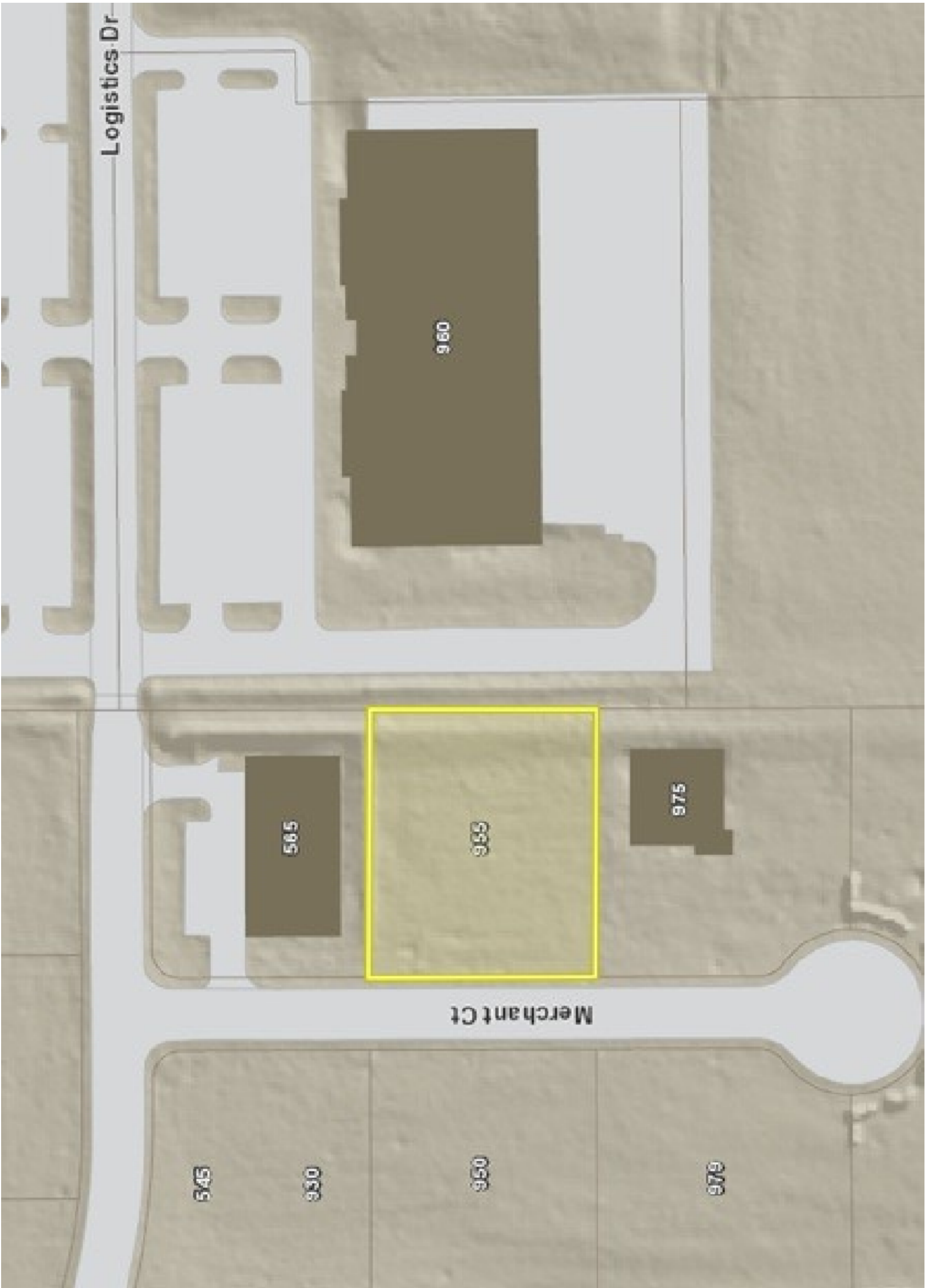


REVISIONS				
ZONE	REV.	DESCRIPTION	DATE	APPROVED
	-	INITIAL RELEASE	8/16/18	S NICOSON
	A	UPDATED LANDSCAPING	11/20/18	S NICOSON
	B	Added Drainage Plan	2/12/2019	R Nicoson
	C	Updated per City Comments	3/5/2019	R Nicoson
D8	D	Updated per City comments 4/8/2019	5/14/2019	R Nicoson



Vicinity Map

Not to Scale



A. (2) Description

A plat of a parcel of land in the Town of Windsor, County of Weld, Colorado, located in the Southwest quarter of Section 22, Township 6 North Range 67, West of the Sixth Principal Meridian and more particular described as follows; Lot 8, Block 3, Windsor Commons Subdivision 3rd Filing, recorded in the County of Weld Colorado.

M. Notice of Other Documents

All persons take notice that certain documents have been executed pertaining to this development, which create certain rights and obligations of the development, the developer and/or subsequent owners of all or portions of the development site, many of which obligations constitute promises and covenants that run with the land. These documents are of record and are on file with the director of planning of the Town of Windsor and should be closely examined by all persons interested in purchasing any portion of the development site.

Windsor Commons Subdivision 3rd Filling Block3 Lot 8 Site Plan

C. (2) Ownership

Know all men by these presents that the undersigned, being all the owners, lienholders, and holders of any ownership interest as defined by the Town of Windsor, of the land described hereon, have caused such land to be site planned as indicated on this site plan. The within site plan is submitted in accordance with the Windsor Municipal Code. It is hereby acknowledged that all construction, use and development of this property will be in strict accordance with this site plan. It is further acknowledged that deviation from this site plan without the express written consent of the Town of Windsor may result in revocation of the Town's approval of the site plan, denial of building permits, refusal to issue certificates of occupancy, injunctive relief prohibiting use of the property and other remedies available to the Town under the Windsor Municipal Code and other applicable laws of the State of Colorado. Know all men by these presents that the undersigned have caused said land to be laid out and site planned under the name of Windsor Commons Subdivision 3rd Filling Block3 Lot 8 Site Plan Plan.

In witness whereof, we have hereunto set our hands and seals this the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Reg Nicoson

Notarial Certificate  
State of \_\_\_\_\_

County of \_\_\_\_\_

The foregoing instrument was acknowledged before me, this \_\_\_\_ day of \_\_\_\_\_, 2019.

My commission expires: \_\_\_\_\_ (Notary Public)  
(Seal)

E. Easement Approval

Utility easements are adequate as shown and are hereby approved.

\_\_\_\_\_  
Town of Windsor PublicWorks Dept      Century Link Communications      Xcel Energy

\_\_\_\_\_  
Comcast Cable

F. Engineering Dept Approval

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Director of Engineering

H. Planning Dept Approval

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Director of Planning

I. (5) Mayor Dept Approval

This is to certify that a site plan of the property described herein is approved by the Town of Windsor passed and adopted on this the \_\_\_\_ day of \_\_\_\_\_, 2019, A.D. and that the Mayor of the Town of Windsor, on behalf of the Town of Windsor, hereby acknowledges and adopts the said site plan upon which this certificate is endorsed for all purposes indicated thereon.

\_\_\_\_\_  
Mayor      ATTEST: \_\_\_\_\_  
Town Clerk

J. Town Manager Approval

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Town Manager

K. Public Works Dept Approval

Approved this the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Director of Pulbic Works

L. Preparers Certificate

I certify that this site plan was prepared by me or under my direct supervision.

\_\_\_\_\_  
Print Name      Signature

Sheet Index

Sheet #	Description
1	Cover
2	Improvements, Building Elevations
3	Improvements
4	Improvements, 2nd Sheet
5	Utilities
6	Landscape
7	Landscape, 2nd Sheet
8	Drainage and Grading
9	Irrigation
10	Erosion Control
11	General Notes

Benchmark

A survey marker, a metal rod with red plasitic cap, with the marking KSI LS34995 exists at the Northwest corner of the property (elevation 4778.91').

Zoning: Limiting Industrial I-L

Site plan\_RevE 6\_26\_19

			UNLESS OTHERWISE SPECIFIED:		NAME	DATE	Cover  TITLE: Windsor Commons Subdivision 3rd Filling Block3 Lot 8 Site Plan	
			DIMENSIONS ARE IN FEET		DRAWN	J COWLEY		8/16/18
			TOLERANCES:		CHECKED	S NICOSON		8/17/18
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			ANGULAR: MAACH ±		MFG APPR.			
			TWO PLACE DECIMAL ±		G.A.			
			THREE PLACE DECIMAL ±		COMMENTS:			
			INTERPRET GEOMETRIC TOLERANCING PER:					
			MATERIAL					
			FINISH					
			DO NOT SCALE DRAWING					
			APPLICATION					

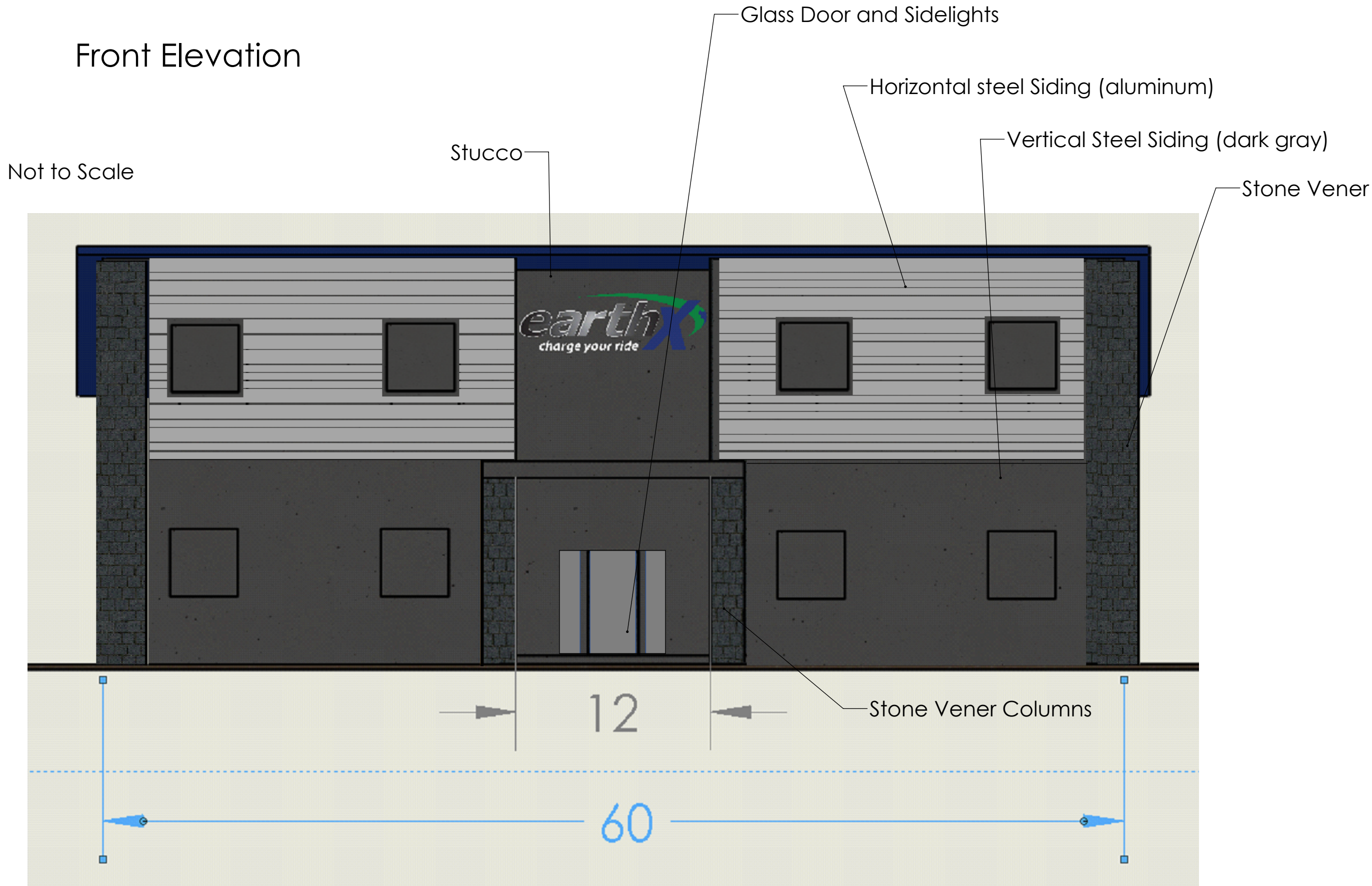
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NEXT ASSY	USED ON	SIZE	DWG. NO.	REV
		D	180816	E
WEIGHT:			SHEET 1 OF 11	

