

Building Better Communities With.....



**FIRST TIME OFFERED FOR SALE
DEVELOPMENT OPPORTUNITY**

245-253 S BROADWAY, YONKERS, NEW YORK

11,260+/-SF of existing retail space on .33 acre with 130' road frontage.

Offered at \$2,600,000



245,247,251 & 253 South Broadway Yonkers
SBL#’S 1-208-11, 13 & 15

For More Information Contact:

Paul Adler, Esq., SIOR

Chief Strategy Officer

NYS Associate Broker / NJ Broker Salesperson / CT Salesperson

845-770-1205 office

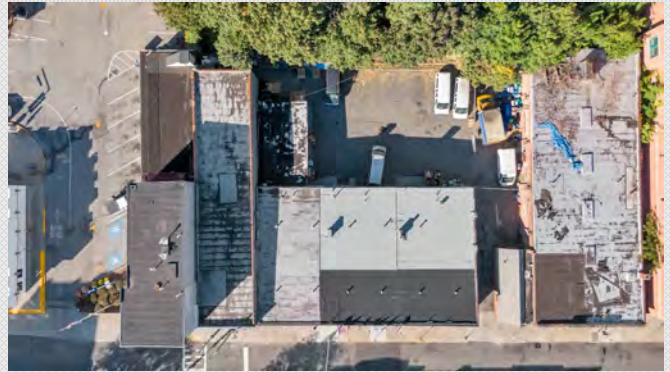
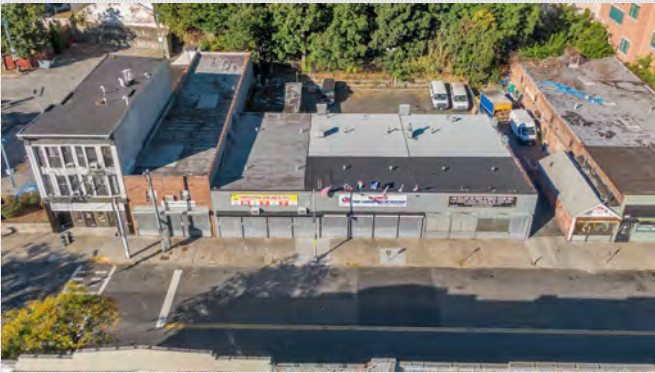
Paul.adler@randcommercial.com

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Building Better Communities With.....



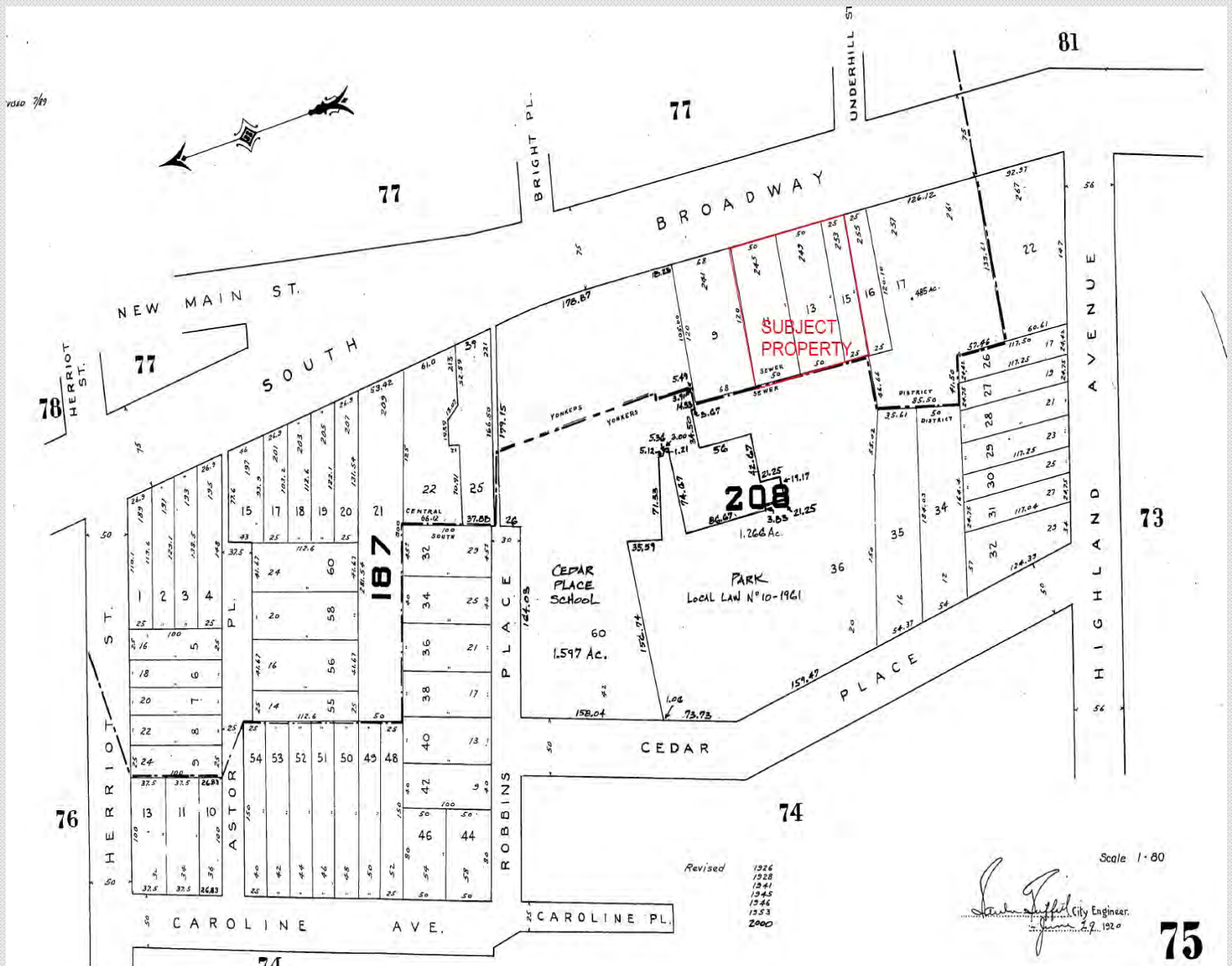
***245-253 S BROADWAY
YONKERS, NEW YORK***

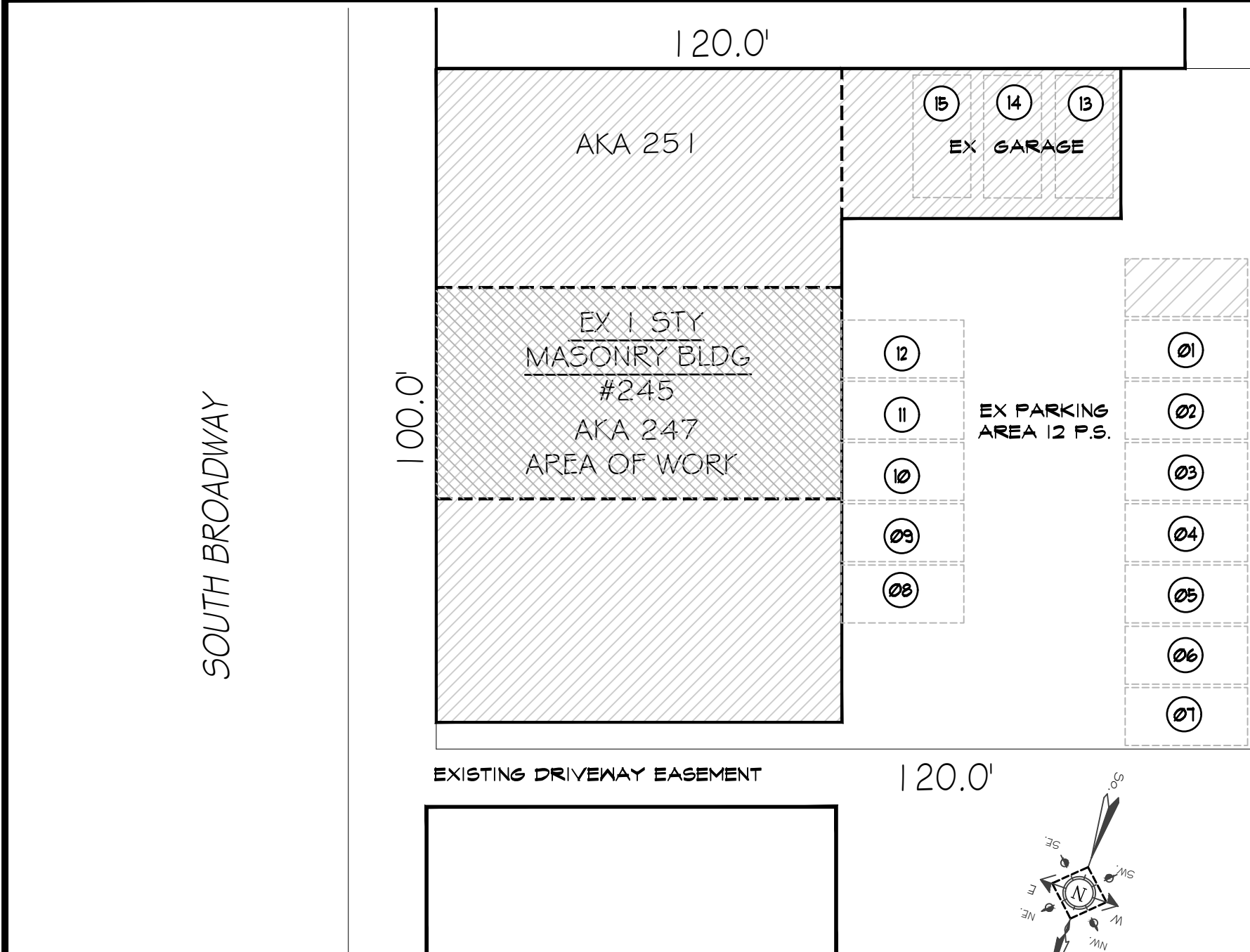


Building Better Communities With.....



**245-253 S BROADWAY
YONKERS, NEW YORK**





EX PLOT PLAN

NOTE: PLOT PLAN INFORMATION TAKEN FROM ARCHITECTURAL DRAWINGS PREPARED BY MAURICE A. CAPOBIANCO DATED MARCH 1982 ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS

ENERGY COMPLIANCE STATEMENT:

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THAT THE PLANS & /OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE NEW YORK STATE

BUILDING CODE DATA

TYPE	APPLICABLE CODE
BUILDING	2020 NEW YORK STATE BUILDING CODE
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE
ACCESSIBILITY	BCNYS CHAPTER 11 AND ICC / ANSI A117.1-2003 & 49 CFR PART 37 AND 38

ZONE	EXISTING / PERMITTED USE(S)	PROPOSED USE(S)
BR - RESTRICTED BUSINESS	BUSINESS, GROUP M	BUSINESS, GROUP B
CONSTRUCTION TYPE	SCOPE OF WORK	
TYPE B2 PER TABLE 601	CHANGE OF TENANT / USE - NO WORK SCHEDULED	
PROPOSED OCCUPANCY: GROUP B PER SEC. 304 BUSINESS		

OCCUPANT LOAD (REF. SECT. T.1004.5)	EX GROUND FLR LEVEL
RM 1.01 KARATE SCHOOL	1:50 EXERCISE RM 1554 SF/ 50 = 31.1 ~ 32
RM 1.02 LAV RM TBL	1:50 BUSINESS 26 SF/ 50 = 0.1 ~ 1
RM 1.03 EX RESTRM	1:50 BUSINESS 24 SF/ 50 = 0.1 ~ 1
RM 1.04 EX VEST	1:50 BUSINESS 27 SF/ 50 = 0.1 ~ 1
RM B.01 EX ELECT METER RM	1:300 ACCESSORY 80 SF/ 300 = 0.2 ~ 1
RM B.02 EX OPEN AREA	1:50 BUSINESS 350 SF/ 150 = 3.6 ~ 4
RM B.03 EX STORAGE	1:300 STORAGE 84 SF/ 300 = 0.2 ~ 1
RM B.04 EX STORAGE	1:300 STORAGE 74 SF/ 300 = 0.2 ~ 1
RM B.05 EX STORAGE	1:300 STORAGE 103 SF/ 300 = 0.3 ~ 1
RM B.06 EX OFFICE	1:50 STORAGE 106 SF/ 150 = 0.7 ~ 1
TOTAL = 44 OCCUPANTS	

TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITH SPRINKLER			
OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D/ TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP B BUSINESS	44 OCCUPANTS	130 OCCUPANTS EXIT REQ'D/ 75 FT	3 EXIT (EXIST)

PLUMBING CALCULATIONS - TABLE 2902.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES

GROUP B - BUSINESS		OCC. REQUIRED	EXISTING/ PROPOSED
PLUMBING FIXTURES	Water Closets	Male 1:25 FOR FIRST 50 & 1:50 FOR REMAINDER EXCEEDING 50	44 1-Water Closet 2 - W.C.
	Lavatories	Male 1:40 FOR FIRST 80 & 1:80 FOR REMAINDER EXCEEDING 80	44 1-Lavatory 2 - LAV
	Drinking Fountains	1:1000	44 1-Drinking Fountain
	Other	1 service sink	44 1-Service Sink 1-Service Sink

SECTION 803.13 INT. WALL & CEILING FINISH REQNTS BY OCCUPANCY (FINISH CLASS)

GROUP B - UN-SPRINKLERED	INTERIOR EXIT STAIR, RAMP & EXIT PASSAGEWAYS	CORRIDORS & ENCL. FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS AND ENCLOSED SPACES
CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.	A	B	C
CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450.			
CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450			

PARKING ANALYSIS

SECTION 43- 47.6

S BROADWAY OFF-STREET PARKING AND LOADING.

THE FOLLOWING PARKING REGULATIONS, IN ADDITION TO PARKING REGULATIONS FOUND ELSEWHERE IN CHAPTER 43, WILL BE APPLIED IN THIS DISTRICT:

THE PROVISIONS OF §§ 43-127 AND 43-131A SHALL NOT APPLY TO BUILDINGS, STRUCTURES OR USES IN EXISTENCE AT THE TIME OF THE PASSAGE OF THIS CHAPTER, WHETHER CONTINUED AS PERMITTED USES OR AS A NONCONFORMING USE, OR THEREAFTER CONVERTED OR CHANGED TO A DIFFERENT LAWFUL USE.

THE APPROVING AGENCY SHALL NOT PERMIT ANY REDUCTION OR ELIMINATION OF WHATEVER QUANTITY OF PARKING OR LOADING SPACE THAT MAY ALREADY EXIST, EXCEPT TO THE EXTENT THAT IT MAY EXCEED SUCH REQUIREMENT

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH 2020 BUILDING CODE OF NEW YORK STATE AND ZONING ORDINANCES OF THE CITY OF YONKERS, N.Y.
- ALL ELECTRICAL WORK (IF APPLICABLE) SHALL BE APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND SHALL BE PERFORMED BY A NY STATE LICENSED ELECTRICAL CONTRACTOR.
- ALL PLUMBING WORK (IF APPLICABLE) SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPT. AND SHALL BE PERFORMED BY A NY STATE LICENSED PLUMBER.
- CONTRACTOR OR ANY SUBCONTRACTORS DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY & PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ANY KIND, AND TO PROVIDE OWNER WITH CERTIFICATES OF SAID INSURANCE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLAN AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. S.C. SHALL BE RESPONSIBLE FOR ALL TESTS, INSPECTIONS, ETC., AS REQUIRED BY THE BLDG. DEPARTMENT. THE G.C. SHALL PROVIDE THE NECESSARY COORDINATION BETWEEN ALL TRADES WITH REGARD TO THE DRAWINGS.
- LOCATE BOLTS, SLEEVES AND ALL MISCELLANEOUS ITEMS AS REQUIRED FOR MECHANICAL TRADES, AND PROVIDE AND/OR INSTALL VARIOUS ITEMS NOT SHOWN ON THESE DRAWINGS AS REQUIRED FOR VARIOUS TRADES.
- ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. HIS RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING.
- ALL SURFACES ADJACENT TO THE WORK WHICH IS DAMAGED DURING CONSTRUCTION BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR THEIR FORCES SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACES TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
- FIRE EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS SHALL BE INSTALLED BY G.C. PER LOCAL CODE, FIRE ALARM/SPRINKLER SYSTEM DESIGN, IF SO REQUIRED BY THE CITY OF YONKERS, SHALL BE SUBMITTED UNDER SEPARATE APPLICATION.
- SIGN AND/OR AWNING APPLICATION, IF ANY, SHALL BE FILED UNDER SEPARATE APPLICATION.

