b>Description</b>	W SHYTL/OFF RD 1001	<b>Deed Acres</b>	61.85
<b>Address</b>	CATALINA LN	<b>Tax Acres</b>	67.482
<b>Township</b>	IRONTON	<b>Tax/Fire District</b>	SOUTH FORK
<b>Main Improvement</b>		<b>Value</b>	
<b>Main Sq Feet</b>		<b>Year Built</b>	
<b>Zoning District</b>	Calc Acres	<b>Voting Precinct</b>	Calc Acres
R-T	67.48	SL24	67.48
<b>Watershed</b>	67.48	<b>Sewer District</b>	67.48
<b>Census County</b>		<b>Tract</b>	<b>Block</b>
109		070300	2000
109		070300	2027

<b>Flood Zone Description</b>	<b>Panel</b>
X NO FLOOD HAZARD	3710364200 59.72
X NO FLOOD HAZARD	3710364100 2.99



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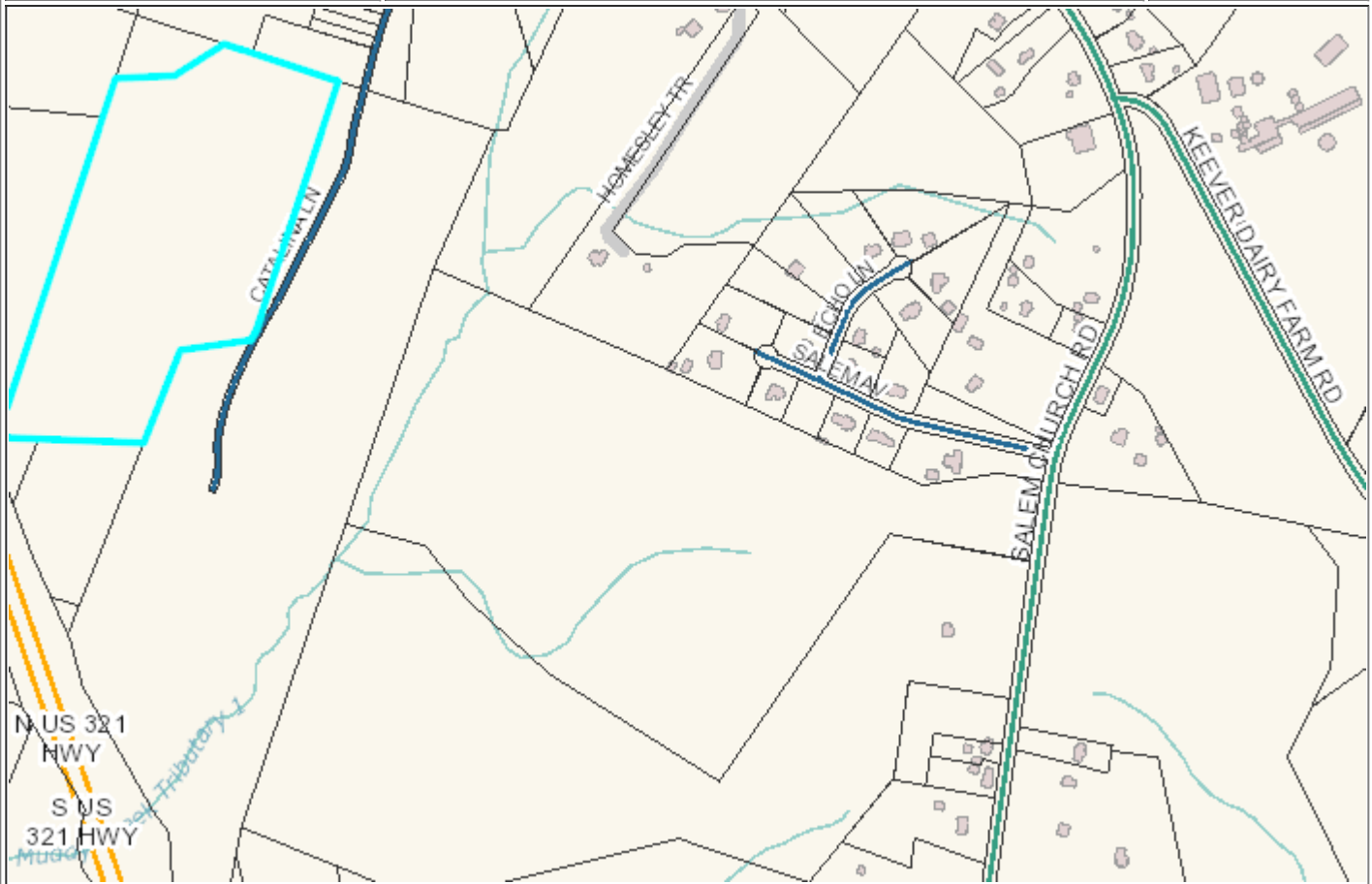
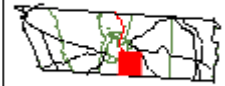


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<b>Parcel ID</b>	27330	<b>Owner</b>	B & T DEVELOPMENT INC	
<b>Map</b>	3642	<b>Mailing</b>	4362 ASBURY CH RD	
<b>Account</b>	132484	<b>Address</b>	LINCOLNTON, NC 28092	
<b>Deed</b>	1587 695	<b>Last Transaction Date</b>	05/05/2004	<b>Sale Price</b> \$163,500
<b>Plat</b>		<b>Subdivision</b>		<b>Lot</b>
<b>Land Value</b>	\$307,891	<b>Improvement Value</b>	\$0	<b>Total Value</b> \$307,891
<b>Previous Parcel</b>				
-----All values for Tax Year 2023 -----				
<b>Description</b>	CARPENTER	<b>Deed Acres</b>	32.57	
<b>Address</b>	CATALINA LN	<b>Tax Acres</b>	32.574	
<b>Township</b>	IRONTON	<b>Tax/Fire District</b>	BOGER CITY	
<b>Main Improvement</b>		<b>Value</b>		
<b>Main Sq Feet</b>		<b>Stories</b>	<b>Year Built</b>	
<b>Zoning District</b>	Calc Acres	<b>Voting Precinct</b>	Calc Acres	
R-T	32.57	SL24	32.57	
<b>Watershed</b>		<b>Sewer District</b>		
	32.57		32.57	
<b>Census County</b>		<b>Tract</b>	<b>Block</b>	
109		070300	2000	32.57
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>		
X	NO FLOOD HAZARD	3710364200	32.57	



