

Building Better Communities With.....

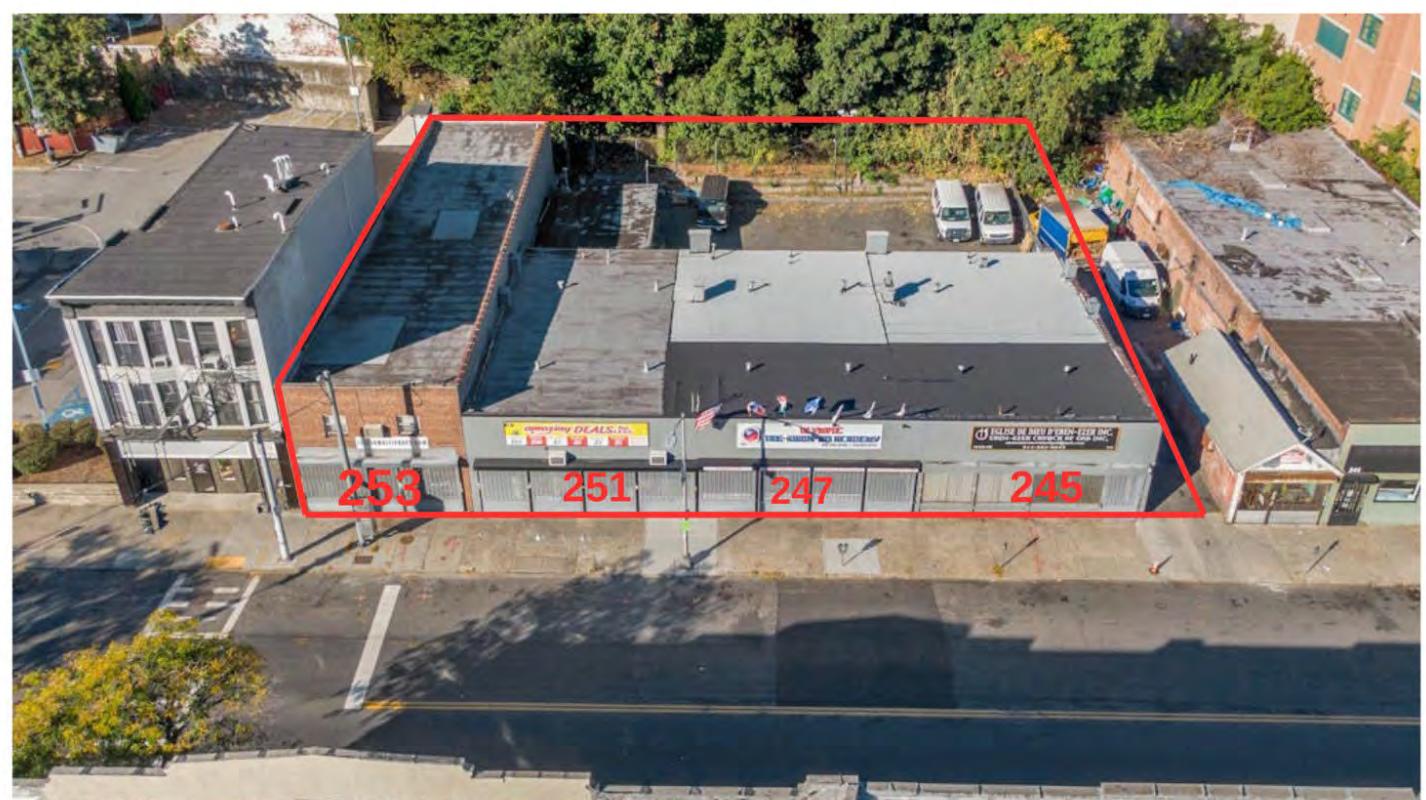


Rand Commercial

**FIRST TIME OFFERED FOR SALE
DEVELOPMENT OPPORTUNITY**

245-253 S BROADWAY, YONKERS, NEW YORK

*11,260+/-SF of existing retail space on .33 acre with 130' road frontage.
Offered at \$2,600,000*



245,247,251 & 253 South Broadway Yonkers

SBL#'S 1-208-11, 13 & 15

For More Information Contact:

Paul Adler, Esq., SIOR
Chief Strategy Officer

NYS Associate Broker / NJ Broker Salesperson / CT Salesperson
845-770-1205 office

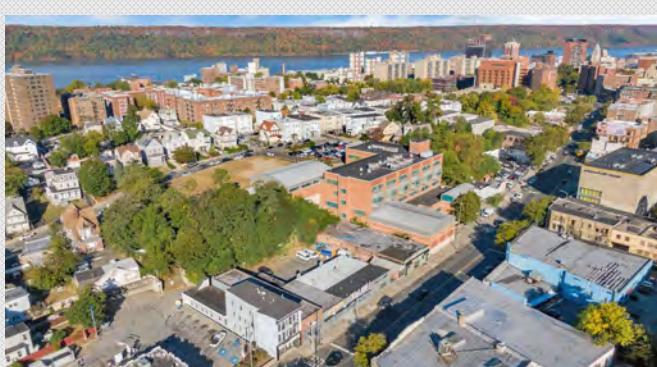
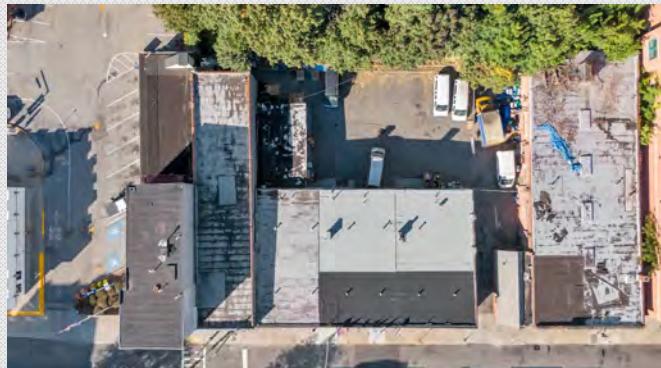
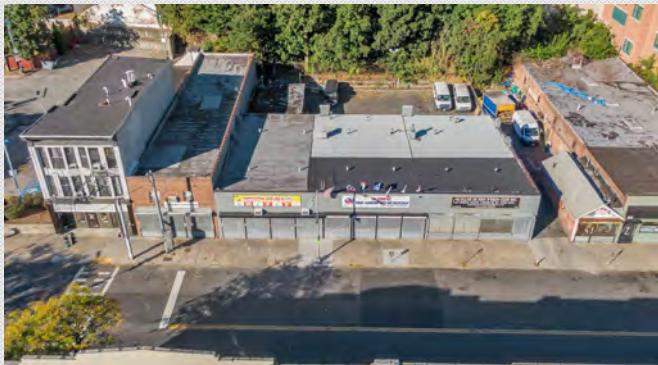
Paul.adler@randcommercial.com

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Building Better Communities With.....

