

Property Description Report For: 14311 Route 9W, Municipality of New Baltimore

No Photo Available

Status: Active
Roll Section: Taxable
Swis: 194200
Tax Map ID #: 7.01-1-21
Property Class: 415 - Motel
Site: COM 1
In Ag. District: No
Site Property Class: 415 - Motel
Zoning Code: 01 - Commercial
Neighborhood Code: 00001 - Commercial
School District: Ravena-Coeymans-Selkirk
Total Assessment: 2024 - \$300,200
Property Desc:
Deed Page: 1865
Grid North: 1318038

Total Acreage/Size: 2.25
Land Assessment: 2024 - \$39,200
Full Market Value: 2024 - \$732,195
Equalization Rate: 2024 - 41.00%
Deed Book: 2021
Grid East: 676587

Owners

Old Stockade Development
 110 Maiden Ln
 Kingston NY 12401

Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Addl. Parcels	Deed Book and Page
3/31/2021	\$500,000	415 - Motel	Land & Building	Shah, Sejal P	Yes	Yes	No	2021/1865
7/24/1992	\$1	415 - Motel	Land & Building	Shah, Pramod	No	No	No	777/188

Utilities

Sewer Type: Private
Water Supply: Comm/public
Utilities: Electric

Inventory

Overall Eff Year Built: 0
Overall Condition: Fair
Overall Grade: Economy
Overall Desirability: 3

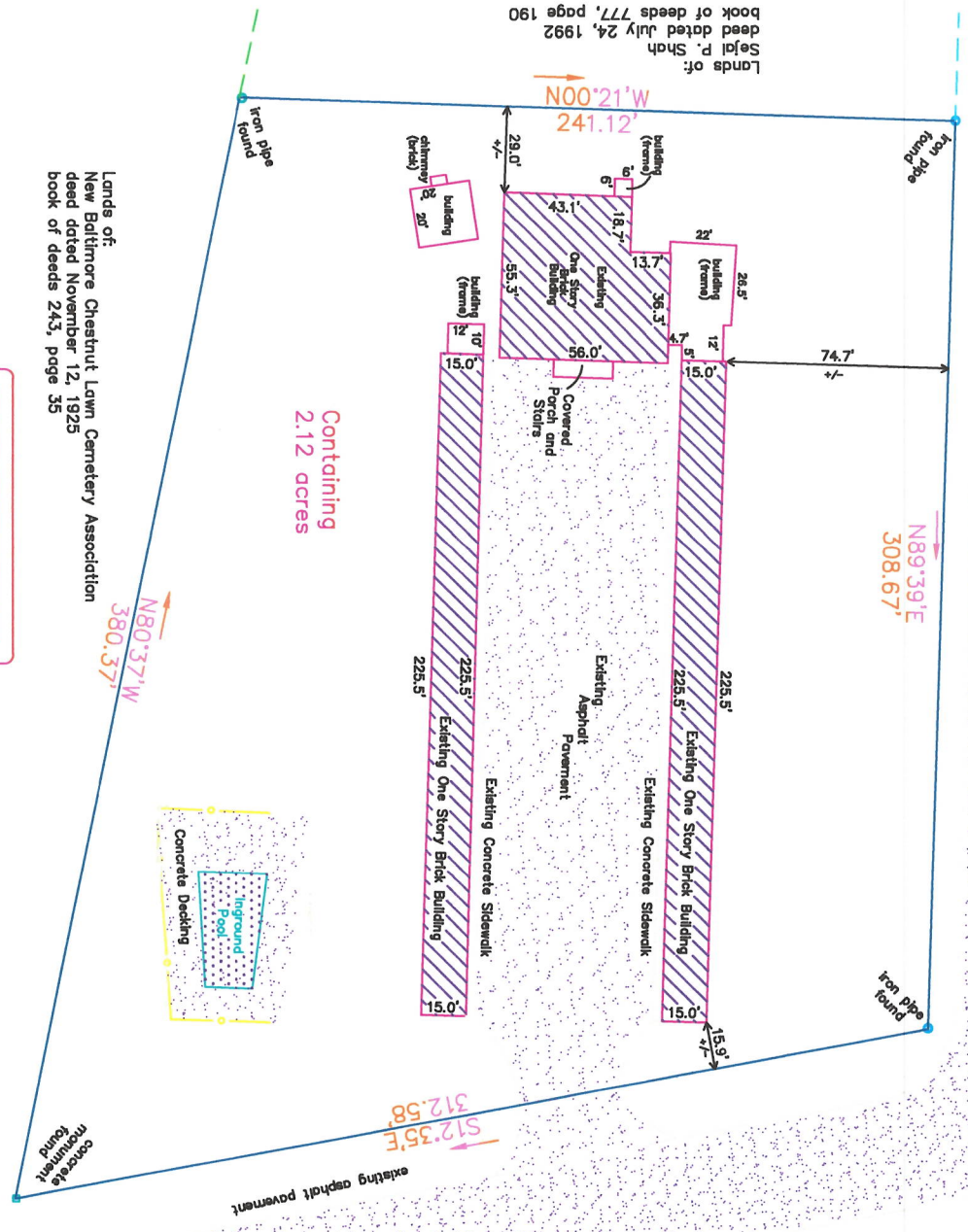
Buildings

AC%	Sprinkler%	Alarm%	Elevators	Basement Type	Year Built	Condition	Quality	Gross Floor Area (sqft)	Stories
0	0	0	0		1950	Good	Average	9704	1



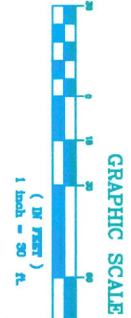
Acquetuct Road

US Route 9W



See deed given by Pramod N. Shah and Sejal P. Shah to Sejal P. Shah, dated July 24, 1992, recorded in the Office of the Greene County Clerk, in book of deeds 777, page 188.

Warning: Deed Recording Information



LAND TITLE SURVEY

Lands of:
Sejal P. Shah
Budget Motel

US Route 9W and Acquetuct Road
Situate in the Town of New Baltimore
County of Greene, State of New York

CHARLES HITE SURVEYORS
(518) 756-9070 Fax 756-9167
131 Main Street, 1st Floor
Ravenna, New York 12143

Drawn by: Charles Hite
Checked by: WAS
Date of Survey 9/16/99

License No. 49814

99595

Unauthorized alteration or addition to a survey map having a licensed land surveyor's seal is a violation of section 7204, sub-section 5, of the New York State education law.

The delineation of survey maps by a licensed land surveyor is a public trust. Licensed land surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Only copies from the original of the survey made with an original of the land surveyor's endorsement shall be considered to be valid true copies.

This map may not be used in connection with a "Survey Affidavit" or other document, statement or resolution to obtain title insurance for any subsequent or future purchase.

Ordinances adopted herein signify that the survey was prepared in accordance with the provisions of the laws of the State of New York and that the surveyor is a duly licensed land surveyor. The surveyor's seal and signature shall run only to the person for whom the survey is prepared and shall not be construed to constitute an endorsement of the surveyor's professional liability insurance, and to the same extent of the liability insurance. Conditions are not favorable to additional limitations or subsequent claims.