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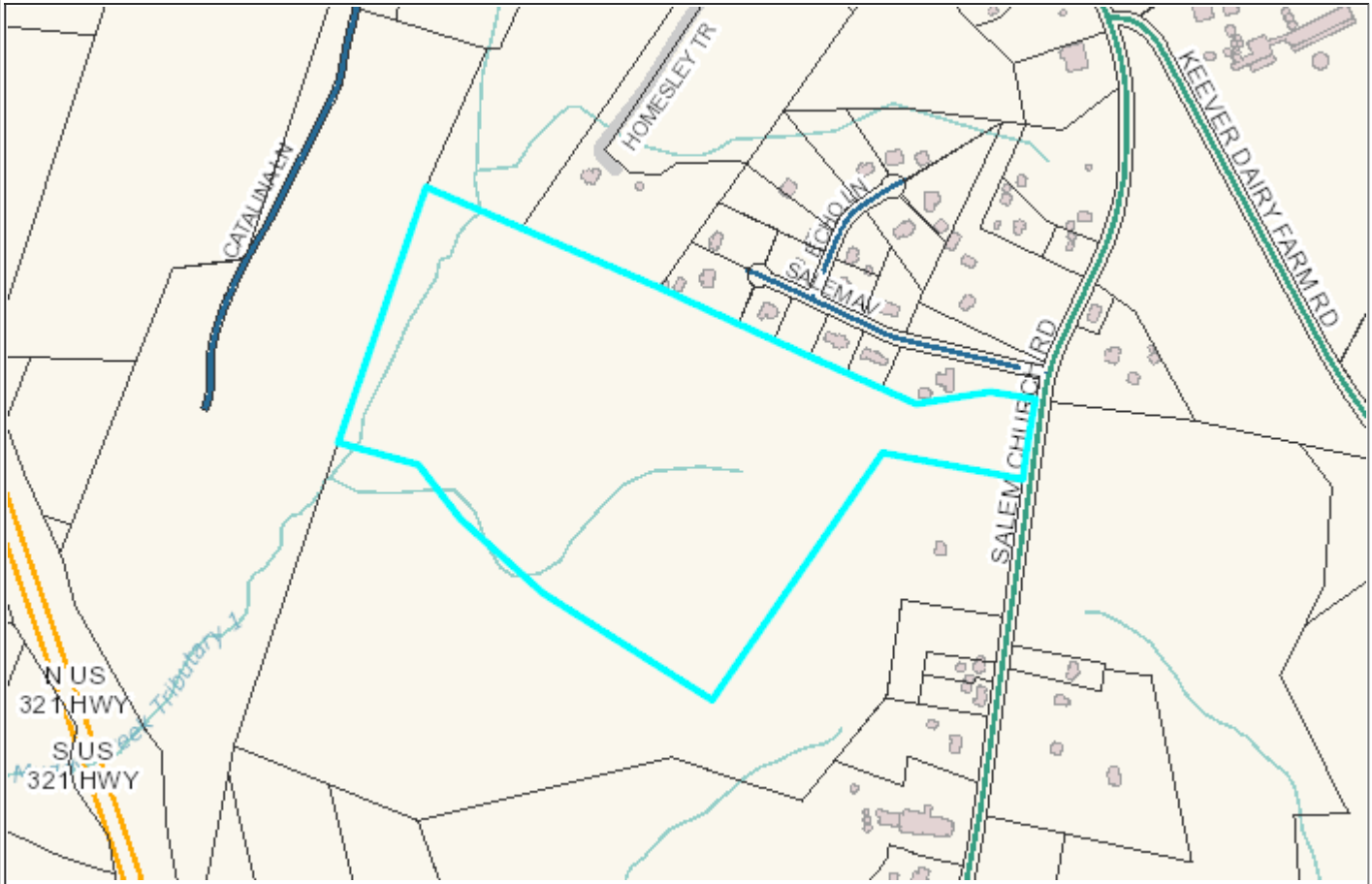
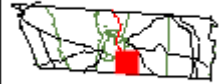
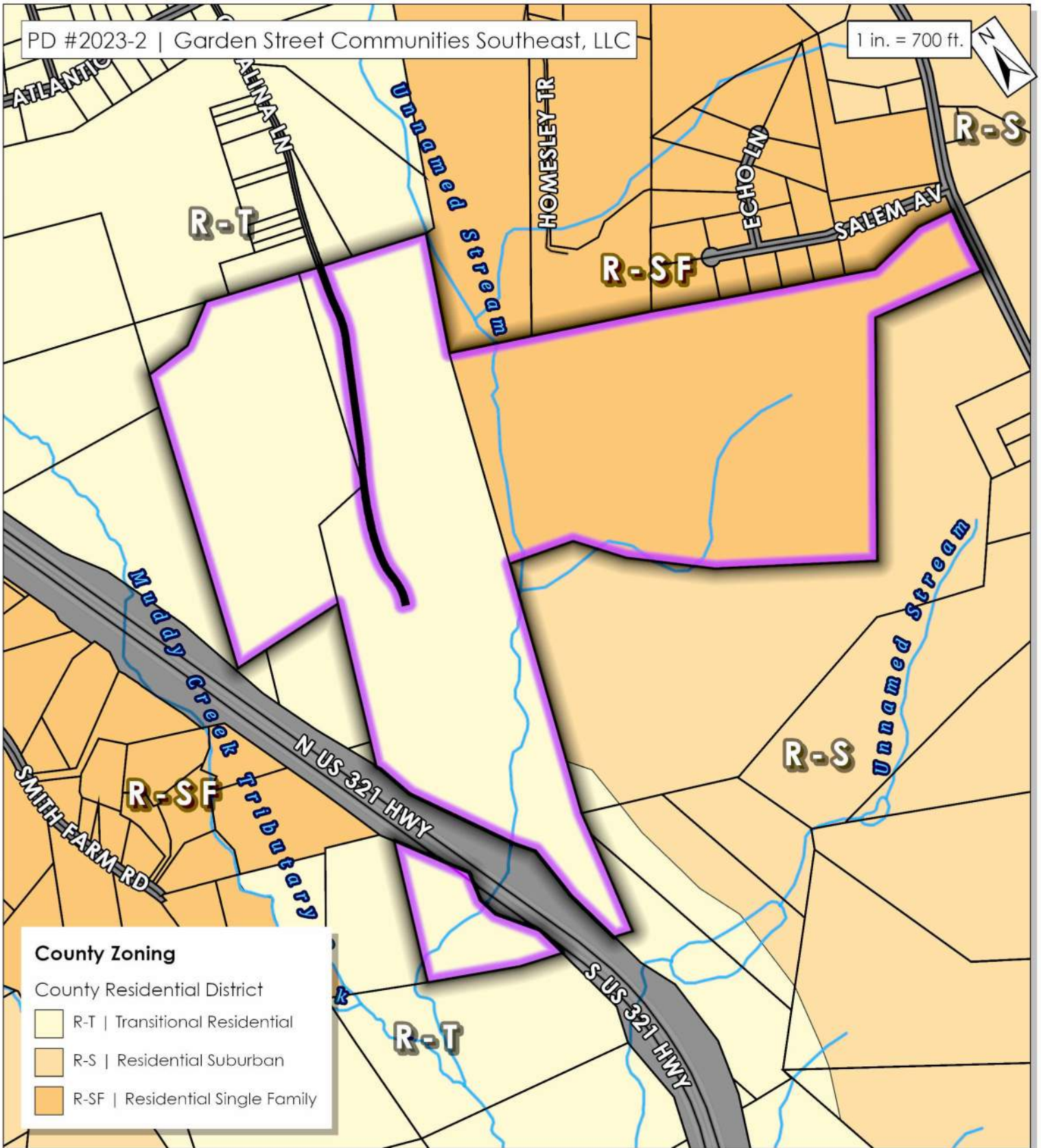


Photo Not Available

<b>Parcel ID</b>	00702	<b>Owner</b>	B & T DEVELOPMENT INC
<b>Map</b>	3642	<b>Mailing</b>	4362 ASBURY CHURCH RD
<b>Account</b>	165337	<b>Address</b>	LINCOLNTON, NC 28092
<b>Deed</b>	1439 222	<b>Last Transaction Date</b>	03/14/2003
<b>Plat</b>		<b>Subdivision</b>	
<b>Land Value</b>	\$611,073	<b>Improvement Value</b>	\$0
<b>Previous Parcel</b>		<b>Total Value</b>	\$611,073

-----All values for Tax Year 2023 -----

<b>Description</b>	MCSWAIN LAND RD 10 1	<b>Deed Acres</b>	69.3
<b>Address</b>	SALEM CHURCH RD	<b>Tax Acres</b>	68.668
<b>Township</b>	IRONTON	<b>Tax/Fire District</b>	SOUTH FORK
<b>Main Improvement</b>		<b>Value</b>	
<b>Main Sq Feet</b>		<b>Year Built</b>	
<b>Zoning District</b>	R-SF	<b>Calc Acres</b>	68.67
		<b>Voting Precinct</b>	SL24
		<b>Calc Acres</b>	68.67
<b>Watershed</b>	66.97	<b>Sewer District</b>	68.67
	1.7		
<b>Census County</b>	109	<b>Tract</b>	070300
		<b>Block</b>	2000
			68.67
<b>Flood</b>	X	<b>Zone Description</b>	NO FLOOD HAZARD
		<b>Panel</b>	3710364200
			68.67



**County Zoning**

County Residential District

-  R-T | Transitional Residential
-  R-S | Residential Suburban
-  R-SF | Residential Single Family



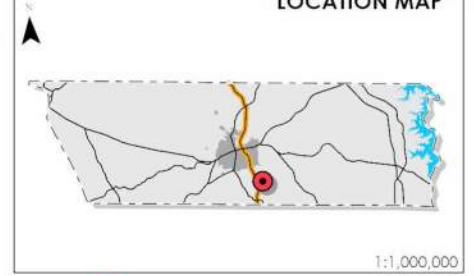
Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092

Parcel ID # 00702, 26955, & 27330

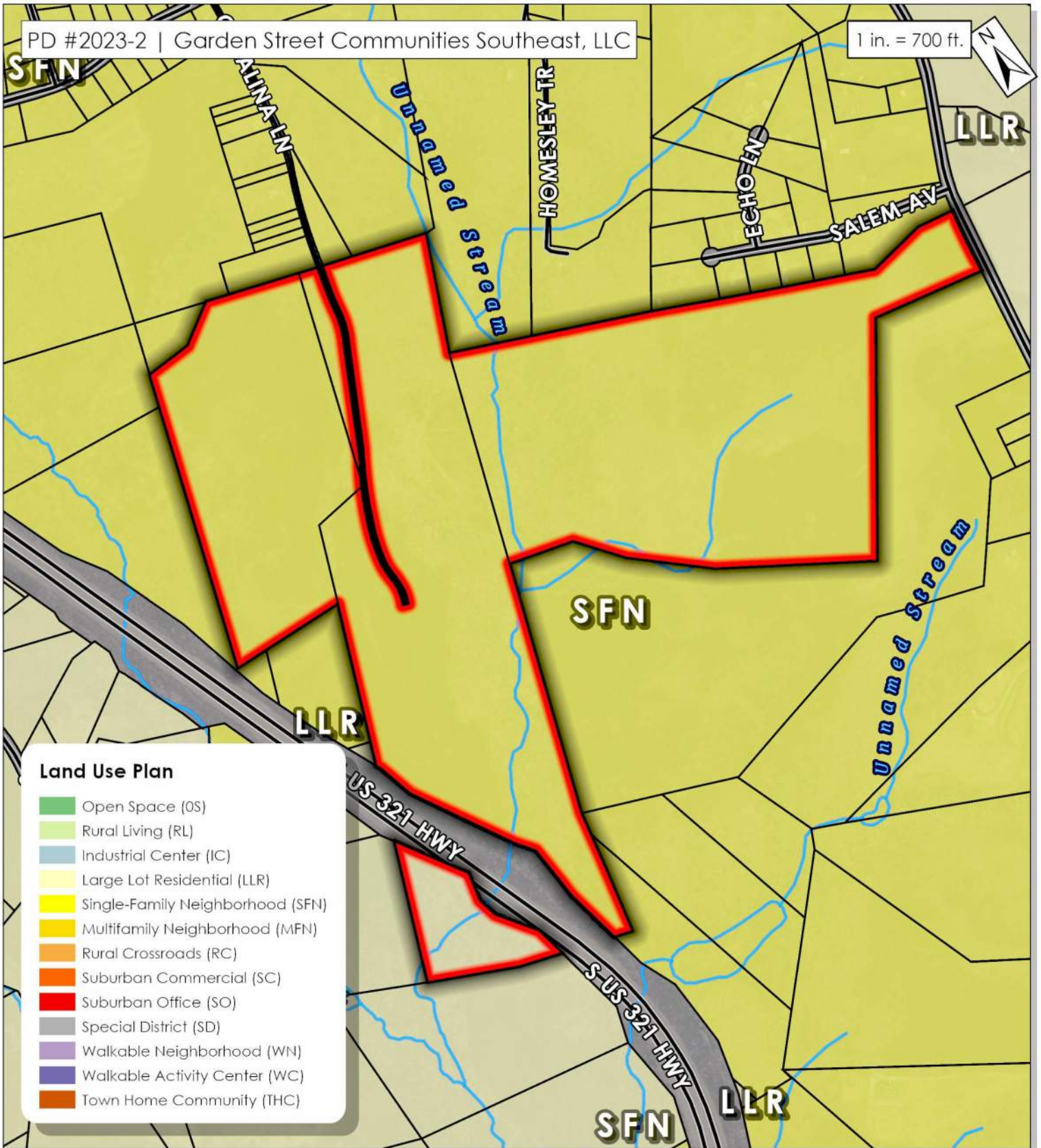
 - Property Location(s)