Rand Commercial

**245-253 S BROADWAY
YONKERS, NEW YORK**

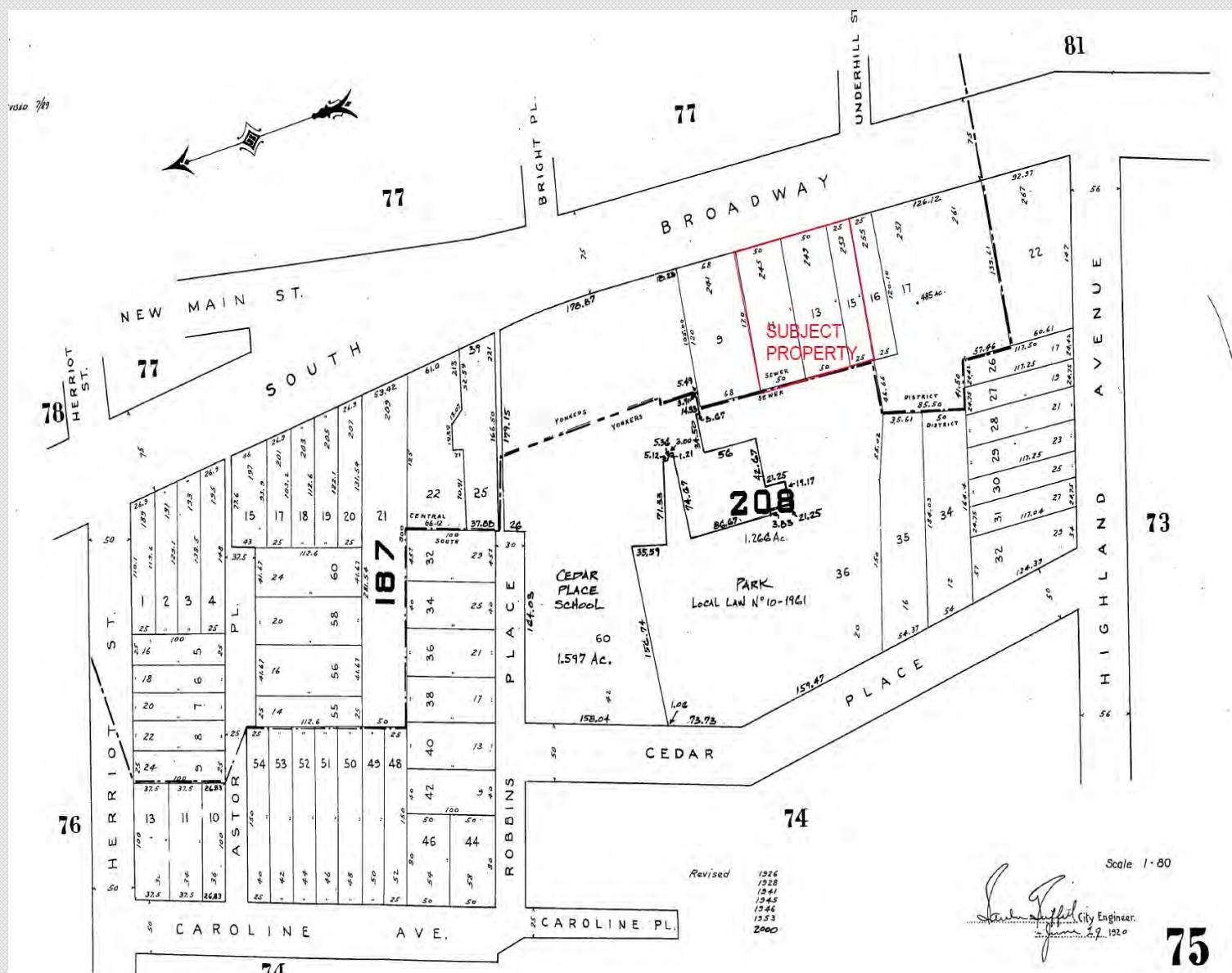


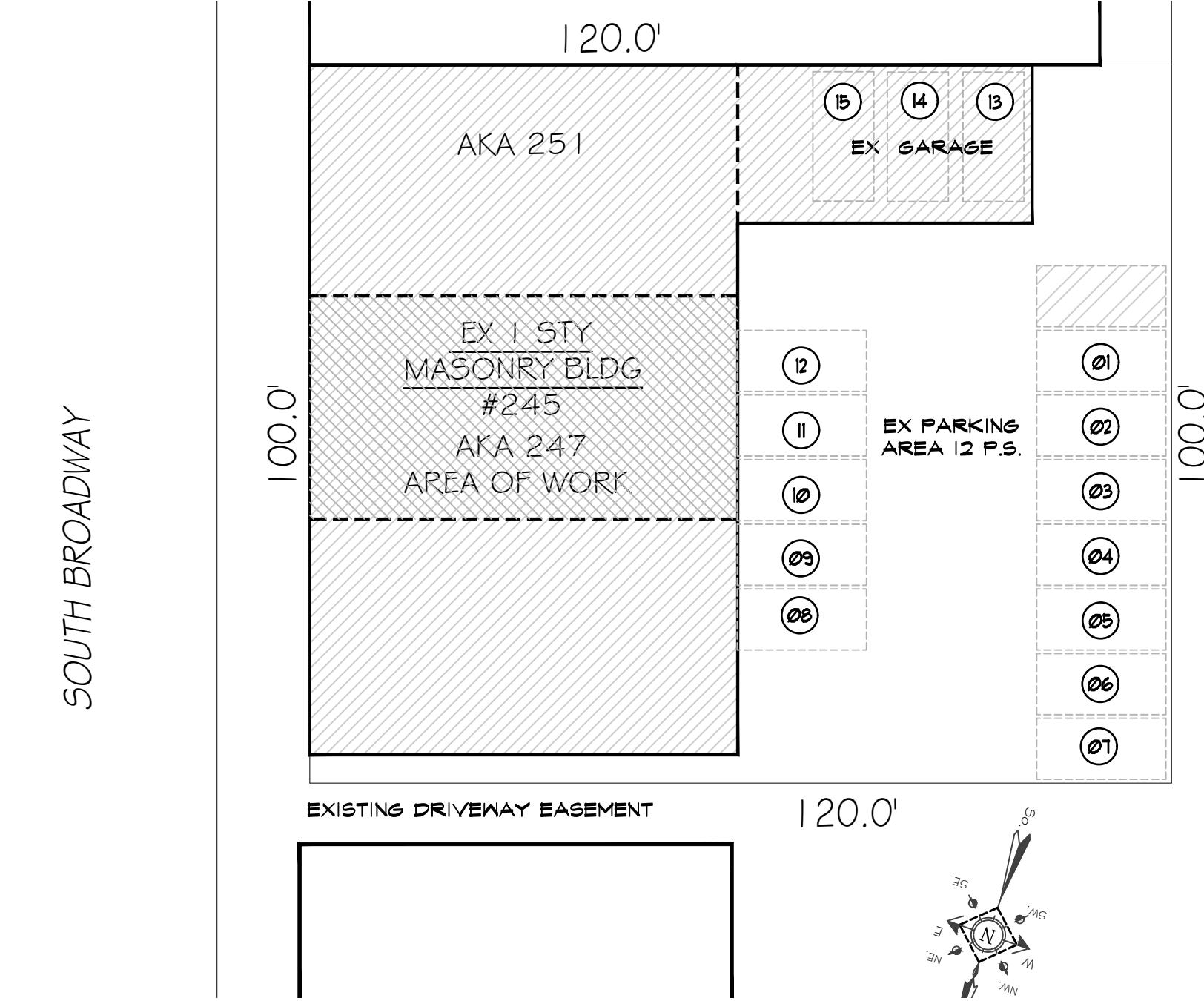
Building Better Communities With.....



Rand Commercial

**245-253 S BROADWAY
YONKERS, NEW YORK**





EX PLOT PLAN

NOTE: PLOT PLAN INFORMATION TAKEN FROM ARCHITECTURAL DRAWINGS PREPARED BY MAURICE A. CARBONIO DATED MARCH 1982 ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS

ENERGY COMPLIANCE STATEMENT:

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THAT THE PLANS & /OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE NEW YORK STATE

BUILDING CODE DATA

TYPE	APPLICABLE CODE
BUILDING	2020 NEW YORK STATE BUILDING CODE
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE
ACCESSIBILITY	BCNY'S CHAPTER II AND ICG / ANSI A117.1-2003 & 49 CFR PART 37 AND 38
ZONE	EXISTING / PERMITTED USE(S) PROPOSED USE(S)
BR : RESTRICTED BUSINESS	BUSINESS: GROUP M BUSINESS: GROUP B
CONSTRUCTION TYPE	SCOPE OF WORK
TYPE BB PER TABLE 601	CHANGE OF TENANT / USE - NO WORK SCHEDULED
PROPOSED OCCUPANCY: GROUP B PER SEC. 309 BUSINESS	

EX GROUND FLR LEVEL			
LOAD	RM 101 KARATE SCHOOL	1:50 EXERCISE RM	1554 SF / 50 = 31.1 ~ 32
(REF. SECT. T.1004.5)	RM 102 LAV RM TBL	1:50 BUSINESS	24 SF / 50 = 0.1 ~ 1
	RM 103 EX RESTRM	1:50 BUSINESS	27 SF / 50 = 0.1 ~ 1
	RM B.01 EX ELECT METER RM	1:50 ACCESSORY	1 SF / 50 = 0.2 ~ 1
	RM B.02 EX OPEN AREA	1:50 BUSINESS	550 SF / 50 = 3.6 ~ 4
	RM B.03 EX STORAGE	1:500 STORAGE	64 SF / 500 = 0.2 ~ 1
	RM B.04 EX STORAGE	1:500 STORAGE	79 SF / 500 = 0.2 ~ 1
	RM B.05 EX STORAGE	1:500 STORAGE	103 SF / 500 = 0.3 ~ 1
	RM B.06 EX OFFICE	1:50 STORAGE	106 SF / 50 = 0.7 ~ 1
			TOTAL = 44 OCCUPANTS

TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITH SPRINKLER

OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D/ TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP B BUSINESS	44 OCCUPANTS	1 EXIT ROD/ 75 FT	GROUND FLR: 36.0' CELLAR: 65.0'	3 EXIT (EXIST)

PLUMBING CALCULATIONS - TABLE 2402.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES

GROUP B - BUSINESS	OCC	REQUIRED	EXISTING/ PROPOSED
Water Closets	M	1.25 FOR FIRST 5' & 1.50 FOR REMAINDER EXCEEDING 50	44 1-Water Closet 2 - W.C.
Lavatories	M	1.40 FOR FIRST 20 & 1.80 FOR REMAINDER EXCEEDING 20	44 1-Lavatory 2 - LAV
Drinking Fountains	M	1:1000	44 1-Drinking Fountain
Other	M	1 service sink	44 1-Service Sink 1-Service Sink

SECTION 203.13 INT. WALL & CEILING FINISH REQMENTS BY OCCUPANCY (FINISH CLASS)

GROUP B - UN-SPRINKLERED	A	B	C
CLASS A: FLAME SPREAD 0-25, SMOKE-DEVELOPED 0-450.			
CLASS B: FLAME SPREAD 26-75, SMOKE-DEVELOPED 0-450.			
CLASS C: FLAME SPREAD 76-200, SMOKE-DEVELOPED 0-450			

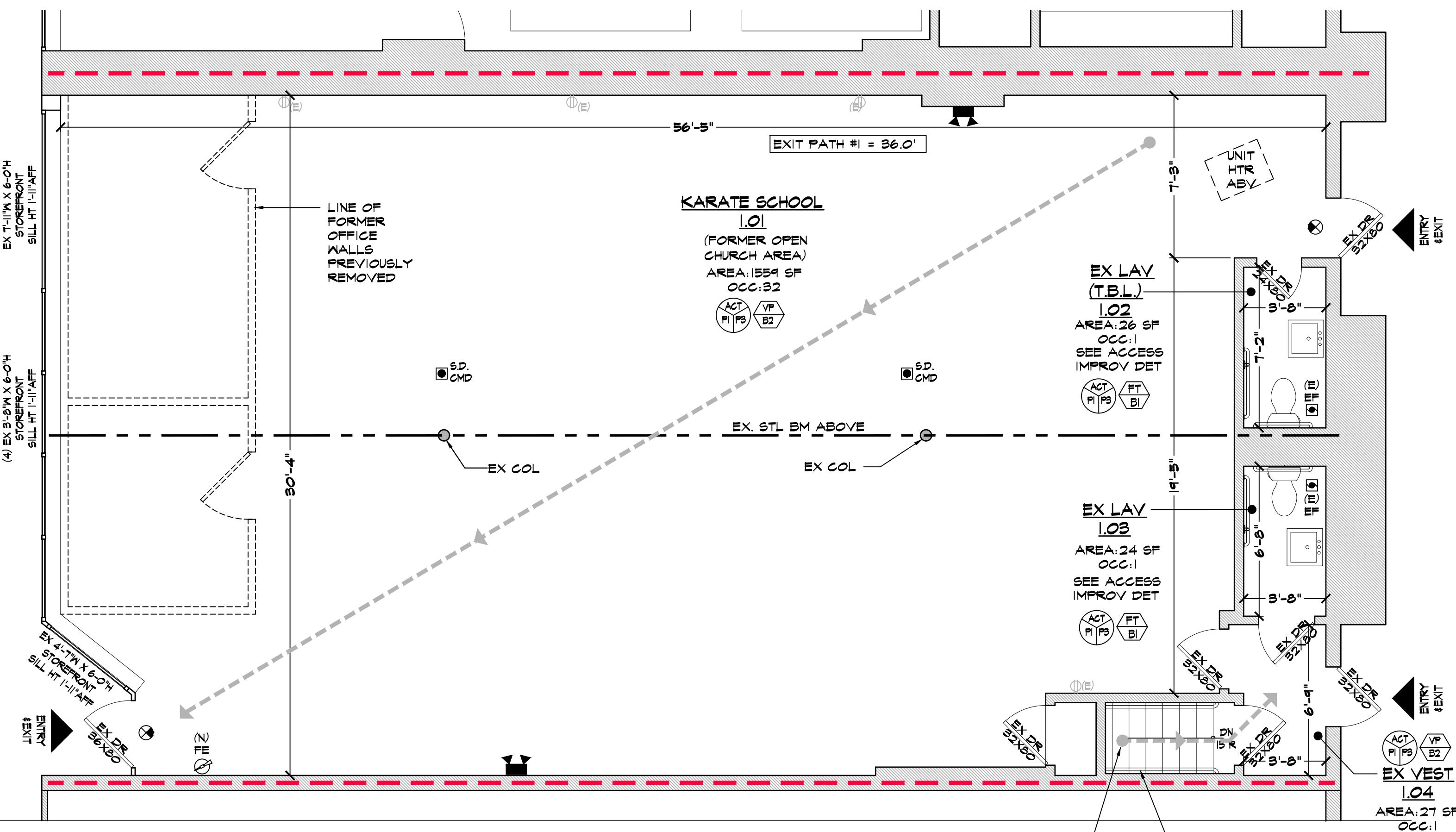
PARKING ANALYSIS

SECTION 43-47.G S BROADWAY OFF-STREET PARKING AND LOADING.

THE FOLLOWING PARKING REGULATIONS, IN ADDITION TO PARKING REGULATIONS FOUND ELSEWHERE IN CHAPTER 43, WILL BE APPLIED IN THIS DISTRICT:

THE PROVISIONS OF §§ 43-121 AND 43-13A SHALL NOT APPLY TO BUILDINGS, STRUCTURES OR USES IN EXISTENCE AT THE TIME OF THE PASSAGE OF THIS CHAPTER, WHETHER CONTINUED AS PERMITTED USES OR AS A NONCONFORMING USE, OR THEREAFTER CONVERTED OR CHANGED TO A DIFFERENT LAWFUL USE.