CERTIFIED TO:

- 1) Sejal P. Shah
- 2) HSBC Bank USA, it's successors and/or assigns
- 3) Fidelity National Title Insurance Company of New York

Survey notes:

- 1) Map prepared from an accurate field survey, notes and maps of record.
- 2) All bearings and distances are true to the original survey.
- 3) The location of underground improvements or encroachments, if any, not shown on this map are shown on utility evidence maps of ground utility and record drawings and are subject to field verification by excavation, spot or equipped by the surveyor previous or subsequent to this survey.
- 4) The rights of adjacent owners herein, from property lines to buildings are for their own use and to guide the erection of fences, additional structures, or any other improvements, are not shown on this map.
- 5) All measurements are in feet, inches, centimeters and millimeters of round.
- 6) For information only.
- 7) See identification map 7-01-1-21

Lands of:
Sejal P. Shah
deed dated July 24, 1992
book of deeds 777, page 190

Lands of:
New Baltimore Chestnut Lawn Cemetery Association
deed dated November 12, 1925
book of deeds 243, page 35

Containing
2.12 acres

7-01-1-21

TOWN OF NEW BALTIMORE

NEW BALTIMORE, NEW YORK 12124

APPLICATION FOR SEWAGE DISPOSAL SYSTEM

* Requirements

Examined: _____ 19____

Approved: _____ 19____

Disapproved a/c _____

5-2000

APRIL 17 2000

Sanitary Inspector

Date of Application

INSTRUCTIONS

A. This application must be completely filled in by applicant in ink and submitted in Triplicate to the Town Clerk. Diagram the location plan, illustrating lot, buildings, set-back dimensions from property lines, adjoining premises, public streets, water supply, streams, ponds, lakes and location of proposed sewage disposal system.

(1) Return application to Town Clerk. (2) Town Clerk will forward application to Sanitary Inspector who will review the diagrammed location for approval or disapproval. (3) Upon approval of location, applicant will be notified, and (4) it will then become necessary for applicant to provide Sanitary Inspector with a hand dug hole, specifically located, approximately one (1) foot square and one and one-half (1½) feet deep. Upon completion, (5) applicant will call Sanitary Inspector (756-3039) who will schedule a percolation test. NOTE: INSPECTOR SHALL HAVE THREE DAY NOTICE TO TAKE PERCOLATION TEST, which test will determine if system will perform satisfactorily. Following the percolation test, (6) applicant will be notified by Sanitary Inspector of the necessary (*) requirements for the installation of sewage disposal system. Upon completion of the installation and (7) before covering the sewage disposal system, the Sanitary Inspector MUST again be called by applicant for a final inspection and approval or rejection. NOTE: HERE AGAIN THE INSPECTOR SHALL BE ALLOWED 24 HOURS NOTICE TO INSPECT BEFORE COVERING THE SYSTEM.

[Signature]
Applicant's Signature

RT 9W ANNAPROCK 731-8372
Address and Telephone

CIRCLE: whether applicant is owner; leasee; agent; builder; or engineer.

Name and address of owner (if different than above) RT 9W ANNAPROCK 731-8372

Nature of work: New _____; or Relocation TANK REPLACEMENT

Number of dwelling units 1; number of bathrooms 1; laundry N/A; cellar N/A

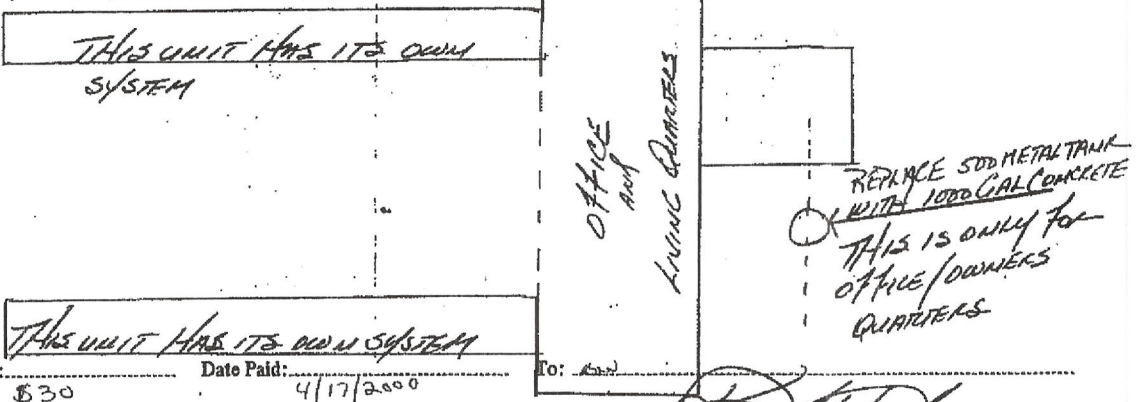
Size of lot or area of site N/A; set-back dimension N/A

Name of plumber or contractor: GREENE QUALITY SEPTIC CLEANERS INC

Source and location of water supply: Well _____; Public _____; Other _____

Location: RT 9W ANNAPROCK 731-8372

THIS PERMIT IS TO REPLACE A 500 METAL TANK USED BY THE OFFICE AND OWNERS (Plot diagram of location on reverse side) DWSH INC ON IT.



Fee: \$30

Date Paid: 4/17/2000

To: Ann

[Signature]
Signature of Applicant

APRIL

Date of Application

CERTIFICATE OF COMPLIANCE

TOWN OF NEW BALTIMORE
GREENE COUNTY, NEW YORK

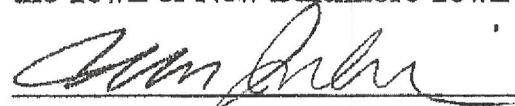
DATE: MAY 18 20 18

This is to certify that work requested to be done as shown by Permit No. 2017-49
on this structure currently occupied as a MOTEL has been completed
in accordance with the New York State Uniform Fire and Building Code.

Property Location 14311 STATE ROUTE 9W, RAYENA, NY
Owner(s) SAGEL SHAH - BUDGET MOTEL

7.01-1-21
NEW SEPTIC
SYSTEM

By order of
the Town of New Baltimore Town Board


Building Inspector

TOWN OF NEW BALTIMORE
3809 COUNTY ROUTE 51
HANNACROIX, NY 12087

Fee paid 0
Date _____

Permit # 2017-49

APPLICATION FOR A BUILDING PERMIT-Page 1

* Please print. * An incomplete application may delay the timely issuance of your permit. Enter "N/A" if a section is not applicable.