See Attached Application for Parcel Information

**LOCATION MAP**



 Property Location(s)



**Land Use Plan**

- Open Space (OS)
- Rural Living (RL)
- Industrial Center (IC)
- Large Lot Residential (LLR)
- Single-Family Neighborhood (SFN)
- Multifamily Neighborhood (MFN)
- Rural Crossroads (RC)
- Suburban Commercial (SC)
- Suburban Office (SO)
- Special District (SD)
- Walkable Neighborhood (WN)
- Walkable Activity Center (WC)
- Town Home Community (THC)

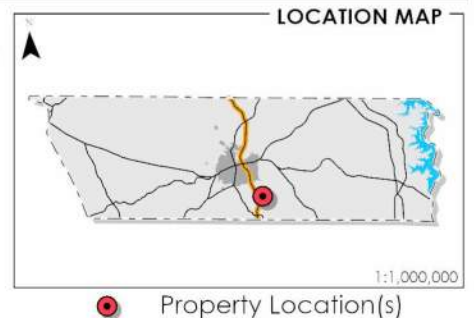


Lincoln County  
 Planning & Inspections  
 115 W. Main St  
 3rd Floor  
 Lincolnton, NC 28092

Parcel ID # 00702, 26955, & 27330

- Property Location(s)

See Attached Application for Parcel Information



● Property Location(s)



# Lincoln County Project Reviews



**Project Number: ZONE23-00037**

Description: **PD #2023-2 (Garden Street Communities Southeast, LLC)**

Project Type: **ZONING CASE**

Parcel ID: **26955**

Sub Type: **PLANNED DEVELOPMENT - RESIDENTIAL**

Applicant: **Garden Street Communities Southeast, LLC**

Applied: **2/2/2023**

Approved:

Owner: **B & T DEVELOPMENT INC**

Status: **UNDER REVIEW**

Balance: **\$ 0.00**

Surveyor: **<NONE>**

Details:

**2/2/23 - Jeremiah moved all review comments from ZONE23-00010 to ZONE23-00037. The pre application comments were housed under this permit and multiple parcels were not linked as additional sites. ZONE23-00010 has been voided and the case will be recorded under ZONE23-00037. The other two parcels 00702 and 27330 have been linked as additional sites so that the search function will pick up this ZONE23# regardless of the parcel it is searched by.**

JLG

## LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
1/17/2023	2/2/2023	1/26/2023	ENVIRONMENTAL HEALTH ON-SITE PRE-APPLICATION	Jonathan Harris	COMPLETE	
Notes: No Septic permits requested						
1/17/2023	1/26/2023	1/26/2023	FIRE MARSHAL - COUNTY PRE-APPLICATION	Burl Shrum	COMPLETE	
Notes: In developments, hydrants shall be no further apart than 500 feet Hydrants shall be yellow in color. Waterlines suppling hydrants shall be not less than 6 inches in size. Centerline of hydrant connections shall be no less than 18 inches above finish grade. Hydrants shall be flow tested and operating before structure construction begins flow test is the responsibility of the contractor. A minimum of three feet clearance shall be around all hydrants both during and after construction. Emergency vehicle travel lane shall be 20 feet wide minimum both during and after construction. All streets shall be a minimum 20 feet wide pavement edge to edge. All cul-d-sacs and turn arounds shall meet DOT specs.						
1/17/2023	1/24/2023	1/26/2023	INSPECTIONS PRE-APPLICATION	Jeff Wesdyk	COMPLETE	
Notes: No building structures to review. Mail Kiosk to meet ADA requirements						





# Lincoln County Project Reviews



1/17/2023	1/17/2023	1/26/2023	NATURAL RESOURCES PRE-APPLICATION	Danielle Rudisill	COMPLETE	SEE NOTES
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Notes:

All erosion control packages that are submitted must have copies of the approved 404 and 401 permits (if applicable to project) included. If they are not included it will be considered an incomplete package and will not be reviewed.

2. Jurisdictional wetland determination will need to be submitted for all parcels included.
3. Must submit a copy of the current deed for the parcel.
4. Owner on the deed and the FRO notarized signature must match. (If the owner is a company the signature on the FRO must also match the registered agent or a title holder from the Secretary of States Corporation's page. If the owner of the land and the company financially responsible for the project are different a letter from the landowner agreeing to the work performed must be submitted.
5. All fill slopes will be required to follow state terracing guidelines found in Section 6.02 of the Erosion and Sediment Control Planning and Design Manual and terracing must be shown on the plan contours (an engineered retaining wall may take the place of this requirement).
6. When the package is submitted please include the ORIGINAL FRO and not a copy.
7. Are lots being graded at same time as the roads or will this simply be a plan submitted for roads/infrastructure only? If lots will be graded and padded at same time and houses will be built at same time please include individual lot erosion control measures inside of master plan submittal.
8. NC DOT driveway permits (if applicable) must be submitted with package to be considered complete. (Review of application will not begin if package is incomplete.)
9. All Powerline Easement/Pipeline Easement grading and construction permission letters (if applicable) must be submitted with package to be considered complete. (Review of application will not begin if package is incomplete.)
10. When calculating basins use a C-Factor of 0.6 for all graded areas and a rainfall intensity factor of 7.08 or higher.
11. All plans submitted that have 20 acres or more of disturbance will be required to have extra measures.
  - a. Basins must be designed for a 25 year storm
  - b. All slopes and areas along water bodies will require double row silt fence with hog wire backing.
  - c. Construction Entrances will be a minimum of 100 ft. in length.

Submit Delete Note  
 1/17/2023 3:35:57 PM (Danielle Rudisill)

- \* Any required offsite work must also be included in the plan set with appropriate EC measures and landowner permission letters.
- \* 2nd entrance appears to be on property owned by Mary Dorton-permission letter to be submitted with plan set.
- \* Property is located in a protected watershed.
- \* Majority of soils on this site are listed as moderately to poorly suited for building site development due to low permeability and/or slope. Also, the soils onsite pose a very severe hazard for erosion.

1/17/2023	1/19/2023	1/26/2023	NCDOT PRE- APPLICATION	Michael Watson	COMPLETE	
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Notes:

- 1) Proposed sidewalk along Salem Church Rd should be behind ditchline and outside of AASHTO Clear Zone – Encroachment needed if within Right-of Way
- 2) Encroachment required for any water/sewer connections within Salem Church Rd Right-of-Way
- 3) Provide cul-de-sac typicals (standard and offset) that meets NCDOT standards
- 4) Sidewalk placement along internal roads should be shown on the roadway typical section behind ditch and must be outside of AASHTO Clear Zone on fill slope side
- 5) Proposed plantings must meet NCDOT Guidelines for Planting Within Highway Right-of-Way
- 6) Use approved Superpave mix type (labeled on road typical)
- 7) Mailbox cluster turnout design should meet NCDOT Guidelines (25' per space, Right-of-Way should mirror pavement edge) – One space for each 20 patrons (or fraction thereof)





# Lincoln County Project Reviews



1/17/2023	1/26/2023	1/26/2023	PLANNING	Jeremiah Combs	COMPLETE	
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Notes:

- 1) Please do not use duplicate lot numbers in each phase.
- 2) The phase labels are reversed.
- 3) There are duplicate lot numbers (29 and 30) in Phase 2.
- 4) Temporary cul-de-sac turnarounds will be required at the phase line.
- 5) The Open Space note needs to be consistent with Note 19.
- 6) Note 20 needs to be removed.
- 7) Parking spaces at cluster mailbox turnouts must be at least 25 feet in length.
- 8) The lot line is missing between Lot 7 and Lot 8.
- 9) The right-of-way stub to the property boundary should be 50 feet wide.