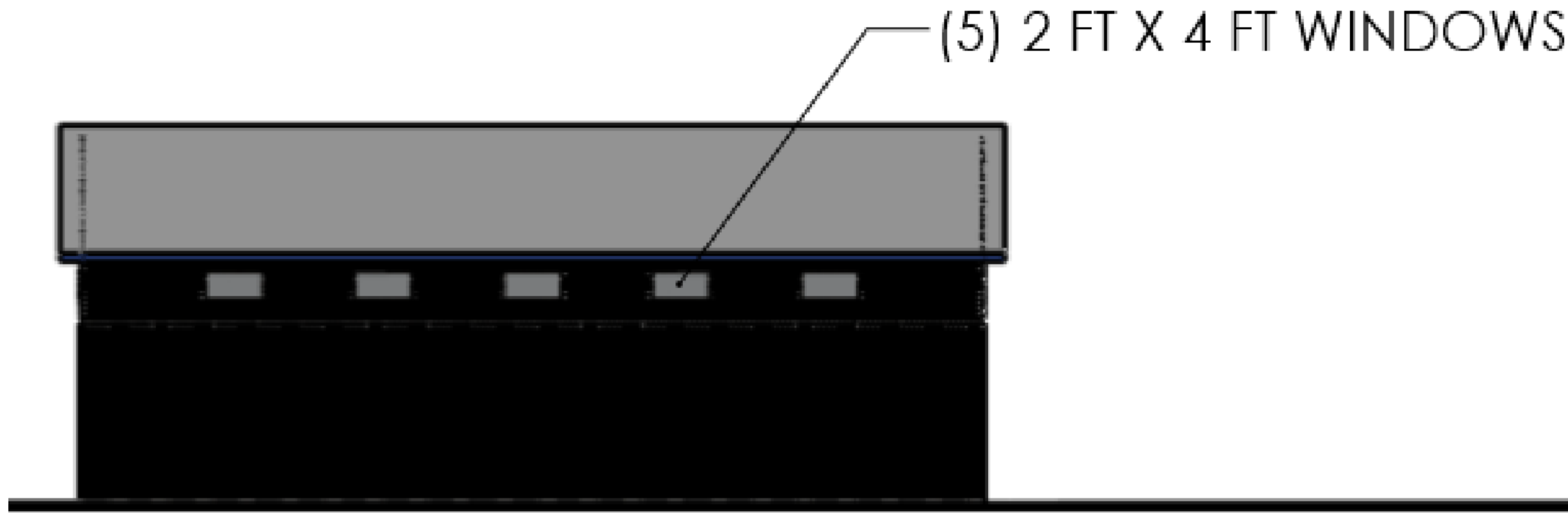


Front Elevation

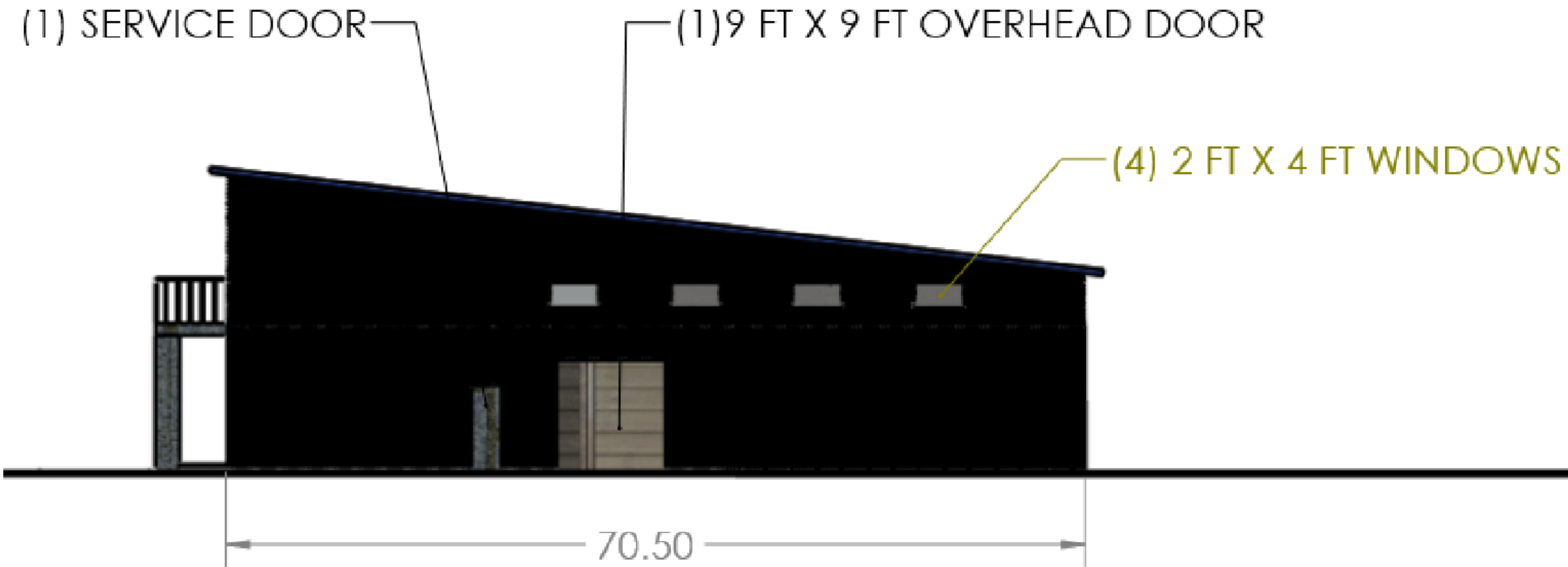


Notes:  
-4'x4' windows on front elevation.  
- Building is 24' high in front and 16' in back

Back Elevation



South Side Elevation



North Side Elevation



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FRACTIONAL: ±		MFG APPR.			
ANGULAR: MATCH ± BEND ±		Q.A.			
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THREE PLACE DECIMAL ±					
INTERPRET GEOMETRIC					
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MATERIAL					
FINISH					SIZE DWG. NO. REV D 180816 E
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USED ON					
APPLICATION					
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WEIGHT: SHEET 2 OF 11



Land Use

- Building for light industrial; 4,265sqft (based on outside dimensions)(no inside storage over 12')
- Parking (concrete); 2,172sqft
- Sidewalks and pathways; 385sqft
- Landscape area; 4,333sqft (15% of 28,886sf)
- Total developed area = 11,155sqft
- Total undeveloped area (native seed)=17,731
- No onsite detention; impervious surface <80%
- No locked gates onsite
- 5 Employee at this site

Benchmark

Asurvey marker, a metal rod with red plasitic cap, with the marking KSI LS34995 exists at the Northwest corner of the property (elevation 4778.91').

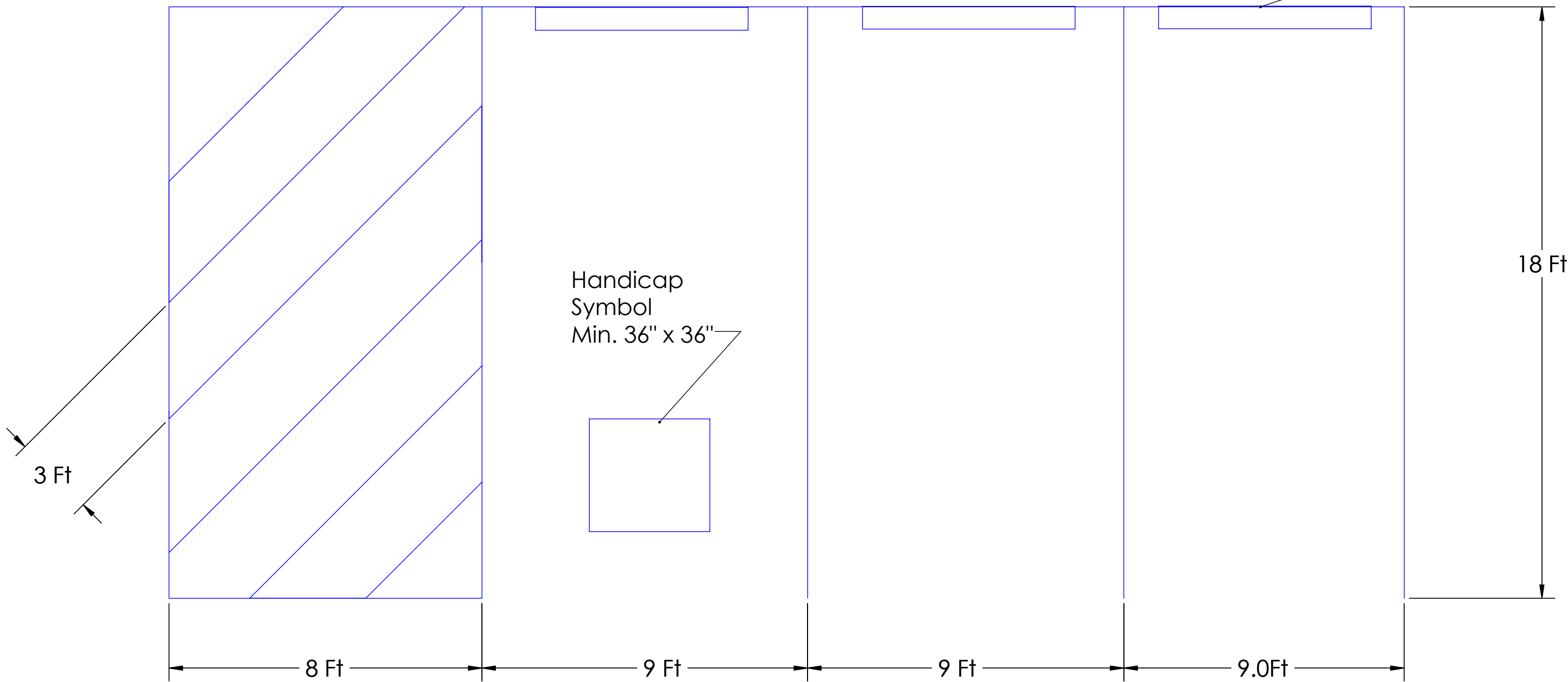
Parking Lot Details (not to scale)

Paint stall and handicap markings with a high contrast color.

Concrete Wheel Stops (flush with end of stall. Anchored to the pavement)

Handicap Parking Sign (2' from end of stall)

Handicap Symbol Min. 36" x 36"



Front of Building/Parking Lot Lighting

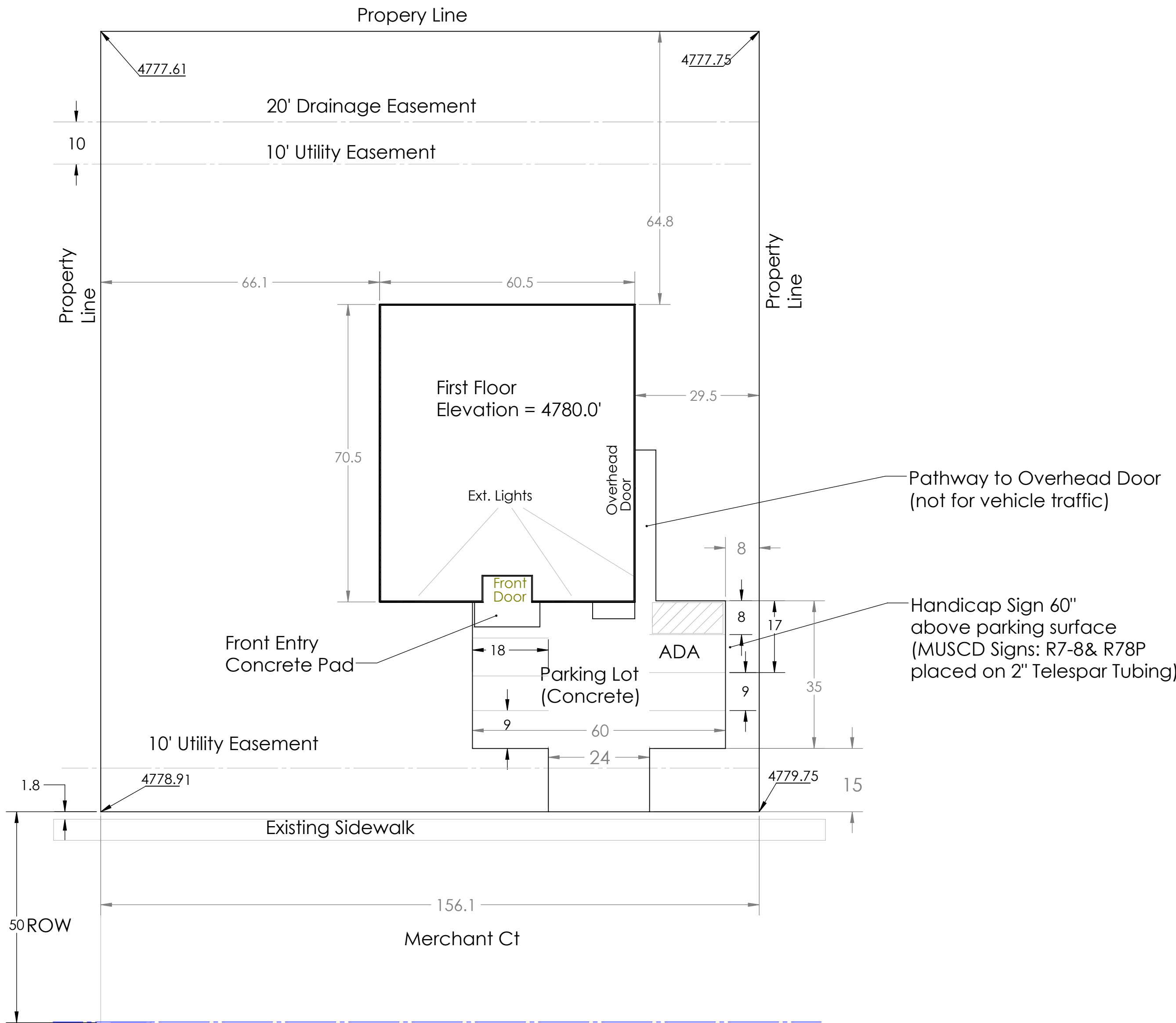
LED Lighting: proposed (2) on front of building and (1) Southwest corner to cover entrance, parking lot and south side pathway.  
Lighting to be full cut off and contained to site (no more than 1000 candella/m^2).