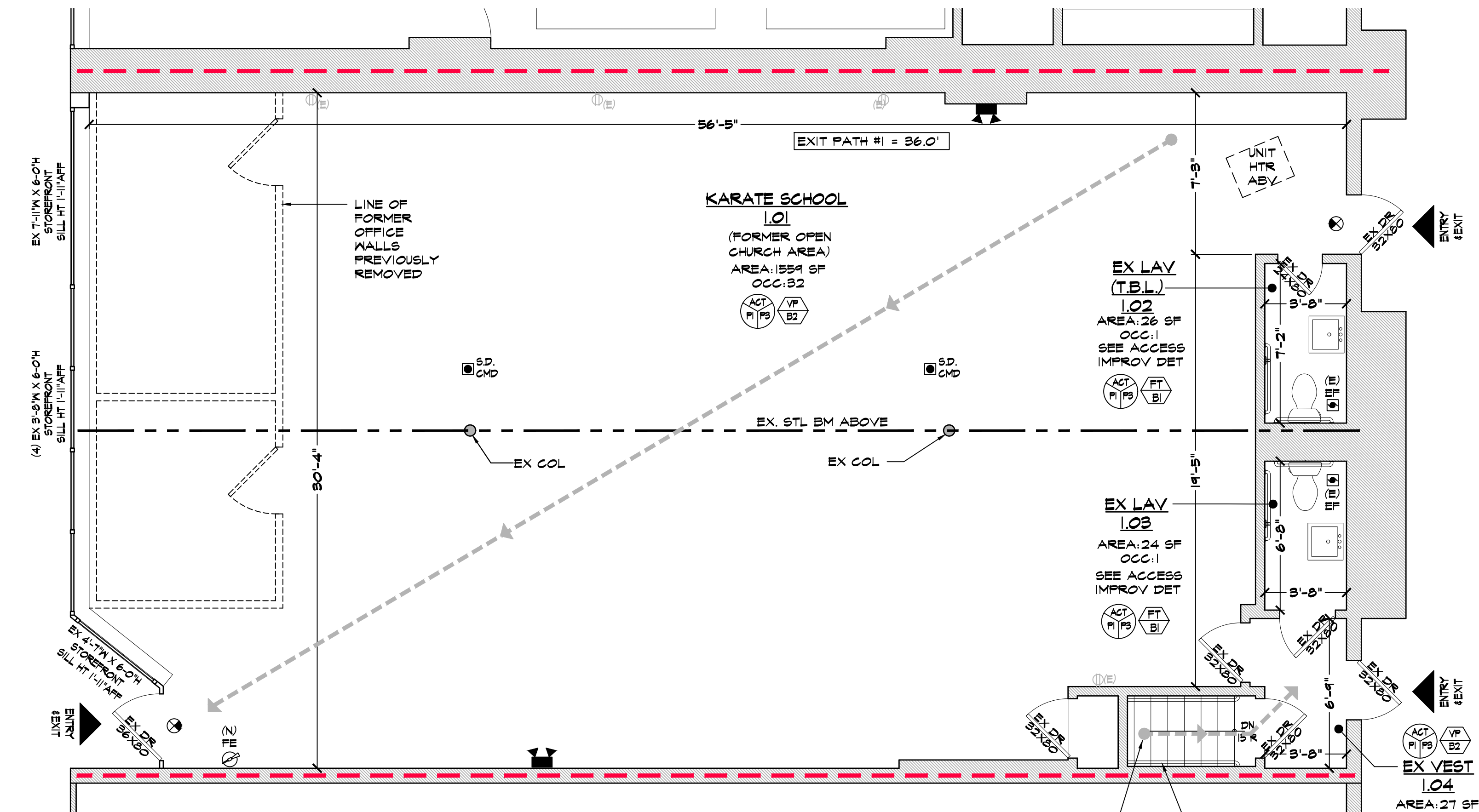
WALL LEGEND

ITEM	DESCRIPTION
	EX PARTITION TO REMAIN REPAIR AS REQUIRED
	EX DEMISING WALL TO REMAIN REPAIR AS REQUIRED

FINISH SPECS

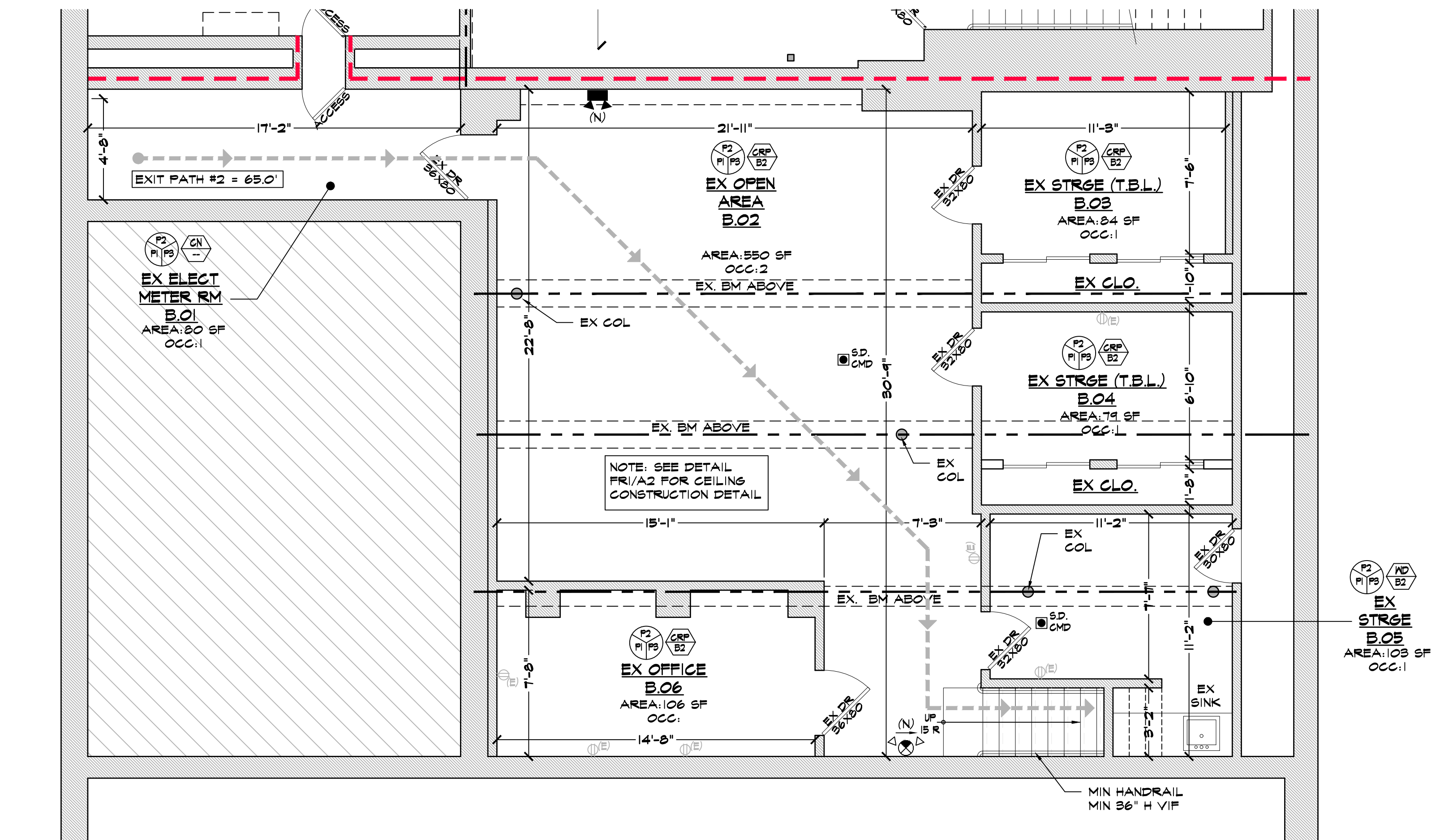
WALL, CEILING & FLOOR FINISHES:

	EXST. PAINTED GNB		EX ACQUETIC CLG TILE & GRID TO REMAIN
	EXST. PAINTED GNB CLG		EXST. VINYL PLANK FLOORING
	EXST. PAINTED DOORS & TRIM		EXST. PD FLOORING
	EX CARPET		EXST. CONCRETE
	EX CERAMIC FLOOR TILE		EXST. TILE BASE MOLDING TO REMAIN
			EXST. MOOD BASE MOLDING TO REMAIN



AS-BUILT GROUND FLOOR PLAN

NOTE: CLG HT 9'-0" A.F.F. U.N.O.



AS-BUILT CELLAR FLOOR PLAN

NOTE: CLG HT 9'-0" A.F.F. U.N.O.

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nlfarchitect.com

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Yonkers: 77 Remsen Road, Yonkers, NY 10710

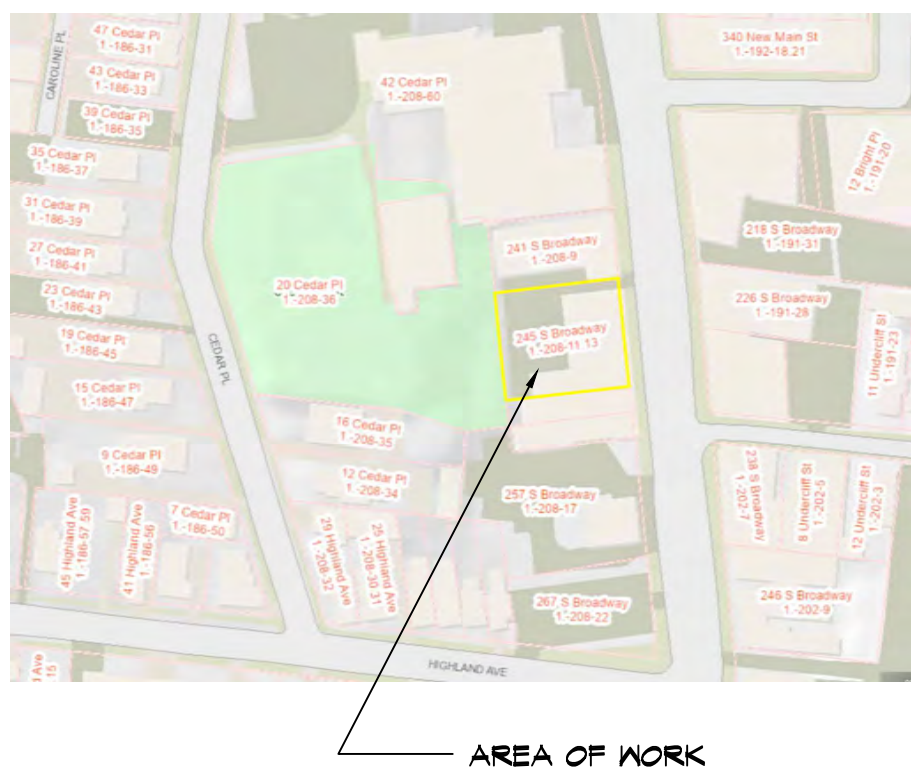
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LOCATION MAP



AREA OF WORK

NOTE:

Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

- A1 PLOT PLAN, ZONING INFO, BUILDING CODE INFO & AS-BUILT PLANS
- A2 AS-BUILT REFLECTED CLG PLANS & DETAILS

-- 07.29.24 ISSUED FOR DOB FILING

NO. DATE ISSUE/REV.

CLIENT

DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT

PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND BASEMENT PLANS CHANGE OF TENANT / USE FILING FROM EXISTING (FORMER) CHURCH TO NEW KARATE SCHOOL TENANT SPACE AT :

GOOD MORNING YONKERS TAEKWONDO CENTER
245 S BROADWAY (AKA 247) YONKERS NY 10701

DRAWINGS TITLE
PLOT PLAN, ZONING INFO, BUILDING CODE
INFO & AS-BUILT PLANS

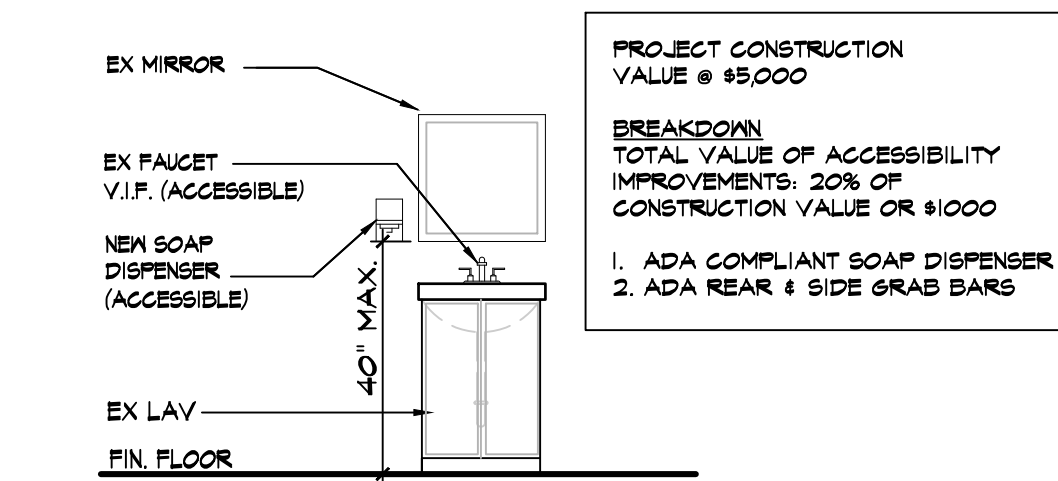
DRAWN BY SZ/JZ CHECKED BY NF PROJECT NO. 24.0427.02

DATE 07.29.24

DRAWING NO.

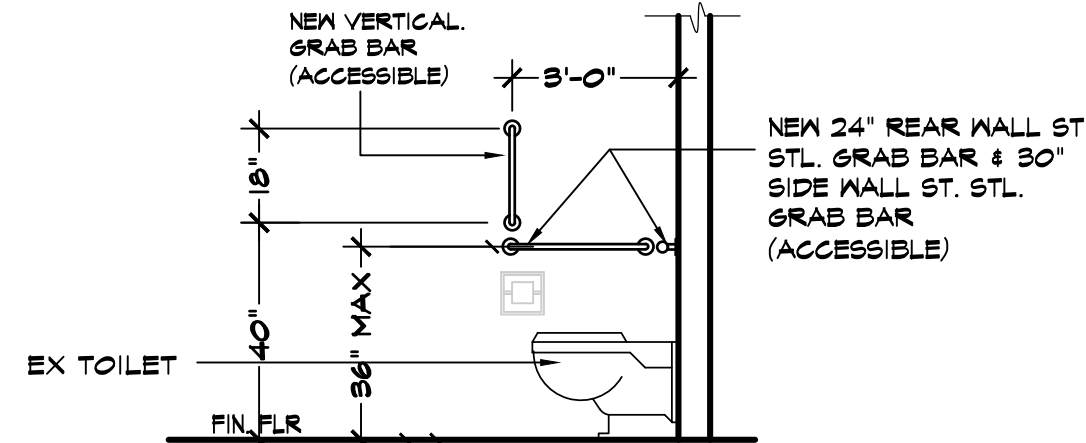


A



A1 EXISTING LAV ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

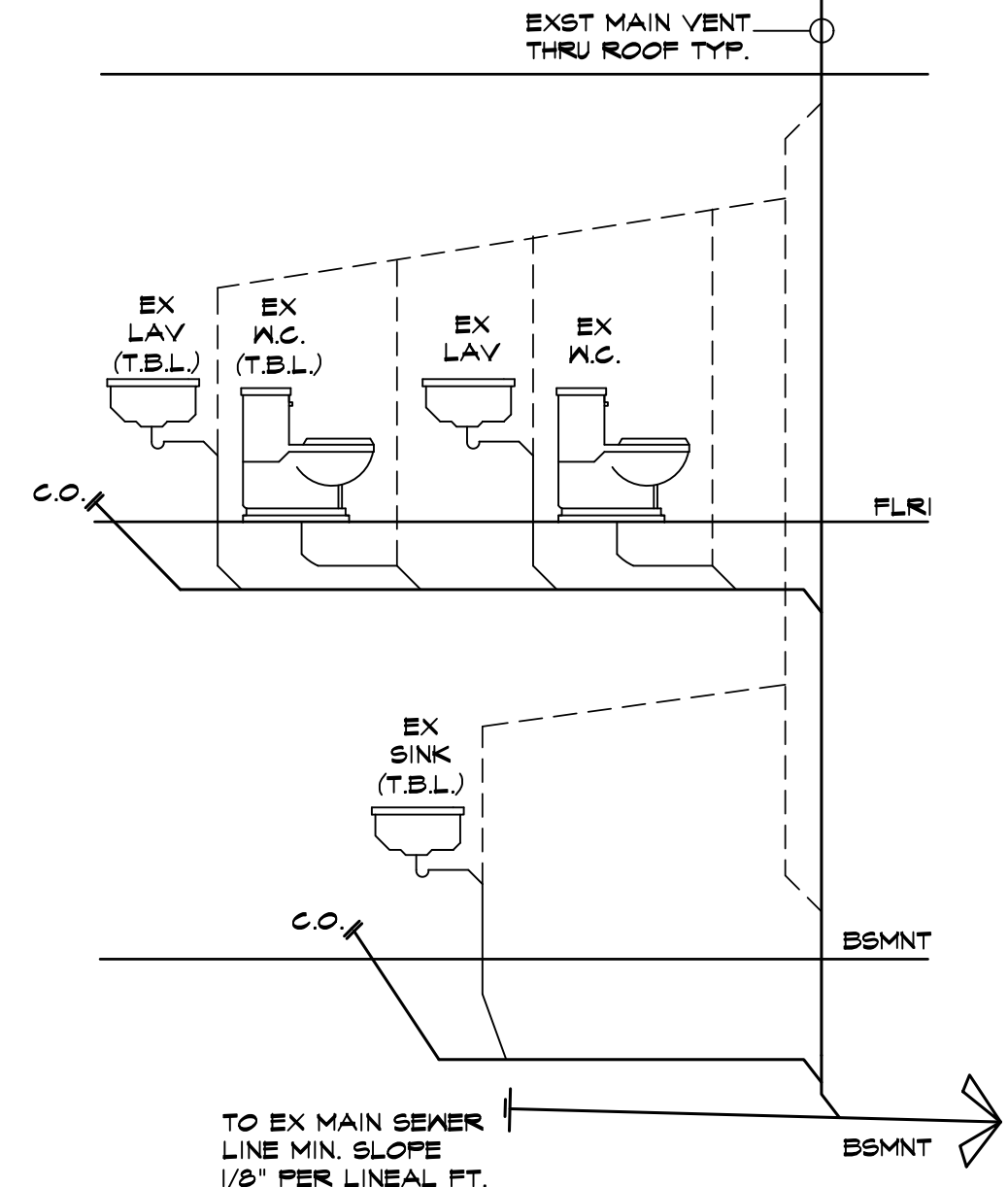


A2 EXIST WATER CL. ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

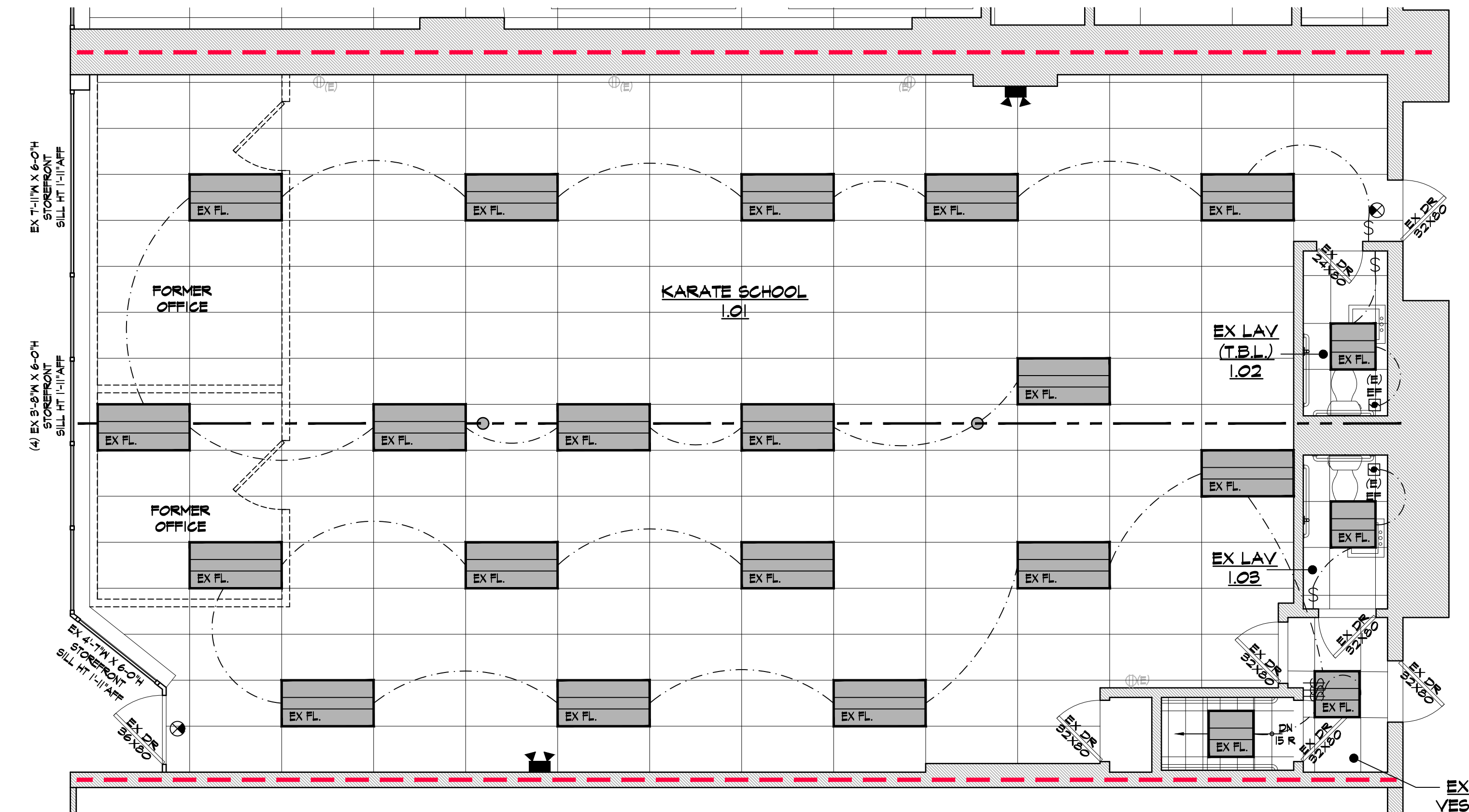
NOTE #1: EXISTING BUILDING CODE, ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION, WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A OR CONTAINS AN AREA OF PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE. THE ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA SHALL INCLUDE TOILET FACILITIES OR DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION.