PART 1: GENERAL INFORMATION

1. Project location

Number and street address: 14311 STATE ROUTE 9W - RAVENA

Tax Map Number: 7.01-1-21 Zoning District _____

Current use of the property/building: HOTEL

Proposed use of the property/building: SAME

2. Owner identification

Owner name/s: SARAH SHAH

Address of owner: 14311 STATE ROUTE 9W - RAVENA

City, State, Zip Code: RAVENA NY 12143

Phone number(s): 518-369-2002

3. Type of Construction or Improvement

New Building-proposed use is _____

Conversion- current use is _____ Proposed use is _____

Addition Alteration Repair/Replacement Septic

Relocation Demolition Misc Structure _____

4. Description of Project

INSTALLATION OF NEW ENGINEERED
SEWER SYSTEM

5. Estimated project cost

Contractor estimate for the work to be performed \$ N/A

And/or

Estimate for the work to be performed by homeowner \$ _____

--Continue on page 2----- Do not write below this line

Date recd 8/16/17 Recd by ST Fwd to AG

Special approval needed by: Zoning Board of Appeals Planning Board

(Other) _____

Town of New Baltimore
APPLICATION FOR A BUILDING PERMIT-PAGE 2

PART 2: DESIGNERS AND CONTRACTORS

1. Architect/Engineer name FRANK ENGINEERING PLLC
address 90 RUSSELL ROAD
city, state, zip ALBANY NY 12203
phone(s) 518-845-1585
2. General Contractor name GREENE COUNTY SEPTIC
phone(s) 518-706-1721
3. Electrical Contractor name _____
phone(s) _____
4. Plumbing Contractor name _____
phone(s) _____
5. Mechanical Contractor name _____
phone(s) _____
6. _____ Contractor name _____
phone(s) _____

PART 3: PROJECT LOCATION AND DETAILS

*Be sure to attach sketch or plot plan.

A sketch of the work to be performed must be part of this application. It must include:

1. location of the proposed structure or addition showing the number of stories and exterior dimensions
2. distance of the proposal from all lot lines
3. distance of the proposal from any structure including neighboring structures
4. depth of the proposed foundation or footers
5. maximum percentage of the lot to be covered by building(s)
6. addition will be used as family room; living room; kitchen; den; bedroom; 1/2 bath; full bath; other _____
7. basement: full; partial; crawlspace; pier; slab
8. garage: attached; detached
9. utilities: electric; gas; other _____
10. deck/porch: open; covered; enclosed; screened; other _____

2992-0529

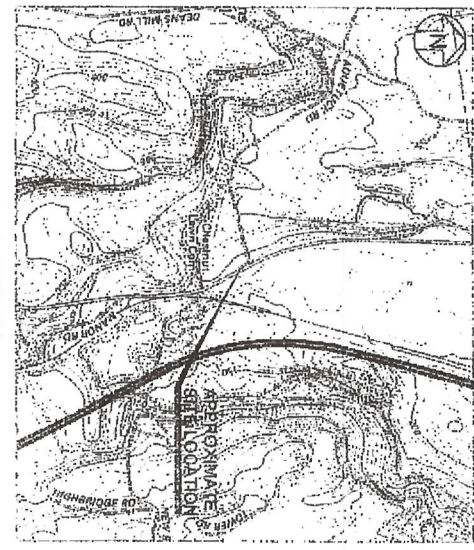
14311 ROUTE 9W WWDS IMPROVEMENTS

- GENERAL NOTES:**
1. THERE SHALL BE NO DEVIATION FROM THESE PLANS DURING CONSTRUCTION WITHOUT PRIOR APPROVAL OF A LICENSED DESIGN PROFESSIONAL, NYSDOH, NYSDEC, AND THE TOWN OF NEW BALTIMORE.
 2. THE MATERIALS AND SPECIFICATIONS NOTED ON THE PLANS MUST BE UTILIZED UNLESS ALTERNATES ARE ACCEPTED AND APPROVED IN WRITING BY A LICENSED DESIGN PROFESSIONAL AND TOWN REPRESENTATIVE.
 3. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR COMPONENT INSTALLATION UNLESS OTHERWISE DIRECTED BY A LICENSED DESIGN PROFESSIONAL AND TOWN REPRESENTATIVE.
 4. PRIOR TO EXCAVATING, CONSULT THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (UG SAFELY NEW YORK).
 5. ELECTRICAL EQUIPMENT INSTALLED IN ACCORDANCE WITH THE PLAN MUST BE NEW YORK STATE BOARD OF FIRE UNDERWRITERS CERTIFIED.

- REQUIRED NOTES - ALL SEPTIC PLANS:**
1. SANITARY FACILITIES MAY BE CONSTRUCTED ONLY AFTER A TOWN PERMIT TO CONSTRUCT HAS BEEN ISSUED. THESE FACILITIES SHALL NOT BE PLACED IN OPERATION UNTIL A TOWN CERTIFICATE OF COMPLETION HAS BEEN ISSUED IN CONTACT WITH THE DESIGNATED TOWN REPRESENTATIVE REGARDING THE PROCEDURES INVOLVED.
 2. A LICENSED DESIGN PROFESSIONAL SHALL SUPERVISE SYSTEM INSTALLATION, CERTIFY THAT CONSTRUCTION FOLLOWED THE APPROVED PLAN, FURNISH AN "AS-BUILT" PLAN, AND APPLY TO TOWN FOR A CERTIFICATE OF COMPLETION.
 3. INSPECTIONS OF SANITARY FACILITY CONSTRUCTION SHALL BE CONDUCTED JOINTLY BY A LICENSED PROFESSIONAL AND TOWN REPRESENTATIVE.
 4. PRIOR TO SITE DEVELOPMENT:
 5. AFTER SITE PREPARATION PRIOR TO FILL PLACEMENT (SYSTEMS IN FILL ONLY);
 6. DURING PERCOLATION TESTING OF THE STABILIZED FILL (SYSTEMS IN FILL ONLY);
 7. AFTER ADJUSTMENT OF THE PUMP OR STRAIN CHAMBER (CLOSED SYSTEMS ONLY);
 8. PRIOR TO BACKFILLING PIPES, TANKS, FITS, WELL SEALS, ETC.;
 9. AFTER FINAL GRADING AND SEEDING.
 4. ROOF FLOOR, FOOTING, COOLING WATER, BACKWASH DRAINS, ETC. SHALL BE DIRECTED AWAY FROM THE TREATMENT AREA.
 5. NO VEHICULAR PARKING OR TRAFFIC SHALL BE ALLOWED ON ANY PORTION OF THE SEWAGE TREATMENT SYSTEM EXCEPT AS SHOWN.
 5. THE OWNER SHALL FURNISH THE PURCHASER OF A LOT DEPICTED ON THIS PLAN WITH A COPY OF THE APPROVED PLAN OR IF CONSTRUCTED, AN ACCURATE "AS-BUILT" PLAN DEPICTING INSTALLED FACILITIES.

MINIMUM SEPARATION DISTANCES	
HOUSE TO SEPTIC TANK/DRAINING TANK	10' MIN.
HOUSE TO TOE OF FILL OR ABSORPTION FIELD	20' MIN.
WELL TO TOE OF FILL OR ABS. FIELD	100' MIN.
WELL TO SEPTIC TANK	50' MIN.
PROPERTY LINE TO TOE OF FILL OR ABS. FIELD	10' MIN.

CONVERSATIONS WITH THE OWNER HAVE INDICATED THAT THIS NEIGHBORHOOD IS SERVED BY PUBLIC WATER.