Economy LED Wall Pack, 42 watt, 4,058 Lumens, 120-277V

- Brand: WareLight
- Wattage: 42
- Voltage: 120-277
- Color Temp: 5000K
- Lumens: 4,058
- DLC Product ID# PKGBB5A8
- Finish: Dark Bronze
- Life: 50,000 hours
- Dimmable: No
- Listings: DLC, UL wet, IP66

Site Plan View (Scale 1" =20')



- Notes:
- Bicycle parking available inside the building.
  - Exterior concrete details shown on another sheet.

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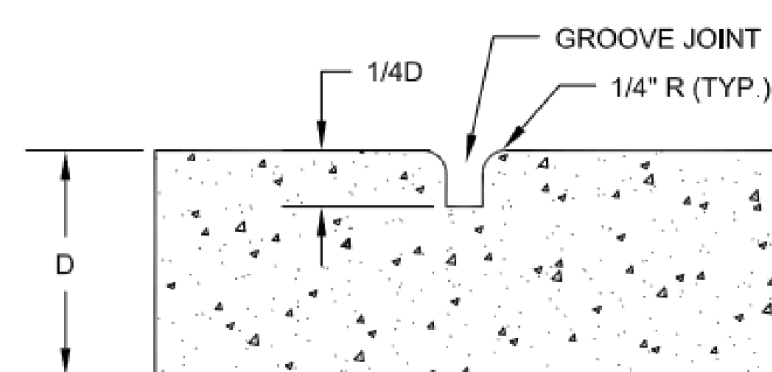
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TOLERANCES:		CHECKED	S. MCOSORN	8/17/18	
ANGULAR: MATCH ±		ENG APPR.			
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TWO PLACE DECIMAL ±		Q.A. COMMENTS:		SIZE	DWG. NO.
THREE PLACE DECIMAL ±				D	180816
INTERPRET GEOMETRIC TOLERANCING PER:				REV	E
MATERIAL				WEIGHT: SHEET 3 OF 11	
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### Concrete Details (Not to Scale)

## Concrete Joint Detail

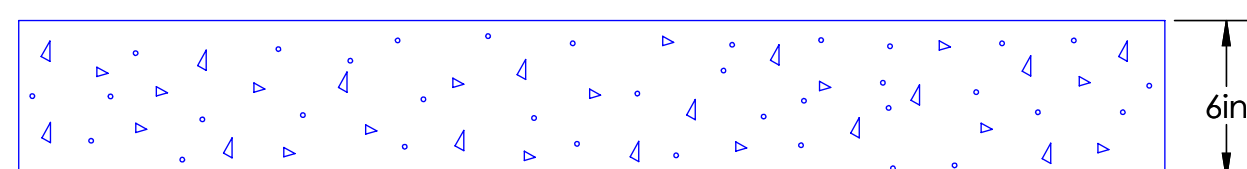


## CONTRACTION JOINT

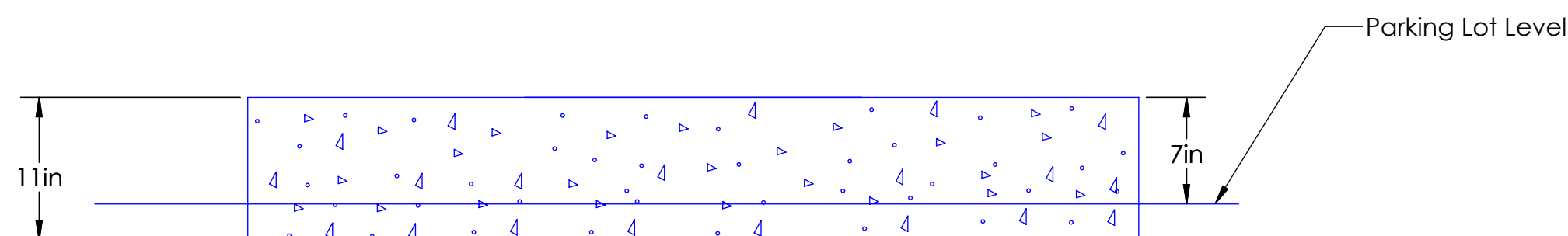
NOTES FOR CONTRACTION JOINTS:

1. FORM WITH TOOL TEMPLATE OR SAWCUT JOINTS.
2. IF SAWCUTTING IS USED, SAWCUTTING SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS.
3. MAXIMUM DISTANCE BETWEEN JOINTS IS 10', MINIMUM DISTANCE IS 5'.

### Concrete Parking Lot (Side View)

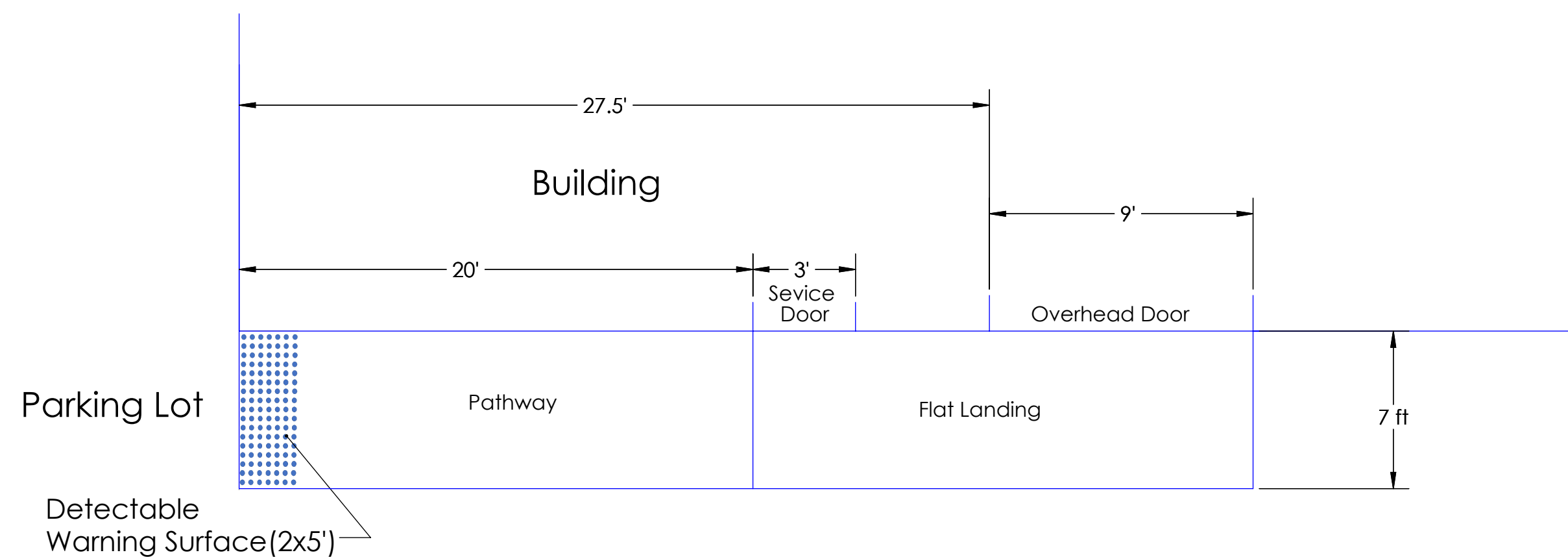


### Front Door Concrete Pad Detail (Side View)

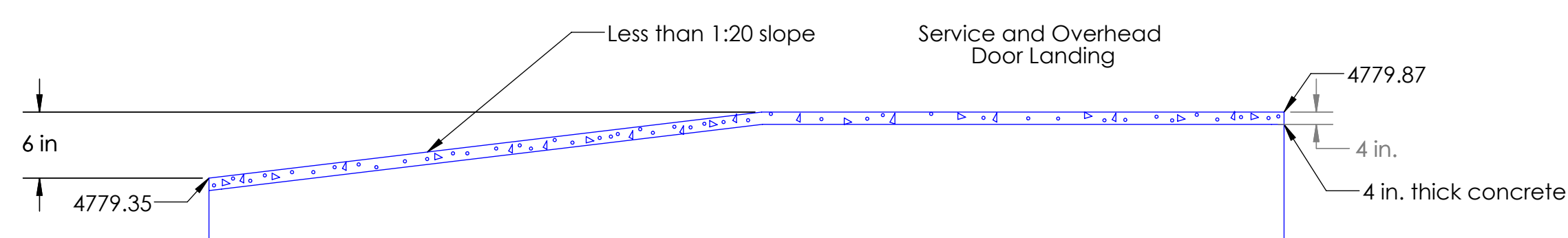


### South Pathway Detail

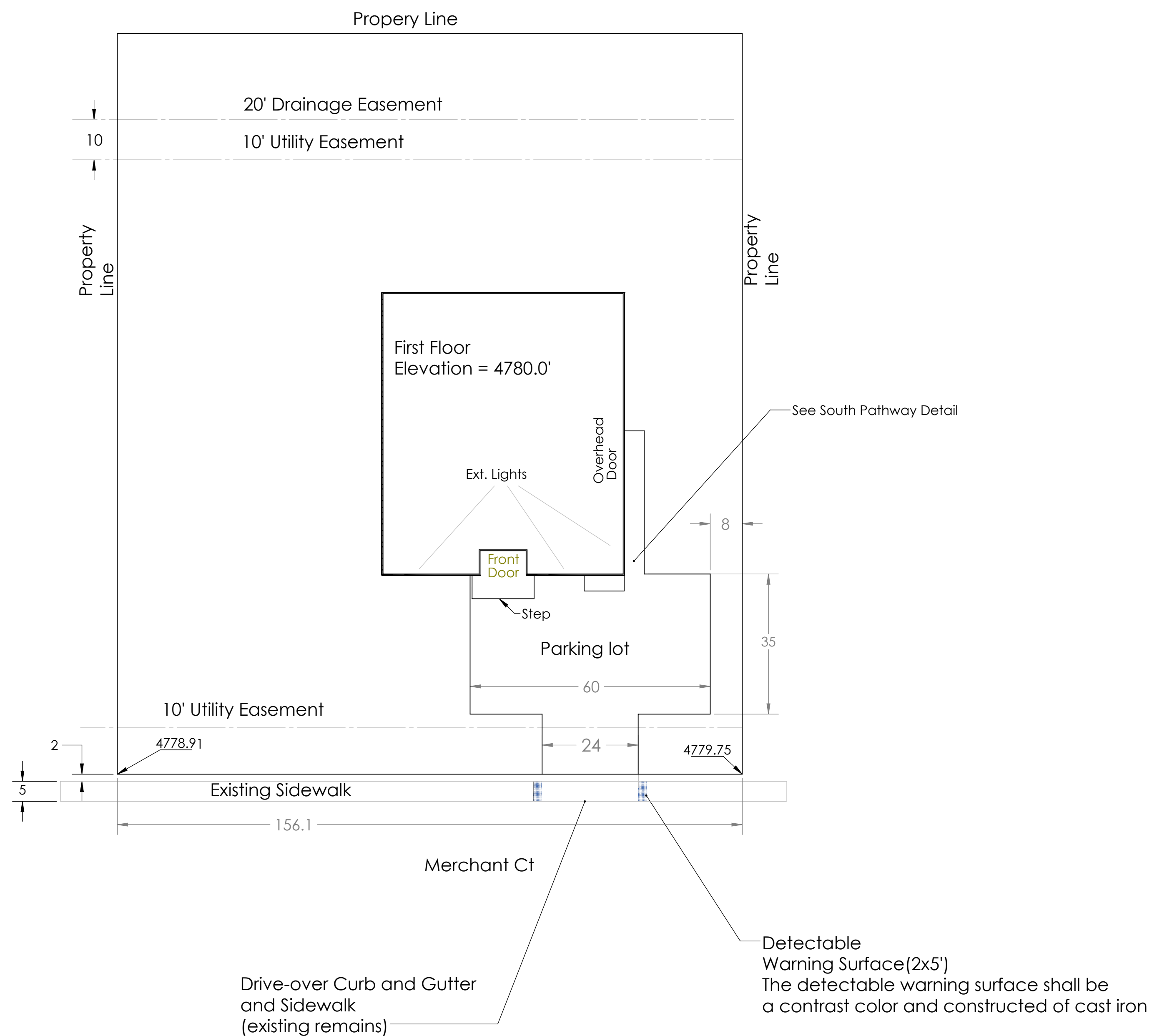
Top View



## Side View



Site Plan View (Scale 1" =20')