1/17/2023	1/19/2023	1/26/2023	PUBLIC WORKS - COUNTY PRE- APPLICATION	Jonathan Drazenovich	COMPLETE	
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Notes:

- 1) The County has a 12" water main running along Salem Church Rd on the project side of the water.
- 2) Standard separations between water and sewer will need to be maintained off existing water main on Salem Church Rd.
- 3) The County requires connections to the water main at each entrance of proposed subdivision.
- 4) Be aware that water meter boxes cannot be installed in driveway. This becomes a problem with the small road frontages in the cal-de-sac.
- 5) Standard easements will be required for any water mains not in the R/W.
- 6) The water line will need to be designed to all applicable State and County standards.



# Summary of Community Involvement Meeting (CIM)

## Lincoln County Community Meeting

March 16, 2023

"The Shoals"- Salem Church Rd.

Meeting Minutes

Location: Lincoln County Government Office

Hwy 321 Business

Meeting Time: 6:30

Jeremiah Combs with the Lincoln County Planning Department called the meeting to order at 6:33 by welcoming those present/ He spoke briefly about the intent of the CIM and the process going forward for the approval of "The Shoals" on Salem Church Rd. He reiterated if you received a letter for this meeting, you would also receive a letter for the joint Planning Board/Commissioner Meeting which the earliest this would be heard would be Tuesday May 1. He then introduced Garden Street Communities Southeast representative, Greg Williams and turned the meeting over to Williams. There were 10 participants counted in the audience.

Williams welcomed everyone and introduced himself and the project engineer, Frank Craig from Gastonia. Williams explained why this was being done again with the resubmittal of a revised design for the property which is owned by B&T Development group, LLC, Buddy and Todd Pigg of Lincoln County and owners of Sentry Drugs. Williams spoke from a prepared outline to reintroduce "The Shoals" neighborhood. (Please see attached outline for Williams' complete presentation.) Williams spoke until approximately 6:55. Upon concluding, Williams opened the floor for a question-and-answer session.

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# **“The Shoals”**

## **Agenda**

### **Lincoln County Community Meeting**

**March 16, 2023**

1. Welcome:
  - a. Opening remarks
    - i. Meet Aug 3, 2022 -148 lots. Here tonight to talk about 104 lots redesign
    - ii. The Lincoln County UDO gives us the right to reapply provided we are complying to the current UDO. 50 lots or more we are required to go through a legislative hearing including this meeting.
2. Introduction:
  - a. Greg Williams Garden Street Communities Southeast
    - i. Union County NC resident
    - ii. UNC Grad
    - iii. Lifetime Construction
      - I. Brick mason family business
      - II. Licensed NC Homebuilder 36 years over 1000 custom homes built
      - III. Land Developer for 35 years over 2500 single family lots
  - b. Frank Craig- Civil Engineer from Gastonia
3. Garden Street:
  - a. HQ Pensacola FL
  - b. 11 divisions in 6 states
  - c. Sister company to Adams Homes and exclusive developer.
4. Area Manager’s Responsibility:
  - a. Locate property and qualify
    - i. Proforma
    - ii. PSP
  - b. Negotiate purchase contract
  - c. Conduct Due Diligence
    - i. Soil evaluation for septic
    - ii. Phase I Environmental
    - iii. Geotech Evaluation w/borings
    - iv. Wetlands Delineation
    - v. Endangered Species survey
    - vi. Traffic Information Analysis
    - vii. Will Serve Letter
    - viii. Survey with Topo
    - ix. Concept plan to preliminary plan.
5. The Shoals:
  - a. 3 tracts, seller B&T Development- Buddy and Todd Pigg, 158.76 acres planned for 104 lots

- b. DD results with budget of \$102,000.00
  - i. Overall good perk tests, all conventional/chambered systems with limitations south of the creek.
  - ii. No environmental issues clean Phase I
  - iii. No rock issues or elevated water tables
  - iv. Limited wetlands and flood areas around the north-south stream which are buffered from development. JD of the stream requiring ACOE permitting for 2 stream crossings.
  - v. TIA found limited road impact with no recommended street improvements or turn lanes. Estimated to generate 980 trips per day. Down from 1400 per day.
  - vi. No endangered species found.
  
- 6. Site Plan:
  - a. Redesigned conforms to new county UDO 104 lots- Density from 1.14-acre/home at 148 lots to 1.53 acre/home at 104
  - b. Minimum lot size is 1 acre.
  - c. All conventional/chambered systems
  - d. County water to service with looped water lines.
  - e. NCDOT approved entrances with 2<sup>nd</sup> entrance through ROW purchased from the Dorton family on neighboring property.
  - f. 50' perimeter buffer with stream buffering per Lincoln guidelines and over 24.5% common open space.
  
- 7. Adams Homes:
  - a. Founded 1991 by Wayne Adams. Built over 50,000 homes, 28 divisions Florida, Alabama, Mississippi, Texas, Tennessee, Georgia and both Carolinas.
  - b. Second Generation owner Bryan Adams
  - c. Largest privately owned builder in the SE US and largest builder in Florida.
  - d. The Shoals homes 2000 sq ft to 3800 sq ft priced from the low \$300k to \$500k with 2 and 3 car garages.
  - e. All homes are "For Sale" housing with conventional financing or cash. No for rent product.
  - f. Formation of an active HOA with strict guidelines and by-laws

Q & A

## Questions and Answers:

Williams requested each person to raise their hand to be recognized and to identify themselves prior to speaking.

Scott Cink: Q: Does the 50' perimeter buffer include any road ROW? A: No these are separate areas. Where the road ROW abuts perimeter buffer the undisturbed buffer starts at the boundary of the ROW so hence between ROW of 50', buffer of 50' and front setback of 30', with the design of the street at the entrance closest to his neighborhood which abuts the perimeter boundary, no home along this section will be closer than 130' to his neighborhood which again 50' is left undisturbed. Where homes do abut the property perimeter with the rear setback no home can be closer than 90' to the property line. All lots are a minimum of 1 acre in size. Q: How close can septic drain fields be to an existing well? A: Drain fields be 100' plus from any well. Of course, in the neighborhood we will have county water. How much space will there be for cars to park in the drive ways? A: Driveways will vary in length dependent as to how close a home is to the front setback. As a minimum there will be a 2-car parking pad in front of the garage and at least enough drive way space to park a third car but it is allowable for a visitors to park on the street shoulder but overnight street parking is prohibited by the CCR's.

Ken Walters Jr.: When was the traffic study done? A: traffic study was done during the school term last spring approx. 8-10 months ago and updated for Planning staff to reflect the reduction of planned homes. Q: Concerned about the runoff during heavy rains from the Dorton open field across from his pasture. A: The Dorton property is not a part of this project. We are purchasing a street right away from Mrs. Dorton to accommodate a 2<sup>nd</sup> entrance for the neighborhood which will have ditches on both side. As grade allows most water from the street will flow back into the natural drainage of the neighborhood.

Scott Cink: Q: Will there be an HOA? A: Yes, this is required by Lincoln County. Q: Who has control if there are any rental houses? A: We are developing the project for Adams Homes. Adams is a for sale only builder with no build to rent division or program. We can not control who the future owners are.

Ken Walters Sr.: Q: Concerned about kids riding 4 wheelers in his pastures? What guarantee is there they won't? A: First we aren't law enforcement we don't police the community but the CCR's prohibit the use of ATVs in the neighborhood, this gives the HOA the authority to prevent the use of these in the neighborhood. Q: He is concerned about crime rising in the community with new residents of a new neighborhood. A: I believe statistically speaking, new neighborhoods with overwhelming home ownership by residents have lower than average crime. Q: Will police patrol the neighborhood? A: I am sure the Lincoln County Sheriff's Department factors in all neighborhoods for patrol but this is outside our scope. Q: Will the neighborhood bring down property values? A: Typically neighborhoods with new homes will both increase the surrounding land values, lots at 1 acre will be selling for over \$70,000/ acre and new homes have a greater value than older homes. Q: How many phases are planned? A: 2 phases which are dictated by the 2 required creek crossings. As we work to procure ACOE permitting to cross the creek, we will start Phase 1 which are the lots on the Salem Church Rd side of the creek. Q: Will there be any road improvements or turn lanes? Will Catalina Lane be used? A: First no turn lanes are required by the TIA and 2<sup>nd</sup> we have no ROW space to build them. So, there are no road improvements planned. Catalina Lane will not access into the neighborhood. Both entrances, which are required, are on Salem Church.

Scott Cink: The Commissioners turned you down with the first layout what is different with this one? A: We have approx. one third fewer lots on the same acreage which means our lots are bigger, no lot is less than 1 acre. Q: Will there be agreements for buyers to sign acknowledging they have to accept noise and orders from area farms? A: Jeremiah Combs explained any building permittee is required to sign an acknowledgment in a farming area but subsequent buyers are not. Williams followed this with an acknowledgement of the fields and pastures in the area which are visible to any person driving down Salem Church Rd. Property rights are generally engrained into anyone understanding of capitalism and our basic rights. Just as a farmer's property rights can't be encroached upon where they allowed by zoning, nor should the rights of any property owner to capitalize on the highest and best use for profitability of their property, when in a residential zoned area, to develop and build homes. (Note: I spoke with the head of sales for Adams Homes in the Charlotte area and asked how her sales agents typically handled this? Her response is the expectation is for the buyer to do their due diligence both on Adams' homes/construction practice and the area where the neighborhood is located. Farm fields and pastures are highly visible and their existence is never ignored when selling a home). Q: Concerned with 104 septic system being installed in this location? A: All systems on each lot is designed by a licensed soil engineer and inspected during installation to insure it conforms to local regulations and state requirements. Plus, there is an equal space of repair area reserved in the event there were to be a total drain field failure. There is no more efficient way to handle human waste than a conventional septic system.