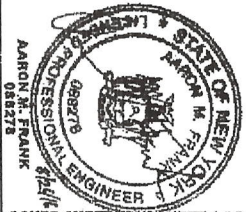


7.0X MAP # 7.01-1-21

SOIL APPRAISAL PERFORMED BY FRANK ENGINEERING ON 7-23-16	
TEST HOLE DESIGNATION	STABILIZED PERC PATE
PT1 - PERCOLATION TEST NO. 1	11:07 MIN./INCH
PT2 - PERCOLATION TEST NO. 2	13:42 MIN./INCH
PT3 - PERCOLATION TEST NO. 3	14:10 MIN./INCH
DH1 - DEEP HOLE NO. 1	0-24" SILT LOAM, TOPSOIL 24"-48" FINE SANDY LOAM NO GW, NO MOTTLING NOTED. SOIL DAMP AT 50"
DH2 - DEEP HOLE NO. 2	0-18" SILT LOAM, TOPSOIL 18"-36" FINE SANDY LOAM 36"-78" FINE SANDY LOAM NO GW, NO MOTTLING NOTED. SOIL DAMP AT 50"

PERCOLATION TEST PERFORMED IN ACCORDANCE TO WASTEWATER TREATMENT STANDARDS FOR INDIVIDUAL HOUSEHOLD SYSTEMS. APPROXIMATE LOCATION OF TESTS SHOWN ON SITE PLAN.

- GENERAL NOTES:**
1. LIMITS OF THE SYSTEM TO BE ROPED OFF PRIOR TO AND AFTER SYSTEM INSTALLATION TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE NATURAL USABLE SOIL AND DAMAGE TO THE ABSORPTION TRENCHES.
 2. ALL SEPTIC SYSTEMS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH N.Y.S. HEALTH CODE PART 754 AND NYSDEC STANDARDS.
 3. NO EXISTING WELLS, PONDS, WATER COURSES OR WETLANDS EXISTING WITHIN 100 FEET OF PROPOSED SEWAGE DISPOSAL SYSTEM.
 4. NO ROOF FOOTING, COOLING WATER, BACKWASH DRAINS ETC. SHALL BE CONNECTED TO THE SEPTIC SYSTEM.
 5. SEPTIC SYSTEM TO BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE SYSTEM.
 6. SEGMENT CONTROL FENCE TO BE INSTALLED AT LIMIT OF DISTURBANCE UNTIL A PERMANENT STAND OF VEGETATION IS ESTABLISHED.
 7. ANY CHANGE IN CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 8. THE EARTH BACKFILL IS TO BE MOUNDING SLIGHTLY ABOVE THE ORIGINAL GROUND LEVEL (I.E. NOT COMPACTED) TO ALLOW FOR SETTLING. FOLLOWING SETTLEMENT, THE ENTIRE AREA HAS TO BE GRADED WITHOUT THE USE OF HEAVY EQUIPMENT AND MUST BE SEEDS WITH GRASS.
 9. PRIOR TO THE START OF CONSTRUCTION, BUILDER SHALL VERIFY THAT THE BUILDING FINISHED FLOOR AND PAVEMENTS ARE SET TO CORRECT REQUIRED ELEVATIONS AND COVER AS INDICATED ON THE DETAILS.
 10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF CONSTRUCTION PROGRESS REQUIRING INSPECTIONS AS NOTED IN THIS PLAN SET WITH A MINIMUM OF 48 HOUR NOTICE.



COVER SHEET CV1, SHEET 1 OF 6

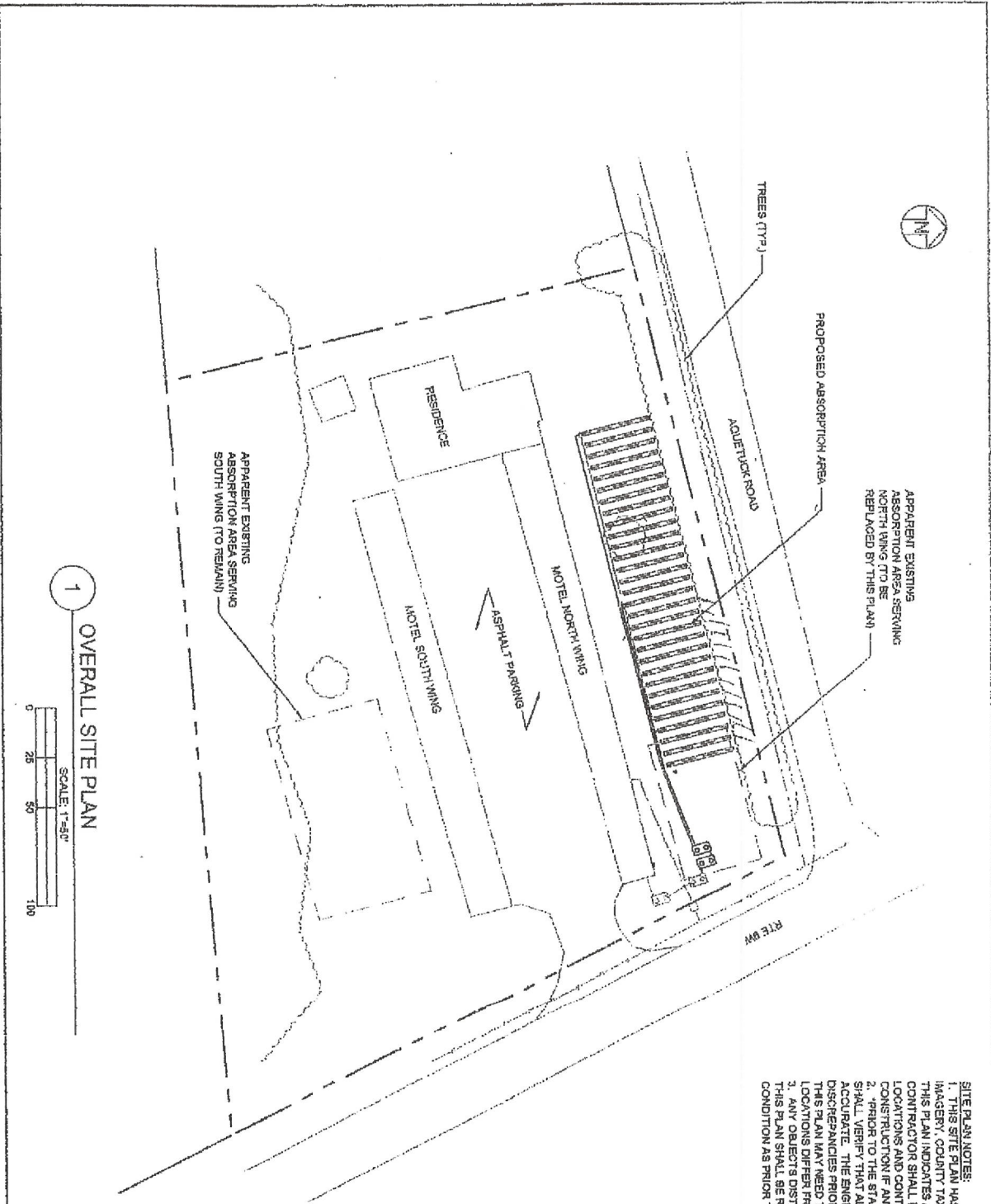
FRANK ENGINEERING, PLLC
 COMMERCIAL, RESIDENTIAL, AND MUNICIPAL SERVICES
 90 RUSSELL ROAD
 ALBANY, NY 12203
 PHONE: (518) 948-5861
 WEB: FRANKENGINEERING.COM

14311 ROUTE 9W WWDS IMPROVEMENTS

DATE: 7-30-16
 TOWN OF NEW BALTIMORE
 GREENE COUNTY
 NEW YORK STATE

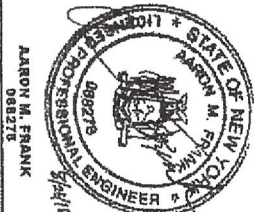
REV.	DATE	COMMENTS

UNAUTHORIZED ALTERATION AND/OR ADDITION TO THE PLAN IS PROHIBITED AND UNAUTHORIZED USE OR REUSE OF THIS DOCUMENT ON A PROJECT OTHER THAN THAT INDICATED ON THE DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE CONTRACT FOR PROFESSIONAL SERVICES AND IS THEREFORE PROHIBITED.