EXCEPTIONS #1: I. THE COSTS OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. (SEE BREAKDOWN)



C PLUMBING RISER DIAGRAM

NTS

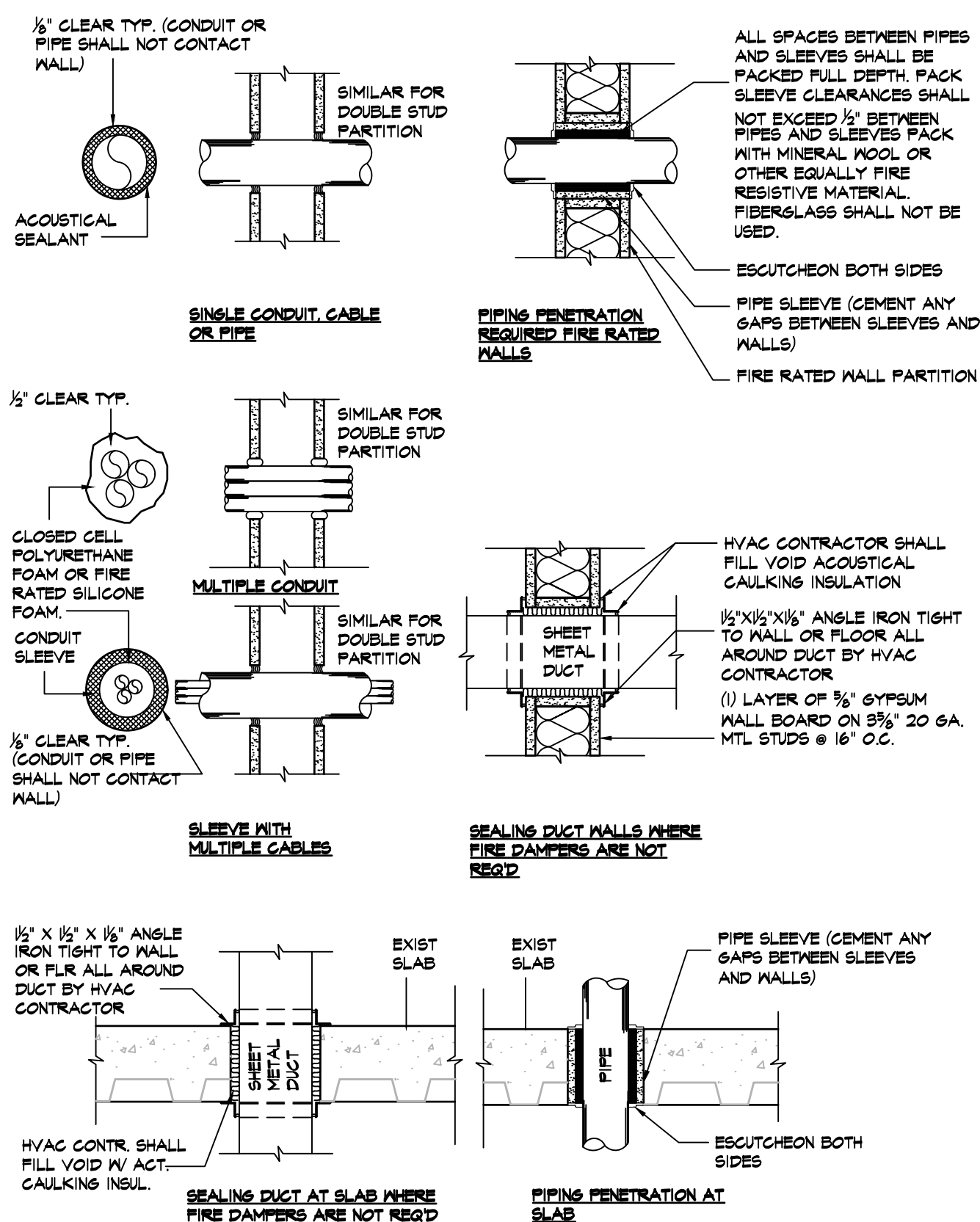


1 AS-BUILT GROUND FLR RCP PLAN

NOTE: EX ACT CLG HT 9'-0" A.F.F. U.N.O.

1/4" = 1'-0"

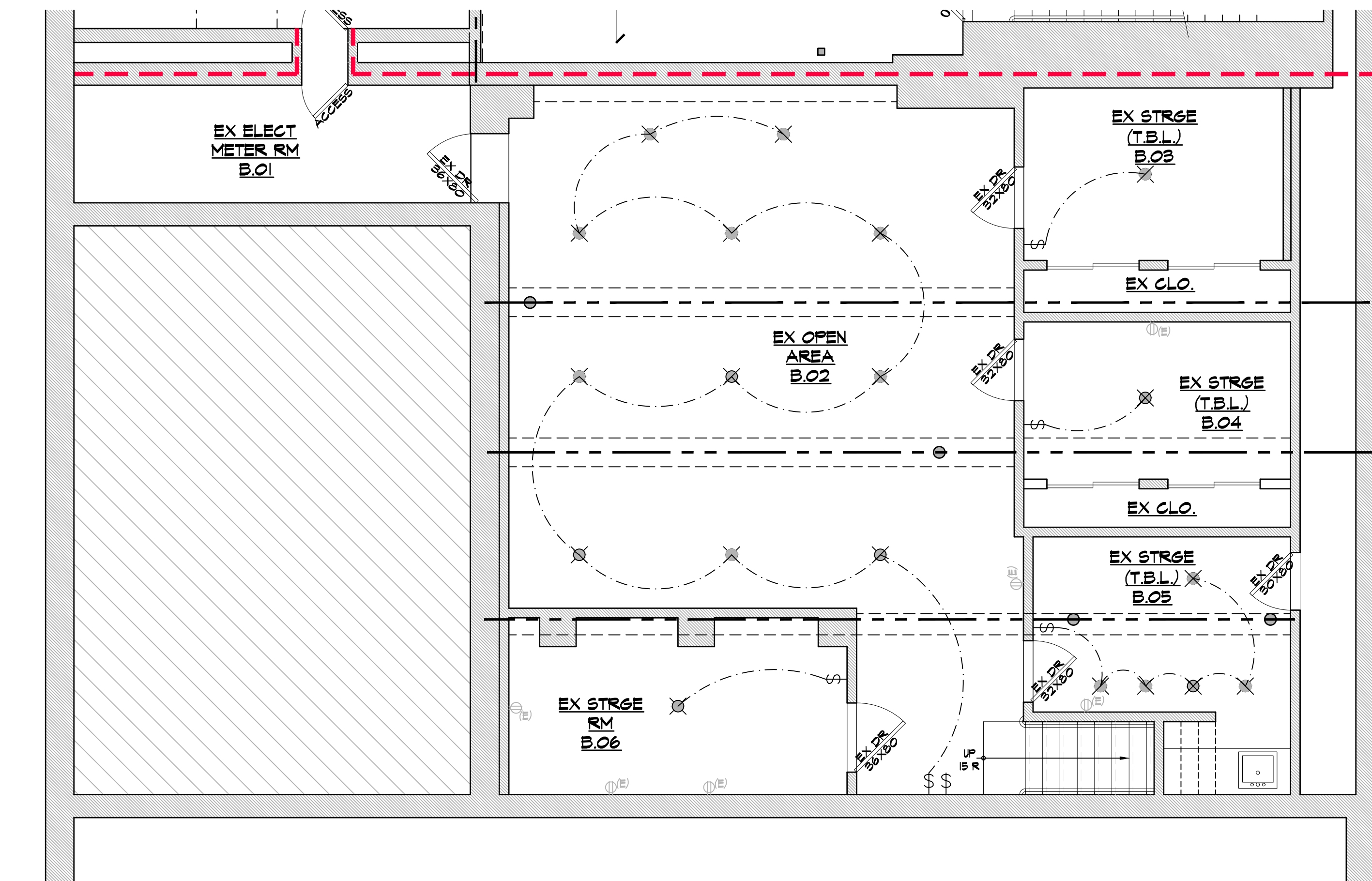
ITEM	DESCRIPTION	ITEM	DESCRIPTION
⚡	EX SINGLE POLE SWITCH	⚡	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP VIF
⚡	EX DUPLEX RECEPTACLE OUTLET	⚡	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
⚡	EX RECESSED CLG FIXTURE	(E)	DENOTES EXISTING
⚡	EX OUTLET W/ GROUND FAULT CIRCUIT INTER.	(E)	EXIST EXHAUST FAN TYP
⚡	EX SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.	⚡	EX SUSPENDED ACT CLG TILE & GRID TO REMAIN
(N)	DENOTES NEW		



FS1 FIRESTOP DETAILS

FR1 FIRE RATED CLG. ASSEMBLY DETAIL

NTS



2 AS-BUILT CELLAR RCP PLAN

NOTE: EX CLG HT 8'-3" A.F.F. U.N.O.

1/4" = 1'-0"

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Yonkers: 77 Remsen Road, Yonkers, NY 10710

General Notes

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NOTE: Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

A1 PLOT PLAN, ZONING INFO, BUILDING CODE INFO & AS-BUILT PLANS
A2 AS-BUILT REFLECTED CLG PLANS & DETAILS

07.29.24 ISSUED FOR DOB FILING

NO. DATE ISSUE/REV.

CLIENT

DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT

PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND BASEMENT PLANS CHANGE OF TENANT / USE FILING FROM EXISTING (FORMER) CHURCH TO NEW KARATE SCHOOL TENANT SPACE AT :

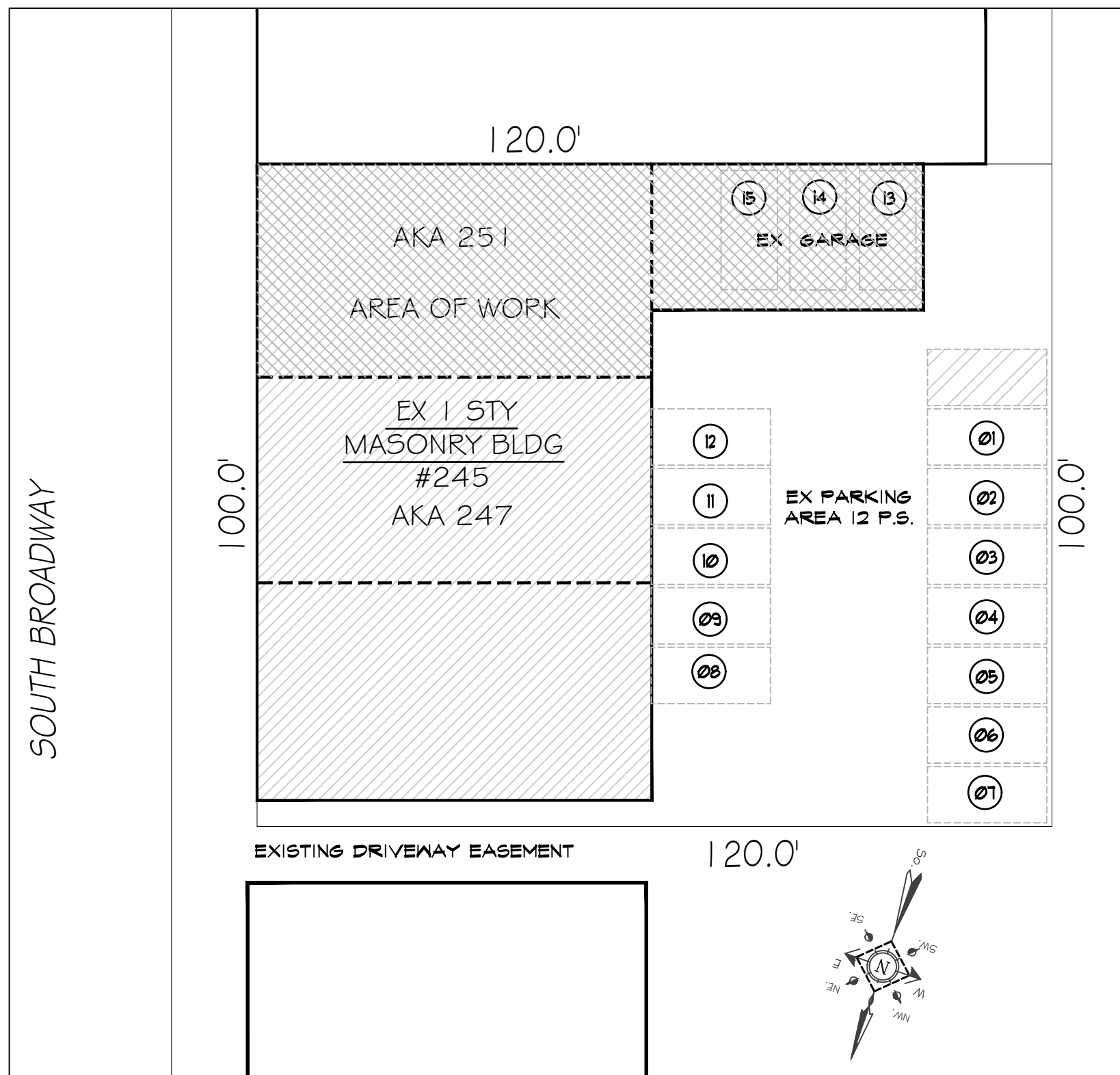
GOOD MORNING YONKERS TAEKWONDO CENTER
245 S BROADWAY (AKA 247) YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT REFLECTED CLG PLANS & DETAILS

DRAWN BY SZ/JZ CHECKED BY NF PROJECT NO. 24.0427.02

DATE 07.29.24
DRAWING NO. A2





EX PLOT PLAN

NOTE: PLOT PLAN INFORMATION TAKEN FROM BLDG DEPT FILE. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS

BUILDING CODE DATA

TYPE	APPLICABLE CODE	
BUILDING	2020 NEW YORK STATE BUILDING CODE	
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE	
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE	
ACCESSIBILITY	BCNYS CHAPTER 11 AND ICC / ANSI A117.1-2003 & 49 CFR PART 37 AND 38	
ZONE	EXISTING / PERMITTED USE(S)	PROPOSED USE(S)
SOUTH BROADWAY -CENTRAL	RETAIL: GROUP M	RETAIL : GROUP M
CONSTRUCTION TYPE	SCOPE OF WORK	
TYPE 3B PER TABLE 601	CHANGE OF TENANT / USE	
PROPOSED OCCUPANCY: GROUP M PER SEC. 304 MERCANTILE		
OCCUPANT LOAD (REF. SECT. T.1004.3)	EX GROUND FLR LEVEL	
	RM 1.01 OPEN RETAIL	1:60 MERCANTILE 1475 SF/ 60 = 24.5 ~ 25
	RM 1.02 EX LAV RM	1:60 MERCANTILE 33 SF/ 60 = 0.5 ~ 1
	RM 1.03 EX LAV	1:60 MERCANTILE 33 SF/ 60 = 0.5 ~ 1
	RM 1.04 EX VEST	1:60 MERCANTILE 57 SF/ 60 = 0.9 ~ 1
	RM 1.05 EX 2 CAR GARAGE	1:300 ACCESSORY 644 SF/ 300 = 2.1 ~ 3
	RM 1.06 EX 1 CAR GARAGE	1:300 ACCESSORY 193 SF/ 300 = 0.6 ~ 1
	RM B.01 EX STORAGE	1:300 STORAGE 181 SF/ 300 = 0.6 ~ 1
	RM B.02 EX OPEN AREA	1:150 BUSINESS 834 SF/ 150 = 5.5 ~ 6
	RM B.03 EX STORAGE	1:300 BUSINESS 87 SF/ 300 = 0.2 ~ 1
RM B.04 EX STORAGE	1:300 BUSINESS 79 SF/ 300 = 0.2 ~ 1	
RM B.05 EX STORAGE	1:300 STORAGE 240 SF/ 300 = 0.8 ~ 1	
TOTAL = 42 OCCUPANTS		

TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITHOUT SPRINKLER

OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D / TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP M MERCANTILE	42 OCCUPANTS	>30 OCCUPANTS 1 EXIT REQ'D / 75 FT	GROUND FLR #1: 61.0' GROUND FLR #2: 30.0' CELLAR #3: 63.0'	2 EXIT (EXIST)

ENERGY COMPLIANCE STATEMENT:

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PLUMBING CALCULATIONS - TABLE 2902.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES							
GROUP M - MERCANTILE				OCC.	REQUIRED	EXISTING/ PROPOS.	
PLUMBING FIXTURES	Water Closets	Reg. 3	Male	1:500	42	1-Water Closet	2 - W.C.
			Female				
	Lavatories	Reg. 3	Male	1:750	42	1-Lavatory	2 - LAV
			Female				
	Drinking Fountains	Reg. 3	1:1000		42	1-Drinking Fountain	0 - SEE NOTE 1
	Other	Reg. 3	1 service sink		42	1-Service Sink	1 - SERVICE SINK
NOTE 1: NO CHANGE IN USE PROPOSED							
SECTION 303.13 INT. WALL & CEILING FINISH REQMTS BY OCCUPANCY (FINISH CLASS)							
USE/ NOT SPRINKLERED	INTERIOR EXIT STAIR, RAMP & EXIT PASSAGEWAYS		CORRIDORS & ENCL. FOR EXIT ACCESS STAIRWAYS & RAMPS		ROOMS AND ENCLOSED SPACES		
GROUP M - NOT SPRINKLERED	A		B		C		
CLASS A: FLAME SPREAD 0-25, SMOKE-DEVELOPED 0-450.							
CLASS B: FLAME SPREAD 26-75, SMOKE-DEVELOPED 0-450.							
CLASS C: FLAME SPREAD 76-200, SMOKE-DEVELOPED 0-450.							

GENERAL NOTES

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PARKING ANALYSIS

SECTION 43- 47.6 S BROADWAY OFF-STREET PARKING AND LOADING.