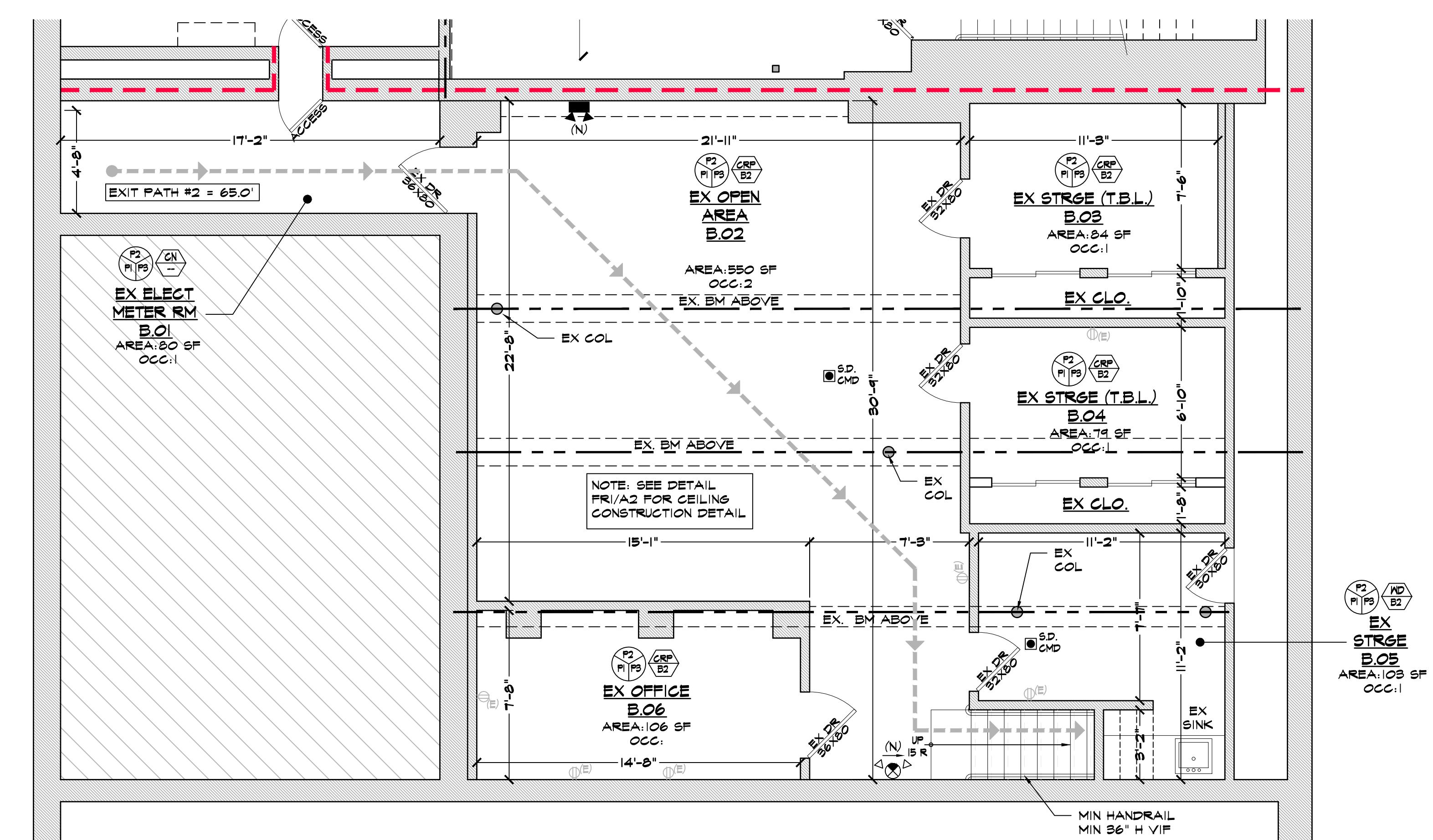
THE APPROVING AGENCY SHALL NOT PERMIT ANY REDUCTION OR ELIMINATION OF WHATEVER QUANTITY OF PARKING OR LOADING SPACE THAT MAY ALREADY EXIST, EXCEPT TO THE EXTENT THAT IT MAY EXCEED SUCH REQUIREMENT.



1 AS-BUILT GROUND FLOOR PLAN

NOTE: CLG HT 9'-0" A.F.F. U.N.O.

1/4" = 1'-0"



2 AS-BUILT CELLAR FLOOR PLAN

NOTE: CLG HT 9'-0" A.F.F. U.N.O.

1/4" = 1'-0"

Nicholas L. Faustini Architect PC

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LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

A1 PLOT PLAN, ZONING INFO, BUILDING CODE INFO & AS-BUILT PLANS
A2 AS-BUILT REFLECTED CLG PLANS & DETAILS

-- 07.24.24 ISSUED FOR DOB FILING

NO. DATE ISSUE/REV.

CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

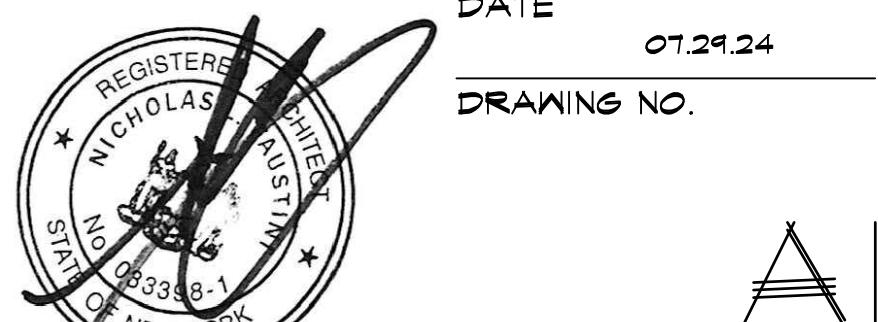
PROJECT
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND BASEMENT PLANS CHANGE OF TENANT / USE FILING FROM EXISTING (FORMER) CHURCH TO NEW KARATE SCHOOL TENANT SPACE AT:

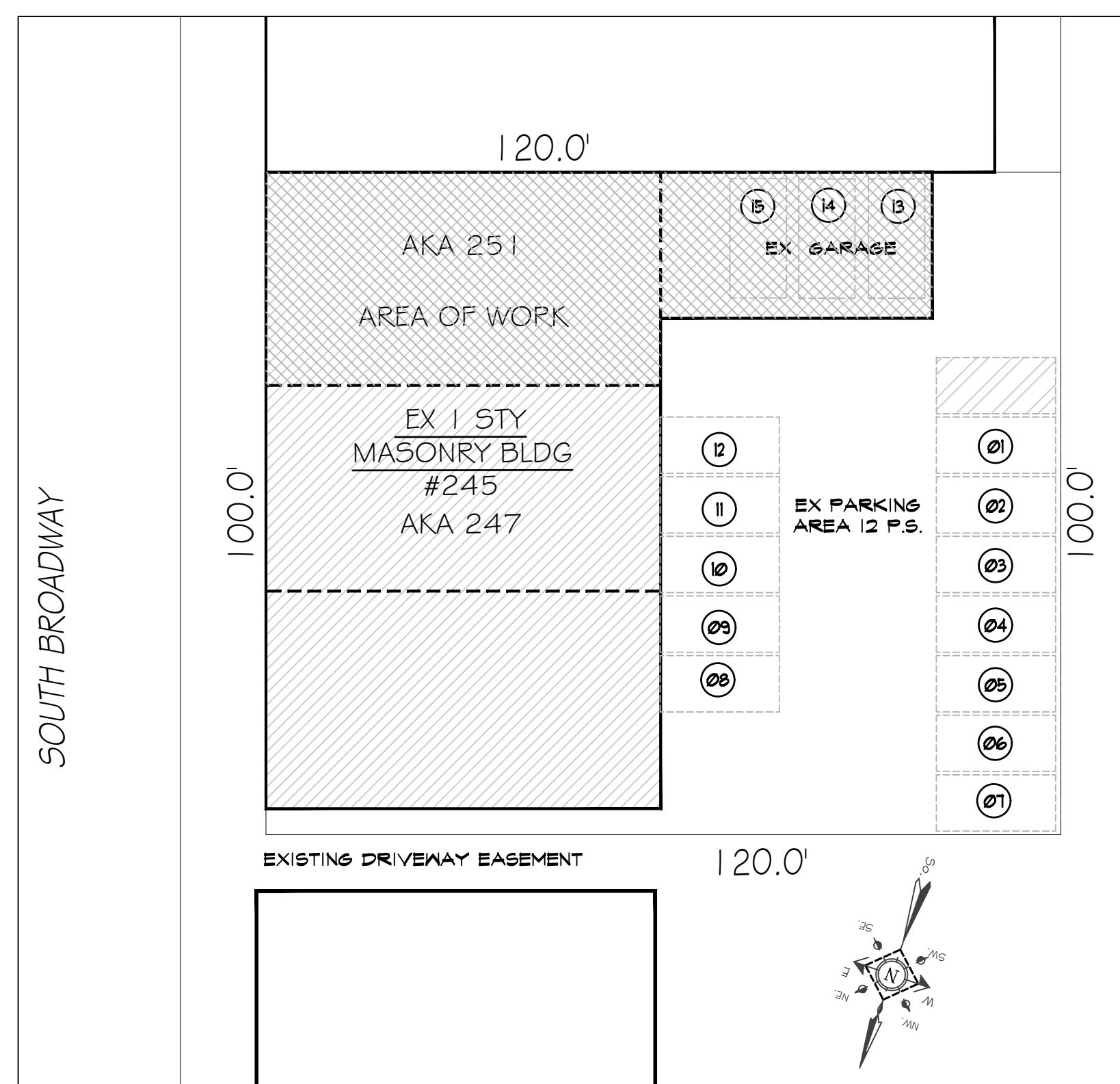
GOOD MORNING YONKERS TAEKWONDO CENTER
253 S BROADWAY (AKA 247) YONKERS NY 10701

DRAWINGS TITLE
PLOT PLAN, ZONING INFO, BUILDING CODE INFO & AS-BUILT PLANS

DRAWN BY CHECKED BY PROJECT NO.
SZ/JZ NF 24.0427.02

DATE 07.24.24
DRAWING NO.





BUILDING CODE DATA								
TYPE	APPLICABLE CODE							
BUILDING	2020 NEW YORK STATE BUILDING CODE							
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE							
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE							
ACCESSIBILITY	BCNYS CHAPTER II AND ICC / ANSI A117.1-2003 & 49 CFR PART 37 AND 38							
ZONE	EXISTING / PERMITTED USE(S)	PROPOSED USE(S)						
SOUTH BROADWAY -CENTRAL	RETAIL: GROUP M	RETAIL : GROUP M						
CONSTRUCTION TYPE	SCOPE OF WORK							
TYPE BB PER TABLE 601	CHANGE OF TENANT / USE							
PROPOSED OCCUPANCY: GROUP M PER SEC. 209 MERCANTILE								
OCCUPANT LOAD (REF. SECT. T.1004.5)	EX GROUND FLR LEVEL							
RM.1.01 OPEN RETAIL	1:60 MERCANTILE	1475 SF/ 60 = 24.5 ~ 25						
RM.1.02 EX LAV RM	1:60 MERCANTILE	33 SF/ 60 = 0.5 ~ 1						
RM.1.03 EX LAV	1:60 MERCANTILE	33 SF/ 60 = 0.5 ~ 1						
RM.1.04 EX VEST	1:60 MERCANTILE	51 SF/ 60 = 0.9 ~ 1						
RM.1.05 EX 2 CAR GARAGE	1:300 ACCESSORY	644 SF/ 300 = 2.1 ~ 3						
RM.1.06 EX 1 CAR GARAGE	1:300 ACCESSORY	143 SF/ 300 = 0.6 ~ 1						
RM.1.07 EX STORAGE	1:300 STORAGE	181 SF/ 300 = 0.6 ~ 1						
RM.1.08 EX OPEN AREA	1:150 BUSINESS	234 SF/ 150 = 5.5 ~ 6						
RM.1.09 EX STORAGE	1:300 BUSINESS	87 SF/ 300 = 0.2 ~ 1						
RM.1.10 EX STORAGE	1:300 BUSINESS	79 SF/ 300 = 0.2 ~ 1						
RM.1.11 EX STORAGE	1:300 STORAGE	240 SF/ 300 = 0.8 ~ 1						
		TOTAL = 42 OCCUPANTS						
TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITHOUT SPRINKLER								
OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D/ TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS				
GROUP M MERCANTILE	42 OCCUPANTS	20 OCCUPANTS 1 EXIT ROD/ 75 FT	GROUND FLR #1: 61.0' GROUND FLR #2: 30.0'	2 EXIT (EXIST)				
ENERGY COMPLIANCE STATEMENT:								
THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THAT THE PLANS & /OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE NEW YORK STATE								