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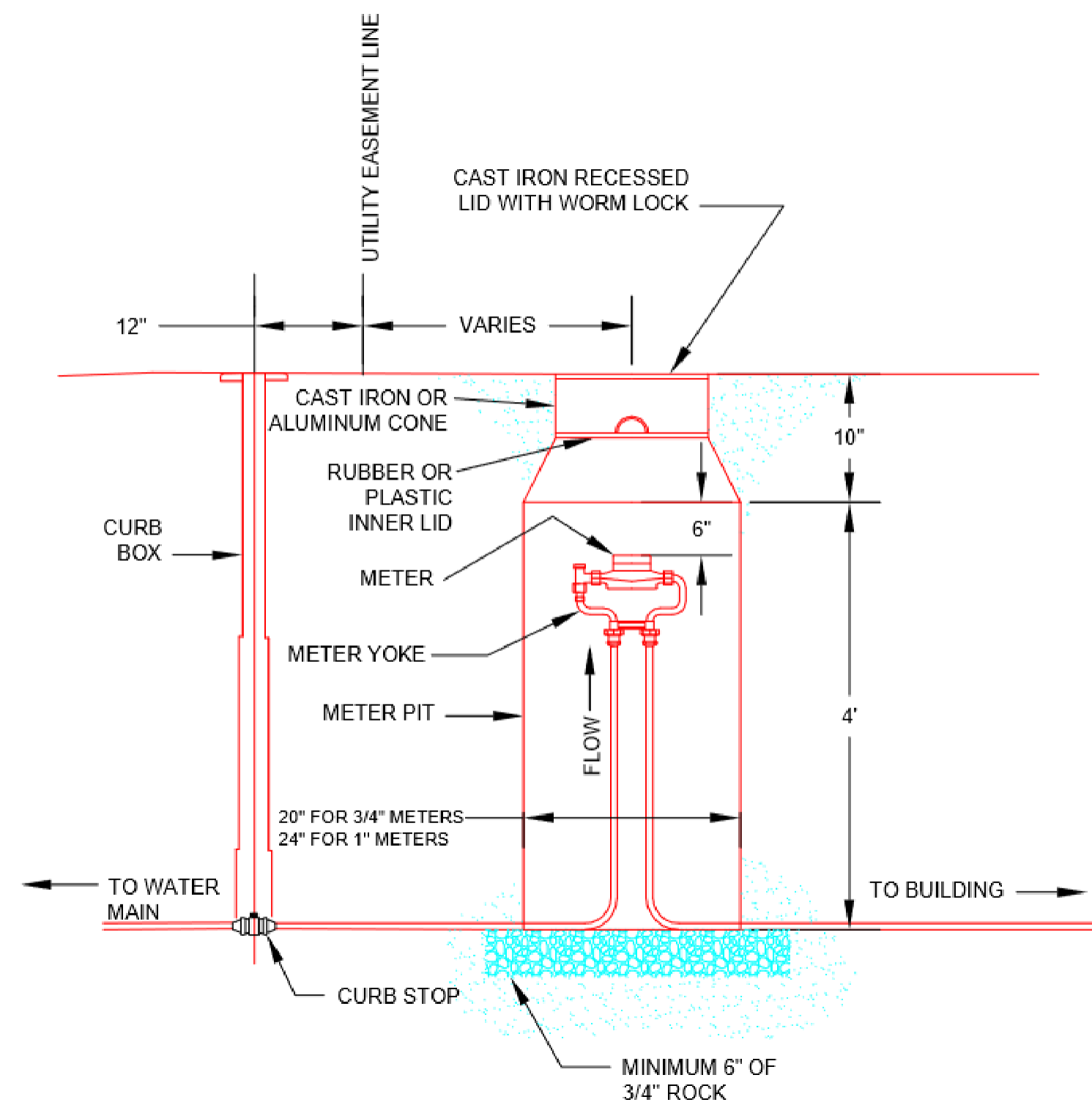
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		TOLERANCES:		CHECKED		S MCGOWAN				Windsor Commons	
		FRACTIONAL ±		ENG APPR.						Subdivision 3rd Filling	
		ANGULAR: MACH ±		MFG APPR.				Block3 Lot 8 Site Plan			
		BEND ±		Q.A.				SIZE			
		TWO PLACE DECIMAL		COMMENTS:				DWG. NO.			
		THREE PLACE DECIMAL ±						180816			
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APPLICATION		DO NOT SCALE DRAWING						WEIGHT:			
								SHEET 4 OF 11			

General Notes (see general notes page for completed list of all notes)

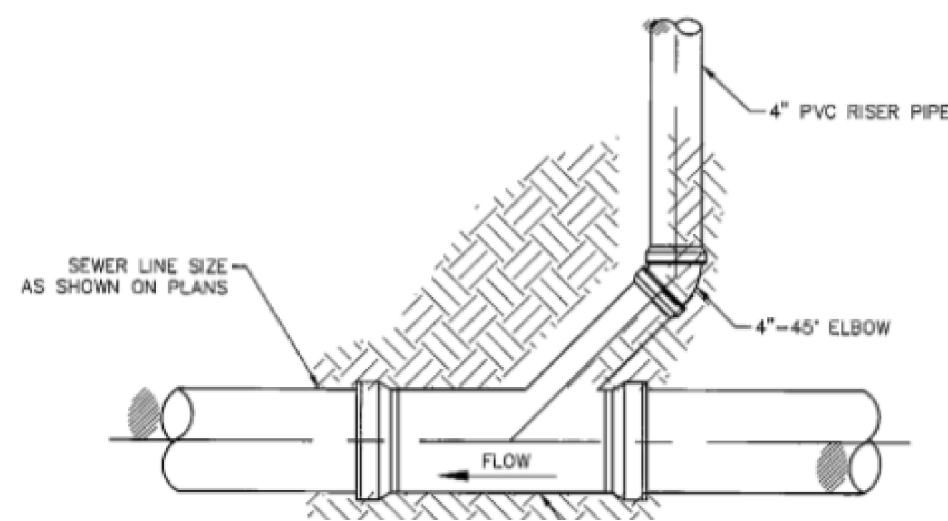
- Sewer and waterline construction shall conform to the Town of Windsor Standards
- Prior to commencement of construction, the contractor shall provide the Town Engineer 24 hours advanced notice.
- The site work will not disturb or involve any streets, curbing, sidewalks, storm drains or drainage ditches.
- Any damage to existing curbs or sidewalks shall be repaired prior to the acceptance of improvements.
- The type, size and location of utilities is approximate and shall be verified prior to preforming any work.
- The contractor should immediately remove any debris or mud tracked onto roadways.
- The contractor shall notify the Town of Windsor Public Works Dept at 970 674-5400 48 hours prior to installing new sewer service or water service.
- The Contractor shall maintain one set of "redlined" prints.
- The Contractor shall perform all work according to all Town, County, State and Federal Safety and Health regulations.

Utility Notes

- All waterlines shall be C900, DR 18 PVC pipe with a minimum 12 gage insulated tracer wire.
- All waterlines shall be buried a minimum of 5 feet below finished grade.
- The contractor shall maintain a minimum of 10 feet of horizontal separation and 18 inches of vertical separation between all sewer and water lines.
- All existing utilities are approximately shown and locations need to be verified by the contractor prior to construction.
- No tree(s) shall be located within 10 feet of facilities.
- All gate valves shall have valve boxes.
- Fire sprinkler services shall be mechanically restrained PVC with valve boxes labeled "Fire".
- Fire hydrant branch lines shall be 6 inch mechanically restrained PVC unless otherwise noted and approved. No horizontal bends or offsets shall be used when installing fire hydrant branch lines.
- Water service shall be ¾ inch Type K copper unless otherwise noted.
- All fittings shall be mechanically restrained along with thrust block installation.
- Where non-potable irrigation lines cross above or below potable waterlines, the non-potable line shall be incased with a C900 sleeve per Town of Windsor standards.
- All storm drains crossing above waterlines shall be encased per Town of Windsor standards.
- Sanitary sewer services shall be 4" SDR 35 PVC unless otherwise noted.
- Sanitary sewer manholes shall be 48" diameter unless otherwise noted.
- All manholes shall be air tight and vacuum tested in accordance with Town requirements.
- All sanitary sewer lines shall be SDR 35 PVC unless otherwise noted.

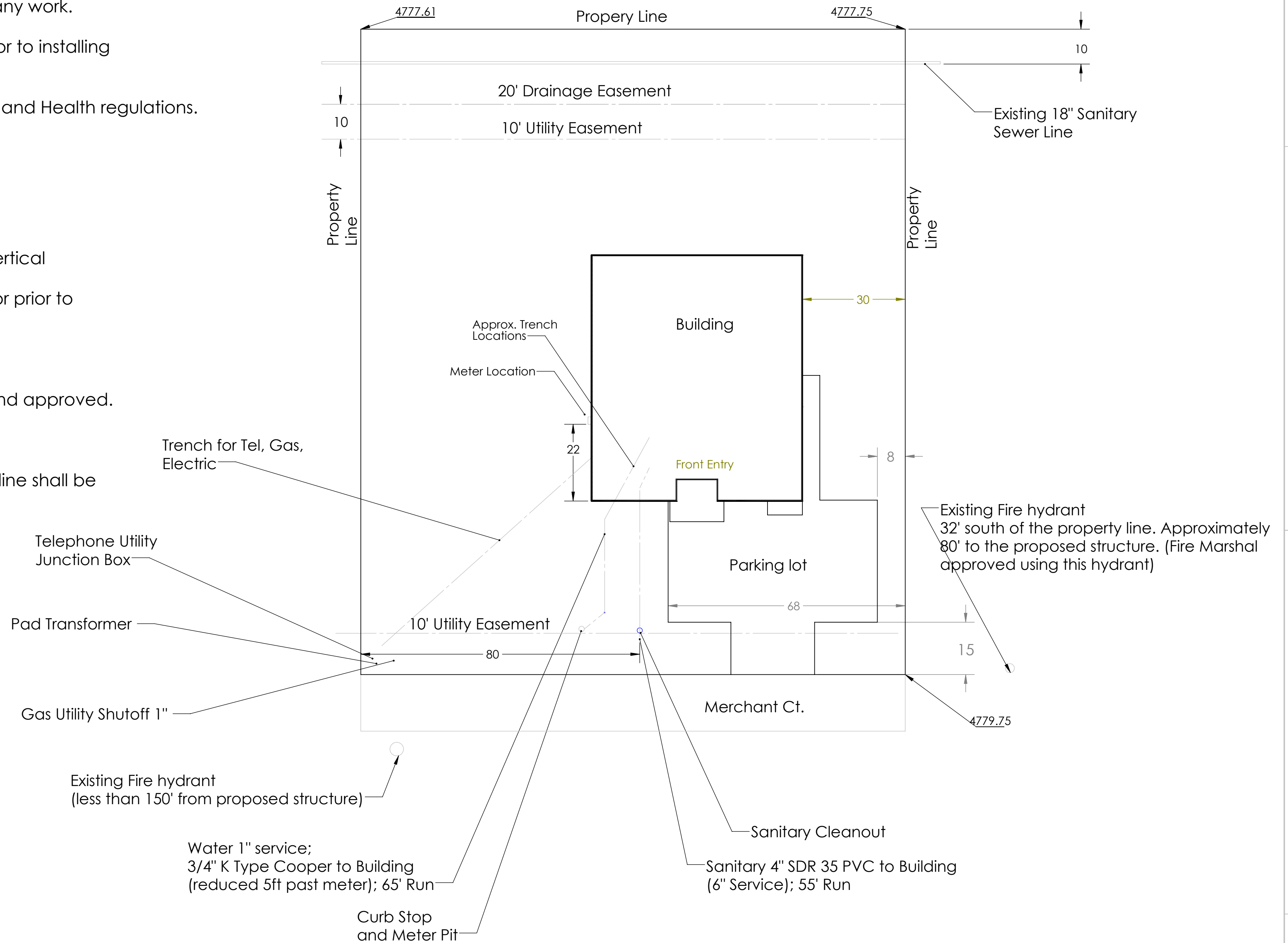


Cleanout Detail



Site Plan View (Scale 1" =20')