SITE PLAN NOTES:

1. THIS SITE PLAN HAS BEEN CREATED USING AERIAL IMAGERY, COUNTY TAX MAPS, AND ONSITE OBSERVATIONS. THIS PLAN INDICATES APPROXIMATE OBJECT LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY OBJECT LOCATIONS AND CONTACT ENGINEER PRIOR TO CONSTRUCTION IF ANY CONFLICTS ARE NOTED.
2. PRIOR TO THE START OF CONSTRUCTION, THE OWNER SHALL VERIFY THAT ALL ITEMS SHOWN IN THIS PLAN ARE ACCURATE. THE ENGINEER SHALL BE MADE AWARE OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. THIS PLAN MAY NEED TO BE MODIFIED IF PROPERTY LOCATIONS DIFFER FROM AS SHOWN ON THIS PLAN.
3. ANY OBJECTS DISTURBED BY THE WORK DEPICTED IN THIS PLAN SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AS PRIOR TO THE START OF WORK.



OVERALL SITE PLAN SP1, SHEET 2 OF 5

FRANK ENGINEERING, PLLC
 COMMERCIAL, RESIDENTIAL, AND MUNICIPAL SERVICES
 90 RUSSELL ROAD
 ALBANY, NY 12203
 PHONE: (518) 449-5054
 WEB: FRANKENGINEERING.COM

14311 ROUTE 9W WWDS IMPROVEMENTS

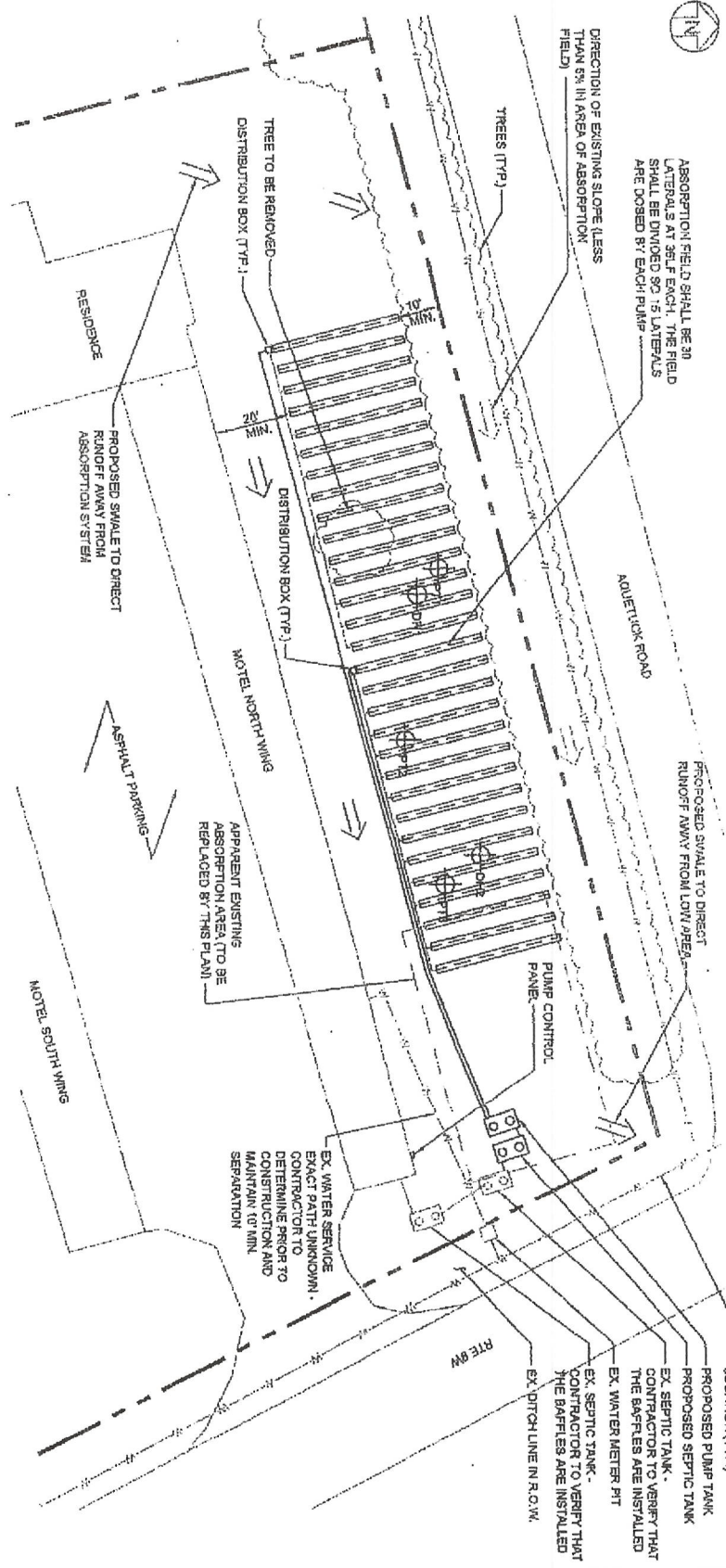
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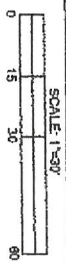
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ABSORPTION FIELD SHALL BE 30 LATERALS AT 36" EACH. THE FIELD SHALL BE DIVIDED SO 15 LATERALS ARE COVERED BY EACH PUMP.