THE FOLLOWING PARKING REGULATIONS, IN ADDITION TO PARKING REGULATIONS FOUND ELSEWHERE IN CHAPTER 43, WILL BE APPLIED IN THIS DISTRICT:

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WALL LEGEND	
ITEM	DESCRIPTION
	EX PARTITION TO REMAIN REPAIR AS REQUIRED
	EX DEMISING WALL TO REMAIN REPAIR AS REQUIRED
FINISH SPECS	
WALL, CEILING & FLOOR FINISHES:	
	EXST PAINTED GNB
	EXST PAINTED GNB CLG
	EXST PAINTED DOORS & TRIM
	NEW TYPE 'X' GNB PAINTED
	EXST PAINTED CONCRETE
	EX ACoustic CLG TILE & GRP TO REMAIN
	EXST VINYL TILE FLOORING
	EXST MD FLOORING
	EXST CONCRETE
	EXST CARPET
	EXST WOOD BASE

Nicholas L. Faustini Architect PC

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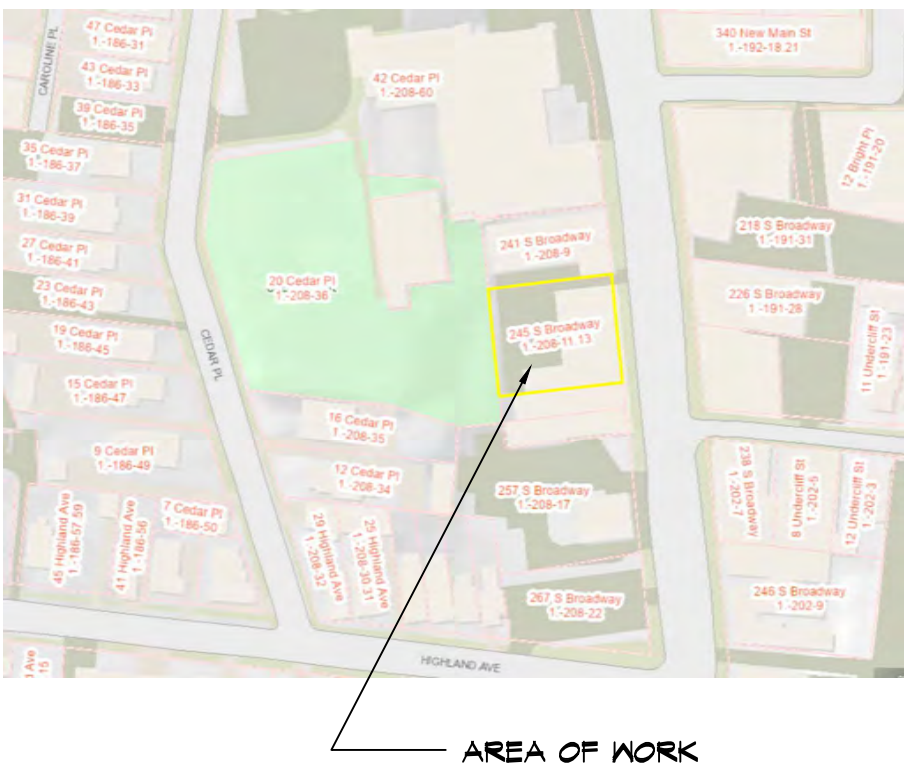
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LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

- A1 EX PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
- A2 AS-BUILT CELLAR & AS-BUILT GROUND FLR RCP
- A3 AS-BUILT CELLAR RCP, DETAIL & PLUMB RISER DIAG

-- 01.29.24 ISSUED FOR DOB FILING
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CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT

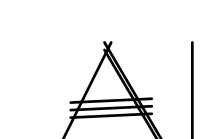
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND CELLAR PLANS AND CHANGE OF TENANT FILING FOR EXST RETAIL TENANT SPACE AT :

DEALS IN A BIN 2
245 (AKA 251) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN

DRAWN BY: SZ/JZ CHECKED BY: NF PROJECT NO.: 24.0421.02

DATE: 01.29.24
DRAWING NO.:

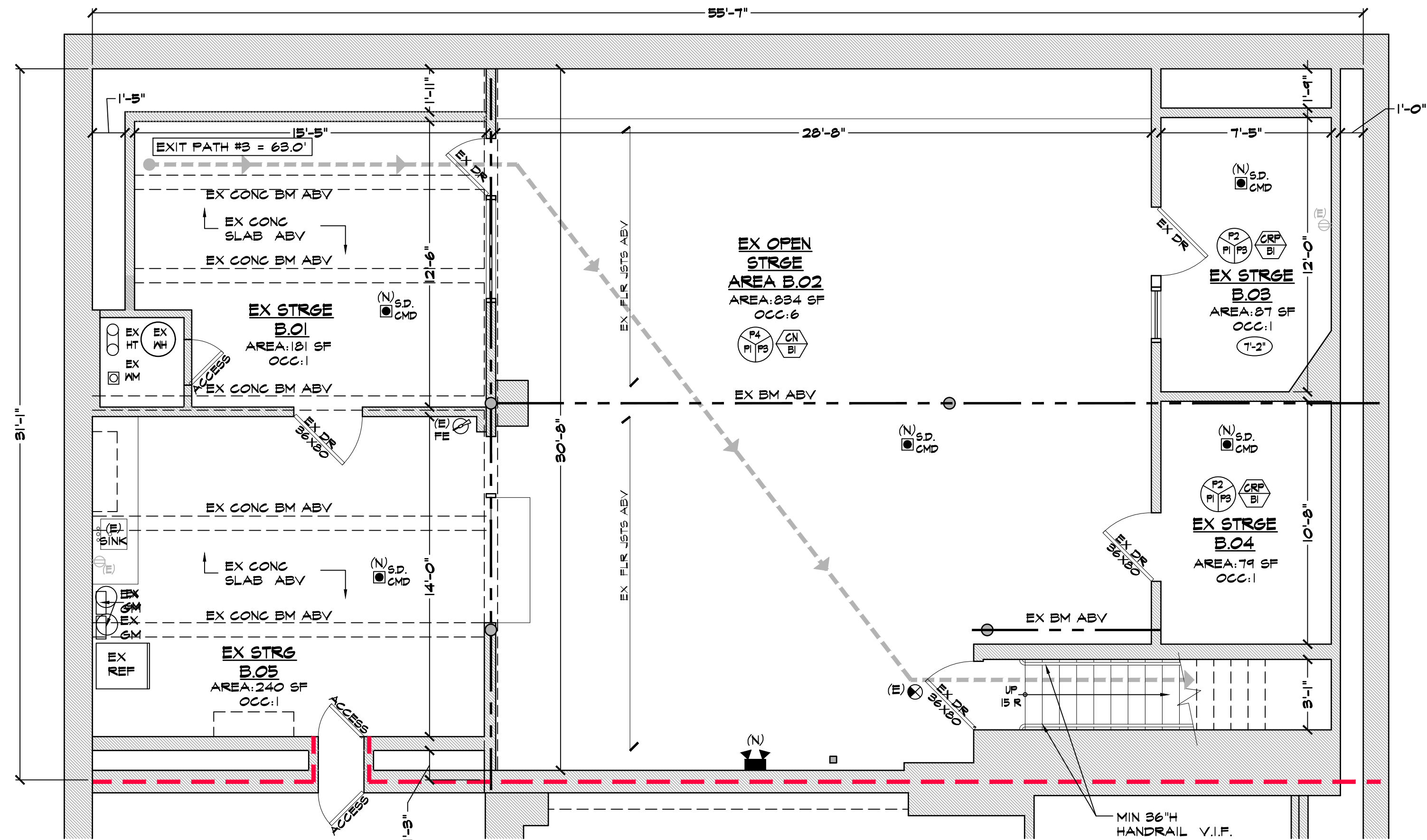


AS-BUILT GROUND FLOOR PLAN

NOTE:
1. CLG HT 9'-10" A.F.F. U.N.O.

1/4" = 1'-0"

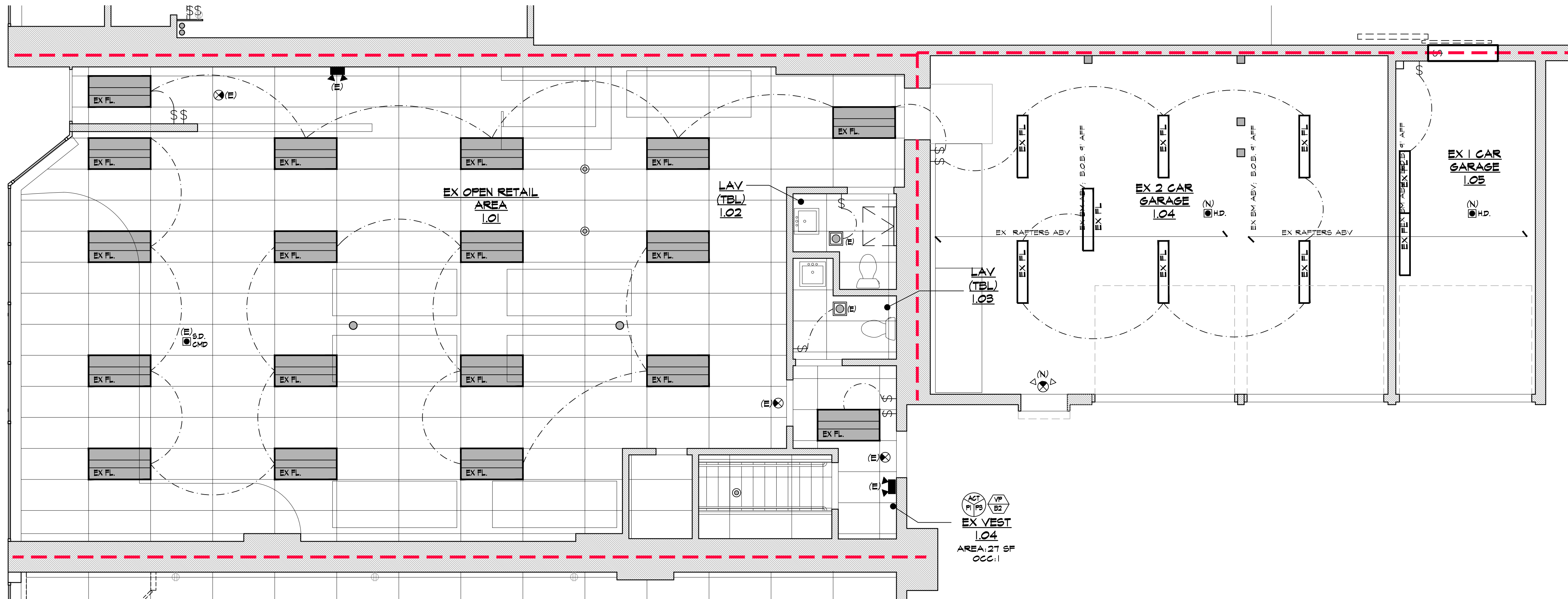
ELEC. & RCP LEGEND			
ITEM	DESCRIPTION	ITEM	DESCRIPTION
⚡	EX SINGLE POLE SWITCH	⚡	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.P.
⊕	EX DUPLEX RECEPTACLE OUTLET	⚡	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
⊗	EX RECESSED CLS FIXTURE	(E)	DENOTES EXISTING
⊕GFI	EX OUTLET W/ GROUND FAULT CIRCUIT INTERR.	⊕EF	EXST EXHAUST FAN TYP
⊕S.D.	SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.P.	⊕	EX SUSPENDED ACT CLS TILE & GRID TO REMAIN
⊕H.D.	HEAT DETECTOR HARDWIRED		
(N)	DENOTES NEW		



1 AS-BUILT CELLAR FLOOR PLAN

NOTE: CLG HT 8'-8" A.F.F. U.N.O.
PROVIDE MIN 3" TYPE 'X' GAB AT FRM WALL & CLG AREAS.
SEE DET. FRI/AS - TYP @ ENTIRE CELLAR CLG

1/4" = 1'-0"



2 AS-BUILT GROUND FLR RCP PLAN

NOTE:
1. EX ACT CLG HT 9'-0" A.F.F. U.N.O.

1/4" = 1'-0"

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Yonkers: 77 Rensselaer Road, Yonkers, NY 10710

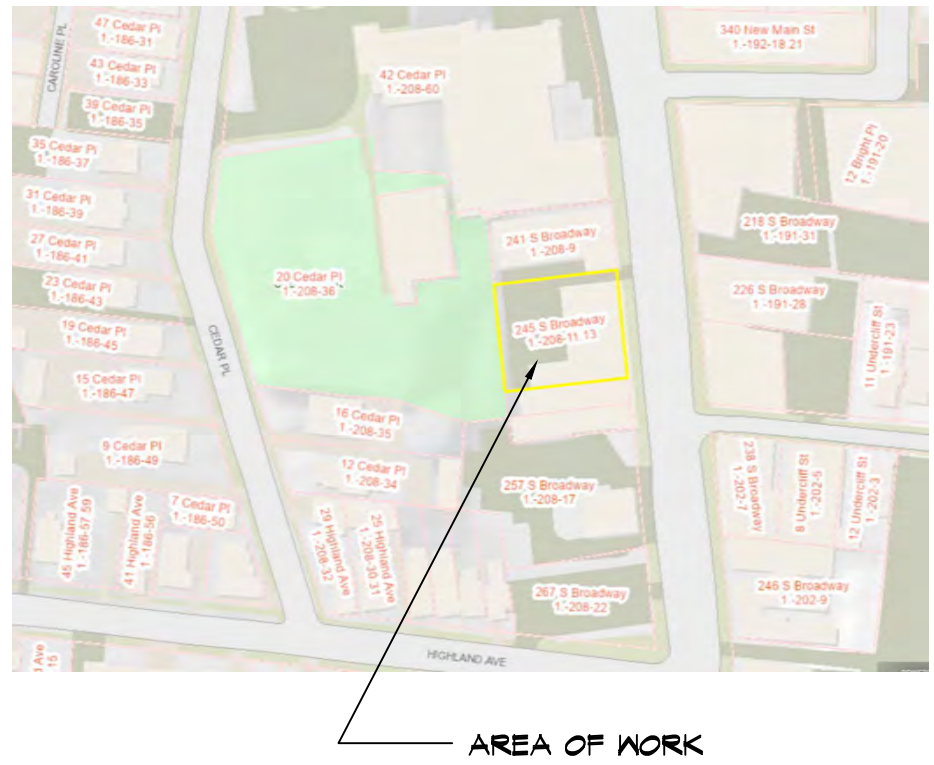
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LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

A1 EX PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
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A3 AS-BUILT CELLAR RCP, DETAIL & PLUMB RISER DIAG

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CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT

PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND CELLAR PLANS AND CHANGE OF TENANT FILING FOR EXST RETAIL TENANT SPACE AT :

DEALS IN A BIN 2
245 (AKA 251) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT CELLAR PLAN & AS-BUILT GROUND FLR RCP

DRAWN BY SZ/JZ CHECKED BY NF PROJECT NO. 24.0427.02

DATE 07.29.24
DRAWING NO.



A2

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LOCATION MAP



AREA OF WORK

NOTE:

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ZONE: SB-CENTRAL

TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

- A1 EX FLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
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DEALS IN A BIN 2
245 (AKA 251) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT CELLAR RCP, DETAILS & PLUMBING RISER DIAGRAM

DRAWN BY S2/JZ CHECKED BY NF PROJECT NO. 24-0427-02

DATE 07.29.24

DRAWING NO.

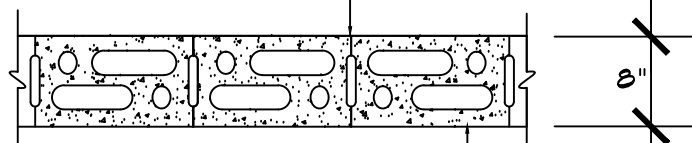


A3

ELEC. & RCP LEGEND

ITEM	DESCRIPTION	ITEM	DESCRIPTION
⚡	EX SINGLE POLE SWITCH	EXIT	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.F.
⚡	EX DUPLEX RECEPTACLE OUTLET	⚡	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
⚡	EX RECESSED CLG FIXTURE	(E)	DENOTES EXISTING
⚡	EX OUTLET M/GROUND FAULT CIRCUIT INTERR.	⚡	EXST EXHAUST FAN TYP
⚡	EX SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.	⚡	EX SUSPENDED ACT CLG TILE & GRID TO REMAIN
(N)	DENOTES NEW		
⚡	EX EXHAUST FAN LIGHT FIXTURE COMBINATION		

EX CONCRETE BLOCKS V.I.F.



EX MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4" AND NOT MORE THAN 3-1/2" PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED V.I.F.

2 HR
FIRERATED
PARTITION
UL NO. 905

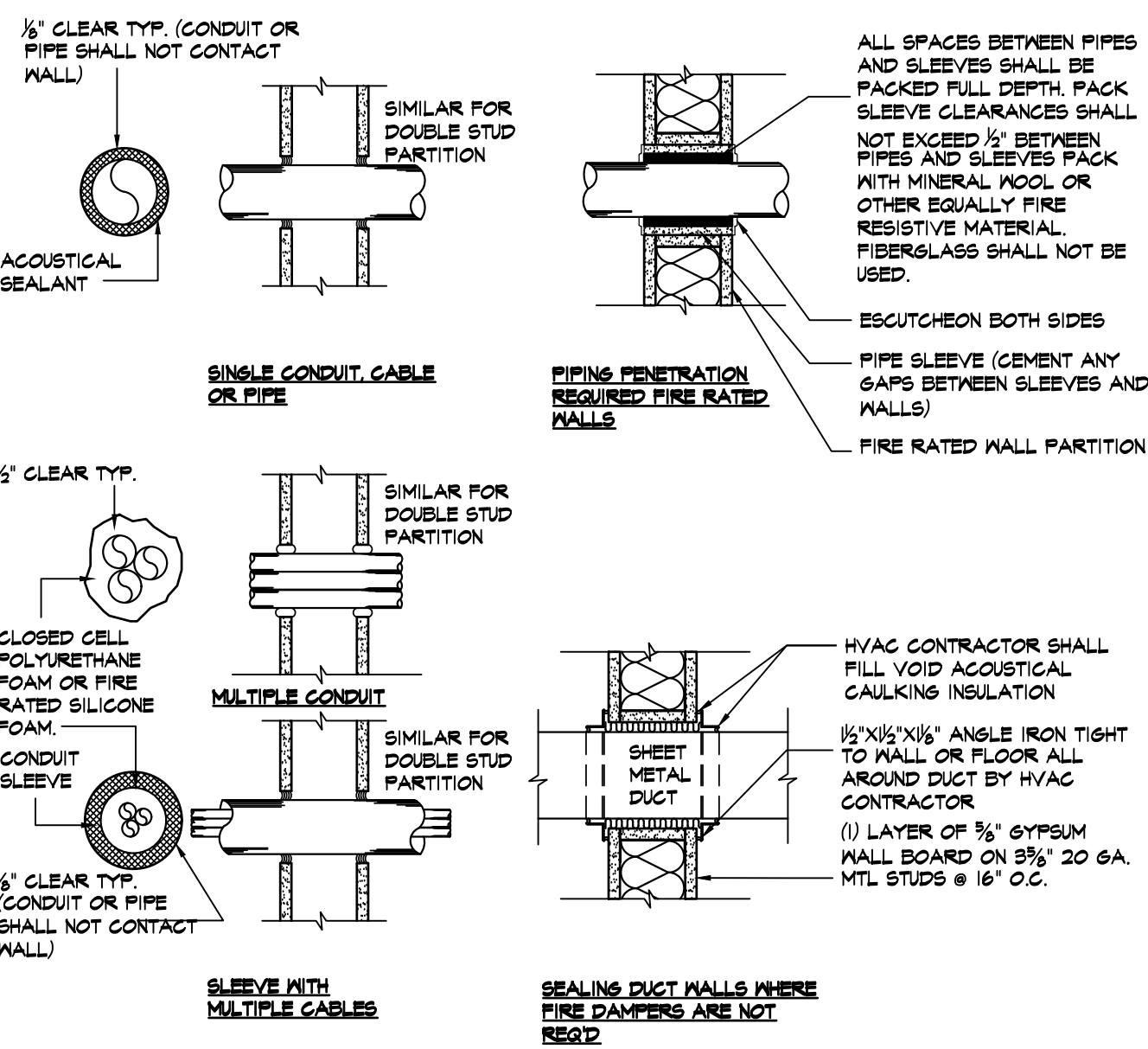
PI PARTITION TYPE DETAIL

NTS

AS-BUILT CELLAR RCP PLAN

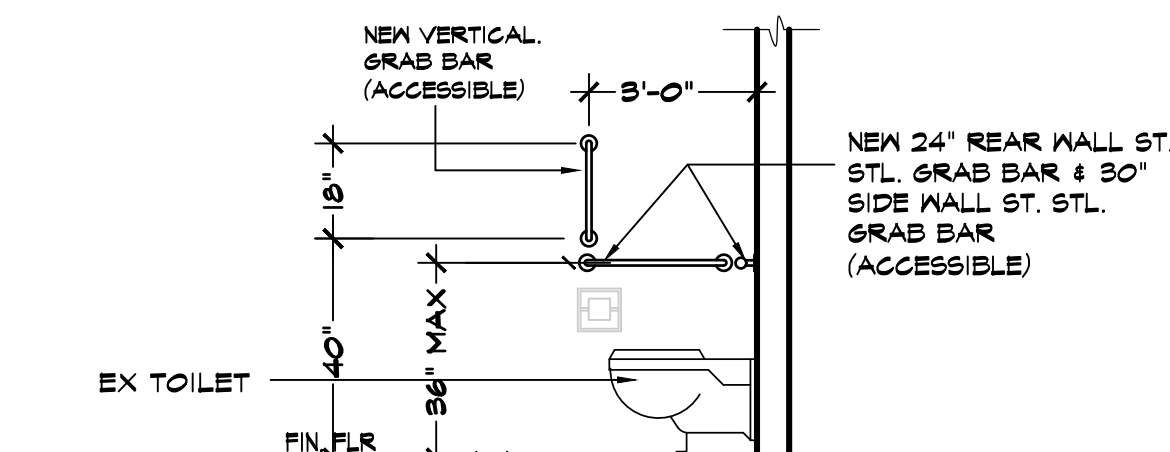
NOTE: EX ACT CLG HT 8'-3" A.F.F. U.N.O.