PLUMBING CALCULATIONS - TABLE 2902.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES					
GROUP M - MERCANTILE		OCC.	REQUIRED	EXISTING/ PROPOSED	
Water Closets	Male Female	1:500	42	1-Water Closet	2 - WC.
Lavatories	Male Female	1:750	42	1-Lavatory	2 - LAV
Drinking Fountains	Male Other	1:1000	42	1-Drinking Fountain	0 - SEE NOTE 1
			42	1-Service Sink	1 - SERVICE SINK

NOTE 1: NO CHANGE IN USE PROPOSED

WALL LEGEND	
ITEM	DESCRIPTION
EX PARTITION TO REMAIN REPAIR AS REQUIRED	
EX DEMISING WALL TO REMAIN REPAIR AS REQUIRED	

FINISH SPECS	
WALL, CEILING & FLOOR FINISHES:	
EXIST PAINTED GNB	EX ACOUSTIC GLS
EXIST PAINTED GNB GLS	EX VINYL TILE FLOORING
EXIST PAINTED DOORS & TRIM	EX NO FLOORING
NEW TYPE X' GNB PAINTED	EX CONCRETE
EXIST PAINTED CONCRETE	EX CARPET
	EX WOOD BASE

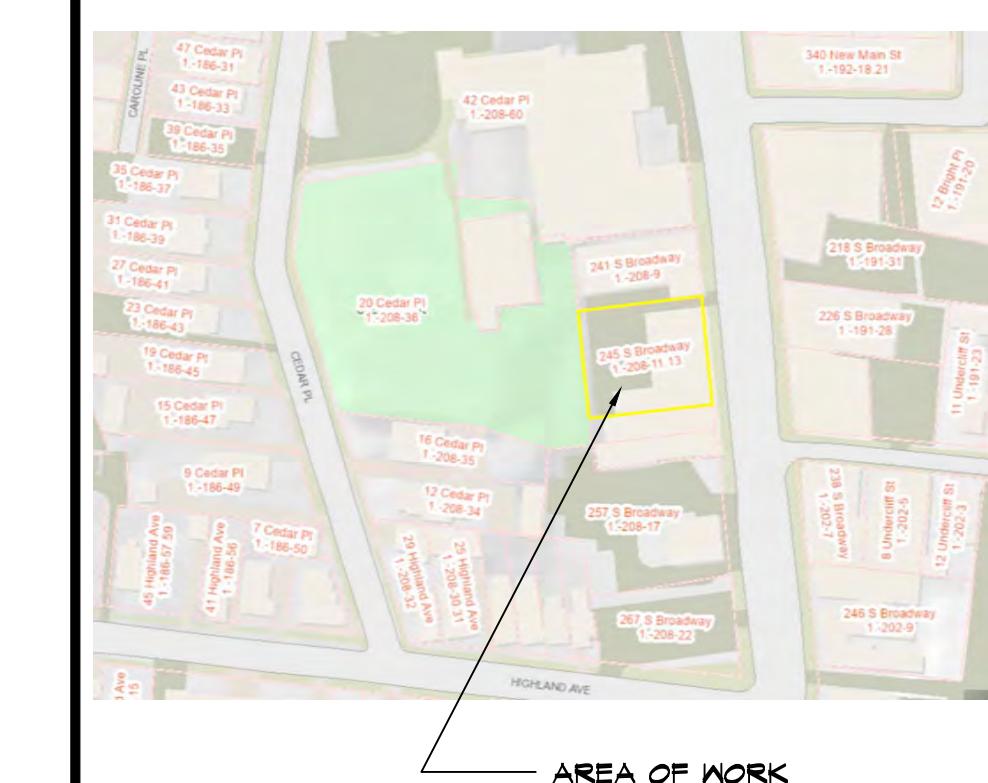
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Yonkers: 77 Remsen Road, Yonkers, NY 10710



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LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: I-108-11-13

LIST OF DRAWINGS
A1 EX PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
A2 AS-BUILT CELLAR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT CELLAR RCP, DETAIL & PLUMB RISER DIAG

-- 01.29.24 ISSUED FOR DOB FILING
NO. DATE ISSUE/REV.

CLIENT
DD & JK REALTY LLC
259 S BROADWAY
YONKERS NY 10701

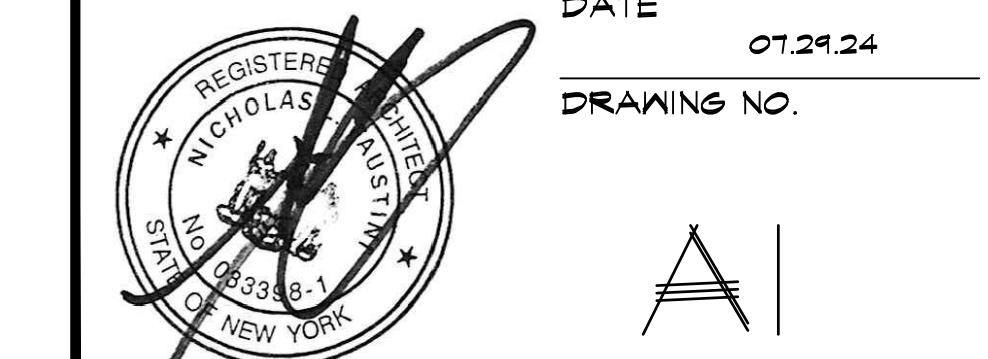
PROJECT
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND CELLAR PLANS AND CHANGE OF TENANT FILING FOR EXT RETAIL TENANT SPACE AT :

DEALS IN A BIN 2
245 (AKA 25) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN

DRAWN BY SZ/JZ CHECKED BY PROJECT NO.
NF 24.0427.02

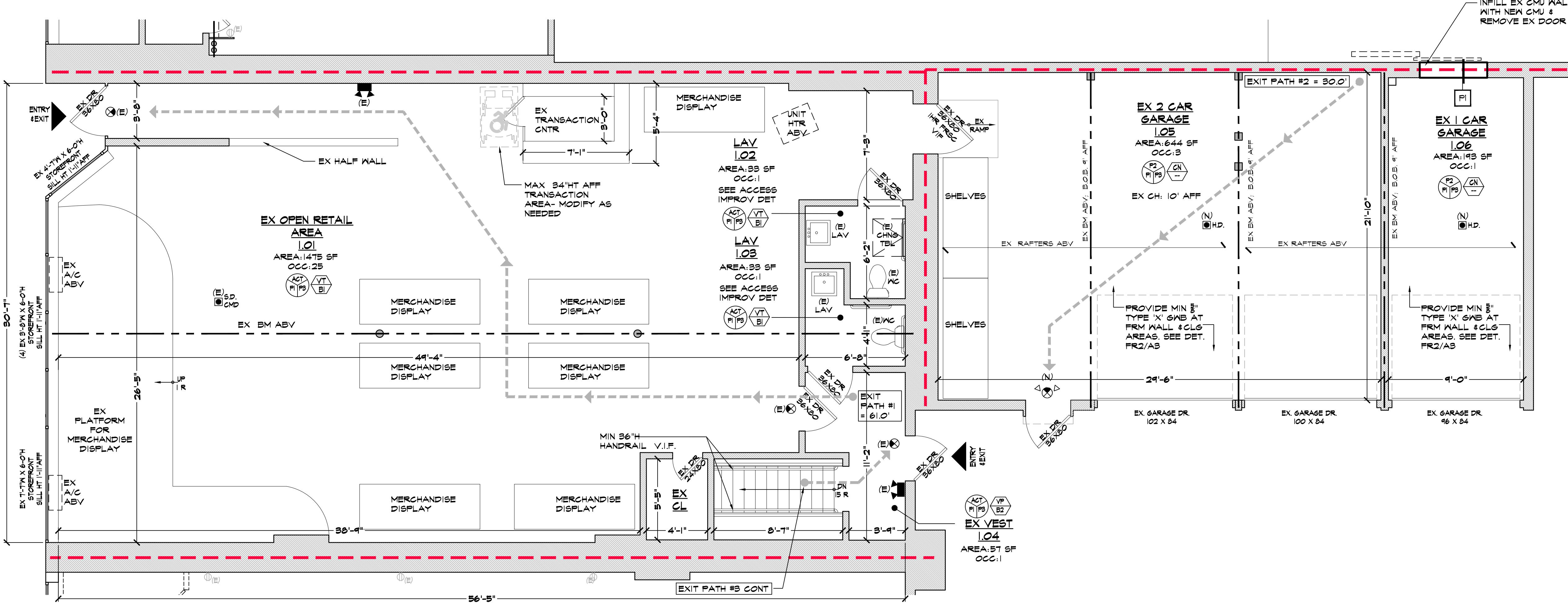
DATE 07.24.24
DRAWING NO.



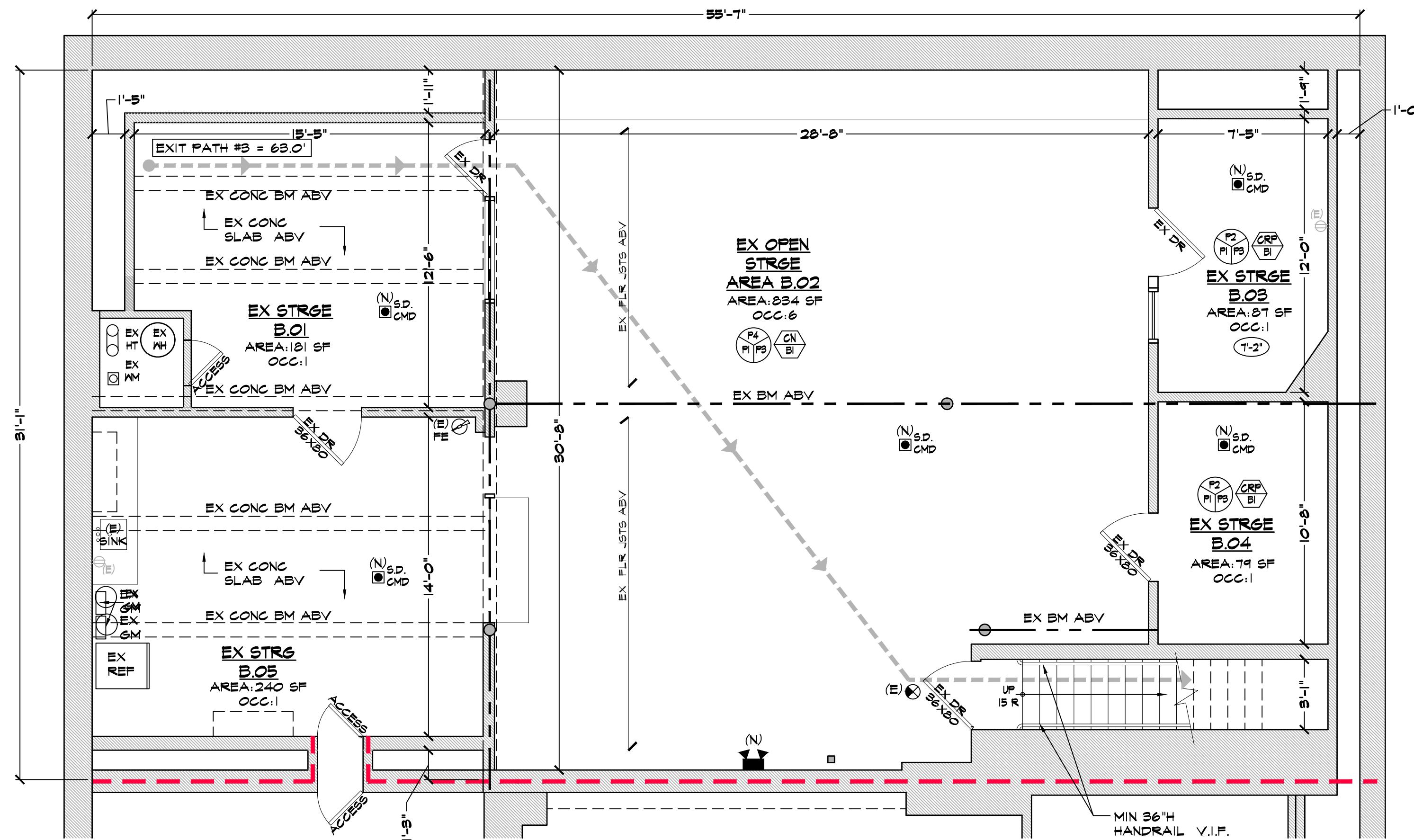
EX PLOT PLAN

1 = 20'-0"