Lot 8 Block 3 Windsor Commons



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DIMENSIONS ARE IN FEET TOLERANCES: FRACTIONAL ± ANGULAR: MAACH ± TWO PLACE DECIMAL ± THREE PLACE DECIMAL ±	DRAWN	J. COMLEY	8/16/18
	CHECKED	S. MCOSOH	8/17/18
	ENG APPR.		
	MFG APPR.		
INTERPRET GEOMETRIC TOLERANCING PER:		Q.A. COMMENTS:	
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Utilities		
TITLE: Windsor Commons Subdivision 3rd Filling Block3 Lot 8 Site Plan		
SIZE	DWG. NO.	REV
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WEIGHT:		SHEET 5 OF 11



PlantList

- (3) Shade Tree (Honeylocust)
- (2) Ornamental Trees (Crabapple)
- (1) Evergreen Tree (Bristlecone Pine)
- (36) Small shrub (Spirea)
- (5) Medium shrub (Flowering Currant)
- (5) Large shrub (Lilac)
- (10) Juniper (Prince of Wales)
- Trees shall be 2" (shade) or 6' (evergreen)
- Shrubs are 5 gal size
- Decorative grass can be substituted 3:1

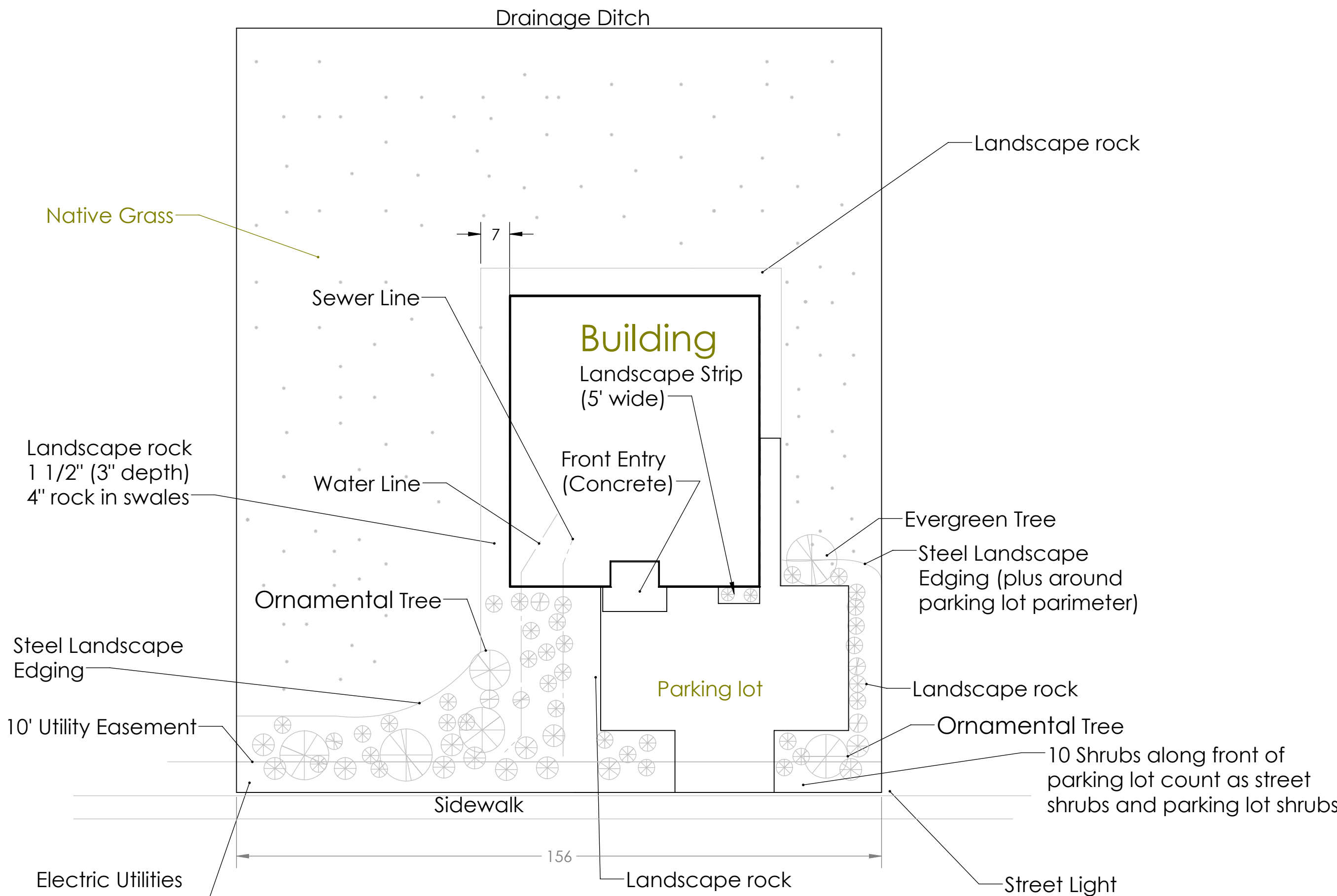
Native Grass Seed Mix (Buffalo Brand Seed):

- 34% Blue Grama

Windsor Planting Notes:

1. All plant materials shall be in accordance with American Association of Nurserymen specification for number one grade.
2. All turf areas to be irrigated with automatic pop-up irrigation system. All shrub beds and trees to be irrigated with an automatic drip (trickle) irrigation system, or acceptable alternative. The irrigation system is to be adjusted to meet the water requirements of the individual plant material.
3. All trees to be balled and burlapped, root control bag, or containerized.
4. All shrub beds shall be mulched with wood mulch at a depth of 3-4". In rock mulch areas install wood chips around the base of planting.
5. Edging between grass and shrub beds shall be of appropriate material as called out on the site plan and set level with top of sod.
6. Changes in plant species or plant locations from what is listed on the landscape plan will require the approval of the Town Forester prior to installation or replacement. Overall quantity and quality to be consistent with approved plans. In the event of conflict with the quantities included in the plant list, species and quantities shall be provided.
7. Street and ornamental trees shall be planted no closer than forty (40) feet and fifteen (15) feet respectively from street lights. No trees shall be planted within ten (10) feet from water and sewer lines, four (4) feet from gas, telephone, and electric lines, and ten (10) feet from any driveway.
8. A minimum clearance of three (3) feet on each side of the fire department connection (FDC) is required. No vegetation other than turf or ground covers planted in front of FDC.
9. The irrigation system shall be reviewed and approved by the Town's Water Department prior to issuance of a building permit. The irrigation system must be installed or secured with a financial instrument deposited with the Town prior to issuance of a certificate of occupancy for the building.
10. Developer shall ensure that the landscape plan is coordinated with the plans done by other consultants so the proposed grading, storm drainage, or other construction does not conflict nor preclude installation and maintenance of landscape elements on this plan.
11. Prior to installation of plant materials, areas that have been compacted shall be thoroughly loosened. Organic amendments such as compost, peat, or aged manure shall be thoroughly incorporated at a rate of at least three (3) cubic yards per 1,000 square feet, and tilled no less than six (6) inches deep.
12. Turf grass will be seeded or sodded with drought tolerant blend. Trees to be planted in turf areas will be installed with a chipped wood mulch ring that has a radius of at least eighteen (18) inches.
13. To the maximum extent feasible, topsoil that is removed during construction activity shall be conserved for later use on areas requiring re-vegetation and landscaping.
14. Contact the Town Forester prior to planting in order to verify proper planting.
15. No substantial impediment to visibility between the heights of three (3) feet and eight (8) feet shall be created or maintained at street intersections within a site triangle described as follows: beginning at the point of intersection of the edges of the driving surface, then to forty (40) feet along both intersecting edges and then along a transverse line connecting these points. (Also see Town of Windsor Zoning Section 16-10-10 Visibility).
16. If plants are in need of replacement due to declining health, disease, or death, the plants must be replaced with the original species unless approved by the Town Forester.

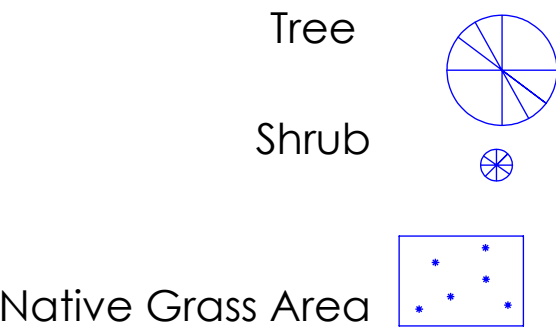
Landscape View (Scale 1" =20')



Notes:

- See Site Plan page for land use table
- Native grass area will require temporary watering for 2 years.
- Shrubs >5' from sidewalk
- Wherever the sidewalk is attached to the street, shade trees shall be established in an area ranging from three (3) to seven (7) feet behind the sidewalk
- Tree > 15' from any signs
- No tree planting is to be made closer than ten (10) feet or one-half (1/2) of the mature canopy width from any building or structure
- Use 5 or more shrubs in any one planting area
- Trees > 40' from any street light, 15' for Ornamental
- Trees > 10' from any sewer and or water line
- Four feet between trees and gas, telephone, electric and cable
- Minimum 30' spacing between shade trees
- Landscape rock to be 1 1/2" river rock, with smaller areas of 4" rock
- Wood mulch to be place around base of trees and shrubs(per Sec17-13-502(b)(3), 3" depth
- Weed barrier shall be placed under all rock and mulched areas
- To the maximum extent feasible, topsoil that is removed during construction activity shall be conserved for later use on areas requiring revegetation and landscaping
- 4" high steel edging to be used around landscape area