1 WWDS IMPROVEMENTS SITE PLAN



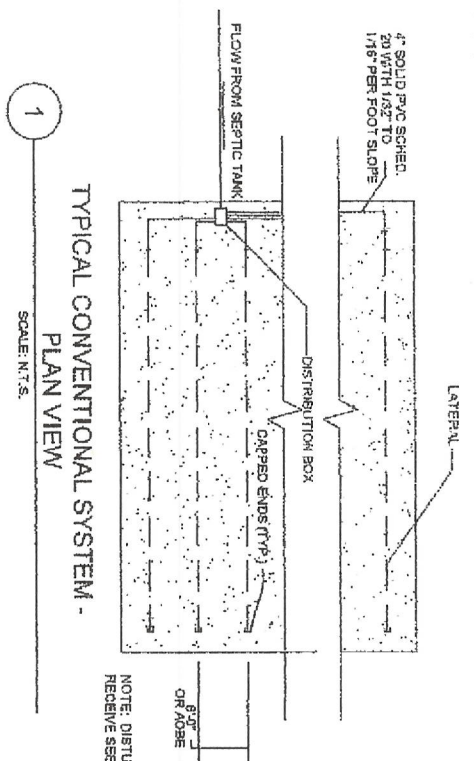
WWDS SITE PLAN SP2, SHEET 3 OF 5

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 90 RUSSELL ROAD
 ALBANY, NY 12203
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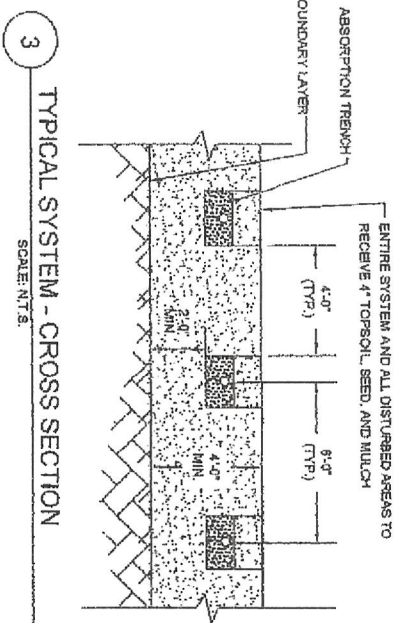
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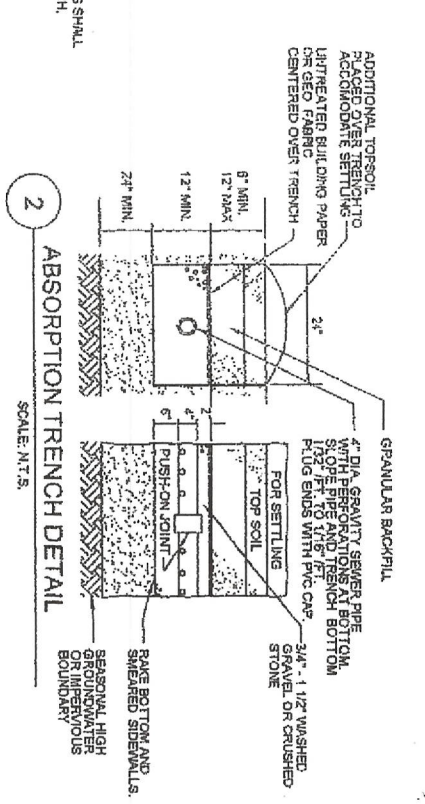
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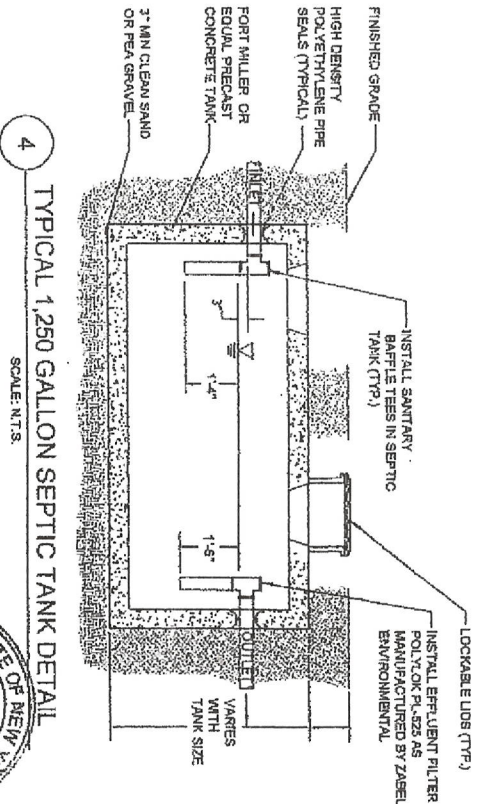
1
TYPICAL CONVENTIONAL SYSTEM -
PLAN VIEW
SCALE: N.T.S.



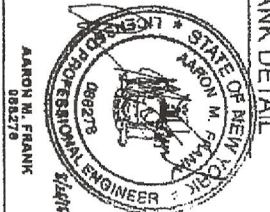
3
TYPICAL SYSTEM - CROSS SECTION
SCALE: N.T.S.



2
ABSORPTION TRENCH DETAIL
SCALE: N.T.S.



4
TYPICAL 1,250 GALLON SEPTIC TANK DETAIL
SCALE: N.T.S.



DETAIL SHEET DT1, SHEET 4 OF 5

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REV.	DATE	COMMENTS

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DESIGN CRITERIA

THIS SITE CONSISTS OF A HOTEL WITH TWO WINGS AND A SMALL RESIDENCE. THIS SITE PLAN SHOWS THE WORK NECESSARY TO RELOCATE THE SEPTIC SYSTEM SERVING ONE OF THE NORTH WINGS. THE NORTH WING HAS 13 ROOMS. THE SEPTIC SYSTEM HAS BEEN DESIGNED TO SERVE THESE 13 ROOMS. THE DESIGN FLOW RATE OF 130 GALLONS PER DAY PER ROOM HAS BEEN SELECTED.

BASED ON WVEDC STANDARDS: (13 ROOMS) x (130 GPD PER ROOM) = 1,690 GPD

THE APPLICATION RATE ASSOCIATED WITH THE 14 INCHES PER HOUR PERD SYSTEMS IS 6 GALLONS PER SQ. FT. THIS RESULTS IN THE NEED FOR 1,087 LF OF 2" WIDE STONE AND PIPE ABSORPTION TRENCHES.

SEPTIC TANK SIZING: 1.5 x DESIGN FLOW = 1.5 x 1,690 = 2,535 GALLONS. THE SITE CURRENTLY HAS (2) 1,000 GALLON SEPTIC TANKS AND THE PROPOSED DESIGN WILL REQUIRE THE ADDITION OF A 1,250 GALLON TANK.

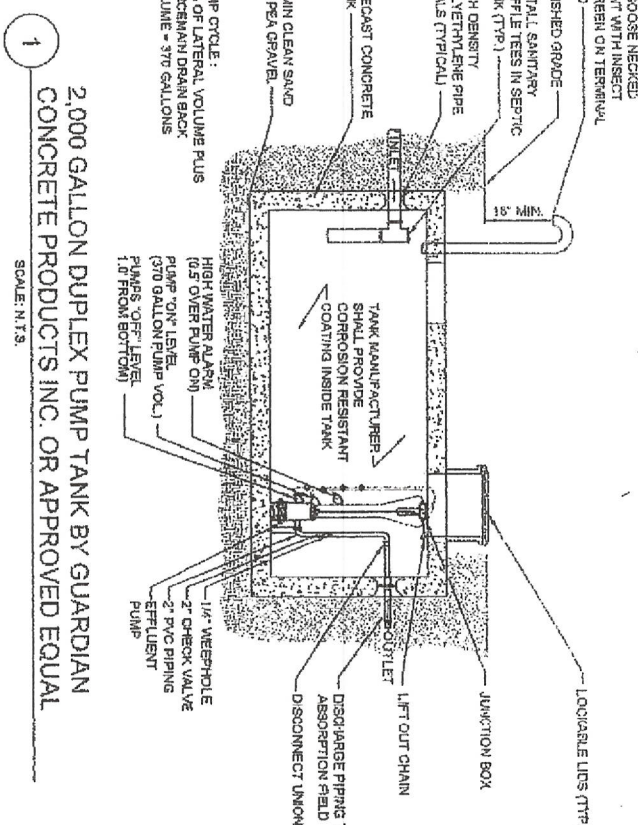
THE SITE SOILS CONDITIONS ARE ACCEPTABLE FOR THE USE OF A CONVENTIONAL SEPTIC SYSTEM. A PUMP-YANK HAS BEEN ADDED TO DIRECT THE SEPTIC TANK EFFLUENT TO THE ABSORPTION AREA.