NOTE: PLOT PLAN INFORMATION TAKEN FROM BLDG DEPT FILE. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS



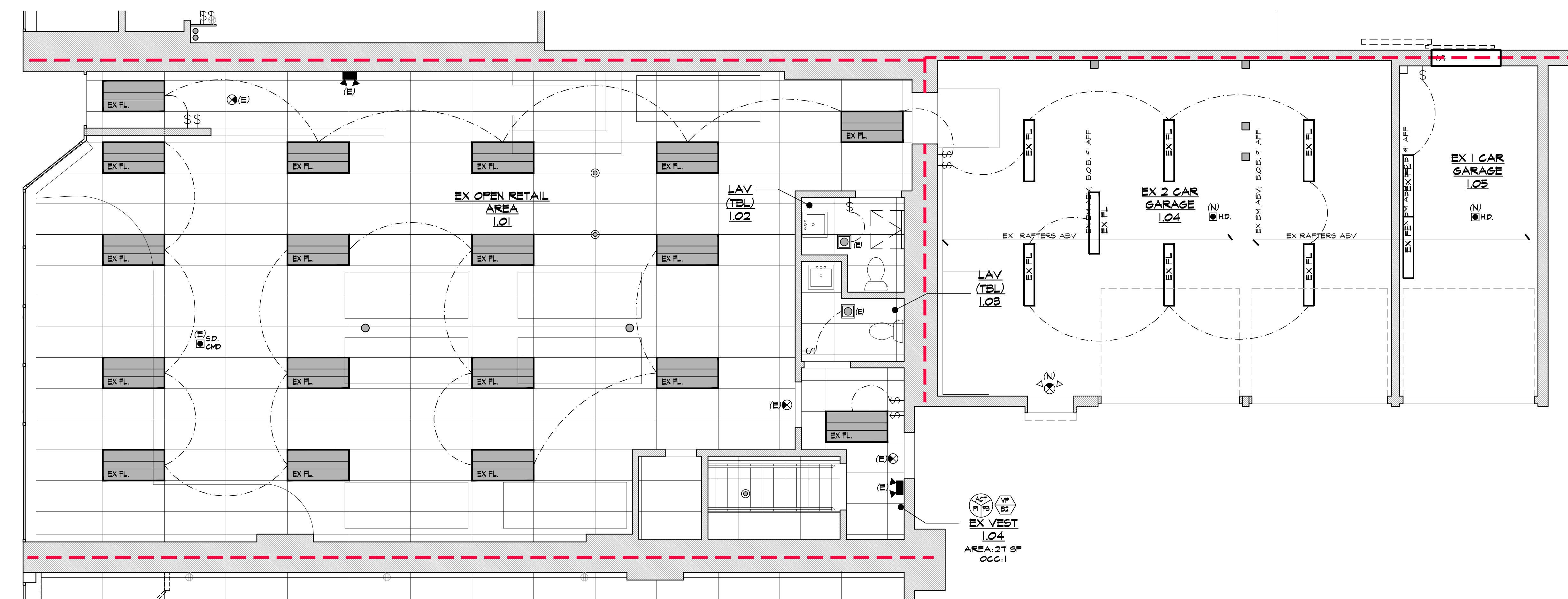
ELEC. & RCP LEGEND			
ITEM	DESCRIPTION	ITEM	DESCRIPTION
\$	EX SINGLE POLE SWITCH	EX	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.F.
⊖	EX DUPLEX RECEPTACLE OUTLET	EX	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
⊗	EX RECESSED CLG FIXTURE	(E)	DENOTES EXISTING
⊖ GFI	EX OUTLET W/GROUND FAULT CIRCUIT INTERRUPT	EF	EX ST. EXHAUST FAN TYP
SD, CMD	SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.		EX SUSPENDED ACT CLG TILE & GRID TO REMAIN
HD.	HEAT DETECTOR HARDWIRED	(N)	DENOTES NEW



1 AS-BUILT CELLAR FLOOR PLAN

NOTE: CLG HT 8'-3" A.F.F. U.N.O.
PROVIDE MIN 3" TYPE 1X6 GWB AT FRM WALL & CLG AREAS.
SEE DET. FRI/AS - TYP @ ENTIRE CELLAR CLG

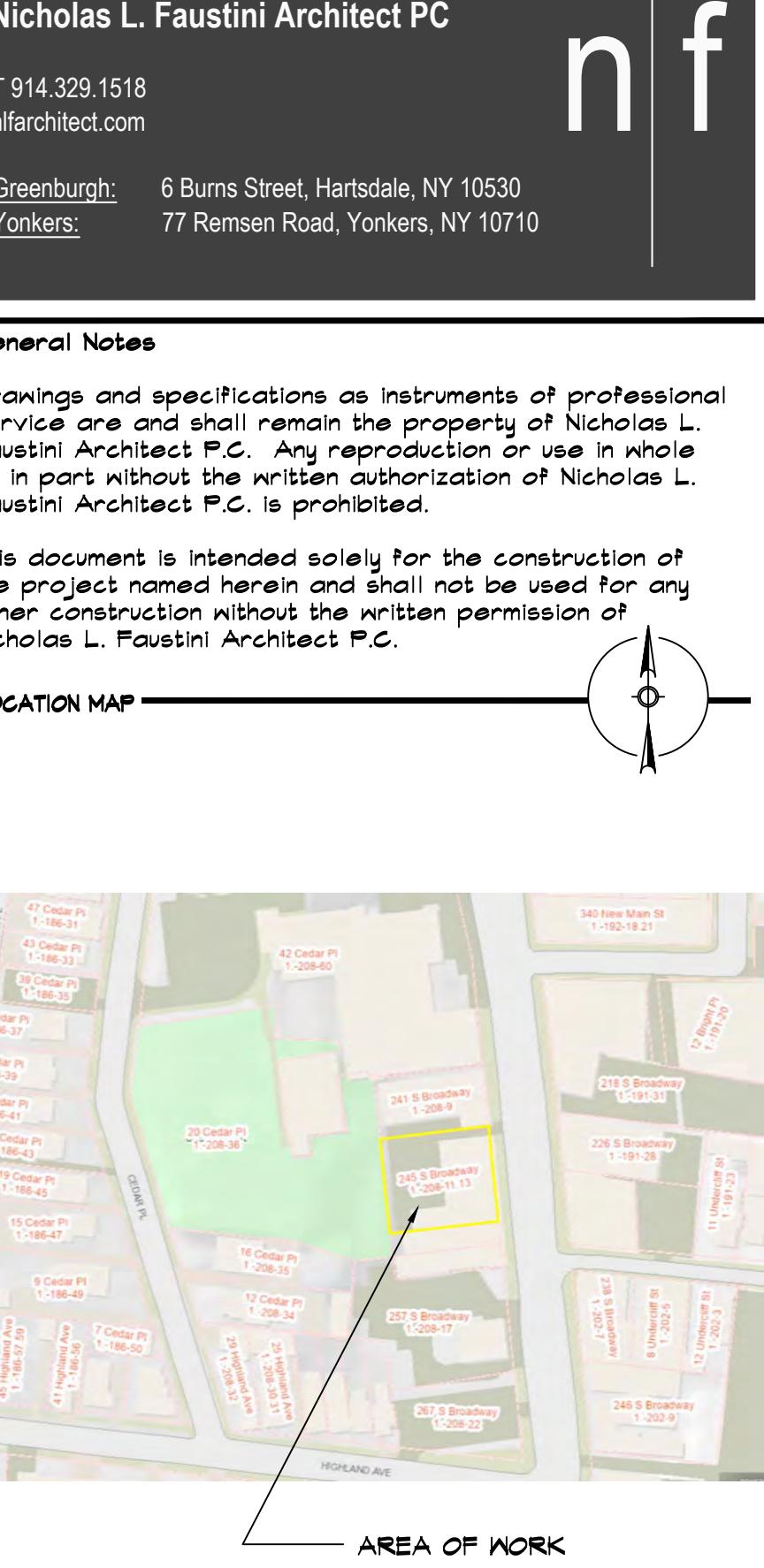
1/4" = 1'-0"



2 AS-BUILT GROUND FLR RCP PLAN

NOTE:
1. EX ACT CLG HT 9'-0" A.F.F. U.N.O.

1/4" = 1'-0"



NOTE:
Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

A1 EX PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
A2 AS-BUILT CELLAR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT CELLAR RCP, DETAIL & PLUMB RISER DIAG

-- 07.29.24 ISSUED FOR DOB FILING
NO. DATE ISSUE/REV.

CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS NY 10701

PROJECT
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND CELLAR PLANS AND CHANGE OF TENANT FILING FOR EXST RETAIL TENANT SPACE AT :

DEALS IN A BIN 2
245 (AKA 251) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT CELLAR PLAN & AS-BUILT GROUND FLR RCP

DRAWN BY CHECKED BY PROJECT NO.
SZ/JZ NF 24.0427.02

DATE 07.29.24

DRAWING NO.