This was the last question. With no additional questions Williams adjourned the meeting at 7:15.

# Traffic Impact Analysis (TIA)



## TECHNICAL MEMORANDUM

Date: February 9, 2023

To: Mr. Jeremiah Combs, CZO  
Planner  
Lincoln County, NC

From: Donald W. Spence, PE, PLS  
Traffic Engineer  
Progressive Design Group, Inc.

Subject: **Trip Generation Comparison for The Shoals Subdivision (2022003)**  
Lincoln County, NC

*Donald Wayne Spence*  
*February 9, 2023*

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The purpose of this memorandum is to summarize the trip generation comparison between the previously submitted/approved 152-lot single family subdivision and proposed 104-lot single family subdivision for the proposed **The Shoals Subdivision** development in Lincoln County, North Carolina.

### INTRODUCTION

The proposed **The Shoals Subdivision** development is located on the west side of Salem Church Road (SR 1001), between Keever Dairy Farm Road (SR 1313) & Philadelphia Church Road (SR 1001), as shown in Figure 1.

In June 2022, a Traffic Impact Analysis (TIA) was submitted to Lincoln County and North Carolina Department of Transportation (NCDOT) staff by Progressive Design Group, Inc. on behalf of Garden Street Communities Southeast, LLC for **The Shoals Subdivision**. This 152-lot single family subdivision TIA was subsequently approved, and no roadway improvements were required other than the two access locations being constructed with one ingress lane and one egress lane each. Garden Street Communities Southeast, LLC has since revised the site plan and now propose **The Shoals Subdivision** to be developed as a 104-lot single family subdivision (48 fewer single family homes).

As shown in Figure 2, the development will be accessed via two locations on the west side of Salem Church Road (both full movement three-legged intersections). It should be noted that these two access locations are the same as in the approved TIA:

- Access "A" – located approximately 1,750 feet south of Keever Dairy Farm Road.
- Access "B" - located approximately 475 feet south of Access "A".

## TRIP GENERATION COMPARISON

A comparison of the trip generation potential for the site based on the previously submitted 152 single family homes and now proposed 104 single family homes is shown in Table 1 below.

**Table 1: Trip Generation Comparison**

Land Use	Land Use Code	Intensity	Daily	AM Peak Hour			PM Peak Hour			
				Total	In	Out	Total	In	Out	
<b>June 2022 Approved TIA (152 homes)</b>										
Single Family Homes	LUC 210	152 DUs	1,528	113	28	85	152	96	56	
<b>Revised January 2023 Siteplan (104 homes)</b>										
Single Family Homes	LUC 210	104 DUs	1,078	79	20	59	105	66	39	
<b>Difference Between Revised Siteplan and Approved TIA</b>			<b>-450</b>	<b>-34</b>	<b>-8</b>	<b>-26</b>	<b>-47</b>	<b>-30</b>	<b>-17</b>	

Reference: *Trip Generation*, 10<sup>th</sup> Edition, Institute of Transportation Engineers, Washington, DC, Sept.2017.

As shown, the newly proposed 104-lot single family subdivision is expected to generate 450 fewer daily trips, 34 fewer AM peak hour trips and 47 fewer PM peak hour trips when compared to the previously submitted and approved 152-lot single family development.

## ROADWAY NETWORK AADT INFORMATION

The existing (2020) weekday AADTs for Salem Church Road (along the site frontage), Keever Dairy Farm Road (east of site), and Philadelphia Church Road (south of site) were obtained from the NCDOT traffic volume database.

In order to represent 2024 projected weekday AADT volumes for the three locations listed previously, a 2% per year growth rate volumes (as per the approved TIA) was used to calculate a new AADT. In addition, the approved directional distribution (also per the approved TIA) was added to the 2024 Projected AADT in order to determine the increase in weekday vehicular traffic for the three roadways with the inclusion of the site traffic (see Table 2).

**Table 2: Roadway Network Weekday AADTs**

Roadway	2020 (Existing) AADT	2024 Projected AADT	2024 Projected AADT w/Site Traffic (TIA)	2024 Projected AADT w/Site Traffic (New Siteplan)
Salem Church Road along site	3,500	3,800	5,300	4,900
Keever Dairy Farm Road east of site	1,400	1,500	1,600	1,550
Philadelphia Church Road south of site	1,200	1,300	1,400	1,350

Based on the weekday AADT volumes shown, the increase in daily traffic is not expected to have a major impact on the traffic operations of the surrounding roadway network.

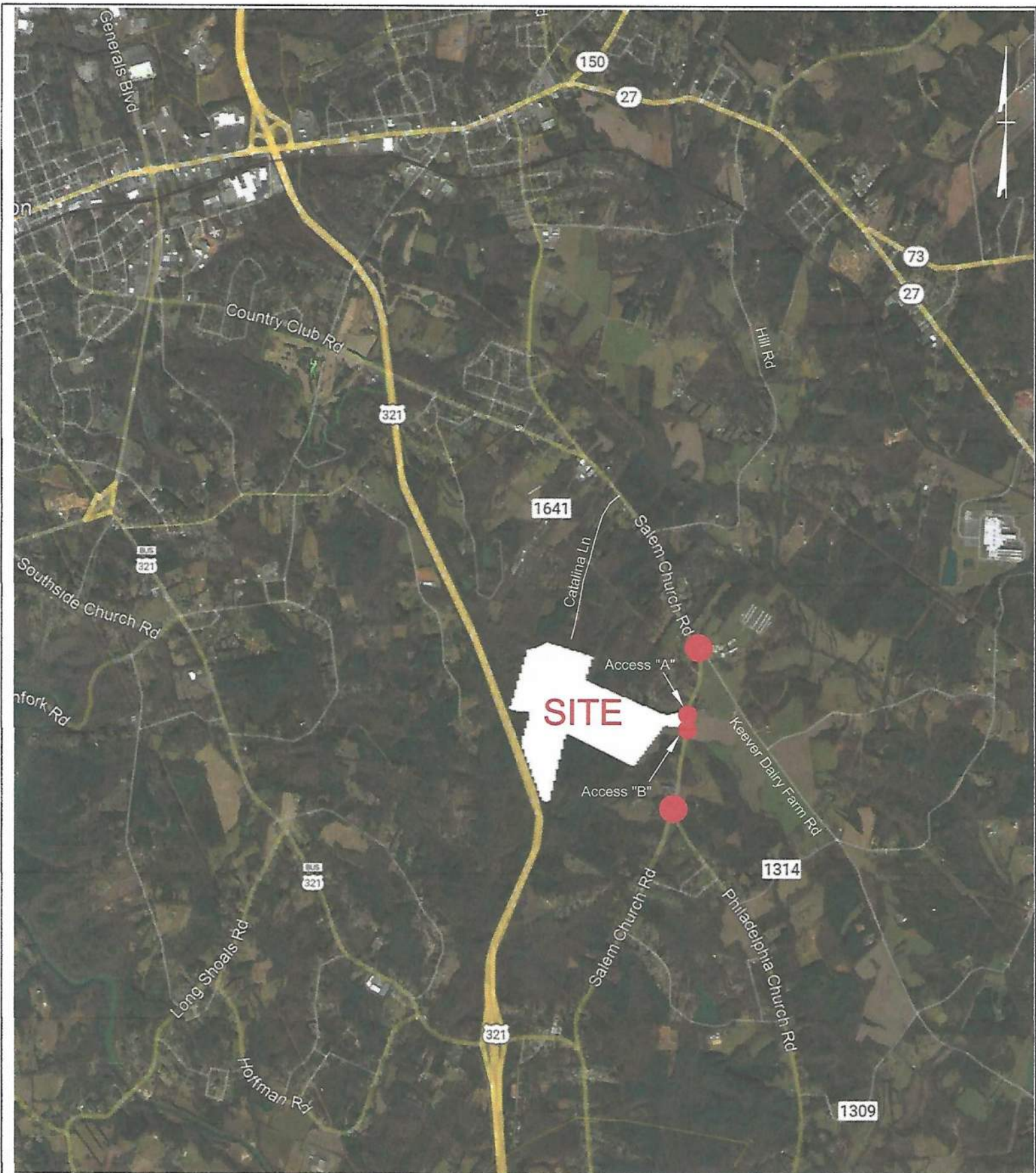
## CONCLUSION

As expected, the revised proposed development is anticipated to generate fewer trips as a 104-lot single family development than it would as a 152-lot single family development. In addition, based on the weekday AADT volumes, the proposed project is not expected to have a major impact on the traffic operations of the surrounding roadway network. Therefore, it is recommended that the revised site plan and proposed access points be approved.