OWNER'S RESPONSIBILITY: THE OWNER SHALL ENSURE THAT ALL WATER USING FIXTURES ARE IN GOOD WORKING CONDITION. LEAKING FIXTURES AND TOILETS THAT GET STUCK RUNNING CAN ADD A CONSIDERABLE AMOUNT OF WASTEWATER FLOW TO THE SEPTIC SYSTEM AND THIS CAN CAUSE EMPTY FAILURE.

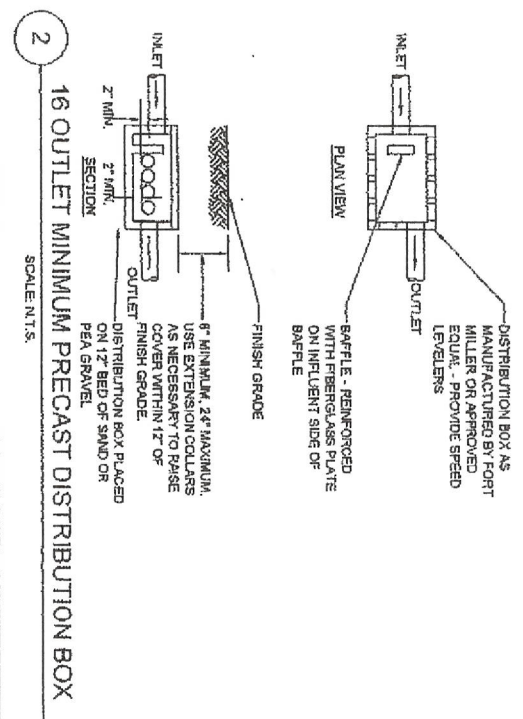
PIPING

- BUILDING TO SEPTIC TANK:
- 4" PVC SCHEDULE 80 WITH TIGHT JOINTS, MINIMUM SLOPE: 1/4" PER FOOT
- SEPTIC TANK TO PUMP CHAMBER:
- 4" PVC SCHEDULE 80 WITH TIGHT JOINTS, MINIMUM SLOPE: 1/8" PER FOOT
- PUMP CHAMBER TO LATERALS:
- 2" HDPE DWT 1, SLOPED FOR POSITIVE DRAINAGE TO PUMP CHAMBER WITH WEEP HOLE AT PUMP CHAMBER LATERALS.
- SEE DETAILS

- 1 DAY STORAGE TIME FOR PUMP FAILURE:
- PUMP TANK VOLUME ABOVE HIGH LEVEL ALARM = 1,380 GALLONS
- SEPTIC TANK 1 VOLUME ABOVE NORMAL LIQUID LEVEL = 230 GALLONS
- SEPTIC TANK 2 VOLUME ABOVE NORMAL LIQUID LEVEL = 230 GALLONS
- SEPTIC TANK 3 VOLUME ABOVE NORMAL LIQUID LEVEL = 315 GALLONS
- TOTAL STORAGE AVAILABLE FOR PUMP FAILURE = 2,155 GALLONS
- THEREFORE, GREATER THAN 1 DAY STORAGE PROVIDED



2,000 GALLON DUPLEX PUMP TANK BY GUARDIAN CONCRETE PRODUCTS INC. OR APPROVED EQUAL
SCALE: N.T.S.



16 OUTLET MINIMUM PRECAST DISTRIBUTION BOX
SCALE: N.T.S.

- NOTES:**
- 1) CONTRACTOR SHALL ANCHOR PUMP STATION AS NECESSARY TO PREVENT THE STRUCTURE FROM FLOATING.
 - 2) CONTRACTOR SHALL FOLLOW PUMP MANUFACTURER INSTALLATION INSTRUCTIONS.
 - 3) PUMP STATION SHALL MEET THE FOLLOWING CRITERIA:
 - (a) PUMP MODEL # SHE#42 SERIES AS MANUFACTURED BY HYDROMATIC PUMPS OR EQUAL.
 - (b) CONTRACTOR SHALL VERIFY COMPONENT DIMENSIONS TO ENSURE ALL ITEMS FIT.

- BUILDING WALL
- RELOCATE MOUNTED CONTROL PANEL MOUNTED OUTSIDE BUILDING
- CONTROL PANEL MOUNTED OUTDOOR
- CONTROL PANEL TO MEET ALL NECESSARY LOCAL, FEDERAL, AND NEW YORK STATE CODE REQUIREMENTS AND STANDARDS
- CONTROL REQUIREMENTS:
 - FLASHING RED ALARM LIGHT
 - PUMP SWITCH (ON, OFF, TEST)
 - PUMP SWITCH (HAND, OFF, AUTO)
 - PUMP BREAKER
 - ALARM CIRCUIT BREAKER
- PUMP OPERATION REQUIREMENTS:
 - PUMP ON AND OFF CONTROL LEAD AND LAG PUMP ALTERNATION
 - HIGH WATER ALARM



DETAIL SHEET DT2, SHEET 5 OF 8

FRANK ENGINEERING, PLLC
COMMERCIAL, RESIDENTIAL, AND MUNICIPAL SERVICES
90 RUSSELL ROAD
ALBANY, NY 12203
PHONE: (518) 348-5851
WEB: FRANKENGINEERING.COM

14311 ROUTE 9W WWD5 IMPROVEMENTS
DATE: 7-30-16
TOWN OF NEW BALTIMORE
GREENSBORO
NEW YORK STATE

REV.	DATE	COMMENTS

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE REGULATION LAW AND THE CONTRACT FOR PROFESSIONAL SERVICES AND IS PROHIBITED.



**Department of
Environmental
Conservation**

**Post Construction Certification of On-site Treatment
Works**
**State Pollutant Discharge Elimination System (SPDES)
 General Permit GP-0-15-001**
Groundwater Discharge of Treated Sanitary Sewage

**THIS FORM MUST BE SUBMITTED AT THE COMPLETION OF ON-SITE TREATMENT WORKS
 CONSTRUCTION PRIOR TO COMMENCING DISCHARGE**

All **NEW** on-site treatment systems and significant **MODIFICATIONS** to existing systems authorized by GP-0-15-01 require certification by a professional engineer (PE) prior to commencing discharge. This form must be completed by a PE licensed to practice in New York State.

If a local health agency has jurisdiction, the PE and permittee should also contact that agency for any necessary approval(s).