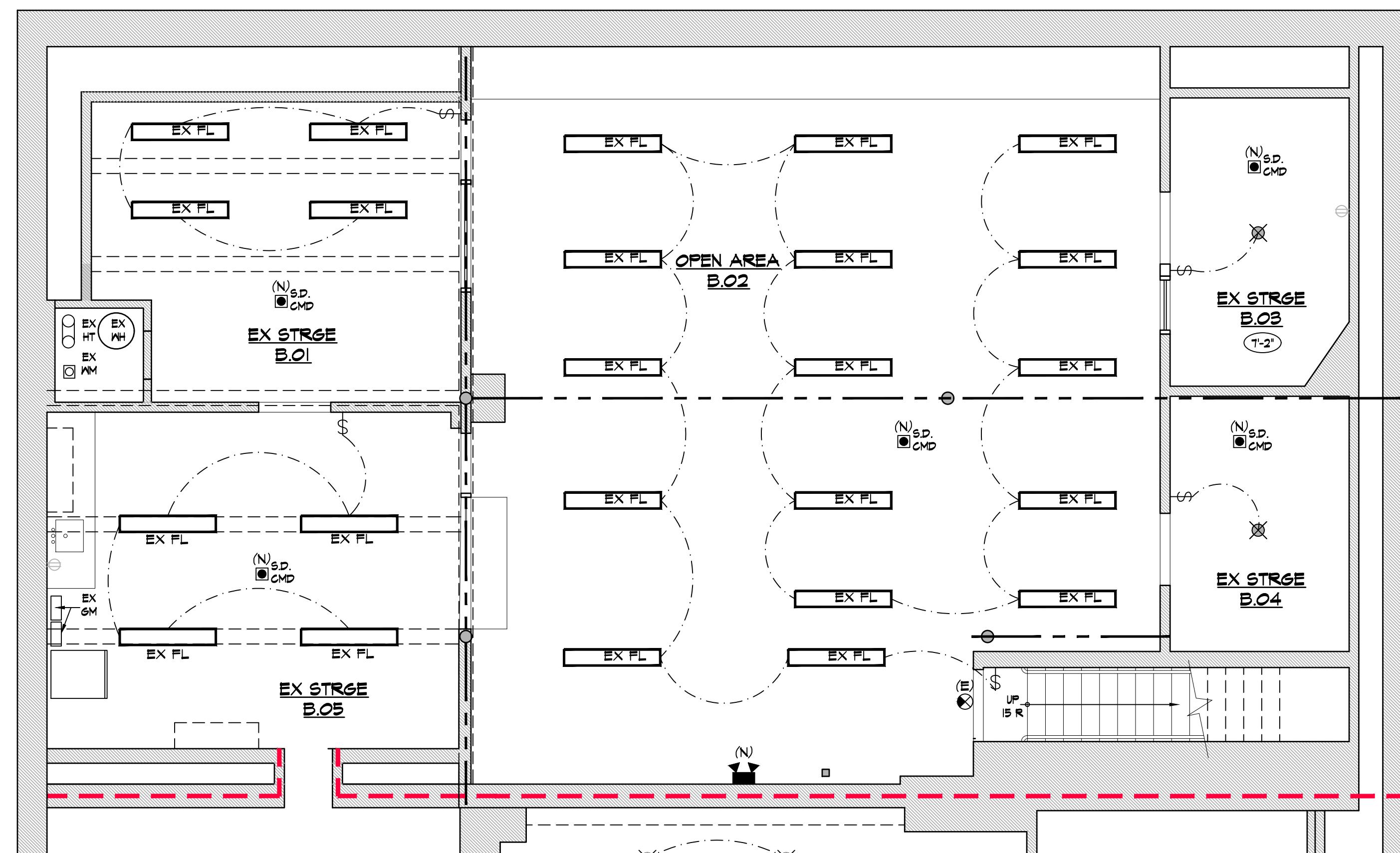


A2

ELEC. & RCP LEGEND	
ITEM	DESCRIPTION
\$	EX SINGLE POLE SWITCH
⊖	EX DUPLEX RECEPTACLE OUTLET
⊗	EX RECESSED GLG FIXTURE
⊖ GFI	EX OUTLET W/GROUND FAULT CIRCUIT INTERRUPTER
SD. CMD	EX SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.
(N)	DENOTES NEW
EX	EX EXHAUST FAN LIGHT FIXTURE COMBINATION
EX	EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.F.
EX	EX EMERGENCY LIGHTS W/ BATTERY BACKUP
(E)	DENOTES EXISTING
EX	EX SUSPENDED ACT GLG TILE & GRID TO REMAIN

EX CONCRETE BLOCKS V.I.F.
EX MORTAR — BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED V.I.F.

2 HR FIRE-RATED PARTITION UL NO. 405



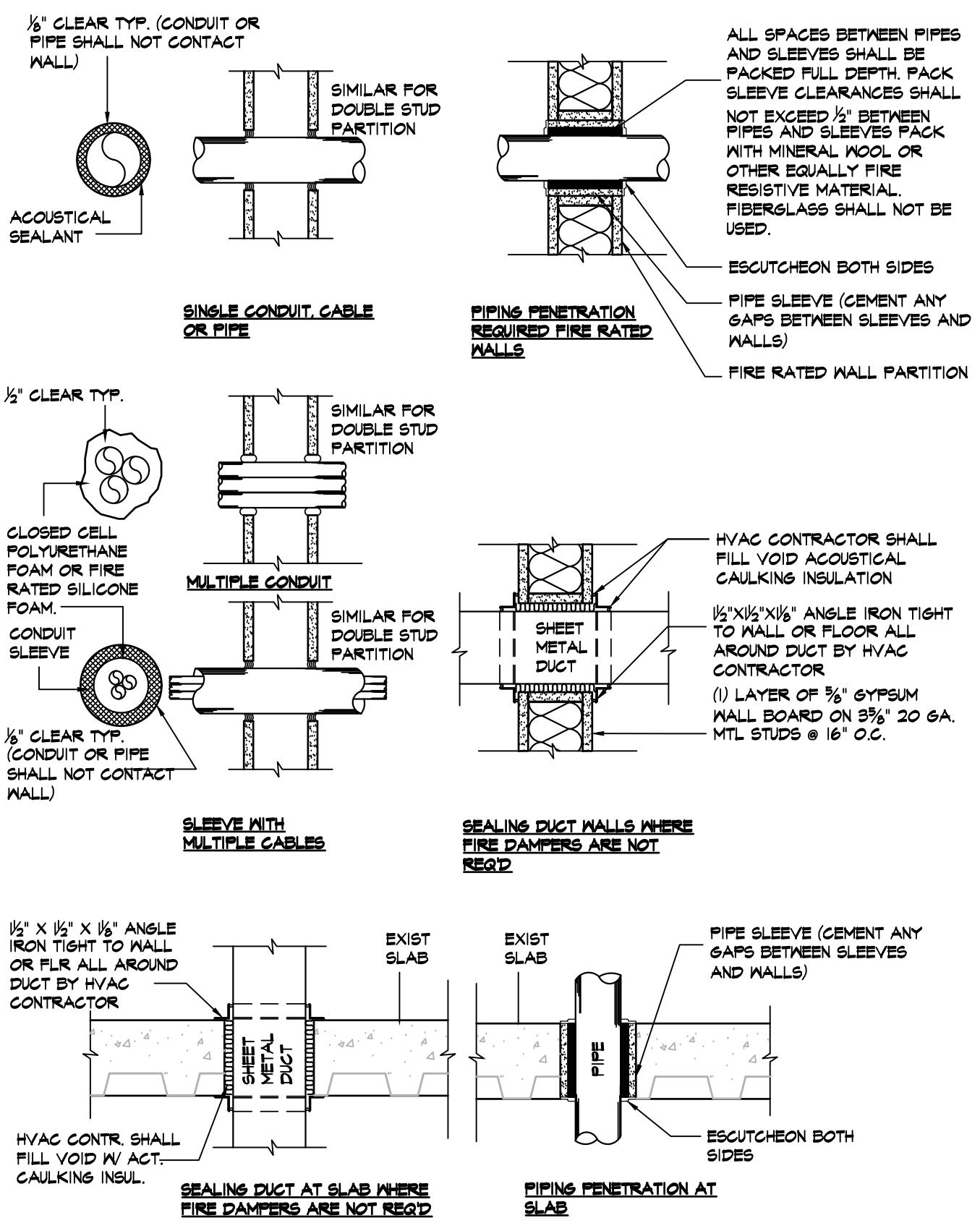
I AS-BUILT CELLAR RCP PLAN

NOTE: EX ACT GLG HT 2'-3" A.F.F. U.N.O.

1/4" = 1'-0"

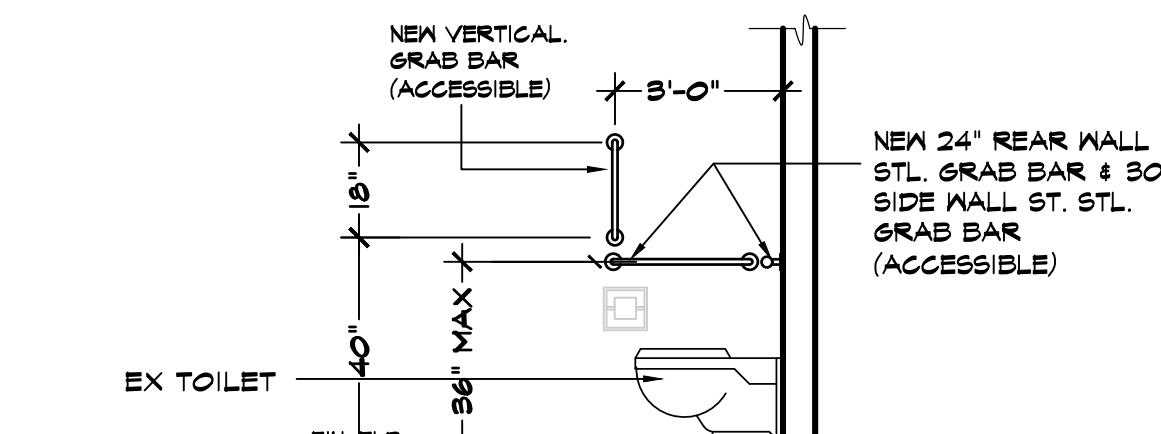
PI PARTITION TYPE DETAIL

NTS



A1 EXISTING LAV ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES



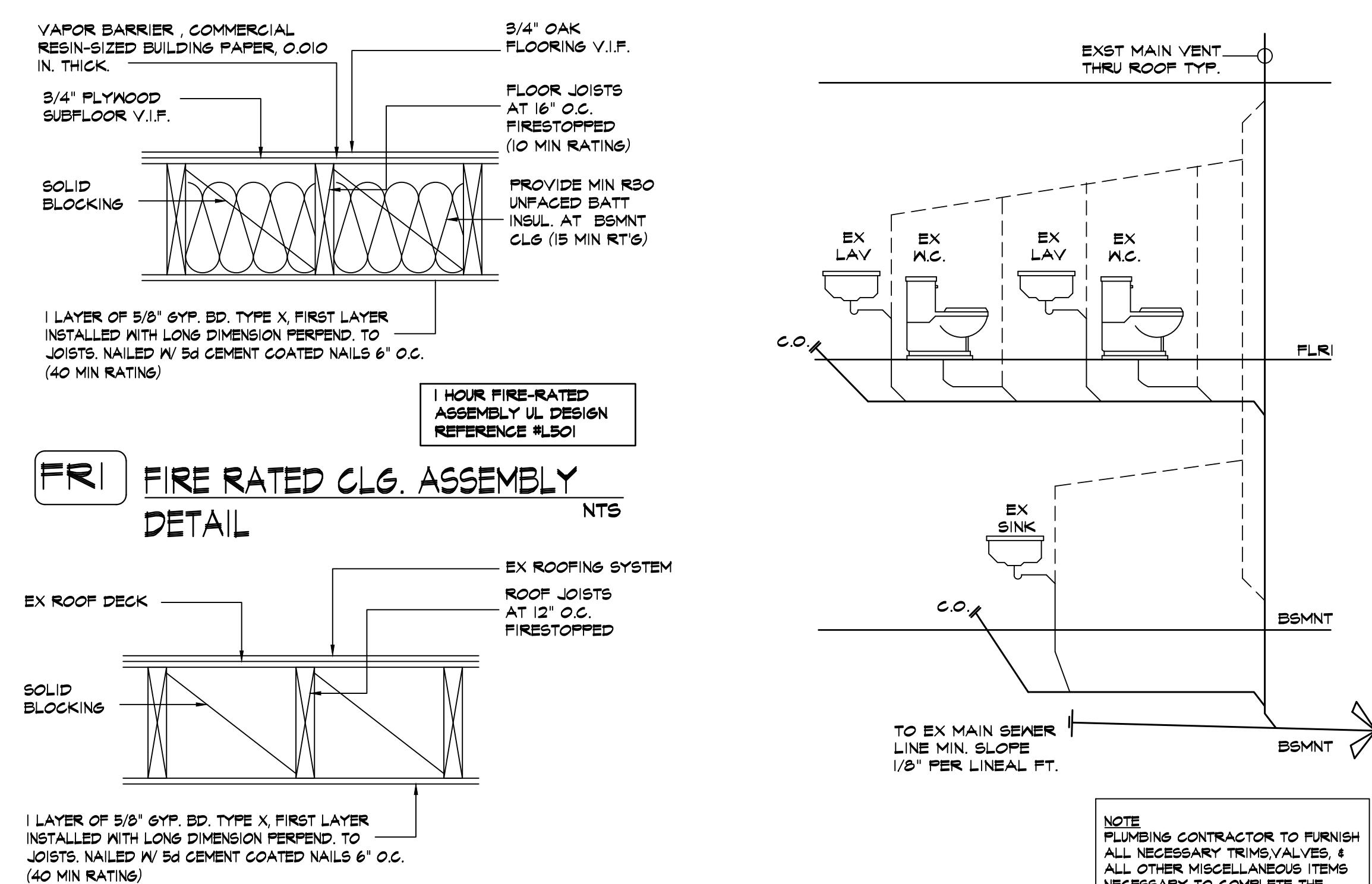
A2 EXIST WATER CL. ACCESSIBILITY IMPROVEMENTS DETAIL