Legend



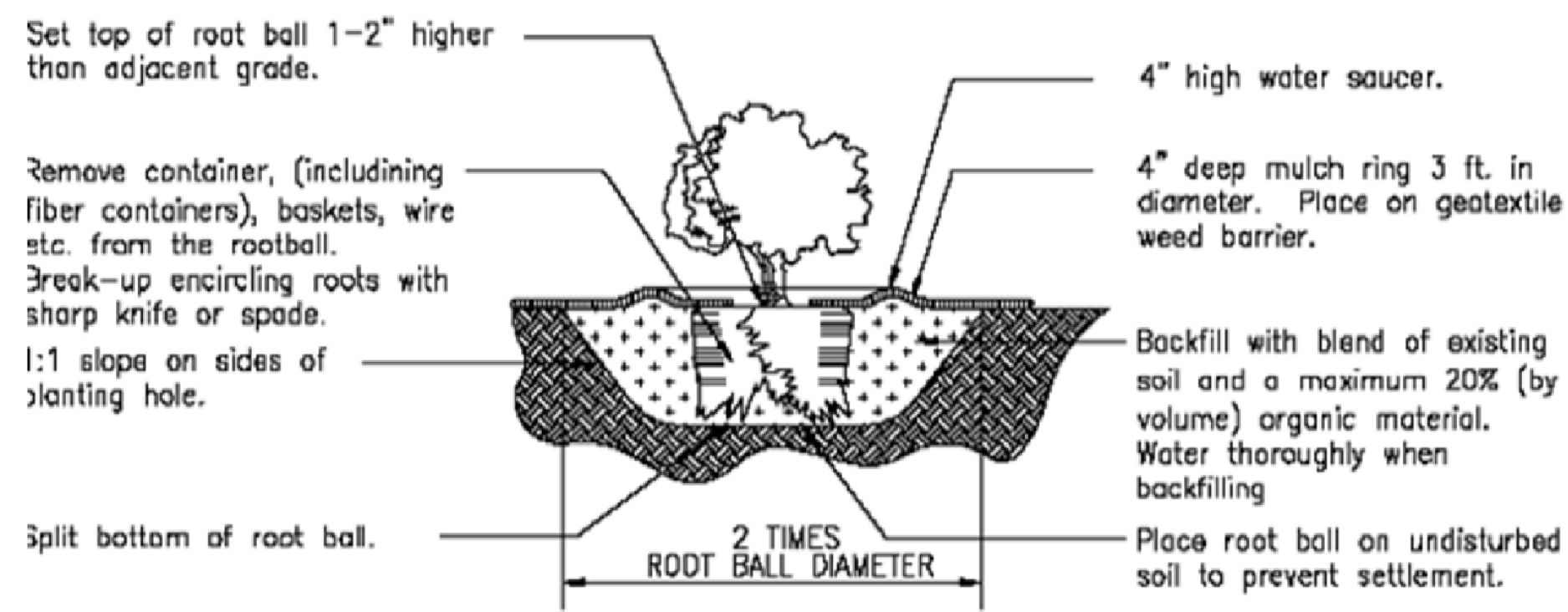
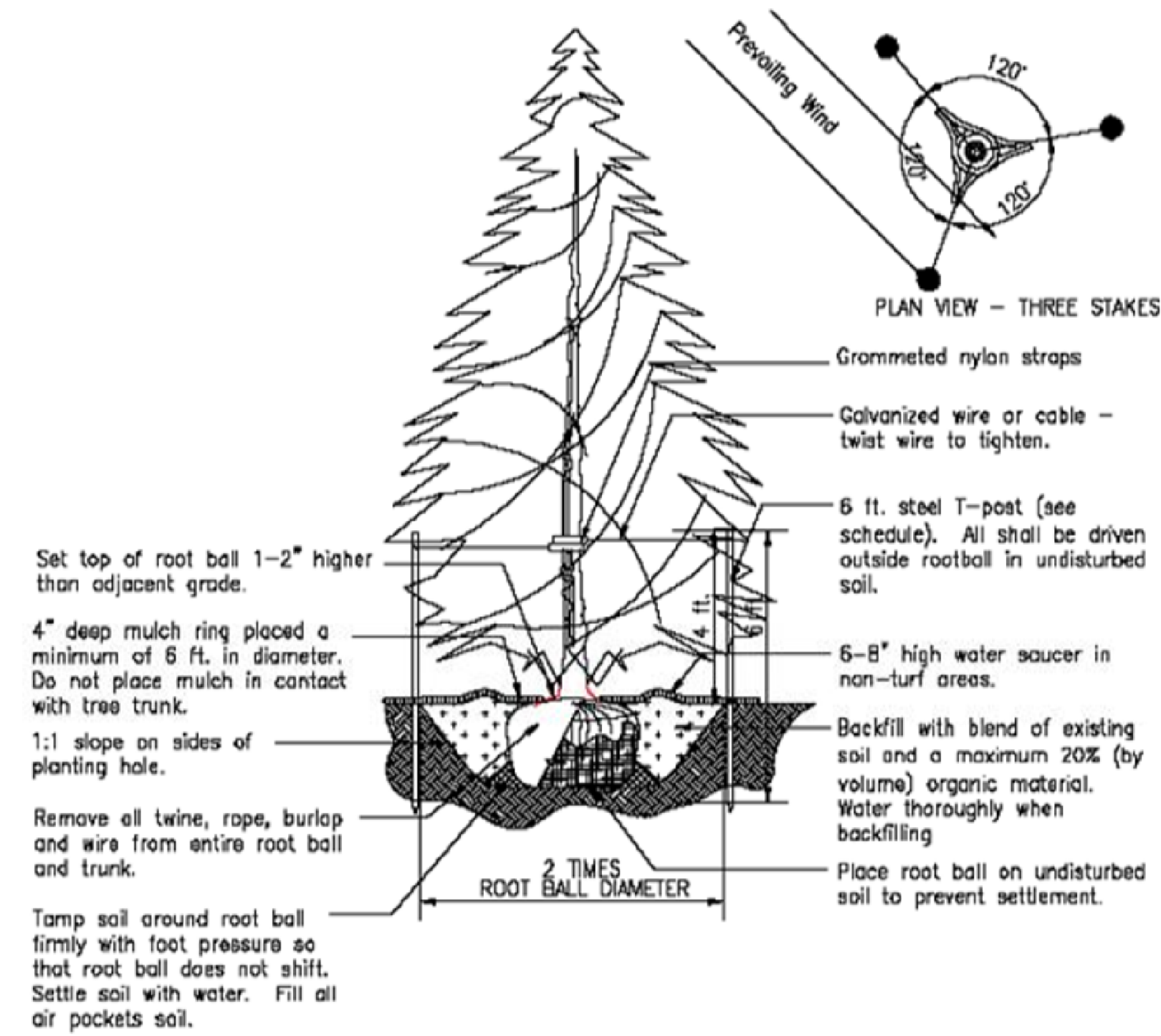
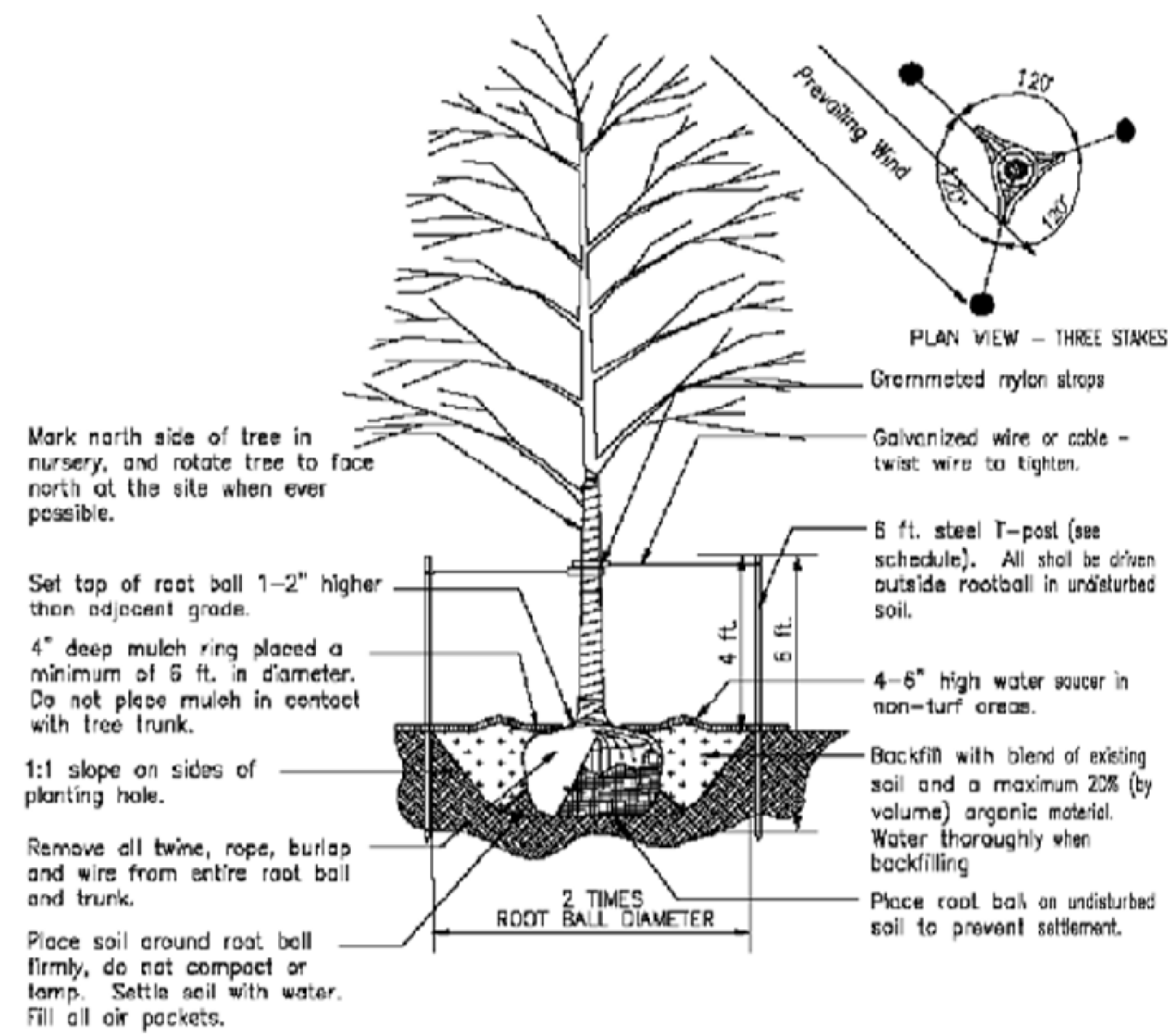
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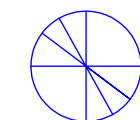
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ANGULAR: MAACH ±		MFG APPR.			
TWO PLACE DECIMAL ±		G.A.		SIZE DWG. NO.	
THREE PLACE DECIMAL ±		COMMENTS:		D 180816	
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TOLERANCING PER:				SCALE: 1:384WEIGHT:	
MATERIAL				SHEET 6 OF 11	
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## Planting Details



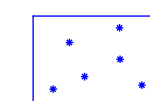
## Legend



Tree



Shrub



Native Grass Area

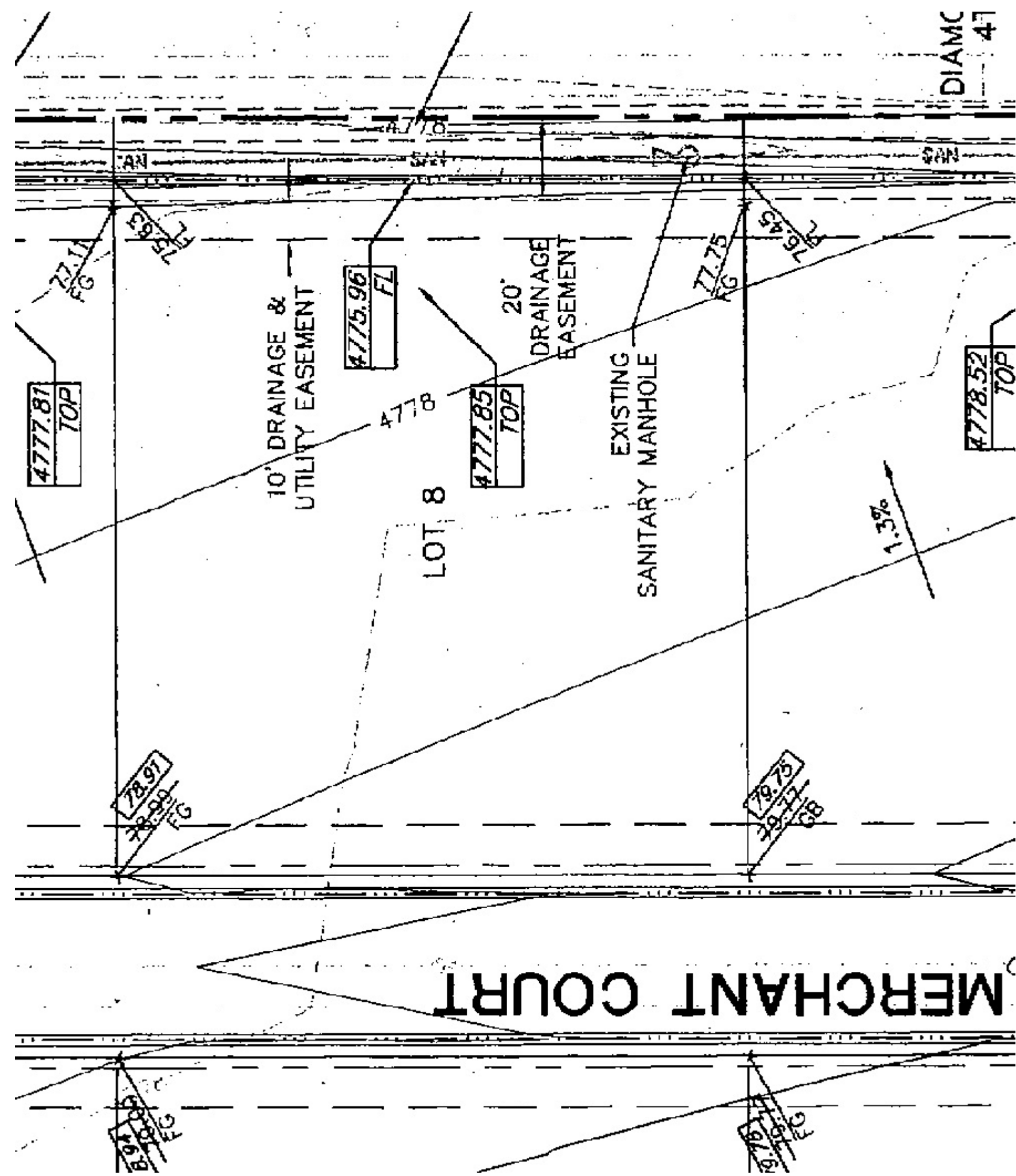
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DRAWING REVIEW  
REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN  
DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
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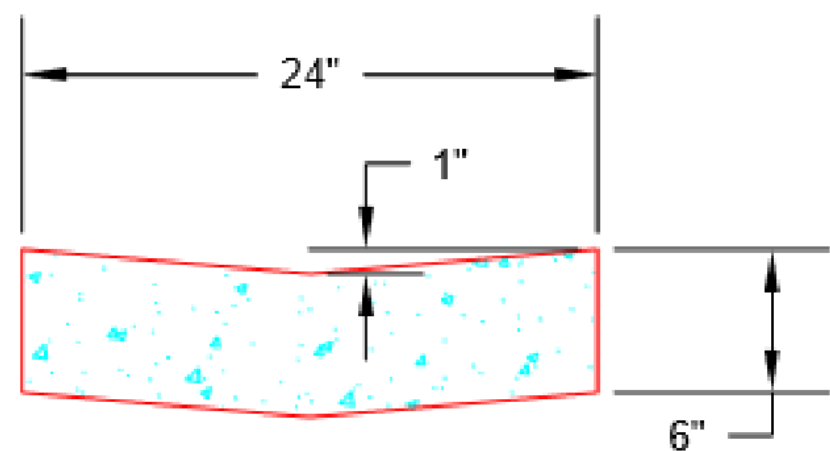
UNLESS OTHERWISE SPECIFIED:		NAME	DATE	TITLE:	
DRAWN	S.MCCORMICK	2/6/2019		Landscape Plan (2)	
CHECKED	S.MCCORMICK	2/11/2019		Windsor Commons	
ENG APPR.				Subdivision 3rd Filling	
MFG APPR.				Block3 Lot 8 Site Plan	
INTERPRET GEOMETRIC TOLERANCING PER:		COMMENTS:		SIZE DWG. NO. REV	
MATERIAL				D 180816 E	
NEXT ASSY		USED ON		SCALE: 1:384WEIGHT:	
APPLICATION		DO NOT SCALE DRAWING		SHEET 7 OF 11	