1/4" = 1'-0"



A1 EXISTING LAV ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES



A2 EXIST WATER CL. ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

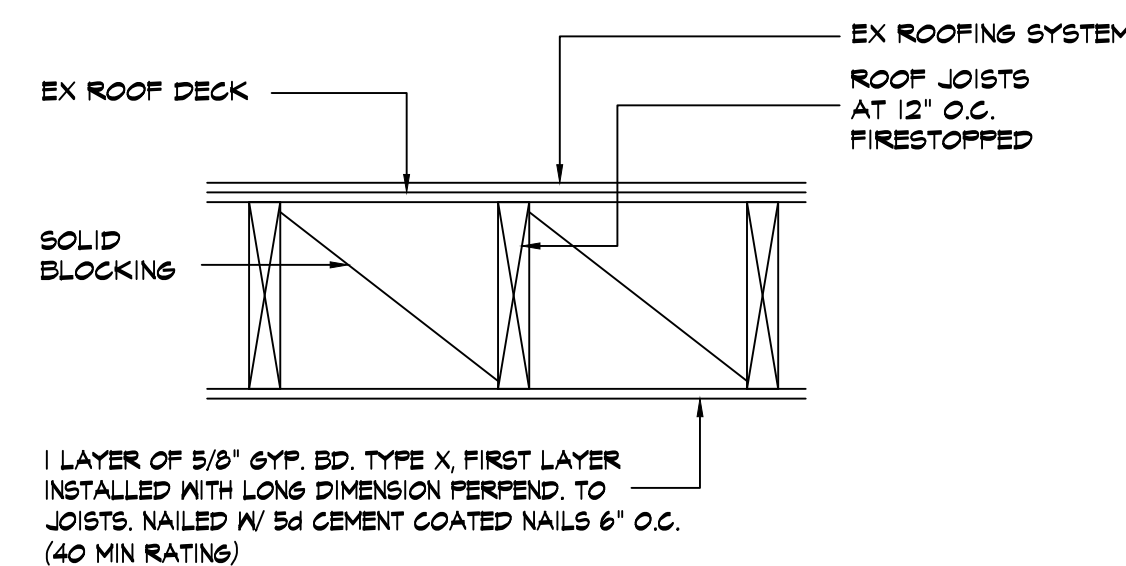
NOTE #1: EXISTING BUILDING CODE: ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION, WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A, OR CONTAINS AN AREA OF PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE. THE ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA SHALL INCLUDE TOILET FACILITIES OR DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION.

EXCEPTIONS #1: 1. THE COSTS OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. (SEE BREAKDOWN)

FS1 FIRESTOP DETAILS

FR1 FIRE RATED CLG. ASSEMBLY DETAIL

NTS

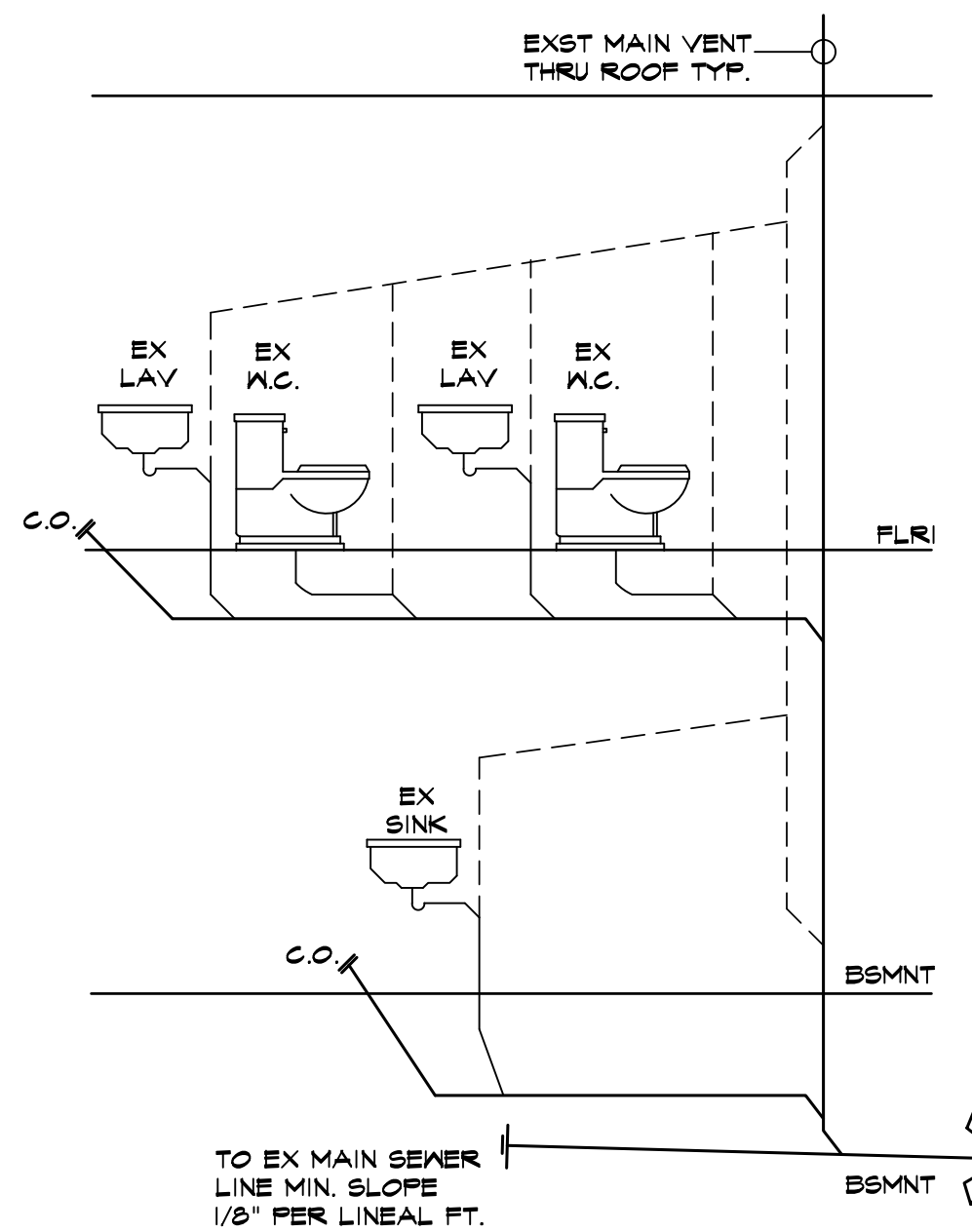


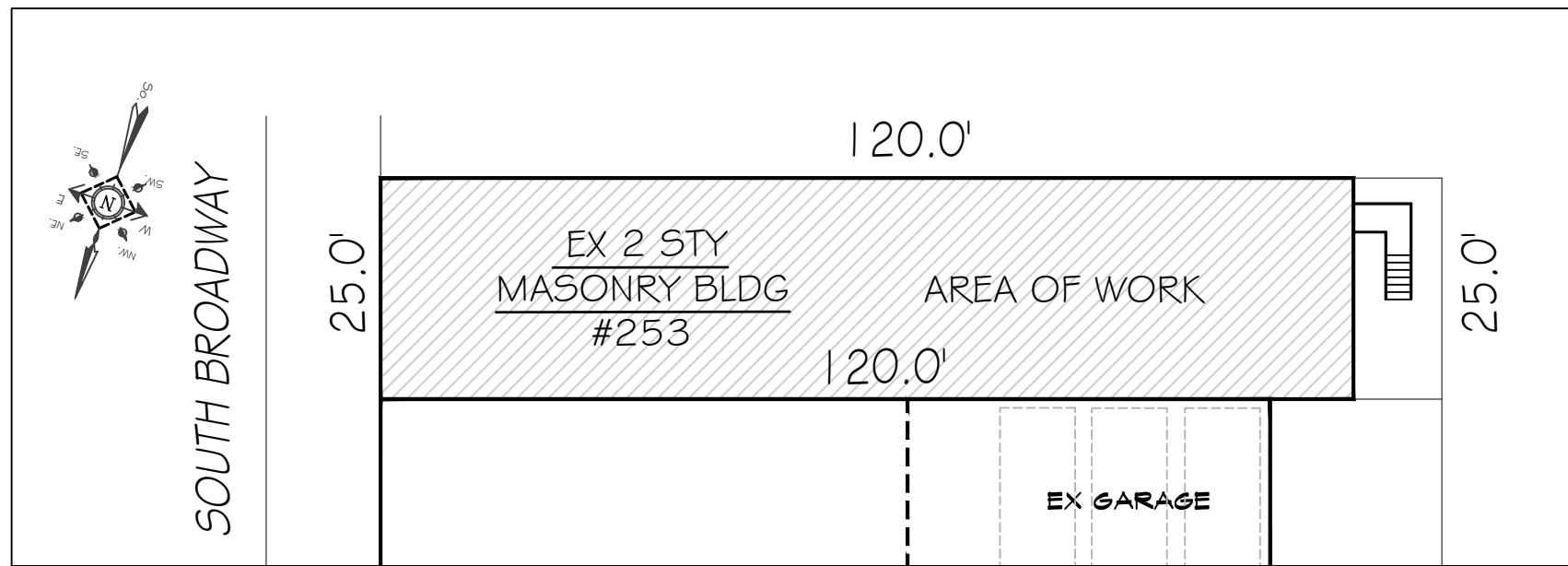
FR2 FIRE RATED ROOF ASSEMBLY

NTS

C PLUMBING RISER DIAGRAM

NTS





EX PLOT PLAN

NOTE: PLOT PLAN INFORMATION BLDG DEPT RECORDS FILE. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS

1" = 20'-0"

BUILDING CODE DATA

TYPE	APPLICABLE CODE
BUILDING	2020 NEW YORK STATE BUILDING CODE
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE
ACCESSIBILITY	BCNYS CHAPTER 11 AND ICC / ANSI A117.1-2003 & 49 CFR PART 37 AND 38

ZONE	EXISTING / PERMITTED USE(S)	PROPOSED USE(S)
SOUTH BROADWAY CENTRAL	RETAIL - GROUP M	RETAIL - GROUP M

CONSTRUCTION TYPE	SCOPE OF WORK
TYPE SB PER TABLE 601	CHANGE OF TENANT FOR RETAIL STORE (FORMER FURNITURE STORE CO DATED 10/25/1488)

PROPOSED OCCUPANCY: GROUP M PER SEC. 304 MERCANTILE

OCCUPANT LOAD (REF. SEC. T.1004.5)	EX GROUND FLR LEVEL			
RM 1.01 OPEN RETAIL	1:60 MERCANTILE	700 SF/ 60 = 11.6 ~ 12		
RM 1.02 EX STORAGE	1:300 STORAGE	1673 SF/ 300 = 5.5 ~ 6		
RM 1.03 EX LAV	1:60 MERCANTILE	23 SF/ 60 = 0.3 ~ 1		
RM 1.04 EX LAV	1:60 MERCANTILE	23 SF/ 60 = 0.3 ~ 1		
RM B.01 EX OFFICE	1:150 BUSINESS	266 SF/ 150 = 1.7 ~ 2		
RM B.02 EX WORK AREA	1:150 BUSINESS	518 SF/ 150 = 3.4 ~ 4		
RM B.03 EX STORAGE	1:300 STORAGE	1653 SF/ 300 = 5.5 ~ 6		
		TOTAL = 52 OCCUPANTS		

TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITH SPRINKLER

OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D/ TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP M MERCANTILE	52 OCCUPANTS	>30 OCCUPANTS 1 EXIT REQ'D/ 75 FT	GROUND FLR #1: 65.0' 1ST FLR #2: 45.0' 2ND FLR #3: 61.0' 2ND FLR #4: 64.0'	1ST FLR (2) EXITS 2ND FLR (2) EXITS

ENERGY COMPLIANCE STATEMENT:

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THAT THE PLANS & /OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE NEW YORK STATE

PLUMBING CALCULATIONS - TABLE 2902.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES

GROUP M - MERCANTILE	OCC. REQUIRED	EXISTING/ PROPOSED
Water Closets	Male 1:500 Female 1:500	32 1-Water Closet 2 - W.C.
Lavatories	Male 1:750 Female 1:750	32 1-Lavatory 2 - LAV
Drinking Fountains	1:1000	32 1-Drinking Fountain 0- NO CHANGE
Other	1 service sink	32 1-Service Sink 0- NO CHANGE

SECTION 303.13 INT. WALL & CEILING FINISH REQMTS BY OCCUPANCY (FINISH CLASS)

USE/ NOT SPRINKLERED	INTERIOR EXIT STAIR, RAMP & EXIT PASSAGEWAYS	CORRIDORS & ENCL. FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS AND ENCLOSED SPACES
GROUP M - NOT SPRINKLERED	A	B	C
CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450			
CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450			
CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450			

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH 2020 BUILDING CODE OF NEW YORK STATE AND ZONING ORDINANCES OF THE CITY OF YONKERS, N.Y.
- ALL ELECTRICAL WORK (IF APPLICABLE) SHALL BE APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND SHALL BE PERFORMED BY A NY STATE LICENSED ELECTRICAL CONTRACTOR.
- ALL PLUMBING WORK (IF APPLICABLE) SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPT. AND SHALL BE PERFORMED BY A NY STATE LICENSED PLUMBER.
- CONTRACTOR OR ANY SUBCONTRACTORS DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY & PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ANY KIND AND TO PROVIDE OWNER WITH CERTIFICATES OF SAID INSURANCE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLAN AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. S.C. SHALL BE RESPONSIBLE FOR ALL TESTS, INSPECTIONS, ETC., AS REQUIRED BY THE BLDG. DEPARTMENT. THE S.C. SHALL PROVIDE THE NECESSARY COORDINATION BETWEEN ALL TRADES WITH REGARD TO THE DRAWINGS. LOCATE BOLTS, SLEEVES AND ALL MISCELLANEOUS ITEMS AS REQUIRED FOR MECHANICAL TRADES, AND PROVIDE AND/OR INSTALL VARIOUS ITEMS NOT SHOWN ON THESE DRAWINGS AS REQUIRED FOR VARIOUS TRADES.
- ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. HIS RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING.
- ALL SURFACES ADJACENT TO THE WORK WHICH IS DAMAGED DURING CONSTRUCTION BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR THEIR FORCES SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACES TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
- FIRE EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS SHALL BE INSTALLED BY S.C. PER LOCAL CODE, FIRE ALARM/SPRINKLER SYSTEM DESIGN, IF SO REQUIRED BY THE CITY OF YONKERS, SHALL BE SUBMITTED UNDER SEPARATE APPLICATION.
- SIGN AND/OR AVINING APPLICATION, IF ANY, SHALL BE FILED UNDER SEPARATE APPLICATION.

PARKING ANALYSIS

SECTION 43- 47.6 S BROADWAY OFF-STREET PARKING AND LOADING.

THE FOLLOWING PARKING REGULATIONS, IN ADDITION TO PARKING REGULATIONS FOUND ELSEWHERE IN CHAPTER 43, WILL BE APPLIED IN THIS DISTRICT:

THE PROVISIONS OF §§ 43-121 AND 43-131A SHALL NOT APPLY TO BUILDINGS, STRUCTURES OR USES IN EXISTENCE AT THE TIME OF THE PASSAGE OF THIS CHAPTER WHETHER CONTINUED AS PERMITTED USES OR AS A NONCONFORMING USE, OR THEREAFTER CONVERTED OR CHANGED TO A DIFFERENT LAWFUL USE.

THE APPROVING AGENCY SHALL NOT PERMIT ANY REDUCTION OR ELIMINATION OF WHATEVER QUANTITY OF PARKING OR LOADING SPACE THAT MAY ALREADY EXIST, EXCEPT TO THE EXTENT THAT IT MAY EXCEED SUCH REQUIREMENT

ITEM	DESCRIPTION
	EX PARTITION TO REMAIN REPAIR AS REQUIRED
	EX PARTY WALL TO REMAIN REPAIR AS REQUIRED

FINISH SPECS

WALL, CEILING & FLOOR FINISHES:

P1	EXIST PAINTED 5/8"	SV	EXIST SHEET VINYL FLOORING
P2	EXIST PAINTED 5/8" CLG	NP	EXIST PAINTED NO FLOORING
TN	EXIST PAINTED TIN CLG	CA	EXIST CONCRETE
PS	EXIST PAINTED DOORS & TRIM	CT	EXIST CERAMIC TILE
CT	EXIST CERAMIC TILE MAINSCOT	CRP	EXIST CARPET
WP	EXIST WOOD PANELING	BI	EXIST WOOD BASE
PB	EXIST PAINTED CONC BLOCK		

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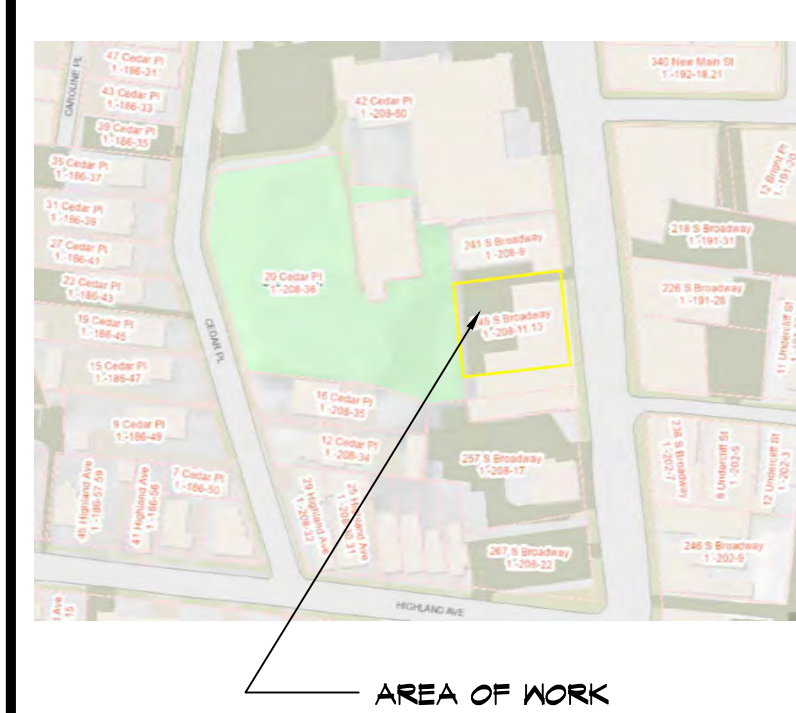
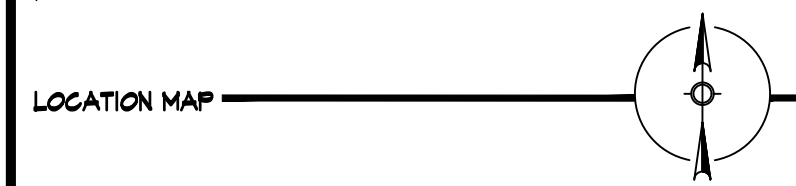
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ZONE: SB-CENTRAL TAX MAP ID#:1-208-11-13

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A3	AS-BUILT 2ND FLR RCP, DETAIL & FRD

07.29.24 ISSUED FOR DOB FILING

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253 S BROADWAY
YONKERS NY 10701

PROJECT

PREPARATION OF AS BUILT FIRST FLOOR PLAN AND BASEMENT PLANS AND CHANGE OF TENANT AT:

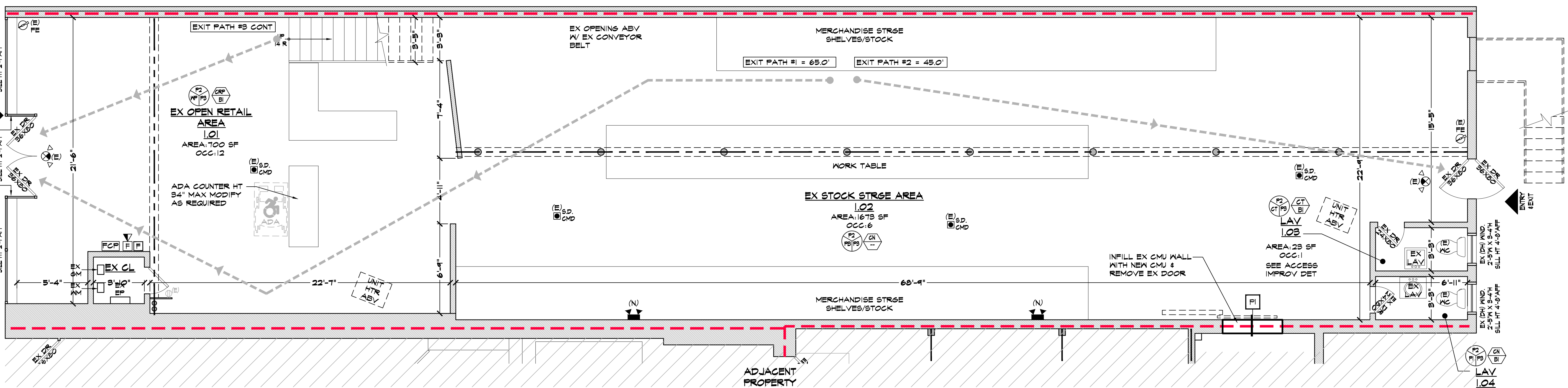
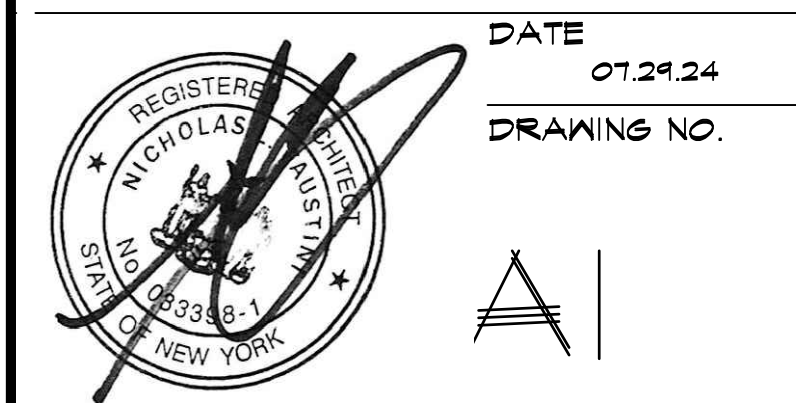
LEELOO MULTIPROPS
253 S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN

DRAWN BY SZ/JZ CHECKED BY NF PROJECT NO. 24.0427

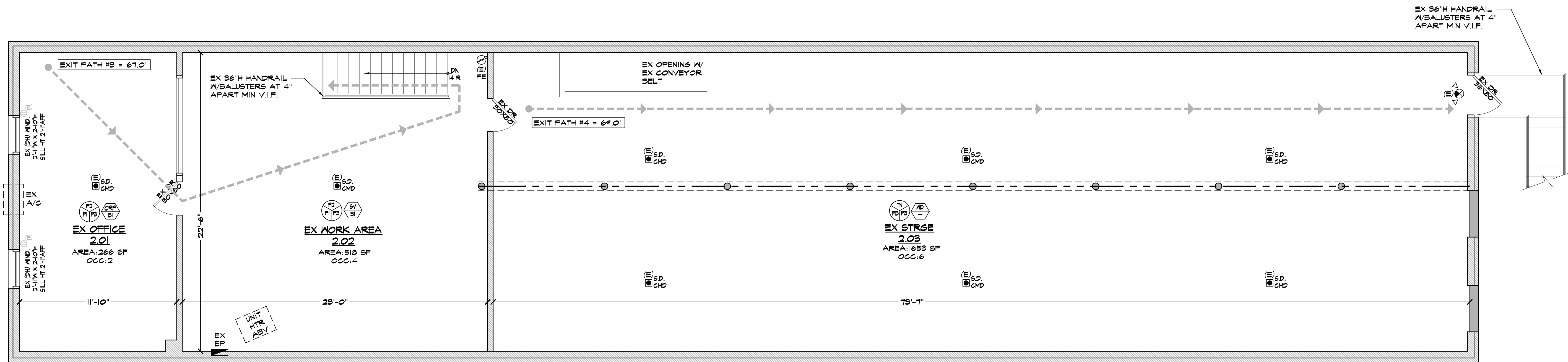
DATE 07.29.24

DRAWING NO.



AS-BUILT GROUND FLOOR PLAN

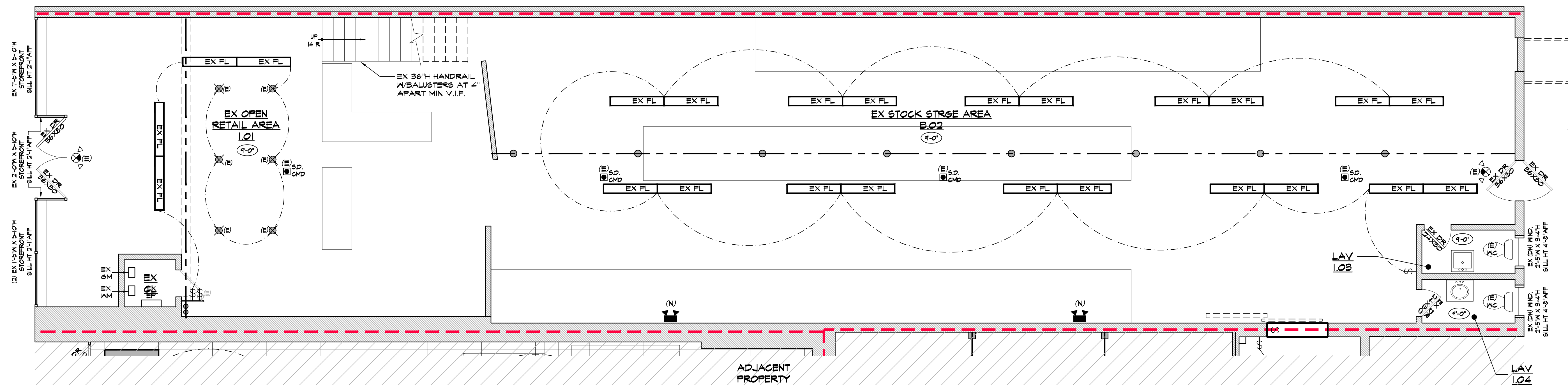
1/4" = 1'-0"



1 AS-BUILT SECOND FLOOR PLAN

ELEC. & RCP LEGEND

ITEM	DESCRIPTION	ITEM	DESCRIPTION
⚡	EX SINGLE POLE SWITCH	⚡	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.F.
⚡	EX DUPLEX RECEPTACLE OUTLET	⚡	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
⚡	EX RECESSED GLS FIXTURE	(E)	DENOTES EXISTING
⚡	EX OUTLET W/GROUND FAULT CIRCUIT INTER.	[F]	EX FIRE PULL
⚡	SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.	[FCP]	EX FIRE ALARM CONTROL PANEL
(N)	DENOTES NEW	[F]	EX FIRE STROBE



2 AS-BUILT GROUND FLR RCP PLAN

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LOCATION MAP



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PROJECT

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253 S BROADWAY YONKERS NY 10701

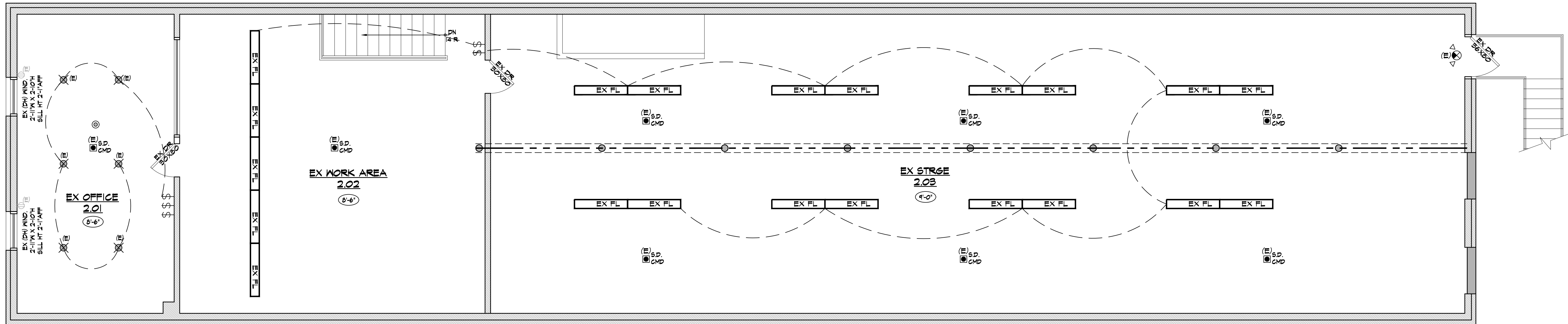
DRAWINGS TITLE
AS-BUILT 2ND FLR PLAN & AS-BUILT GROUND FLR RCP

DRAWN BY 52/JZ NF CHECKED BY NF PROJECT NO. 24.0421

DATE 07.29.24
DRAWING NO.



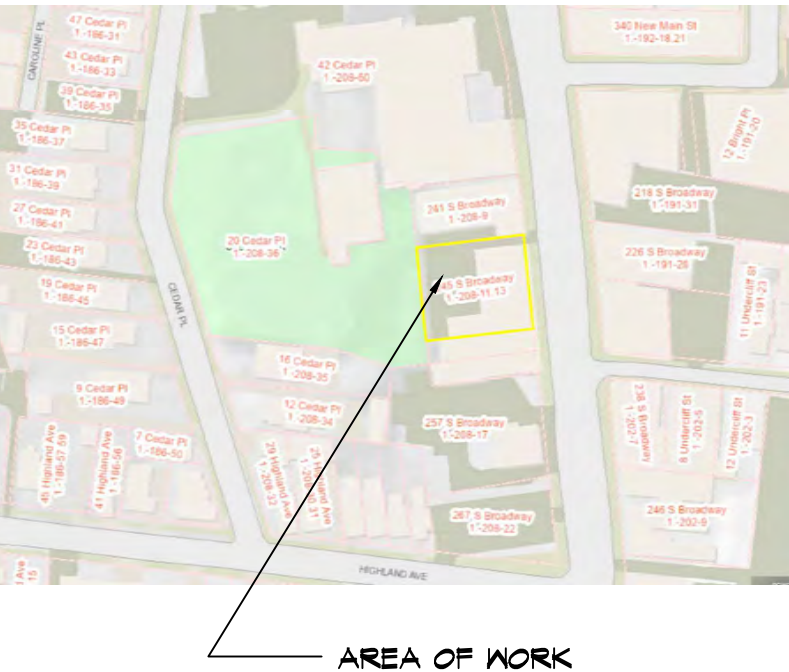
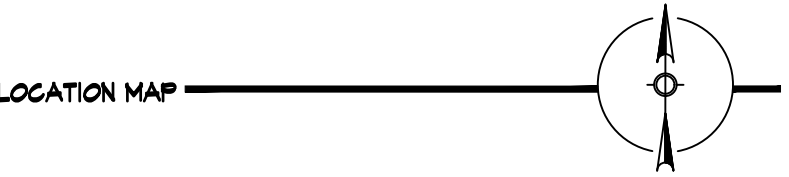
A2



I AS-BUILT SECOND FLR RCP PLAN

1/4" = 1'-0"

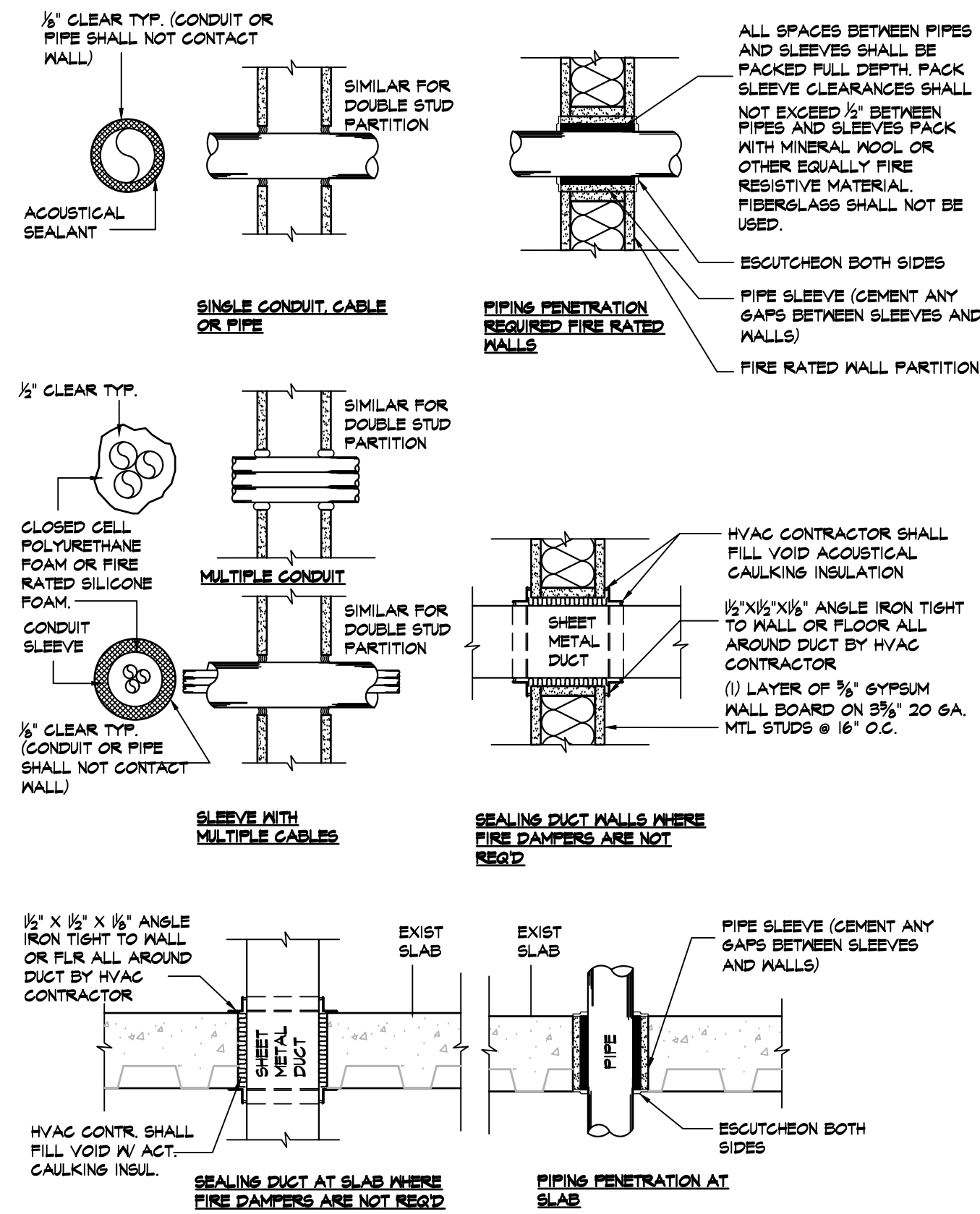
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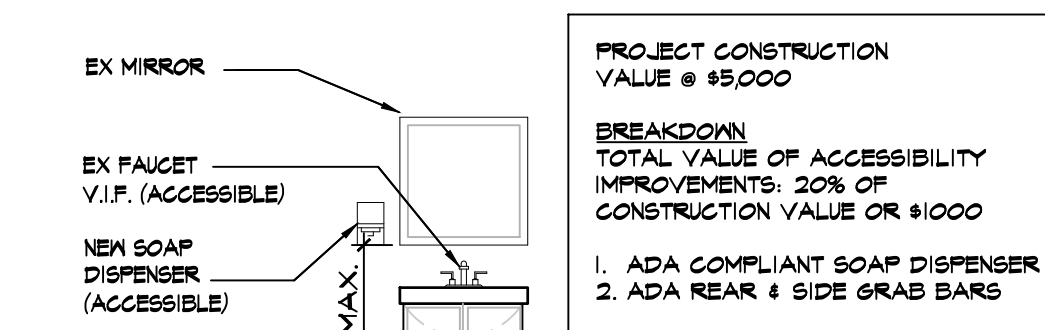
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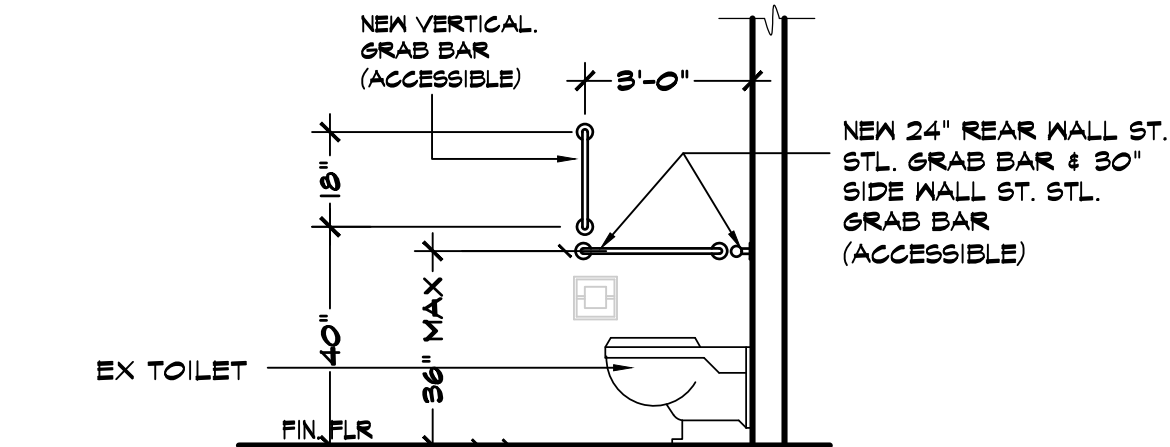
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 - A3 AS-BUILT 2ND FLR RCP, DETAIL & FRD