PROVIDE SOLID BLOCKING IN WALL BEHIND NEW BATH ACCESSORIES

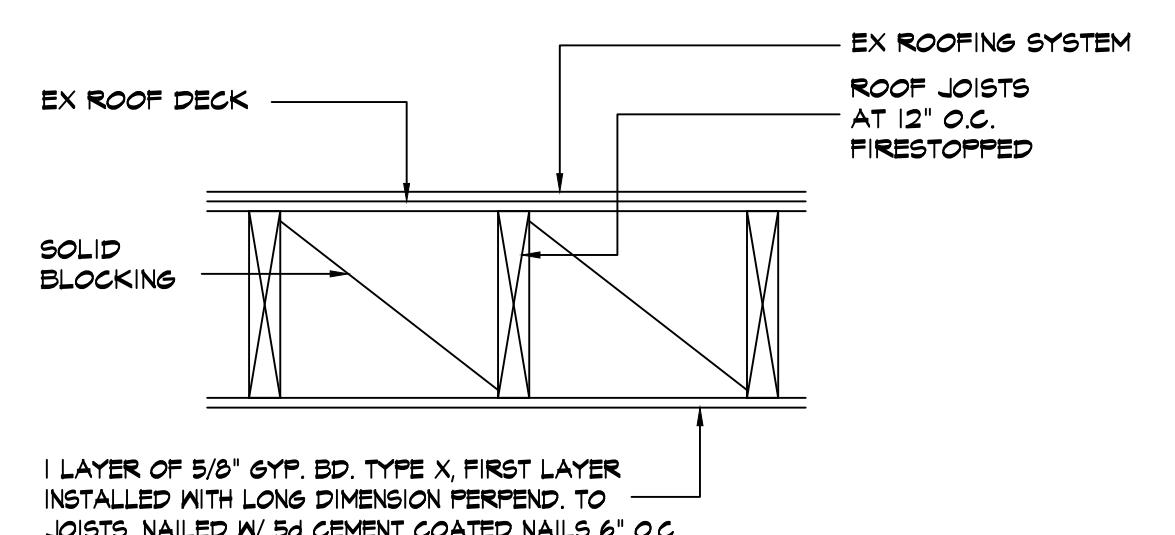
NOTE #1: EXISTING BUILDING CODE: ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION, WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A OR CONTAINS AN AREA OF PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE. THE ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA SHALL INCLUDE TOILET FACILITIES OR DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION.

EX: #1. THE COSTS OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. (SEE BREAKDOWN)

FSI FIRESTOP DETAILS



FRI FIRE RATED CLG. ASSEMBLY DETAIL



FR2 FIRE RATED ROOF ASSEMBLY

NTS

NOTE: PLUMBING CONTRACTOR TO FURNISH ALL NECESSARY TRIM, VALVES, & ALL OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE PROJECT.

C PLUMBING RISER DIAGRAM

NTS



A3

NOTE: Drawings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: I-108-11-13

LIST OF DRAWINGS

A1 EX PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
A2 AS-BUILT CELLAR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT CELLAR RCP, DETAIL & PLUMB RISER DIAG

-- 07.29.24 ISSUED FOR DOB FILING
NO. DATE ISSUE/REV.

CLIENT
DD & JK REALTY LLC
255 S BROADWAY
YONKERS NY 10701

PROJECT
PREPARATION OF AS-BUILT FIRST FLOOR PLAN AND CELLAR PLANS AND CHANGE OF TENANT FILING FOR EXST RETAIL TENANT SPACE AT :

DEALS IN A BIN 2
245 (AKA 251) S BROADWAY YONKERS NY 10701

DRAWINGS TITLE
AS-BUILT CELLAR RCP, DETAILS & PLUMBING RISER DIAGRAM
DRAWN BY S2/J2 CHECKED BY NF PROJECT NO. 24.0421.02

DATE 07.29.24 DRAWING NO.

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LOCATION MAP



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ZONE: SB-CENTRAL TAX MAP ID#: I-208-11-13

LIST OF DRAWINGS

A1 PLOT PLAN, BLDG CODE INFO, NOTES & AS-BUILT GROUND FLR PLAN
A2 AS-BUILT 2ND FLR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT 2ND FLR RCP DETAIL & PRD

BUILDING CODE DATA				
TYPE	APPLICABLE CODE			
BUILDING	2020 NEW YORK STATE BUILDING CODE			
ELECTRICAL	NATIONAL ELECTRIC CODE & LOCAL BUILDING CODE			
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE			
ACCESSIBILITY	BCNY'S CHAPTER II AND ICC / ANSI A117.1-2008 & 49 CFR PART 37 AND 38			
ZONE	EXISTING / PERMITTED USE(S)	PROPOSED USE(S)		
SOUTH BROADWAY CENTRAL	RETAIL: GROUP M	RETAIL : GROUP M		
CONSTRUCTION TYPE	SCOPE OF WORK			
TYPE BB PER TABLE 601	CHANGE OF TENANT FOR RETAIL STORE (FORMER FURNITURE STORE CO DATED 10/25/1983)			
PROPOSED OCCUPANCY: GROUP M PER SEC 309 MERCANTILE				
OCCUPANT LOAD	EX GROUND FLR LEVEL			
(REF. SECT. 1.1004.5)	RM 101 OPEN RETAIL 1:60 MERCANTILE 100 SF / 60 = 1.6 ~ 12			
	RM 102 EX STORAGE 1:300 STORAGE 1673 SF / 300 = 5.5 ~ 6			
	RM 103 EX LAV 1:60 MERCANTILE 23 SF / 60 = 0.3 ~ 1			
	RM 104 EX LAV 1:60 MERCANTILE 23 SF / 60 = 0.3 ~ 1			
	RM B01 EX OFFICE 1:150 BUSINESS 266 SF / 150 = 1.7 ~ 2			
	RM B02 EX WORK AREA 1:150 BUSINESS 518 SF / 150 = 3.4 ~ 4			
	RM B03 EX STORAGE 1:300 STORAGE 1673 SF / 300 = 5.5 ~ 6			
	TOTAL = 32 OCCUPANTS			
TABLE 1006.2.1 - NUMBER OF EXITS & CONTINUITY - WITH SPRINKLER				
OCCUPANCY	NO. OCCUPANTS	# EXITS REQ'D/ TRAVEL DISTANCE	MAX TRAVEL DISTANCE	NO. OF BUILDING EXITS
GROUP M MERCANTILE	32 OCCUPANTS	180 OCCUPANTS 1 EXIT ROD/ 75 FT	GROUND FLR #1: 65.0' 1ST FLR #2: 45.0' 2ND FLR #3: 67.0' 2ND FLR #4: 69.0'	1ST FLR (2) EXITS 2ND FLR (2) EXITS

ENERGY COMPLIANCE STATEMENT:

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THAT THE PLANS & /OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE NEW YORK STATE

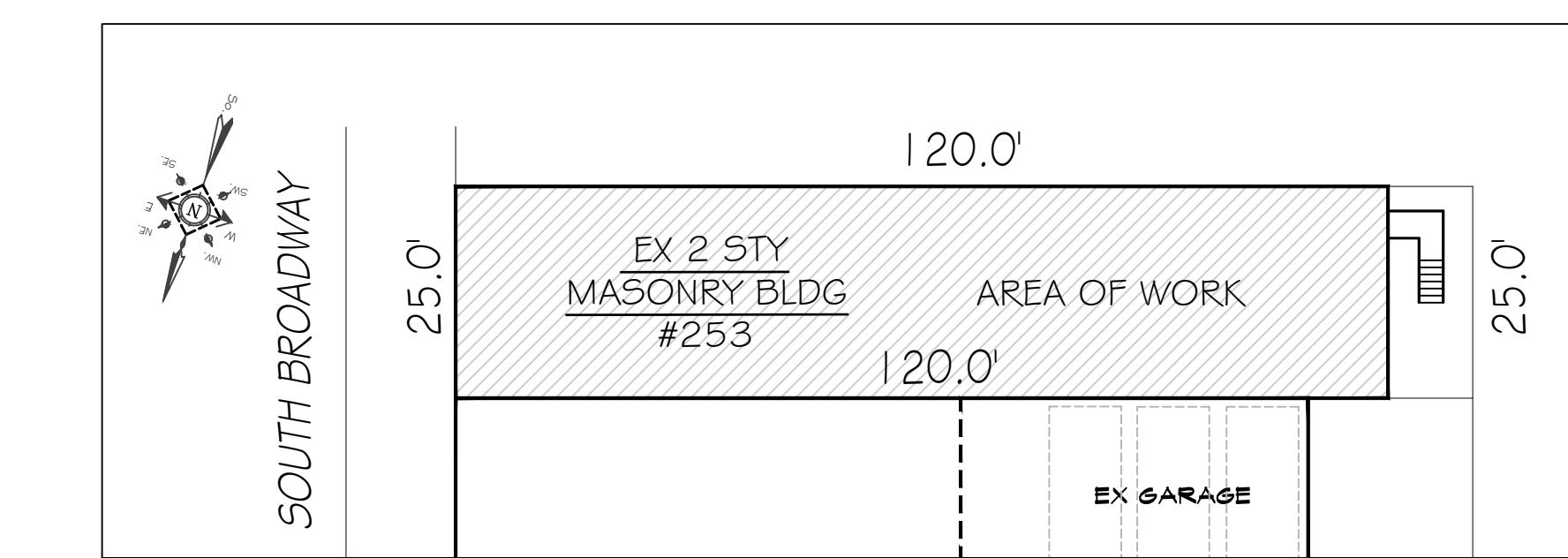
PLUMBING CALCULATIONS - TABLE 2902.1 - MIN. NUMBER OF REQ'D PLUMBING FIXTURES					
GROUP M - MERCANTILE			OCC	REQUIRED	EXISTING/ PROPOSED
Water Closets	1:500	32	1-Water Closet	2 - W.C.	
Lavatories	1:750	32	1-Lavatory	2 - LAV	
Drinking Fountains	1:1000	32	1-Drinking Fountain	0 - NO CHANGE	
Other	1 service sink	32	1-Service Sink	0 - NO CHANGE	

WALL LEGEND	
	EX PARTITION TO REMAIN REPAIR AS REQUIRED
	EX PARTY WALL TO REMAIN REPAIR AS REQUIRED

FINISH SPECS	
WALL, CEILING & FLOOR FINISHES:	
	EXT. PAINTED GNB
	EXT. PAINTED GNB GLS
	EXT. PAINTED TIN GLS
	EXT. PAINTED DOORS & TRIM
	EXT. CERAMIC TILE
	EXT. CERAMIC TILE MANSARD
	EXT. CARPET
	EXT. WOOD PANELING
	EXT. WOOD BASE
	EXT. PAINTED CONC BLOCK

GENERAL NOTES				
1. ALL WORK PERFORMED SHALL COMPLY WITH 2020 BUILDING CODE OF NEW YORK STATE AND ZONING ORDINANCES OF THE CITY OF YONKERS, N.Y.				
2. ALL ELECTRICAL WORK (IF APPLICABLE) SHALL BE APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND SHALL BE PERFORMED BY A NY STATE LICENSED ELECTRICAL CONTRACTOR.				
3. ALL PLUMBING WORK (IF APPLICABLE) SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPT, AND SHALL BE PERFORMED BY A NY STATE LICENSED PLUMBER.				
4. CONTRACTOR OR ANY SUBCONTRACTORS DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY & PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ANY KIND, AND TO PROVIDE OWNER WITH CERTIFICATES OF SAID INSURANCE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.				
5. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLAN AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. G.C. SHALL BE RESPONSIBLE FOR ALL TESTS, INSPECTIONS, ETC. AS REQUIRED BY THE BLDG. DEPARTMENT. THE G.C. SHALL PROVIDE THE NECESSARY COORDINATION BETWEEN ALL TRADES WITH REGARD TO THE DRAWINGS. LOCATE BOLTS, SLEEVES AND ALL MISCELLANEOUS ITEMS AS REQUIRED FOR MECHANICAL TRADES, AND PROVIDE AND/OR INSTALL VARIOUS ITEMS NOT SHOWN ON THESE DRAWINGS AS REQUIRED FOR VARIOUS TRADES.				
6. ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. HIS RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING.				
7. ALL SURFACES ADJACENT TO THE WORK WHICH IS DAMAGED DURING CONSTRUCTION BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR THEIR FORCES SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACES TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.				
8. FIRE EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS SHALL BE INSTALLED BY G.C. PER LOCAL CODE. FIRE ALARM/SPRINKLER SYSTEM DESIGN, IF SO REQUIRED BY THE CITY OF YONKERS, SHALL BE SUBMITTED UNDER SEPARATE APPLICATION.				
9. SIGN AND/OR AWNING APPLICATION, IF ANY, SHALL BE FILED UNDER SEPARATE APPLICATION.				