I trust this information is beneficial and should you have any questions, please call.

cc: Mr. Frank Craig Garden Street Communities Southeast, LLC  
File

Attachments: Figure 1 – Vicinity Map  
Figure 2 – Revised Site Plan



Note: Spacing Between Accesses "A" & "B" = 475'

**LEGEND**

 STOP SIGN CONTROL

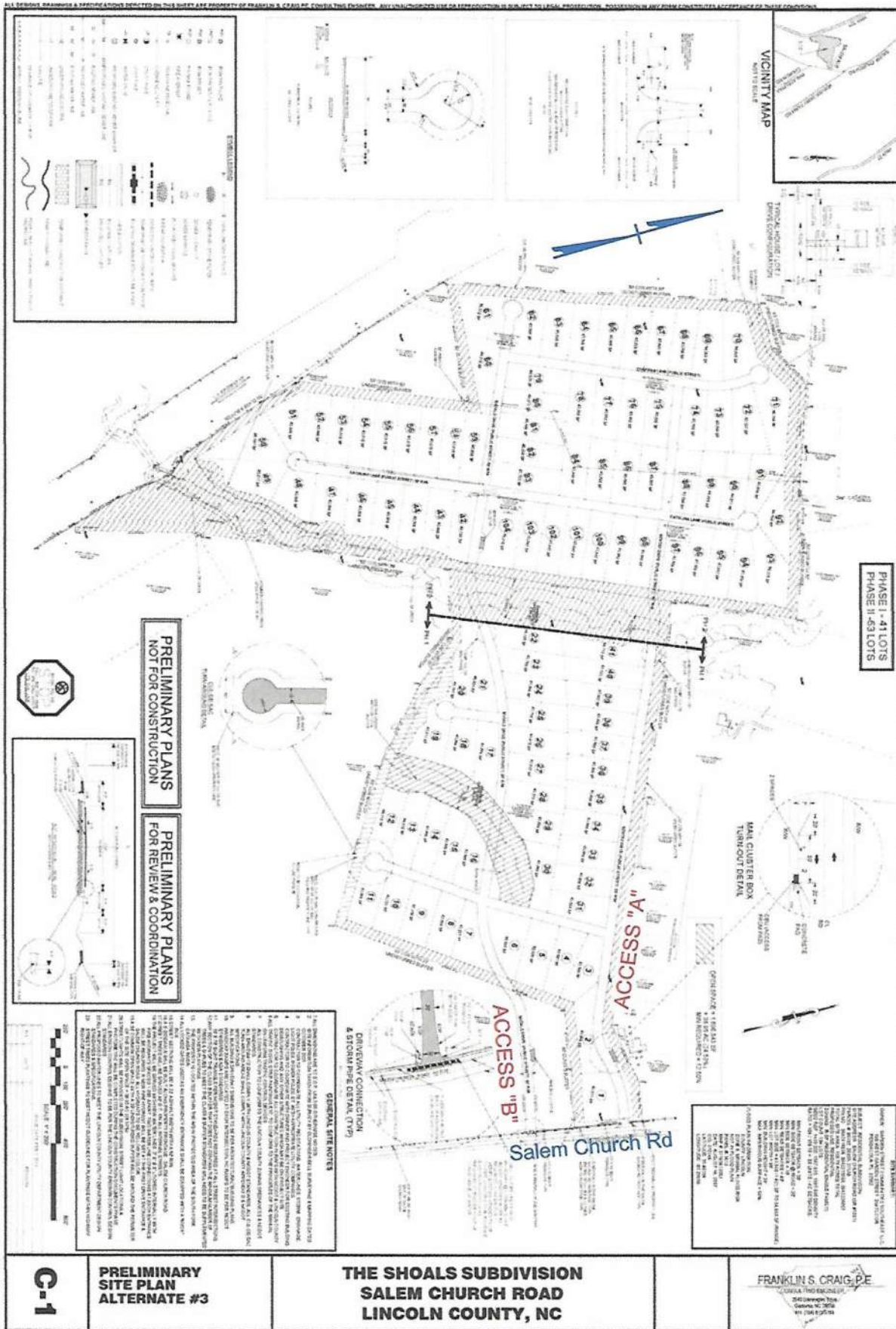
NOT TO SCALE



THE SHOALS  
SUBDIVISION TM

VICINITY MAP

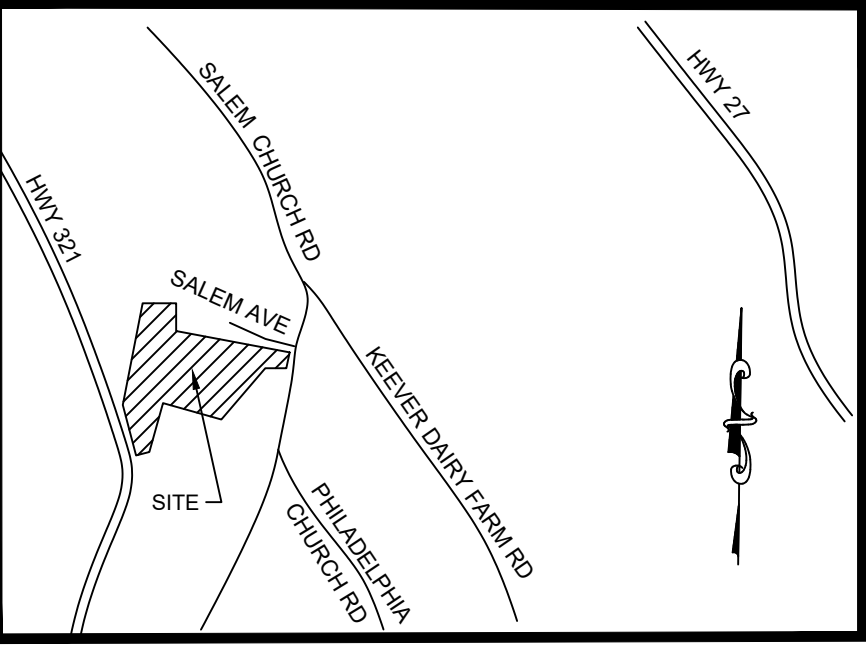
FIGURE 1



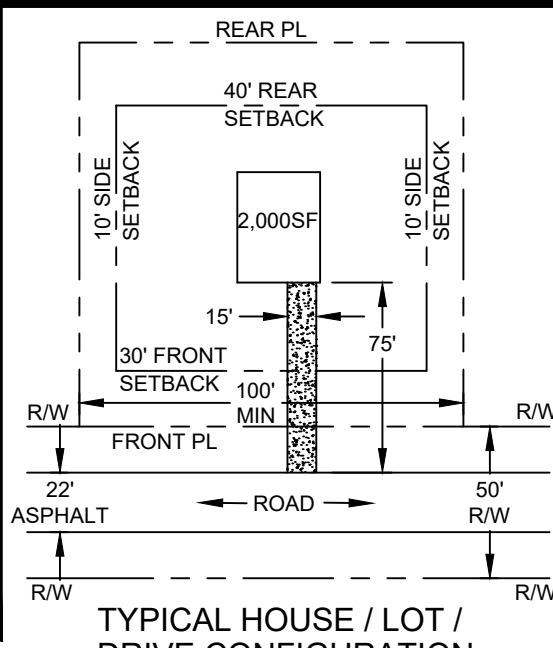
NOT TO SCALE

# Proposed Master Site Plan for Planned Development

ALL DESIGNS, DRAWINGS & SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF FRANKLIN S. CRAIG P.E. CONSULTING ENGINEER. ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS.



VICINITY MAP  
NOT TO SCALE



TYPICAL HOUSE / LOT / DRIVE CONFIGURATION

PHASE I - 41 LOTS  
PHASE II - 63 LOTS

**SITE SUMMARY:**

OWNER: GARDEN STREET COMMUNITIES SOUTHEAST, LLC  
 100 WEST GARDEN STREET, 2ND FLOOR  
 PENSACOLA, FL 32502

SUBJECT: RESIDENTIAL SUBDIVISION  
 SITE ADDRESS: SALEM CHURCH ROAD (SR #1001)  
 PARCEL # 00702 28655 27330  
 PIN NO.: 3642416636, 3642219568, 3642226857  
 TOTAL SITE AREA: 158.78 ACRES TOTAL  
 PROPOSED USE: RESIDENTIAL  
 ZONING: R-SF (RESIDENTIAL SINGLE FAMILY)  
 LOT COUNT: 104 LOTS  
 DEED REF: 1439-222, 1587-692, 1587-695 DENSITY  
 RATIO = 104 / 158.78 = 65 UNITS / AC SETBACKS:

MIN FRONT SETBACK = 30'  
 MIN. SIDE SETBACK @ ROAD = 20'  
 MIN. SIDE SETBACK = 10'  
 MIN. REAR SETBACKS = 40'  
 MIN. LOT SIZE = 43,560 (1 AC) SF TO 64,668 SF (RANGE)  
 MIN. LOT WIDTH = 90'  
 MIN. BUILDING HEIGHT = 35'  
 MAX. IMPERVIOUS SURFACE = 50%

**FLOOD PLAIN INFORMATION:**  
 COUNTY: LINCOLN  
 ZONE X, MINIMAL FLOOD RISK  
 NOT IN FLOOD PLAIN  
 PANEL #: 3613  
 MAP #: 3710361300J  
 DATE: AUGUST 16, 2007  
 CID: 370146  
 LATITUDE: 35.48104  
 LONGITUDE: -81.29656