Existing Grading



Concrete Pan Detail

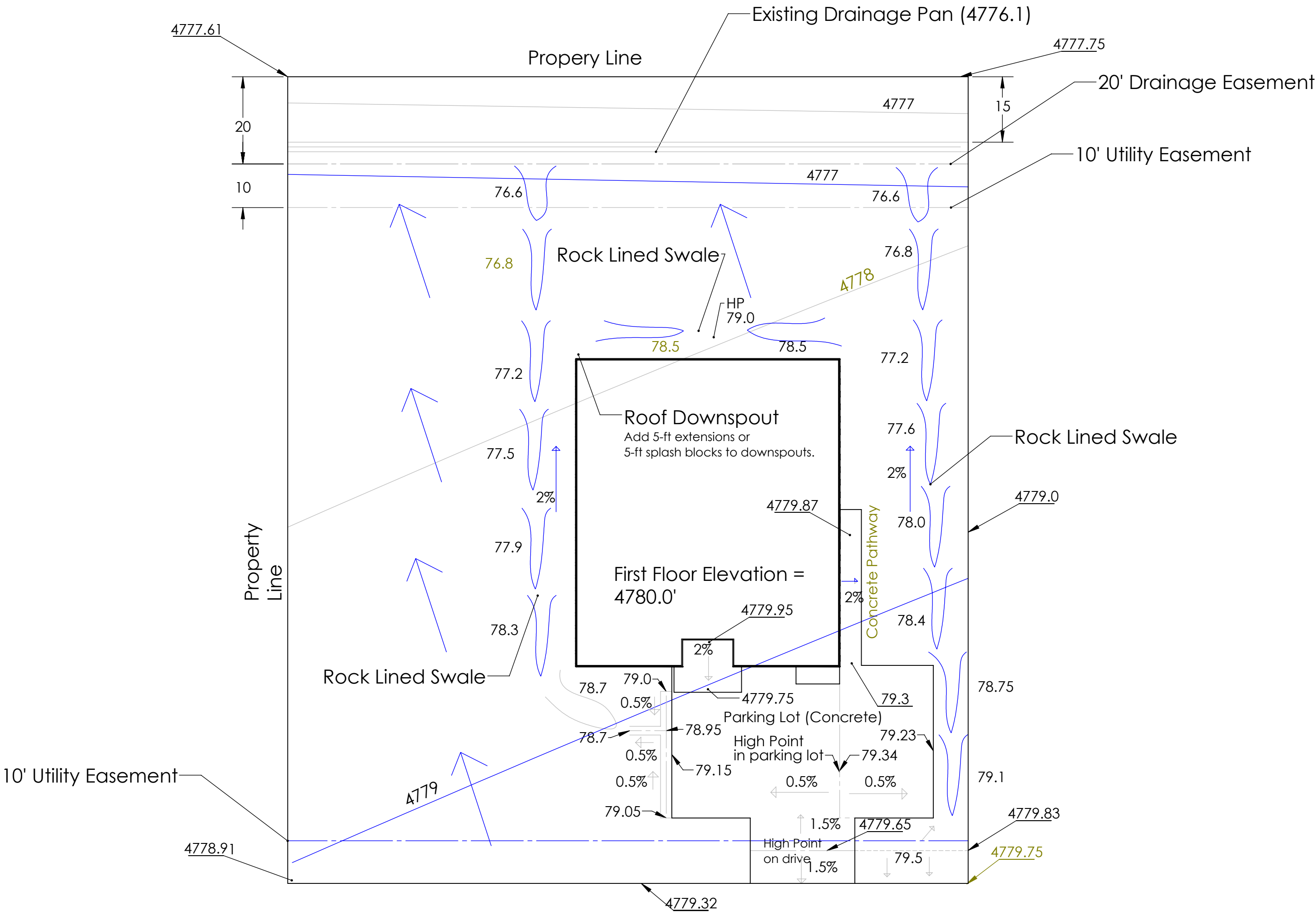


**2' CONCRETE PAN**

NOTE FOR CONCRETE PAN:

1. PROVIDE CONTRACTION JOINT EVERY TEN (10) FEET.

Proposed Grading  
Lot 8 Block 3 Windsor Commons  
Scale 1" = 20'



Notes: Backfill around foundation shall be .5' below first floor elevation. Slope around foundation shall be a minimum of 6" within 10' of foudation. Impervious structures within 10' around foundation shall shall be sloped a minimum of 2% away from the building.

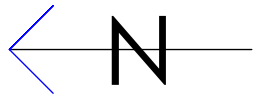
Site plan\_RevE 6\_26\_19

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TOLERANCES:		DRAWN	
FRACTIONAL: ±		CHECKED	
ANGULAR: MATCH ±		ENG APPR.	
TWO PLACE DECIMAL ±		MFG APPR.	
THREE PLACE DECIMAL ±		Q.A.	
INTERPRET GEOMETRIC		COMMENTS:	
TOLERANCING PER:			
MATERIAL			
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


TITLE:		Drainage and Grading	
WINDSOR COMMONS		SUBDIVISION 3RD FILLING	
BLOCK 3 LOT 8 SITE PLAN			
SIZE	DWG. NO.	REV	
D	180816	E	
SCALE: 1:384		WEIGHT:	
		SHEET 8 OF 11	



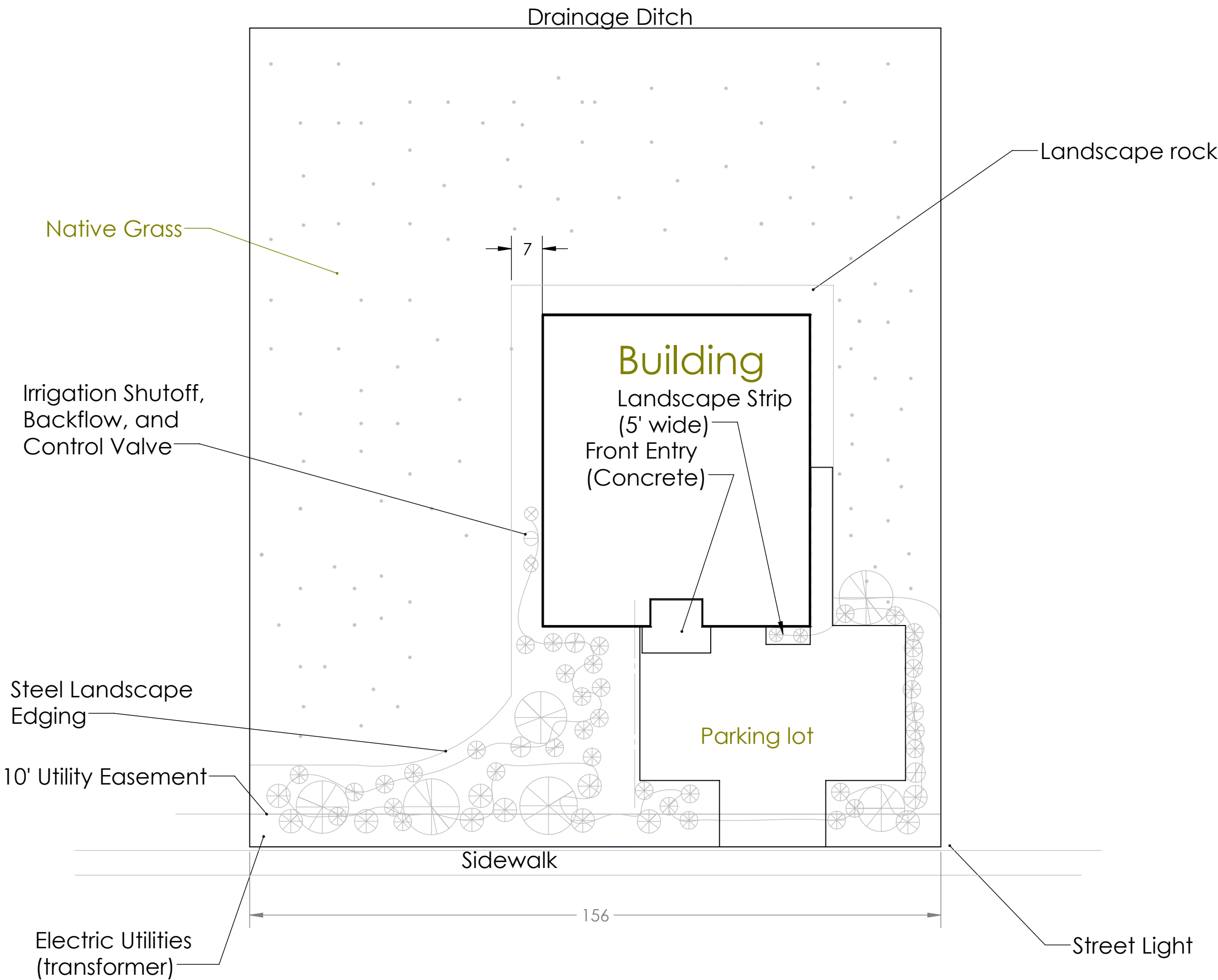
Notes:

- Only permanet irrigation water is drip line for trees and shrubs, 3/4" line (one zone).
- Native grass areas will have temporary irrigation for period of two years after planting.
- Based on vegetation, the water comsumption will be very low.