FS FIRESTOP DETAILS

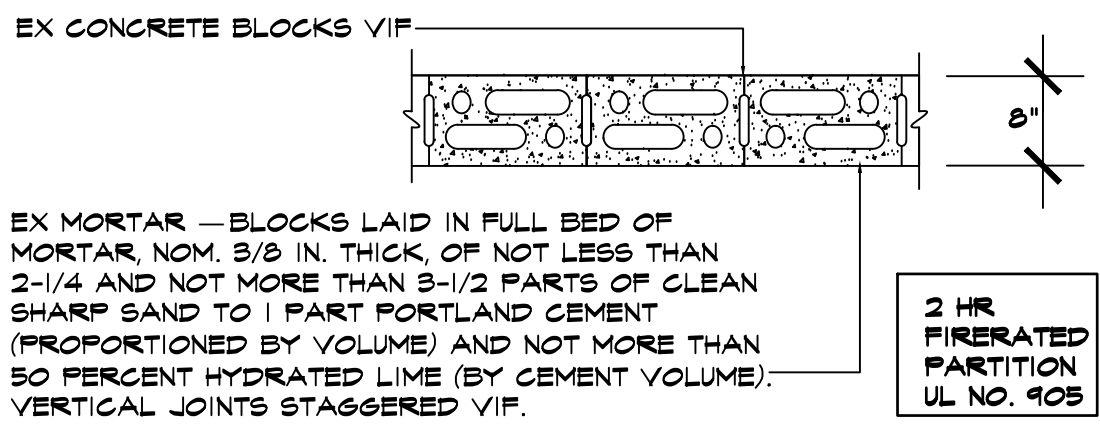


A1 EXISTING LAV ACCESSIBILITY IMPROVEMENTS DETAIL
PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

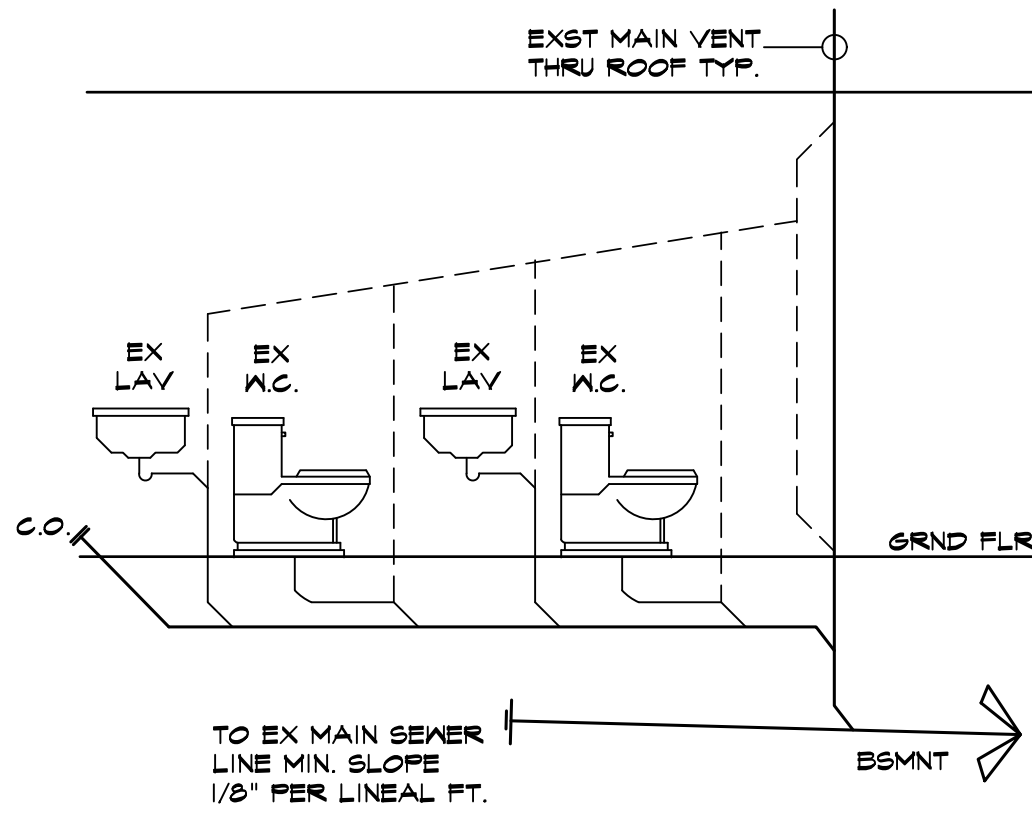


A2 EXIST WATER CL. ACCESSIBILITY IMPROVEMENTS DETAIL
PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

NOTE #1. EXISTING BUILDING CODE. ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION, WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A, OR CONTAINS AN AREA OF, PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE. THE ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA SHALL INCLUDE TOILET FACILITIES OR DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION.
EXCEPTIONS #1. THE COSTS OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. (SEE BREAKDOWN)



P1 PARTITION TYPE DETAIL NTS



NOTE
PLUMBING CONTRACTOR TO FURNISH ALL NECESSARY TRIMS, VALVES, & ALL OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE PROJECT.

C PLUMBING RISER DIAGRAM NTS

--	07.29.24	ISSUED FOR DOB FILING
NO.	DATE	ISSUE/REV.

CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND BASEMENT PLANS AND CHANGE OF TENANT AT:

LEELCO MULTIPROPS
253 S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT 2ND FLR RCP, DETAILS & PLUMBING RISER DIAGRAM

DRAWN BY 52/JZ NF CHECKED BY 24.0421

DATE 07.29.24
DRAWING NO. A3

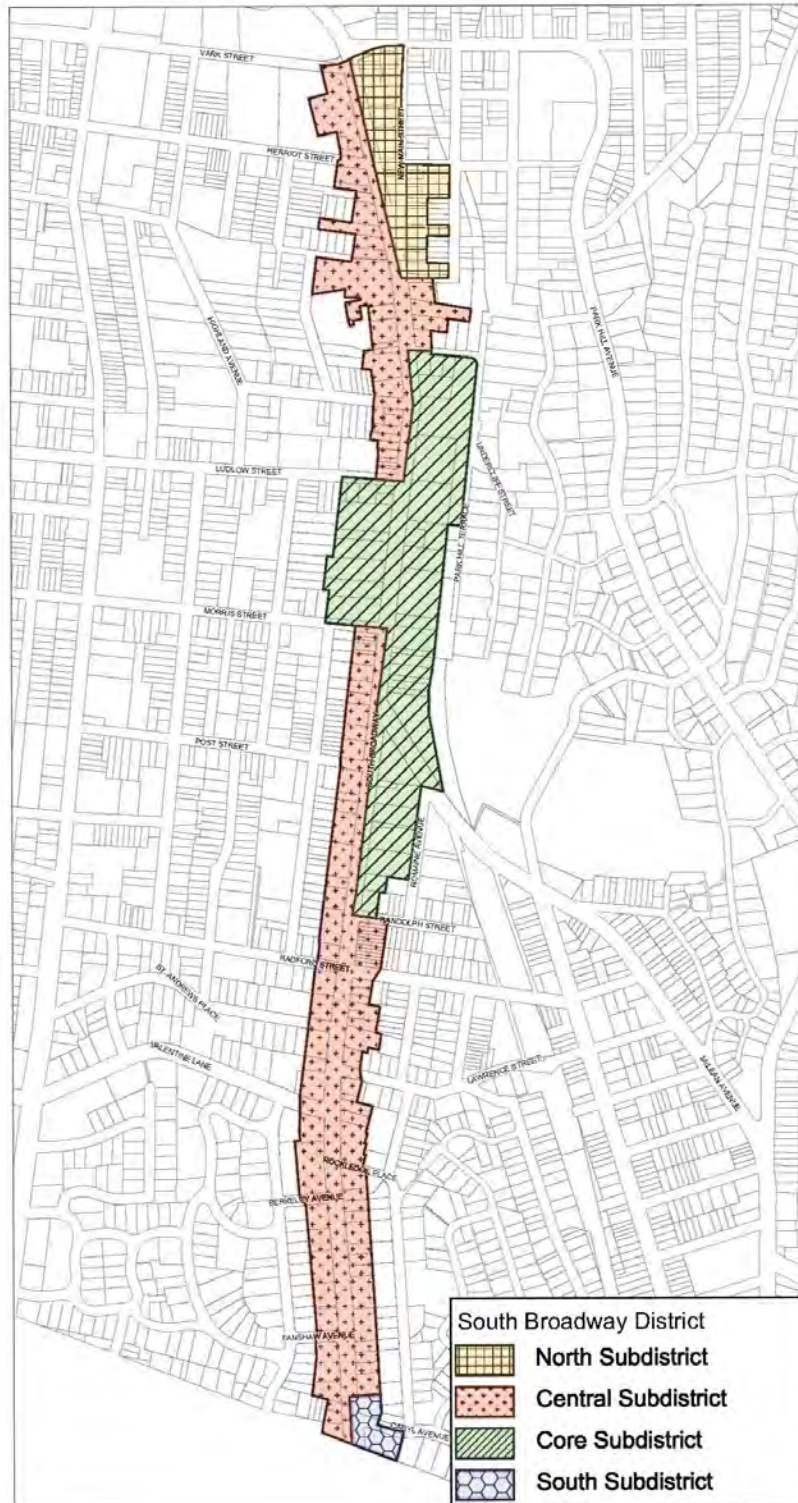


ZONING

43 Attachment 17

City of Yonkers

Map E: South Broadway District [Added 11-22-2011 by G.O. No. 4-2011]



ZONING

43 Attachment 1

City of Yonkers

Table 43-1
Schedule of Use Regulations

[Amended 10-12-2004 by G.O. No. 6-2004; 12-9-2005 by G.O. No. 13-2005; 5-2-2006 by G.O. No. 5-2006; 9-25-2007 by G.O. No. 5-2007; 5-19-2009 by G.O. No. 3-2009; 10-11-2011 by G.O. No. 3-2011; 3-25-2014 by G.O. No. 1-2014; 3-10-2015 by G.O. No. 5-2015; 6-28-2016 by G.O. No. 13-2016; 12-12-2017 by G.O. No. 17-2017; 6-12-2018 by G.O. No. 8-2018; 3-5-2019 by G.O. No. 1-2019; 12-10-2019 by G.O. No. 12-2019; 2-9-2021 by G.O. No. 3-2021; 6-23-2021 by G.O. No. 10-2021; 6-23-2021 by Ord. No. 11-2021; 12-14-2021 by Ord. No. 13-2021; 11-22-2022 by Ord. No. 12-2022]

Use	District																	
	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	OL	B	BA	CB	PMD	A & I	CA ²	L-MX	<u>L-MX Key Streets</u> Uses permitted on the ground floor
Residential Uses¹																		
Apartment houses	—	—	—	—	—	—	P	P	P	—	P	P	P	P	—	—	P	—
Community residential facilities	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Community residential facilities for the disabled for up to 14 persons	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	—	—	—	Ps	—
Nursing homes	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—
Planned apartment complexes	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	—	—
Planned cluster developments	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	—	—
Planned townhouse complexes	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	P	—
Planned unit residential developments (PURDs)	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Planned urban redevelopments	—	—	—	—	—	S	S	S	S	—	S	S	S	—	S	—	—	—
Residential health-care facilities	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Row houses (single-family attached dwellings)	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	—	—	—	—	—
Senior citizen apartment houses	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	P	—
Single-family detached dwellings	P	P	P	P	P	P	P	P	P	—	P	P	—	—	—	—	—	—
Two-family detached dwellings	—	—	—	—	—	P	P	P	P	—	P	P	—	—	—	—	P	—
Two-family attached dwellings	—	—	—	—	—	P	P	P	P	—	P	P	—	—	—	—	P	—

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.
2 = In the CA Zone, any historic building over 50,000 square feet may have a resident manager or owner-occupant accessory residence. An historic building is one that is either locally designated or on the National Register.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District																								L-MX Key Streets Uses permitted on the ground floor
Public and Institutional Uses ¹	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	Cu	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A&I	CA	L-MX
Cemeteries and mausoleums	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Children’s day camps	S	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	S	S
Colleges/universities	—	—	—	—	—	—	—	—	—	P	—	—	—	—	P	P	P	—	—	—	—	P	—	—	P
Convents, monasteries and seminaries	S	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Governmental motor vehicle yards	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	S	S	—	S	—	S	—	—
Government uses (non-City of Yonkers)	—	—	—	—	—	—	—	—	—	—	S	S	S	S	—	—	—	S	S	—	S	—	S	—	S
Hospitals	—	—	—	—	—	—	—	—	—	—	S	—	S	S	—	—	—	S	S	S	—	—	—	—	S
Medical establishments	—	—	—	—	—	—	—	—	—	—	P	P	P	P	P	P	P	P	P	P	P	P	—	—	Ps
Municipal uses (City of Yonkers)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Offices of philanthropic institutions	—	—	—	—	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	—	P
Parish houses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps
Philanthropic institutions providing social services	—	—	—	—	—	—	—	—	—	—	—	S	S	S	—	—	Ps	S	S	—	—	—	—	—	S
Places of worship	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps	Ps	—	—	—	—	—	—	—	—	—	Ps	Ps
Private recreational clubs or community swimming pools	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	S	S	—	—	—	—	S	S
Private clubs and community centers	—	—	—	—	—	—	S	S	S	—	—	—	S	S	—	—	—	—	—	—	—	—	—	S	S
Private marinas and seaplane landing docks	—	—	—	—	—	—	—	—	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Private not-for-profit recreational uses	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	S	—	—	—	—	—	—	—	—	S
Religious retreats	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Satellite facilities of colleges, universities, or theological seminaries	—	—	—	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—	—	—	—	—	—	—	—
Schools	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	—	Ps	—	Ps	Ps
Utility substations	—	—	—	—	—	—	—	—	—	—	S	S	S	S	—	—	—	S	S	S	S	—	S	—	—

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.
2 = In the CA Zone, any historic building over 50,000 square feet may have a resident manager or owner-occupant accessory residence. An historic building is one that is either locally designated or on the National Register.

ZONING

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															<u>L-MX Key Streets</u> Uses permitted on the ground floor
Business, Commercial and Office Uses ^{1,3}	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	
Audio, radio, video and television stations and studios	Ps	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	P	Ps	—
Banks and financial uses	P	P	P	P	P	P	P	P	P	P	—	P	—	—	P	P
Banquet and catering facilities	—	Ps	Ps	Ps	Ps	Ps	P	Ps	—	Ps	—	Ps		P	P	—
Building supply stores ²	—	Ps	—	Ps	Ps	—	—	Ps	Ps	—	Ps	Ps	Ps	—	—	—
Cabarets and nightclubs ²	—	Ps	—	—	Ps	Ps	—	Ps	—	—	—	Ps	—	P	P	P
Commercial recreation uses, indoor ²	—	—	—	P	P	—	—	P	P	—	—	P	—	—	P	P
Commercial recreation uses, outdoor ²	—	—	—	—	P	—	—	P	—	P	P	P	P	—	—	—
Commercial schools	P	P	P	P	P	P	P	P	P	P	P	P	P	—	P	—
Conference centers	—	—	—	—	—	—	—	—	—	—	—	Ps	—	P	Ps	—
Day-care centers	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps
Department stores ²		—	—	—	P	—	—	—	—	—	—	P	—	—	P	P
Drive-through banks	—	Ps	—	Ps	—	—	—	Ps	Ps	Ps	—	Ps	—	—	—	—
Drive-through restaurants	—	Ps	—	Ps	—	—	—	Ps	Ps	—	—	—	—	—	—	—
Dry-cleaning establishments	—	Ps	Ps	Ps	Ps	—	—	Ps	Ps	—	Ps	Ps	Ps	—	—	—
Eating and drinking establishments	—	P	P	P	P	P	P	P	P	P	P	P	P	—	P	P
Fast-food restaurants	—	P	P	P	P	—	—	—	—	—	—	P	—	—	P	P
Food and beverage stores	—	P	P	P	P	P	P	P	—	—	—	P	—	—	P	P
Funeral parlors or mortuaries	—	—	P	P	—	—	—	P	—	—	—	—	—	—	—	—
Garden centers ²	—	Ps	—	—	Ps	—	—	Ps	Ps	—	—	Ps	—	—	—	—
Health clubs and gymnasiums	—	P	P	P	P	P	P	P	—	—	—	P	—	P	P	P
Hotels	—	Ps	—	Ps	Ps	Ps	Ps	—	—	Ps	—	Ps	—	P	Ps	P

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = Any business or commercial use which is open to the general public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.

2 = Permitted only on a designated development site.

3 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

4 = Permitted as a nonresidential accessory use in the CA District.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															<u>L-MX Key Streets</u> Uses permitted on the ground floor
Business, Commercial and Office Uses ^{1,3} (Cont'd)	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	
Hotels, by special use permit	S	—	—	—	—	—	—	S	S	—	S	—	—	—	—	—
Indoor markets	—	P	—	P	P	P	—	P	—	—	—	P	—	—	P	P
Live/work buildings	—	—	—	—	S	S	S	—	—	—	—	—	—	—	P	—
Medical establishments	P	P	P	P	P	P	P	P	P	P	P	P	—	—	P	P
Offices	P	P	P	P	P	P	P	P	P	P	P	P	—	P	P	P
Pawnshops and check-cashing stores	—	—	—	—	—	—	—	P	P	—	P	—	—	—	—	—
Personal service establishments	—	P	P	P	P	P	P	P	P	—	—	P	Ps	P ⁴	P	P
Planned executive parks	S	—	—	—	—	—	—	—	S	S	—	—	—	—	—	—
Planned mixed use	—	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—
Planned neighborhood commercial development	—	—	—	—	—	—	—	—	S	—	—	—	—	—	—	—
Planned shopping centers ²	—	Ps	—	Ps	P	—	—	Ps	—	—	—	P	—	—	—	—
Planned urban redevelopments	S	S	S	S	S	S	S	S	S	S	S	—	S	—	—	—
Restaurants	—	P	P	P	P	P	P	—	—	—	—	P	Ps	P	P	P
Retail establishments	—	P	P	P	P	P	P	—	—	—	—	P	Ps	P ⁴	P	P
Retail craft uses	—	—	—	—	P	P	—	P	P	—	P	P	P	—	P	P
Sexually oriented businesses	—	—	—	—	—	—	—	—	S	—	S	—	S	—	—	—
Self-storage warehouses	—	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	—
Supermarkets ²	—	S	S	S	S	—	—	S	—	—	—	P	—	—	S	S
Telephone switching facilities	—	—	—	—	P	P	P	P	P	P	P	P	P	—	—	—
Theaters and movie theaters	—	P	—	P	P	P	P	P	—	—	—	P	—	P ⁴	P	P
Veterinary offices or hospitals	—	S	S	S	—	—	—	S	—	—	—	P	—	—	P	—
Wholesale price clubs and big-box retail stores ²	—	S	—	—	S	—	—	S	—	—	S	P	S	—	—	—

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = Any business or commercial use which is open to the general public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.
2 = Permitted only on a designated development site.
3 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.
4 = Permitted as a nonresidential accessory use in the CA District.