FRANKLIN S. CRAIG P.E.  
CONSULTING ENGINEER  
2543 Glenagee Drive  
Gastonia, NC 28605  
PH: (704) 524-9761

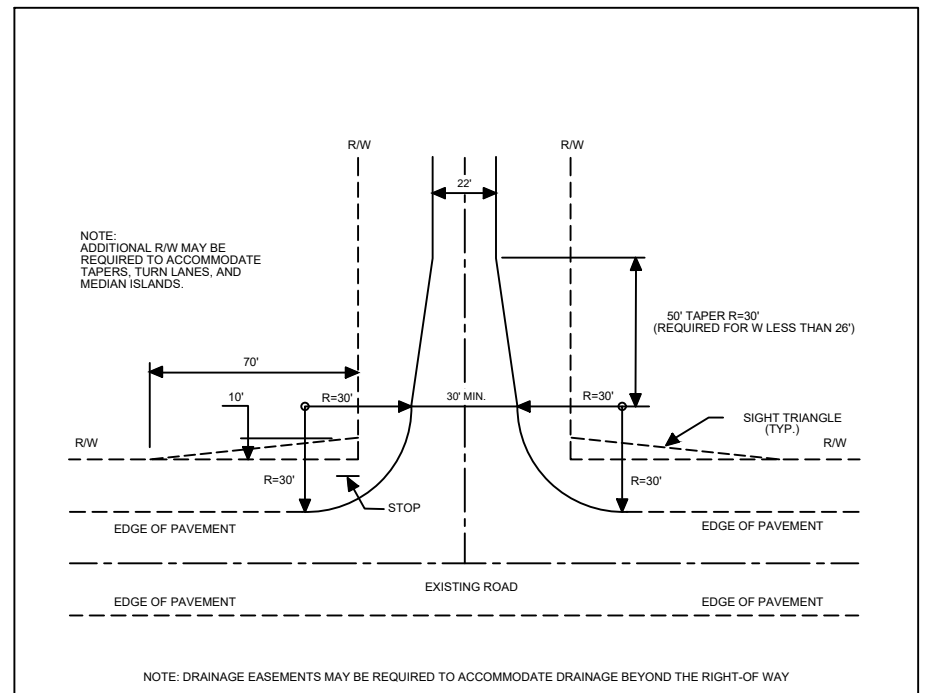


FIGURE 4  
RECOMMENDED ROAD CONNECTION  
WITHOUT CURB & GUTTER  
NEW RESIDENTIAL LOCAL ROAD OR RESIDENTIAL  
COLLECTOR ROAD AND EXISTING STATE MAINTAINED  
ROAD  
STOP CONDITION

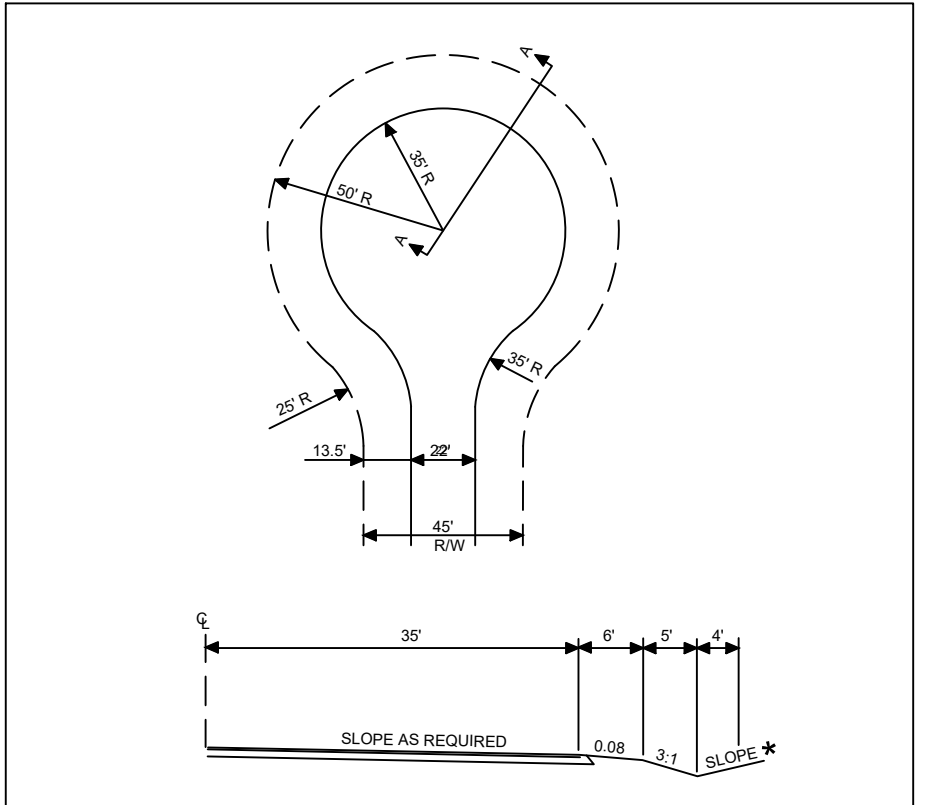
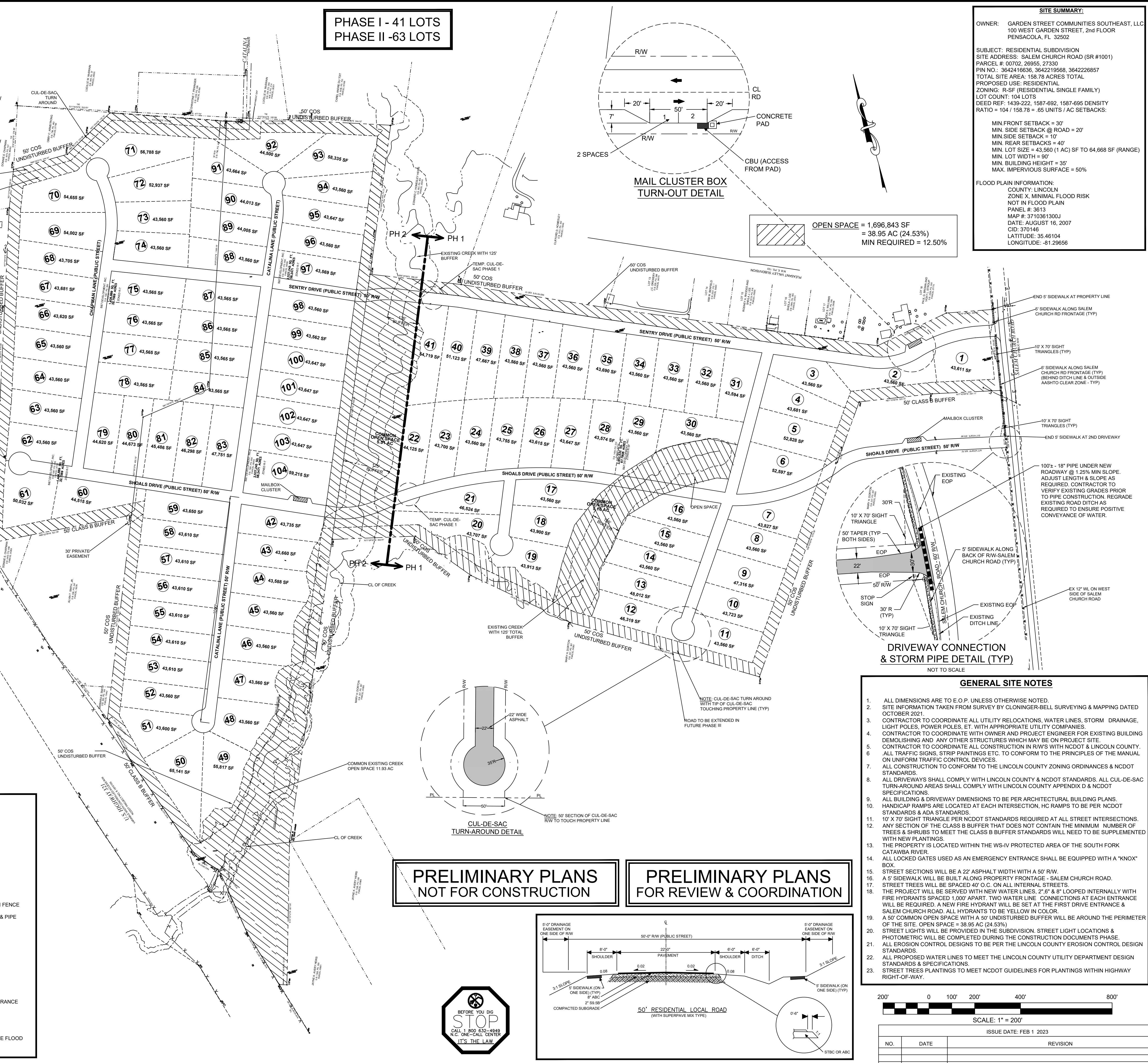