Legend

-  Shutoff Valve
-  Backflow Preventor
-  Remote Control Valve
-  Dripline

Irrigation Plan



Site plan\_RevE 6\_26\_19

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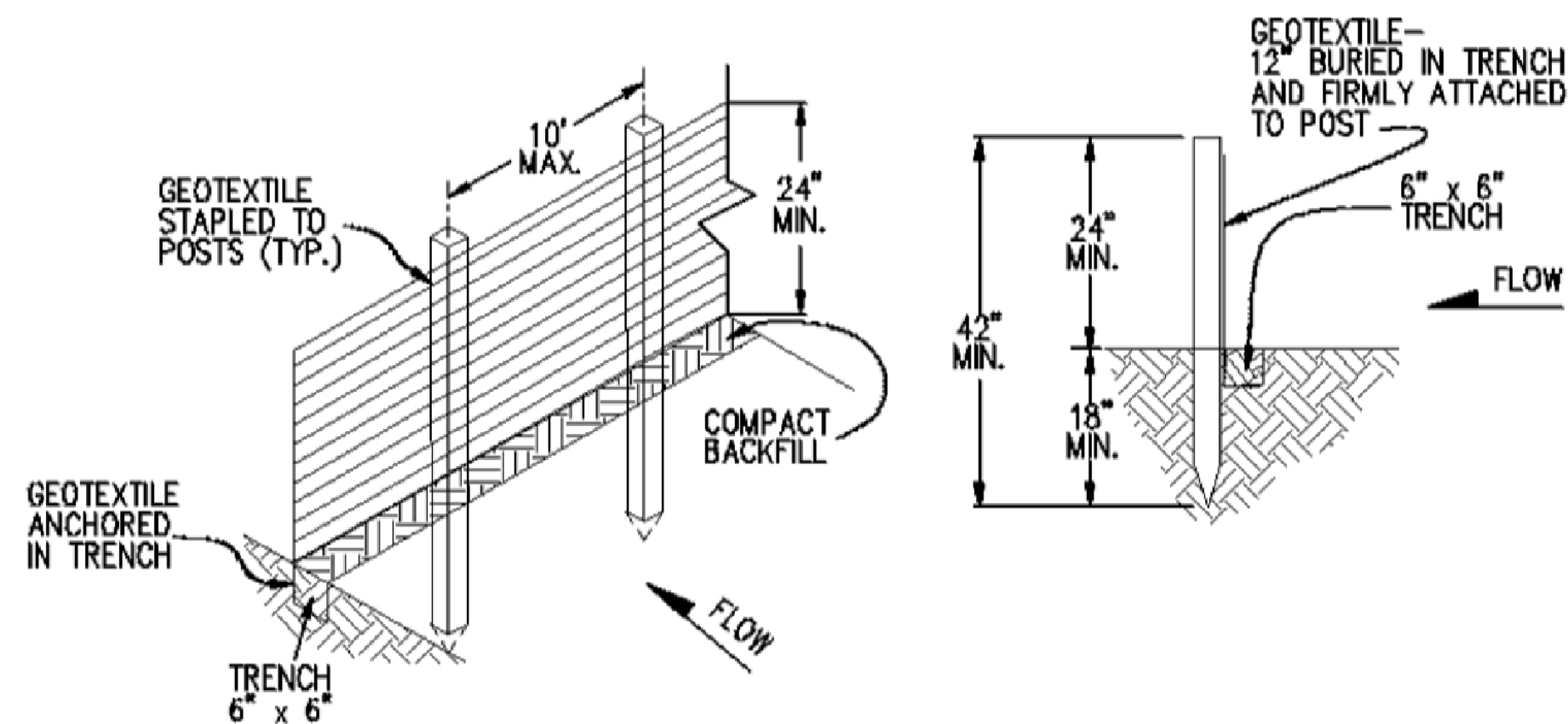
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TOLERANCES:	CHECKED	S. MCCORMICK	2/11/2019
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BEND: ±			
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Irrigation Plan		
TITLE: Windsor Commons Subdivision 3rd Filling Block3 Lot 8 Site Plan		
SIZE	DWG. NO.	REV
D	180816	E
SCALE: 1:384		WEIGHT: SHEET 9 OF 11



GRADING, EROSION AND SEDIMENT CONTROL NOTES

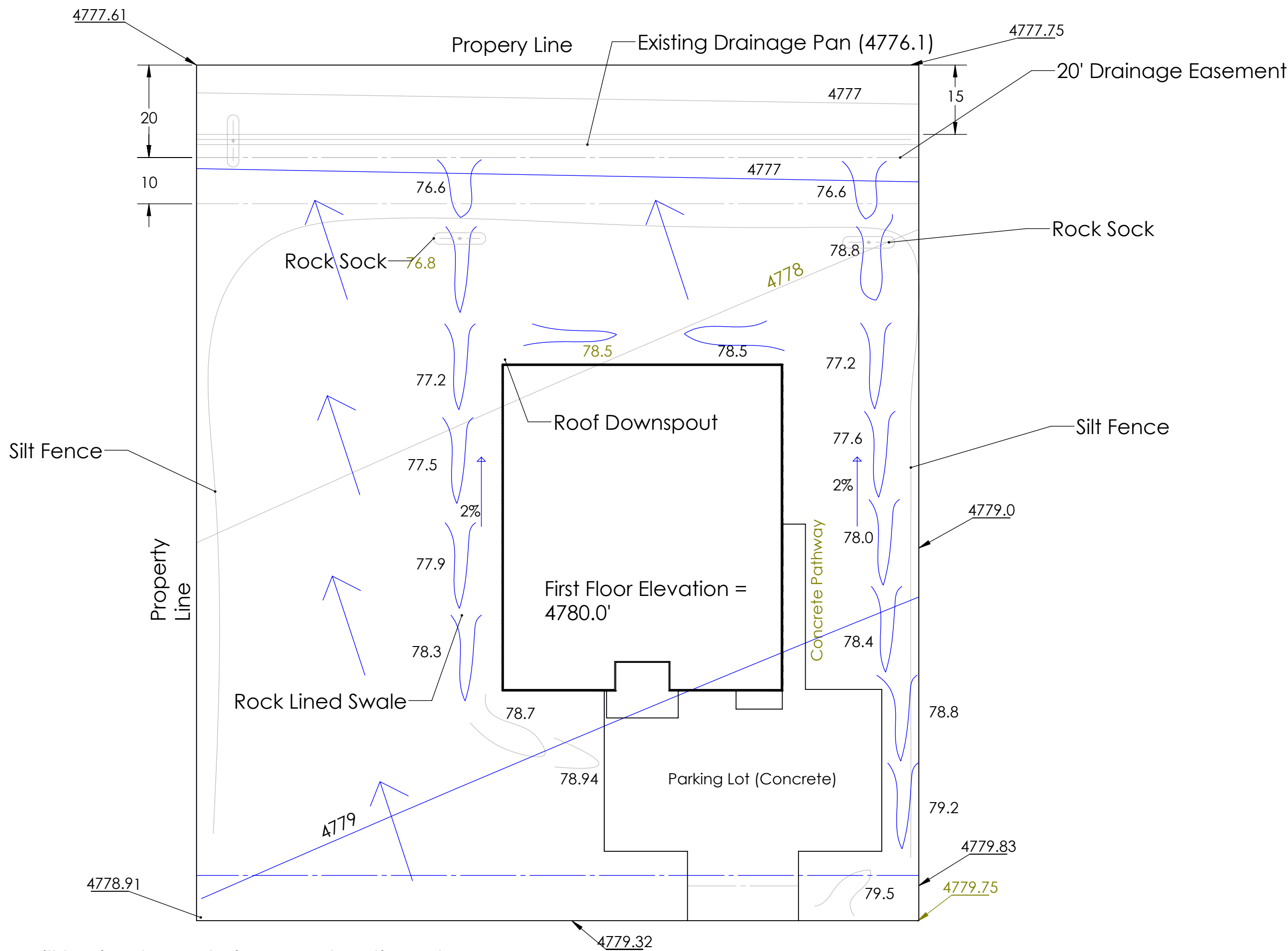
1. Any land disturbance within the Limits of Disturbance noted on this plan by any owner, developer, builder, contractor, or other person shall comply with the Best Management Practices requirements and prohibitions noted in the USDCM: Vol. III Stormwater Quality, Chapter 7. NOTE: The use of Straw Bale Barriers (SBB), noted as SC-03 in the Urban Storm Drainage Criteria Manual, is discouraged in the Town. Specific approval from the Town's Storm Water Program Coordinator is required for use.
2. Non-Compliance and any Notice of Violation is the responsibility of the Owner signing these plans.
3. No clearing, grading, excavation, filling, or other land disturbing activities shall be permitted until signoff and acceptance of the Grading, Erosion and Sediment Control Plan is received from TOW Engineering, and an initial inspection has been completed.
4. The installation of the first level of temporary sediment and erosion control facilities and BMPs shall be installed and inspected prior to any earth disturbance operations taking place. Call the Stormwater Program Coordinator, 970-674-2490, 48 hours prior to construction.
5. Sediment (mud and dirt) transported onto a public road, regardless of the size of the site, shall be removed and properly disposed of immediately. Power washing of pavement is not allowed without approval.
6. Concrete wash water shall not be allowed to runoff to State Waters, including groundwater and any surface or subsurface storm drainage system or facilities. Concrete wash water, and waste water used in rinsing tools used for grout, mortar, saw cutting, and similar materials shall be collected in an approved wash out area, removed regularly, and disposed of appropriately.
7. Soil erosion control measures for all slopes, channels, ditches, or any disturbed land area shall be completed within fourteen (14) calendar days after final grading or final earth disturbance has been completed. Disturbed areas and stockpiles which are not at final grade but will remain dormant for longer than thirty (30) days shall also be mulched within fourteen (14) days after interim grading. An area that is going to remain in an interim dormant state for more than sixty (60) days shall be seeded and mulched (conditions permitting), or an appropriate soil binder shall be applied if conditions do not permit seed germination, within fourteen (14) days after grading operations cease. All temporary soil erosion control measures and BMPs shall be maintained until permanent soil erosion control measures are implemented.
8. The grading, erosion and sediment control plan will be subject to re-review and re-acceptance by the Town of Windsor Engineering should any of the following occur: grading does not commence within twelve (12) months of the Town Engineer's acceptance of the plan, a change in property ownership, proposed development changes, or proposed grading revisions.
9. This plan contains Erosion and Sediment control methods and best management practices (BMPs) to be used during construction; additional measures and BMPs may be required as conditions change. It is the contractor's responsibility to ensure compliance with federal, state and Town of Windsor requirements, and the Stormwater Program Coordinator must be notified of any major changes.



SILT FENCE

GEOTEXTILE SHALL BE ATTACHED TO WOOD POSTS WITH THREE OR MORE STAPLES PER POST.  
STAPLES SHALL BE 1/2"  
WOOD POST SHALL BE 1 1/2" x 1 1/2" NOMINAL.

10. All BMPs are to be maintained per the specifications noted in this plan. If any substantial deviation from installation/implementation specifications may better suit a particular application, contact the Stormwater Program Coordinator for approval before installation, or making a change to the BMP or its location.
11. Soils exposed by land disturbing activities on slopes shall be kept in a roughened condition by ripping/disking along contours to prevent erosion. Techniques such as surface roughening and/or dust suppression with water trucks shall be used to minimize wind erosion.
12. All temporary BMPs must be removed from the constructions site and properly disposed of once final stabilization is achieved, except BMPs with specifications that allow the BMP to remain in place (i.e. bio-degradable BMPs).
13. Upon the request to close out the Grading, Erosion and Sediment Control permit, contractor shall ensure that all areas disturbed by construction activities, both on and off site, will have a uniform vegetative cover established, with acceptable plants, and with an individual plant density of at least 70 percent of pre-disturbance levels, or equivalent permanent physical erosion reduction methods.



Notes:

- A silt fence will be in place during construction at or near the edge of the property per 208.04..
- Rock Sock will be placed in drainage swales after excavation (see plan for locations)
- The erosion control device with be kept in good repair throughout construction
- No soil fill will be hauled off or onto the site
- Need vehicles will be allow onto or off site when raining or within 24 hours after
- Construction trash will be controlled ( not allowed to blow offsite)
- Limits of distrubance (< 12,000 sqft)
- Extra soil from foundation excavation will be piled around the North and East perimeter of the building for use as backfill.
- Exitsting vegetation is native grass and weeds; most will remain untouched and areas indicated on landscape plan will be seeded with native grass at end on construction phase.
- No de-watering is expected during construction.
- The Owner shall be the swmp Administrator.
- Materials handling shall be in accordance with subsection 208.06.
- Concrete wash out water shall be contained in accordance with subsection 208.05.

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MFG APPR.			
INTERPRET GEOMETRIC TOLERANCING PER:		COMMENTS:	
MATERIAL			
NEXT ASSY		USED ON	
APPLICATION		DO NOT SCALE DRAWING	

TITLE:		Temp Erosion Control	
Windsor Commons			
Subdivision 3rd Filling			
Block3 Lot 8 Site Plan			
SIZE	DWG. NO.	REV	
D	180816	E	
SCALE: 1:384		WEIGHT:	
		SHEET 10 OF 11	