ZONING

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District														
	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	<u>L-MX Key Streets</u> Uses permitted on the ground floor
Motor Vehicle Use^{1,2}															
Automobile rental establishments	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps	—	—	Ps	—
Automobile repair shops	—	—	—	—	—	—	Ps	Ps	—	Ps	—	Ps	—	—	—
Automobile sales establishments	Ps	—	Ps	—	—	—	Ps	Ps	—	—	—	—	—	—	—
Automobile service stations	Ps	Ps	Ps	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Automobile storage yards	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Automobile supply and service stores	—	—	Ps	—	—	—	Ps	Ps	—	Ps	—	Ps	—	S	—
Automobile and/or truck body repair shops	—	—	—	—	—	—	—	—	—	Ps	—	Ps	—	—	—
Automobile washes	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Convenience stores in conjunction with automobile service stations	S	S	S	—	—	—	S	S	—	S	—	S	—	—	—
Transport service businesses	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Truck and bus depots, and rental, storage and sales establishments	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Truck and bus service stations, and repair shops	—	—	—	—	—	—	Ps	Ps	—	Ps	—	Ps	—	—	—
Car sharing service office	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps	—

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = Any motor vehicle use which is open to the public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.
2 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District								
									<u>L-MX Key Streets</u> Uses permitted on the ground floor
Industrial, Warehouse and Storage Uses¹	C	CM	IP	I	PMD	A & I	CA	L-MX	
Breweries and microbreweries	P	P	P	P	—	P	—	P	—
Building supply yards	Ps	Ps	—	Ps	—	Ps	—	—	—
Commercial kennels	S	S	—	S	—	S	—	—	—
Concrete batch plants, mixing or processing, but not manufacturing	—	—	—	P	—	—	—	—	—
Construction and demolition debris transfer stations	—	—	—	S	—	—	—	—	—
Dry-cleaning plants	S	S	—	S	—	S	—	—	—
Heavy industrial uses	—	—	—	P	—	P	—	—	—
Industrial parks	P	P	P	P	—	P	—	—	—
Light industrial uses	P	P	P	P	P	P	—	P	P
Medium industrial uses	P	—	P	P	—	P	—	P	P
Mini-warehouse or self-storage warehouses	Ps	Ps	Ps	Ps	—	—	—	—	—
Motor truck freight terminals and distribution centers	Ps	Ps	Ps	Ps	—	P	—	—	—
Printing plant, photo lithography or reproduction establishments	P	P	P	P	—	P	—	P	P
Quarries, and sand and gravel pits	—	—	—	S	—	—	—	—	—
Research and development laboratories	—	—	—	—	P	—	—	—	—
Rock crushing operations	—	—	—	S	—	—	—	—	—
Stonecutter, monument works	P	P	P	P	—	S	—	—	—
Telecommunications towers	—	S	S	S	S	—	—	—	—
Testing laboratories and pilot plants	S	S	S	S	—	S	—	—	—
Warehousing, storage and wholesaling of nonhazardous and nonflammable materials	P	P	P	P	—	P	—	S	—
Industrial design uses	—	—	—	—	—	—	—	P	P
Laboratories, research and development	—	—	—	—	—	—	—	P	—
Industrial vivarium	—	—	—	—	—	—	—	P	—

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

ZONING

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District																
Residential Accessory Uses	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	B	BA	CU	PMD	CB	A & I	CA	L-MX
Accessory residence for resident-manager or owner-occupant (applicable for historic buildings over 50,000 square feet)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	P	—
Amateur radio and TV towers	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—
Decks and patios	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	Ps	Ps	—	—	Ps
Doghouses or structures accommodating pets	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—
Family day care	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	P
Fences and walls	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Garage and yard sales	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—
Group family day-care homes	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	P
Home-based businesses	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	S
Home occupations	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	Ps
Parish houses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	Ps
Piers, docks and boathouses	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—	—	—
Pigeon raising coops	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—
Radio and TV antennas	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Refuse collection, storage and recycling facilities	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Satellite antennas	S	S	S	S	S	S	S	S	S	S	S	S	P	S	—	—	S
Signs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Storage of recreational vehicles, campers, boats and motor vehicle trailers	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—
Storage sheds, greenhouses and children’s playhouses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—
Swimming pools and bathhouses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Tennis courts and other sports courts	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps
Exercise facilities - resident use only	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	P

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															
Nonresidential Accessory Uses	CU	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX
Amusement games and devices	Ps	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps	—	Ps	Ps
Automatic teller machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	—	Ps	Ps
Awnings or canopies	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Bars or lounge areas serving liquor and brew pubs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	P	Ps
Christmas tree sales	—	—	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	Ps	—	Ps
Classroom for existing place of worship	—	—	—	—	—	Ps	—	—	—	—	—	—	—	—	—	—
Fences and walls	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Greenhouses	—	—	Ps	Ps	Ps	—	—	—	Ps	Ps	—	Ps	—	Ps	Ps	Ps
Helistops or heliports	—	—	—	—	—	—	—	—	—	—	—	—	—	S	—	—
Laboratories	Ps	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	—	S	—	Ps
Live entertainment	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	P	P
Live/work units	—	—	—	—	—	S	S	—	—	—	—	—	—	—	—	P
Loading berths or spaces	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Newspaper vending machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Outdoor dining areas	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Outdoor storage	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	
Railroad sidings	—	—	—	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	—	—
Refuse collection, storage and recycling facilities	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps
Retail uses in conjunction with offices	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	P	—
Satellite antennas	S	S	S	S	S	S	S	S	S	S	S	S	P	S	Ps	S
Signs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Soda or candy vending machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Cafeterias	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps
Solar energy collectors	Ps	Ps	Ps	Ps	Ps	—	—	—	Ps	Ps	Ps	—	Ps	Ps	Ps	Ps
Temporary flea markets or carnivals	—	—	—	—	—	—	—	—	Ps	Ps	Ps	Ps	—	Ps	—	Ps
Time and temperature signs	—	—	Ps	Ps	—	—	—	—	Ps	Ps	—	—	—	—	—	—
Water tanks	—	—	—	—	—	—	—	—	—	—	—	P	—	—	P	

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

ZONING

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District																								
Parking Accessory Uses	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	CU	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX
Fee-in-lieu of parking	—	—	—	—	—	—	—	—	—	—	—	—	—	—	S	S	S	—	—	—	—	—	—	—	Ps
Shared parking	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	P	S	Ps	Ps
Private garage	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Private open-air parking	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Semipublic open-air parking	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Semipublic parking structure	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Car sharing service parking space	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps
Curb cuts	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps ¹

P = Permitted use
Ps = Permitted, with supplemental requirements (see Article VI)
S = Permitted subject to special use requirements (see Article VII)

Notes:
1 = See curb cut standards in the Ludlow Mixed-Use District - § 43-242, Parking and access standards.

GENERAL ORDINANCE -- 2011

BY:

A GENERAL ORDINANCE AMENDING SECTION
43-47 OF THE ZONING CODE OF THE CITY
OF YONKERS IN REGARD TO THE SOUTH
BROADWAY DISTRICT

The City of Yonkers, in City Council convened, does hereby
ordain and enact:

Section 1. General Ordinance No.4 -2000 and the accompanying
map, also known as Chapter 43 of the Code of the City of Yonkers, and
more commonly known as the Zoning Code of the City of Yonkers, is
hereby amended, in part, by adding a new Section 43-47, entitled "South
Broadway District", to read as follows:

"Section 43-47 South Broadway District.

A. Purpose. The purpose of the South Broadway Zoning District (SBD) is to recognize, preserve and develop the special character of the South Broadway shopping area. South Broadway developed as one of the premier shopping streets in Yonkers and Southern Westchester County and remains one of the important shopping areas in the City. It is a vibrant example of the traditional urban shopping street with wide sidewalks, street trees, a pedestrian and shopper friendly physical environment complete with fine architecture and a beneficial and sustainable mix of retail, commercial and residential uses. The South Broadway Zoning District recognizes the advantages that this form of development brings to the City of Yonkers and seeks to enhance and preserve the business, residential and physical environment of the area while removing regulatory impediments to the continued growth of the area.

B. District. The South Broadway Zoning is divided into four sub-areas, North, Center, Core and South.

C. Dimensional Regulations. The South Broadway Zoning District dimensional regulations shall be:

(1) Central Area

(a) Front yard set back- None required.

- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
- (f) Floor area ratio- 4.0
- (g) Height- Forty Feet.
- (h) Lot area, minimum-None required.
- (i) Lot width- None required.
- (j) Maximum Lot Coverage- 90%.

(2) Core Area

- (a) Front yard set back- None required.
- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
- (f) Floor area ratio- 3.0
- (g) Height- 50 Feet Base/80 Feet total.
Tower setback 15 feet minimum above 50 feet.
- (h) Lot area, minimum-None required.
- (i) Lot width- None required.
- (j) Maximum Lot Coverage- 90%.

(3) South Area

- (a) Front yard set back- None required.
- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.

- (f) Floor area ratio- 10.0
 - (g) Height- 120 Feet,
60 Feet Base/120 Feet total.
 - (h) Lot area, minimum-None required.
 - (i) Lot width- None required.
 - (j) Maximum Lot Coverage- 90%.
- (4) North Area
- (a) Front yard set back- None required.
 - (b) Side yard set back-None required.
 - (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
 - (d) Side Front yard set back-None required.
 - (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
 - (f) Floor area ratio- 10.0
 - (g) Height- 120 Feet,
60 Feet Base/120 Feet total.
 - (h) Lot area, minimum-None required.
 - (k) Lot width- None required.
 - (l) Maximum Lot Coverage- 90%.
- (5) Building Requirements.
- (a) Mandatory ground floor transparency:70%
 - (b) Building facades more than 50 feet wide abutting streets shall be divided into multiple bays similar to existing contextual architecture
 - (c) façade materials and design shall respect existing contextual architecture with regards to treatment of material and fenestration.
 - (d) Buildings shall be designed to articulate a base , middle and top and shall design the windows and cornice to respect and remain in context to similar contextual architecture on either side of the building.
 - (e) The overall width of a building portion above 50 feet or four stories, whichever is less shall not exceed 100 feet along the lot's frontage.

D. Nonconforming uses. Nonconforming uses in the South Broadway District shall be governed by the provisions of Section 43-21 of the Yonkers Zoning Code entitled "Nonconforming uses buildings and structures", except as otherwise provided herein:

(a) Existing Apartment Houses and mixed use Apartment Houses and Commercial uses may continue as non-conforming uses and structures and shall not be subject to Section 43-21 (E) of the Yonkers Zoning Code. Reconstruction of a nonconforming use, building or structure, in so much as that section mandates that in the event of destruction or damage exceeding 50% of the valuation of the structure as assessed for City taxes that the structure may not be reconstructed except subject to review by the Zoning Board of Appeals. In order to preserve the mixed use nature of the South Broadway Zoning District should a building or structure used as an apartment house or a Mixed Use/Apartment House and Retail, the use of which or the use of a portion of which is nonconforming or which is dimensionally nonconforming, be destroyed or damaged by any means to an extent not exceeding 85 percent of the assessed valuation of the structure as assessed for City Taxes, it may be reconstructed and any accompanying nonconforming use continued, provided that the reconstruction is commenced within twenty four (24) months of the date of such damage and completed within two years of said date. No additional review of the reconstruction shall be required beyond that necessary to obtain a building permit and certificate of occupancy provided that the building is reconstructed in kind as determined by administrative review by the Commissioner of Housing and Buildings and the Director of Planning.

E. Permitted Uses. The following uses shall be permitted in the South Broadway District:

Permitted Uses

Municipal uses (City of Yonkers)

Apartment Houses (permitted in the Core, North and South sub-district areas.

Live/work units

Banks and financial uses

Commercial Schools

Department Stores

Eating and drinking establishments

Fast food restaurants

Food and beverage stores

Funeral Parlors or mortuaries

Health Clubs and gymnasiums

Indoor markets

Medical Establishments

Offices

Pawnshops and Check Cashing Stores
Personal service establishments
Restaurants
Retail establishments
Retail craft uses
Telephone Switching Facilities
Theaters and Movie Theaters

Permitted uses (with supplemental requirements)

Automobile Rental Establishments
Automobile Sales Establishments
Offices of philanthropic institutions
Audio, radio, video and television stations and studios
Banquet and catering facilities
Cabarets and night clubs
Day Care Centers
Dry Cleaning establishments
Hotels
Senior Citizens Apartment Houses (permitted in Core, North and South sub-district areas)

Uses permitted subject to special use requirements.

Private Not -for Profit recreational uses.
Supermarket

Accessory Uses

Permitted Uses

None

Permitted uses (with supplemental requirements)

Automatic Teller Machines
Amusement games and devices
Awnings
Bars or Lounge areas serving liquor or brew pubs
Christmas tree sales
Fences and Walls
Home Occupations
Laboratories
Live entertainment
Loading berths or spaces
Newspaper vending machines
Outdoor dining areas
Outdoor storage
Refuse collection, storage and recycling
Retail uses in conjunction with offices
Signs

Soda or candy vending machines
Private garage
Private open air parking
Semi-public open air parking
Semi-public parking structure
Shared parked

Uses permitted subject to special use requirements
Satellite antennas
Fee in lieu of parking

F. Off Street Parking and Loading. The following parking regulations, in addition to parking regulations found elsewhere in Chapter 43, will be applied in this district:

(1) The provisions of Section 43-127 and Section 43-131(A) shall not apply to buildings, structures or uses in existence at the time of the passage of this Chapter, whether continued as permitted uses or as a nonconforming use, or thereafter converted or changed to a different lawful use.

(2) The approving agency shall not permit any reduction or elimination of whatever quantity of parking or loading space that may already exist, except to the extent that it may exceed such requirement.

G. Previously Approved Projects. Buildings, structures or uses approved under the zoning regulations in existence at the time of the adoption of this amendment shall be permitted to be started for a period of two (2) years after the approval of this amendment and must be completed within a period not to exceed five (5) years from the adoption date of this amendment."

Section 2. General Ordinance No. 24-1968 as readopted, confirmed, reenacted and reaffirmed by General Ordinance No. 39-1970, commonly known as the Zoning Ordinance of the City of Yonkers and the zoning map, is hereby amended by adding the South Broadway (SBD) District as shown on the annexed map.

Section 3. This ordinance shall take effect immediately.

PLANNING BOARD RESOLUTION

RESOLUTION OF THE YONKERS PLANNING BOARD APPROVING THE SOUTH BROADWAY ZONING STUDY AND FORWARDING THE PLAN TO THE YONKERS CITY COUNCIL FOR ITS USE AND ADOPTION.

WHEREAS, the Yonkers Department of Planning and Development has caused to be prepared a draft master plan for the South Broadway Area and

WHEREAS, The Yonkers Department of Planning and Development forwarded the South Broadway Zoning Study to the Yonkers City Council and the City Council then forwarded it to the Yonkers Planning Board for its review and recommendation to the Yonkers City Council as required under General City Law §28-a; and

WHEREAS, the Yonkers Planning Board has reviewed the South Broadway Zoning Study, has toured the plan area and reviewed the proposed actions of the plan and finds that the Zoning Study proposes an orderly and desirable rezoning scheme for the continued development of the South Broadway corridor that takes into account the goals of the city's overall comprehensive plan, and

WHEREAS, the board desires to see the South Broadway Zoning Study and South Broadway zoning adopted in the compliance with the accepted and proper protocols as required under various New York State laws and regulations,

Now therefore, be it resolved

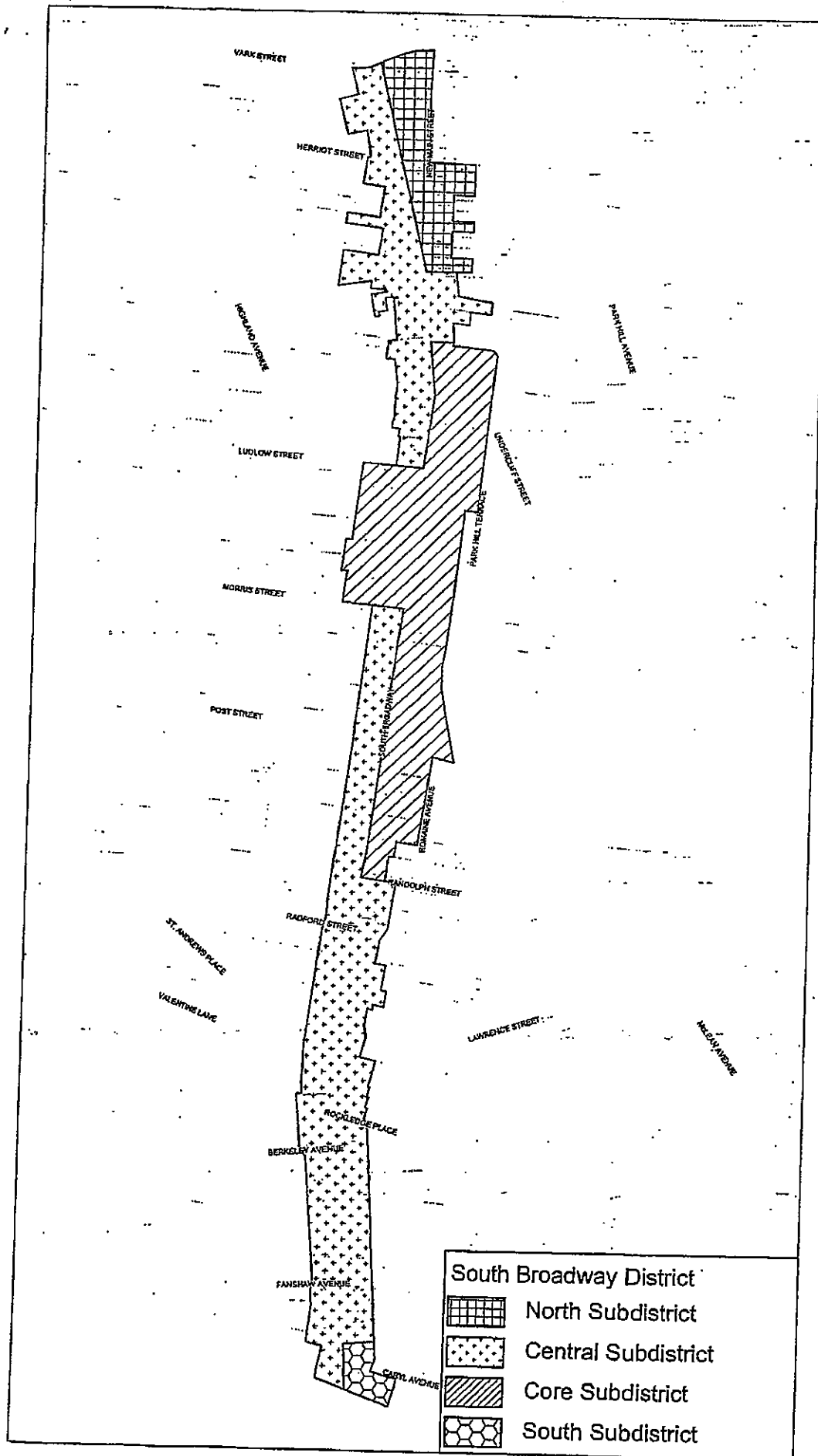
The Yonkers Planning Board, pursuant to Section 28-a of the General City Law of New York State, gives its favorable recommendation regarding the approval of the South Broadway Zoning Study to the City of Yonkers City Council and recommends the adoption without amendment of the Zoning Study and its accompanying zoning.

Motion by: *Greg*

Seconded by: *Civil*

Approved by a vote of: *6-0 (Walters) (vand)*

Meeting of September 15, 2010



RESOLUTION NO. - 2011

RESOLUTION OF THE YONKERS CITY COUNCIL AUTHORIZING THE
ISSUANCE OF A DETERMINATION OF SIGNIFICANCE PURSUANT TO
THE STATE ENVIRONMENTAL QUALITY REVIEW ACT ("SEQRA")
RELATING TO THE AMENDMENT OF THE ZONING CODE OF THE
CITY OF YONKERS IN REGARD TO THE SOUTH BROADWAY
DISTRICT.

BY:

WHEREAS, there is pending before the Yonkers City Council an ordinance for the amendment of the Zoning Code of the City of Yonkers, specifically the addition of a new § 43-47 entitled "South Broadway District"; and

WHEREAS, the City Council has determined that the proposed amendment of the Zoning Code is an Unlisted Action under the State Environmental Quality Review Act ("SEQRA") requiring the City Council to comply with the regulations promulgated pursuant to SEQRA; and

WHEREAS, an Environmental Assessment Form has been prepared to assist the City Council in complying with its responsibilities under SEQRA; and

WHEREAS, the City Council has carefully considered the proposed action and has reviewed the Environmental Assessment Form and the criteria set forth in Section 617.7 of 6 NYCRR Part 617 of the SEQRA regulations and has identified and carefully considered the relevant areas of environmental concern as are fully set forth in said Environmental Assessment Form to determine if the proposed action will have a significant impact upon the environment.

NOW THEREFORE, BE IT RESOLVED, by the Yonkers City Council that based upon it's review of the Environmental Assessment Form and for the reasons set forth in said Environmental Assessment Form, it is determined that there will be no adverse impact on the environment from the proposed amendment of the Zoning Code of the City of Yonkers regarding the South Broadway District; and,

BE IT FURTHER RESOLVED, that the City Council President is authorized and directed to sign the Determination of Significance on the Environmental Assessment Form, on behalf of the City Council pursuant to Article 8 of the Environmental Conservation Law, indicating that the proposed action will not result in any significant adverse environmental impacts and to immediately transmit same to be filed and made available pursuant to the requirements of 6 NYCRR Part 617; and,

BE IT FURTHER RESOLVED, that this Resolution shall take effect immediately.