At completion of on-site treatment works construction, **SUBMIT THIS FORM TO:**

GP-0-15-001 Permit Coordinator
NYSDEC, Division of Water, Bureau of Water Permits OR PCI.GeneralPermits@dec.ny.gov
625 Broadway
Albany, NY 12233-3505

By the seal and signature below, the PE certifies that:

1. He/she is a licensed professional engineer registered to practice engineering in New York State;
2. Wastewater treatment system(s) serving the identified facility is (are) designed and constructed in accordance with Design Standards for Intermediate-Sized Wastewater Treatment Systems (NYSDEC, 2014) and, for on-site systems located in the Lake George Basin, are designed and constructed in accordance with Design Standards for Wastewater Treatment Works in the Lake George Basin (NYSDEC, 2015);
3. If modifications to the originally approved engineering design and site plan were made, an electronic copy of the "as-built" engineering design and site plan must be submitted to the GP-0-15-001 Permit Coordinator; and
4. The identified on-site treatment works will be placed in service and become operational as of 12 / 1 / 2017 (date).

Stamp and Signature of Certifying Engineer		Date	
		11/19/17	
Printed Name of Professional Engineer	Telephone	Email	
Aaron A. Frank	518-348-5851	afrank@frankeng.com	
Professional Engineer's Mailing Address	Post Office City	State	Zip
Frank Engineering, LLC 90 Russell Rd	Albany	NY	12203
Name of Permittee	Facility Name		
Sam P. Shaw, Fresh Corp.	Budget Motel		
DEC Permit ID	Facility SPDES Number	County of Facility	
NY-0242438 4-1942-00016/0202	NY-0242438	Greene	



Department of Health

ANDREW M. CUOMO
Governor

HOWARD A. ZUCKER, M.D.,
J.D.
Commissioner

SALLY DRESLIN, M.S., R.N.
Executive Deputy Commissioner

August 28, 2017

RECEIVED

OCT 02 2017

Mr. Aaron M. Frank, P.E.
Frank Engineering, PLLC
90 Russell Road
Albany, New York 12203

Re: Temporary Residence
Budget Motel
New Baltimore Town
Greene County

BLDG/PLANNING/LBA
TOWN OF NEW BALTIMORE

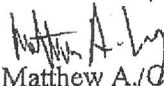
Dear Mr. Frank:

We have reviewed the alternate plans you submitted for the proposed replacement sewage disposal system to serve the north wing of the Budget Motel in New Baltimore. This office previously approved plans for a replacement sewage disposal system that consisted of a series of septic tanks, a pump dosing tank and two new absorption fields. The alternate plans call for installing a pressure distribution system within the leach field instead of the previously approved gravity distribution system. This modification was proposed to allow for adequate separation between the leach field and a water service line that was discovered while preparing the site for construction of the new system. The leach field for the pressure distribution system will consist of two fields each containing 18 laterals that are each 30 feet long. Each distribution pipe will contain 1/4-inch orifices spaced apart 6-feet on center. The leach fields will be alternately dosed by two Hydromatic model SHEF 44 dosing pumps will pump effluent to the leach fields. These plans are hereby approved with the following conditions.

1. That all required local approvals must be obtained prior to construction.
2. The design engineer shall supervise construction and provide written certification to this office that installation is completed in accordance with the approved plans.
3. That the NYS Department of Environmental Conservation – Region IV (NYSDEC) office be contacted to determine whether a modified SPDES permit is required for the proposed replacement sewage disposal system. The NYSDEC Region IV office can be reached at 518-357-2069.

We are retaining one copy of the approved plans and returning two sets to you. If you have any questions please feel free to contact this office at 607-432-3911.

Sincerely,


Matthew A. Currey, P.E.
Public Health Engineer 2

Enclosure

cc: Mrs. Shah, Budget Motel
Mr. Mantor, New Baltimore Town Code Enforcement Officer
NYSDEC Region 4, Schenectady

Ravena-Coeymans-Selkirk School District

TAXPAYER COPY

The total amount of local assistance to be received from the State of New York during the school year July 1, 2024 - June 30, 2025 is \$20,124,532.00
The estimated tax to be raised is \$28,161,837.00
% Changed from prior year 4.3



2024-003835-1-524

Notice of 2024 School Tax

NYS Taxation and Finance School Code: 524

Ravena-Coeymans-Selkirk CSD
15 MOUNTAIN RD
RAVENA, NY 12143

2024-003835

PROPERTY DESCRIPTION

ADDRESS: 14311 Route 9W
TOWN: New Baltimore
SBL: 7.01-1-21
SWIS: 194200
PROPERTY CLASS: Motel
ESCROW CODE:

OLD STOCKADE DEVELOPMENT
110 MAIDEN LN
KINGSTON, NY 12401

APPROVED SEP 03 2024

Will pay

Full Market Value as of July 01, 2024 \$732,195.00
Total Assessed Value as of July 01, 2024 \$300,200.00
Uniform Percentage of Value 41.00

PROPERTY TAXES	Taxable Assessed Before STAR	Rate per \$1000	Total Due
School Tax	\$300,200.00	35.515772	\$10,661.83
Library Tax	\$300,200.00	0.827823	\$248.51

TOTAL TAX DUE BY 10/01/2024 **\$10,910.34**

Exemption **Ex Amt** **Full Ex Amt**

If Paid Between	Penalty	Penalty Amt	Total Due
10/02/2024 - 11/01/2024	2.00 %	\$218.21	\$11,128.55

US Postmark determines date of payment.

MAKE CHECKS OR MONEY ORDERS PAYABLE TO:

RAVENA-COEYMANS-SELKIRK CSD

MAIL PAYMENT WITH REMITTANCE STUB TO:

RAVENA-COEYMANS-SELKIRK CSD

TAX PROCESSING UNIT

PO BOX 250

RAVENA, NY 12143-0250

TO PAY YOUR TAXES ONLINE GO TO:

https://payments.msbpay.navient.com/RAVE_SchoolTax/Landing

IN PERSON PAYMENTS:

National Bank of Coxsackie

Rayena Branch

Faith Plaza, Route 9W

Ravena, NY

Glenmont Branch

331 Route 9W

Glenmont, NY

MAILING ADDRESS CHANGES:

All Address changes Must be made through your Town Assessor.

School Collection Ends 11/1/2024.

All unpaid taxes after this date are returned to the county.

DURING NORMAL BANK HOURS

Send this section ONLY with your payment.

RAVENA-COEYMANS-SELKIRK CSD
TAX PROCESSING UNIT
PO BOX 250
RAVENA, NY 12143-0250

Send this section ONLY with your payment.

2024 - 2025 SCHOOL TAX

OLD STOCKADE DEVELOPMENT
110 MAIDEN LN
KINGSTON, NY 12401

TOTAL TAX DUE BY 10/01/2024 **\$10,910.34**

If Paid Between	Penalty	Penalty Amt	Total Due
10/02/2024 - 11/01/2024	2.00 %	\$218.21	\$11,128.55

PROPERTY DESCRIPTION

ADDRESS: 14311 Route 9W
TOWN: New Baltimore
SBL: 7.01-1-21
SWIS: 194200
ESCROW CODE:

US Postmark determines date of payment.

2024-003835-1-524



REMITTANCE STUB MUST BE RETURNED WITH PAYMENT IF YOU WISH TO RECEIVE A RECEIPT FOR PAYMENT OF THIS BILL, PLACE A CHECK IN THIS BOX []. CREDIT SUBJECT TO CLEARANCE OF CHECK.