FIGURE 8  
SYMMETRICAL CUL-DE-SAC  
NO CURB & GUTTER

**SYMBOL LEGEND**

IPF) (●)	IRON PIN FOUND	— X — X —	CHAIN LINK FENCE FENCE
CMF) (□)	IRON PIN SET/UTILITY POLE	○	TEMPORARY STONE FILTER
IP(S) (●)	IRON PIN SET	○	SEWER CLEANOUT
PKF) (○)	P-K NAIL FOUND	○	SEWER MANHOLE
FP) (●)	FIRE HYDRANT	→	FLOW DIRECTIONAL ARROWS
TP) (□)	TELEPHONE PEDESTAL	—	RIPRAP DISSIPATION
—	OVERHEAD UTILITY	—	DENUDED/CONSTRUCTION LIMITS
UP) (●)	UTILITY POLE	—	TEMPORARY SILT/CONSTRUCTION FENCE
☆	LIGHT POLE	—	EXISTING DRAINAGE STRUCTURE & PIPE
WV) (●)	WATER VALVE	—	CURB & GUTTER
⊙	PROPOSED SANITARY SEWER MANHOLE	—	EXISTING CONTOURS
— SS — SS —	PROPOSED SANITARY SEWER LINE	—	PROPOSED CONTOURS
— S — S — S —	EXISTING SEWER LINE	—	SEDIMENT BASIN
— W — W — W —	PROPOSED WATER LINE	—	TEMPORARY CONSTRUCTION ENTRANCE
— W — W — W —	EXISTING WATER LINE	—	FEMA FLOODWAY LINE
— UE —	UNDERGROUND ELECTRIC	—	FEMA 0.2% FLOOD ANNUAL CHANCE FLOOD HAZARD LINE
— UT —	UNDERGROUND TELEPHONE	—	
— G —	GAS LINE		
—	DRAINAGE DITCH/WATER COURSE		
—	APPROX. TREE/SHRUB LINE		

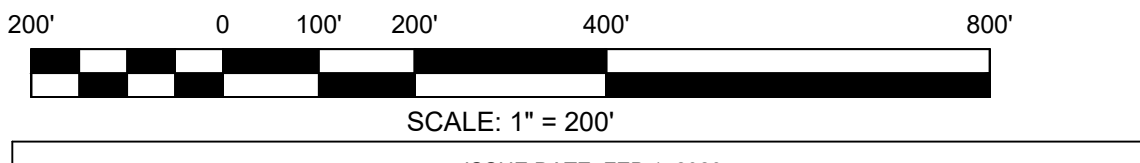
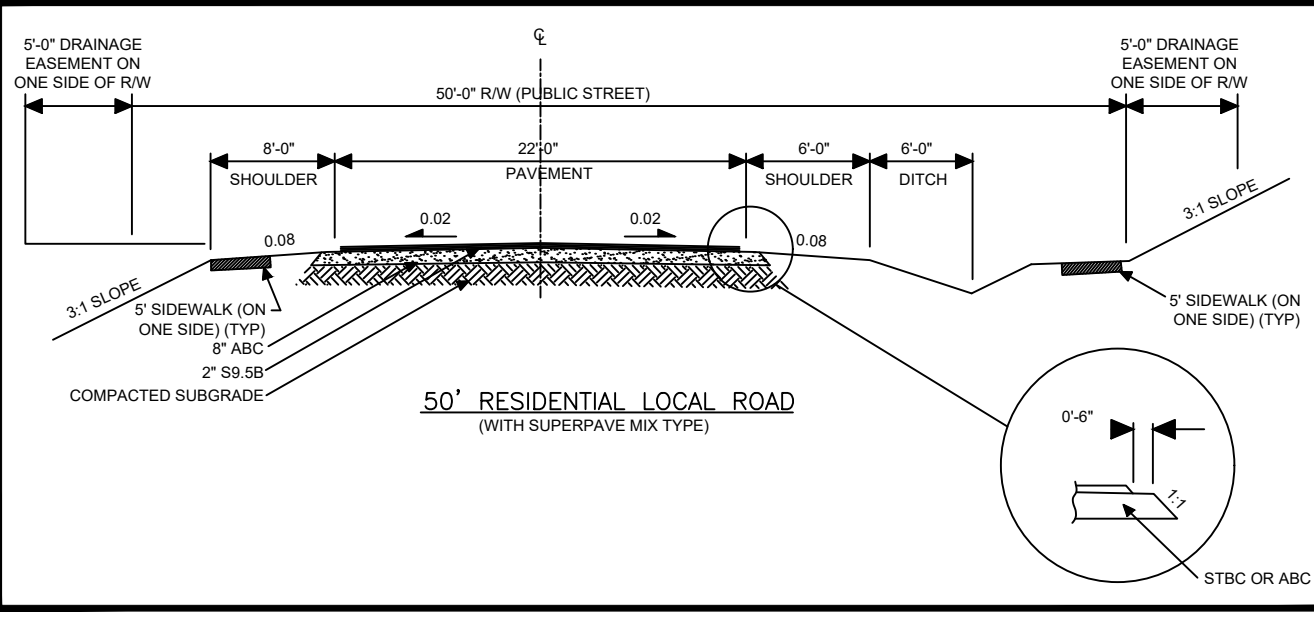


OPEN SPACE = 1,696,843 SF  
= 38.95 AC (24.53%)  
MIN REQUIRED = 12.50%

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

PRELIMINARY PLANS  
FOR REVIEW & COORDINATION

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE TO E.O.P. UNLESS OTHERWISE NOTED.
  - SITE INFORMATION TAKEN FROM SURVEY BY CLONINGER-BELL SURVEYING & MAPPING DATED OCTOBER 2021.
  - CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ET. WITH APPROPRIATE UTILITY COMPANIES.
  - CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLISHING AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
  - CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH NCDOT & LINCOLN COUNTY. ALL TRAFFIC SIGNS, STRIP PAINTINGS ETC. TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL CONSTRUCTION TO CONFORM TO THE LINCOLN COUNTY ZONING ORDINANCES & NCDOT STANDARDS.
  - ALL DRIVEWAYS SHALL COMPLY WITH LINCOLN COUNTY & NCDOT STANDARDS. ALL CUL-DE-SAC TURN-AROUND AREAS SHALL COMPLY WITH LINCOLN COUNTY APPENDIX D & NCDOT SPECIFICATIONS.
  - ALL BUILDING & DRIVEWAY DIMENSIONS TO BE PER ARCHITECTURAL BUILDING PLANS. HANDICAP RAMPS ARE LOCATED AT EACH INTERSECTION. HC RAMPS TO BE PER NCDOT STANDARDS & ADA STANDARDS.
  - STREET TREES WILL BE SPACED 40' O.C. ON ALL INTERNAL STREETS.
  - 10' X 70' SIGHT TRIANGLE PER NCDOT STANDARDS REQUIRED AT ALL STREET INTERSECTIONS.
  - ANY SECTION OF THE CLASS B BUFFER THAT DOES NOT CONTAIN THE MINIMUM NUMBER OF TREES & SHRUBS TO MEET THE CLASS B BUFFER STANDARDS WILL NEED TO BE SUPPLEMENTED WITH NEW PLANTINGS.
  - THE PROPERTY IS LOCATED WITHIN THE WS-IV PROTECTED AREA OF THE SOUTH FORK CATAWBA RIVER.
  - ALL LOCKED GATES USED AS AN EMERGENCY ENTRANCE SHALL BE EQUIPPED WITH A "KNOX" BOX.
  - STREET SECTIONS WILL BE A 22" ASPHALT WIDTH WITH A 50' R/W.
  - A 5' SIDEWALK WILL BE BUILT ALONG PROPERTY FRONTAGE - SALEM CHURCH ROAD.
  - STREET TREES WILL BE SPACED 40' O.C. ON ALL INTERNAL STREETS.
  - THE PROJECT WILL BE SERVED WITH NEW WATER LINES: 2" & 8" LOOPED INTERNALLY WITH FIRE HYDRANTS SPACED 1,000' APART. TWO WATER LINE CONNECTIONS AT EACH ENTRANCE WILL BE REQUIRED. A NEW FIRE HYDRANT WILL BE SET AT THE FIRST DRIVE ENTRANCE & SALEM CHURCH ROAD. ALL HYDRANTS TO BE YELLOW IN COLOR.
  - A 50' COMMON OPEN SPACE WITH A 50' UNDISTURBED BUFFER WILL BE AROUND THE PERIMETER OF THE SITE. OPEN SPACE = 38.95 AC (24.53%).
  - STREET LIGHTS WILL BE PROVIDED IN THE SUBDIVISION. STREET LIGHT LOCATIONS & PHOTOMETRIC WILL BE COMPLETED DURING THE CONSTRUCTION DOCUMENTS PHASE.
  - ALL EROSION CONTROL DESIGNS TO BE PER THE LINCOLN COUNTY EROSION CONTROL DESIGN STANDARDS & SPECIFICATIONS.
  - ALL PROPOSED WATER LINES TO MEET THE LINCOLN COUNTY UTILITY DEPARTMENT DESIGN STANDARDS & SPECIFICATIONS.
  - STREET TREES PLANTINGS TO MEET NCDOT GUIDELINES FOR PLANTINGS WITHIN HIGHWAY RIGHT-OF-WAY.



SCALE: 1" = 200'

ISSUE DATE: FEB 1 2023

NO.	DATE	REVISION

THE SHOALS SUBDIVISION  
SALEM CHURCH ROAD  
LINCOLN COUNTY, NC

PRELIMINARY  
SITE PLAN  
ALTERNATE #3