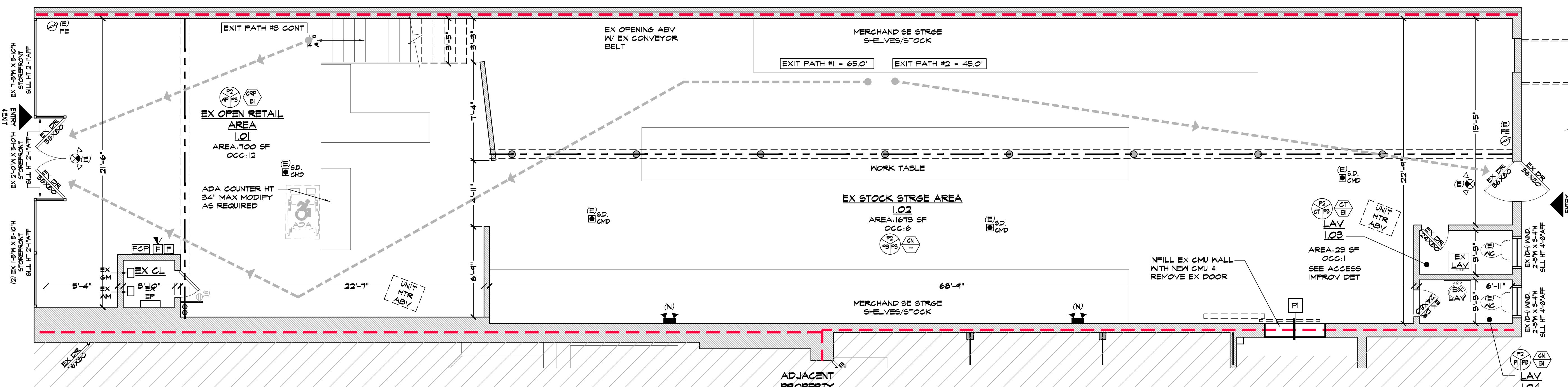
PARKING ANALYSIS				
SECTION 43- 47.6 S BROADWAY OFF-STREET PARKING AND LOADING.				
THE FOLLOWING PARKING REGULATIONS, IN ADDITION TO PARKING REGULATIONS FOUND ELSEWHERE IN CHAPTER 43, WILL BE APPLIED IN THIS DISTRICT:				
THE PROVISIONS OF §§ 43-171 AND 43-181A SHALL NOT APPLY TO BUILDINGS, STRUCTURES OR USES IN EXISTENCE AT THE TIME OF THE PASSAGE OF THIS CHAPTER, WHETHER CONTINUED AS PERMITTED USES OR AS A NONCONFORMING USE, OR THEREAFTER CONVERTED OR CHANGED TO A DIFFERENT LAWFUL USE.				
THE APPROVING AGENCY SHALL NOT PERMIT ANY REDUCTION OR ELIMINATION OF WHATEVER QUANTITY OF PARKING OR LOADING SPACE THAT MAY ALREADY EXIST, EXCEPT TO THE EXTENT THAT IT MAY EXCEED SUCH REQUIREMENT.				



EX PLOT PLAN

NOTE: PLOT PLAN INFORMATION BLDG DEPT RECORDS FILE. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO & DIMENSIONS

1 = 20'-0"

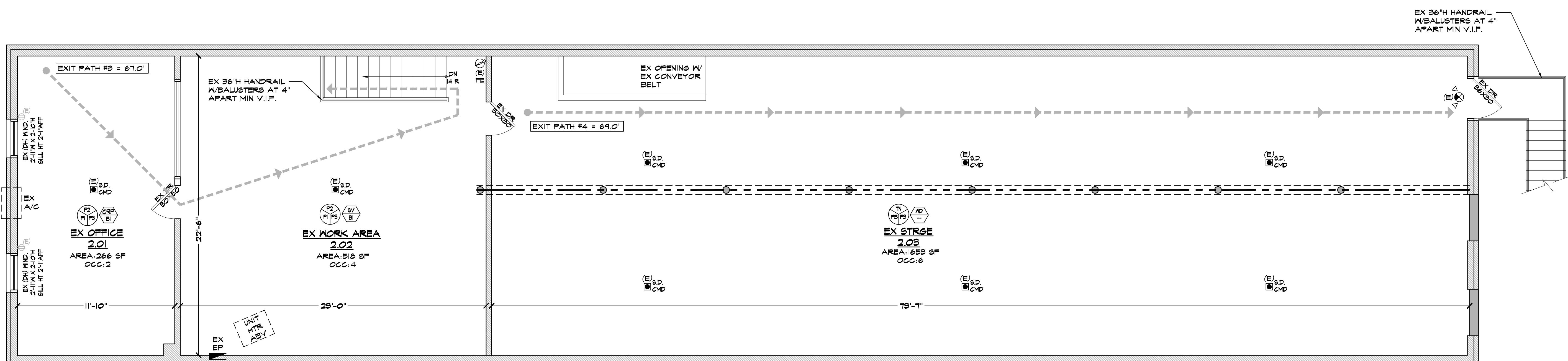


AS-BUILT GROUND FLOOR PLAN

1/4" = 1'-0"



A



AS-BUILT SECOND FLOOR PLAN

1/4" = 1'-0"

ELEC. & RCP LEGEND			
ITEM	DESCRIPTION	ITEM	DESCRIPTION
\$	EX SINGLE POLE SWITCH		EX EXIT SIGN WITH EMERGENCY LIGHTS & BATTERY BACK-UP V.I.F
○	EX DUPLEX RECEPTACLE OUTLET		EX EMERGENCY LIGHTS W/ BATTERY BACKUP
○○	EX RECESSED CLG FIXTURE	(E)	DENOTES EXISTING
○ GFI	EX OUTLET W/GROUND FAULT CIRCUIT INTERR.		EX FIRE PULL
<input checked="" type="checkbox"/> S.D. <input checked="" type="checkbox"/> CMD	SMOKE DETECTOR & CARBON MONOXIDE DETECT HARDWIRED V.I.F.		EX FIRE ALARM CONTROL PANEL
(N)	DENOTES NEW		EX FIRE STROBE

NOTE: _____
ings may be printed at reduced scale

ZONE: SB-CENTRAL TAX MAP ID#: 1-208-11-13

LIST OF DRAWINGS

A1 PLOT PLAN, BLDG CODE INFO, NOTES &
AS-BUILT GROUND FLR PLAN
A2 AS-BUILT 2ND FLR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT 2ND FLR RCP, DETAIL & PRD

-- 07.29.24 ISSUED FOR DOB FILING

NO.	DATE	ISSUE/REV.
-----	------	------------

CLIENT
DD & JK REALTY LLC
253 S BROADWAY
YONKERS, NY 10501

PROJECT

PREPARATION OF AS BUILT FIRST FLOOR PLAN AND BASEMENT PLANS AND CHANGE OF TENANT

AT:
LEELOO MULTIPROPS
253 S BROADWAY YONKERS NY 10701

**AS-BUILT 2ND FLR PLAN & AS-BUILT
GROUND FLR RCP**

DRAWN BY: CHECKED BY: PROJECT NO.:
SZ/JZ NF 24.0427

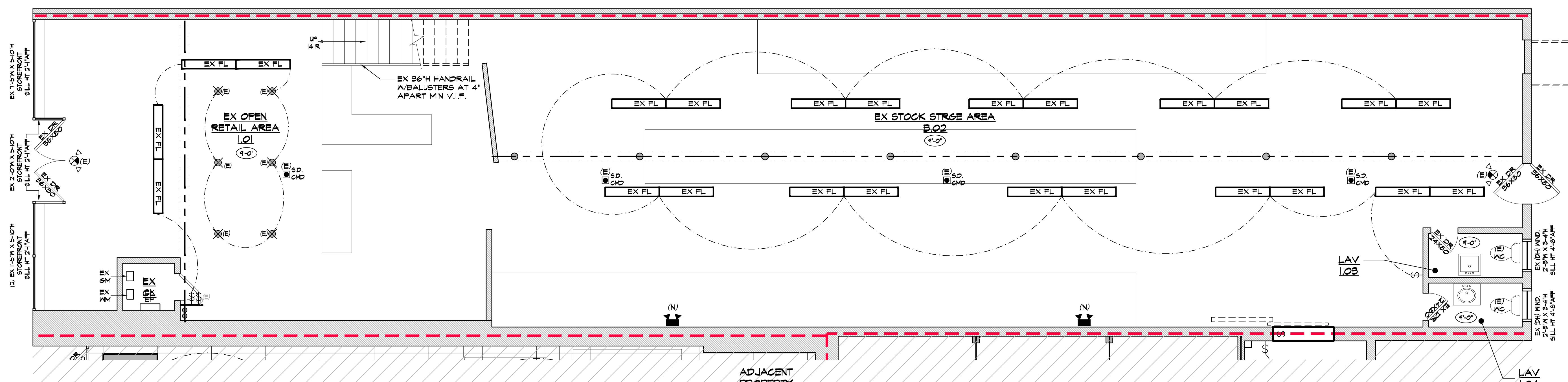
07.29.24

** NICHOLAS CHITTENDEN DRAWING NO.

OT, STI

0833081

A circular postmark from New York. The word "NEW YORK" is printed in the center, surrounded by a decorative border. The postmark is oriented vertically on the right side of the card.

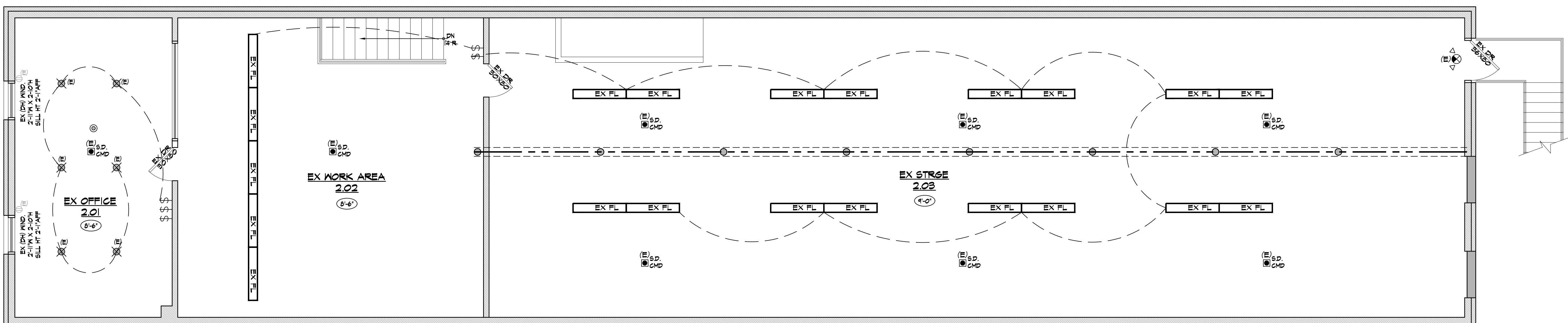


2 AS-BUILT GROUND FLR RCP PLAN

1/4" = 1'-0"



A2



AS-BUILT SECOND FLR RCP PLAN

1/4" = 1'-0"

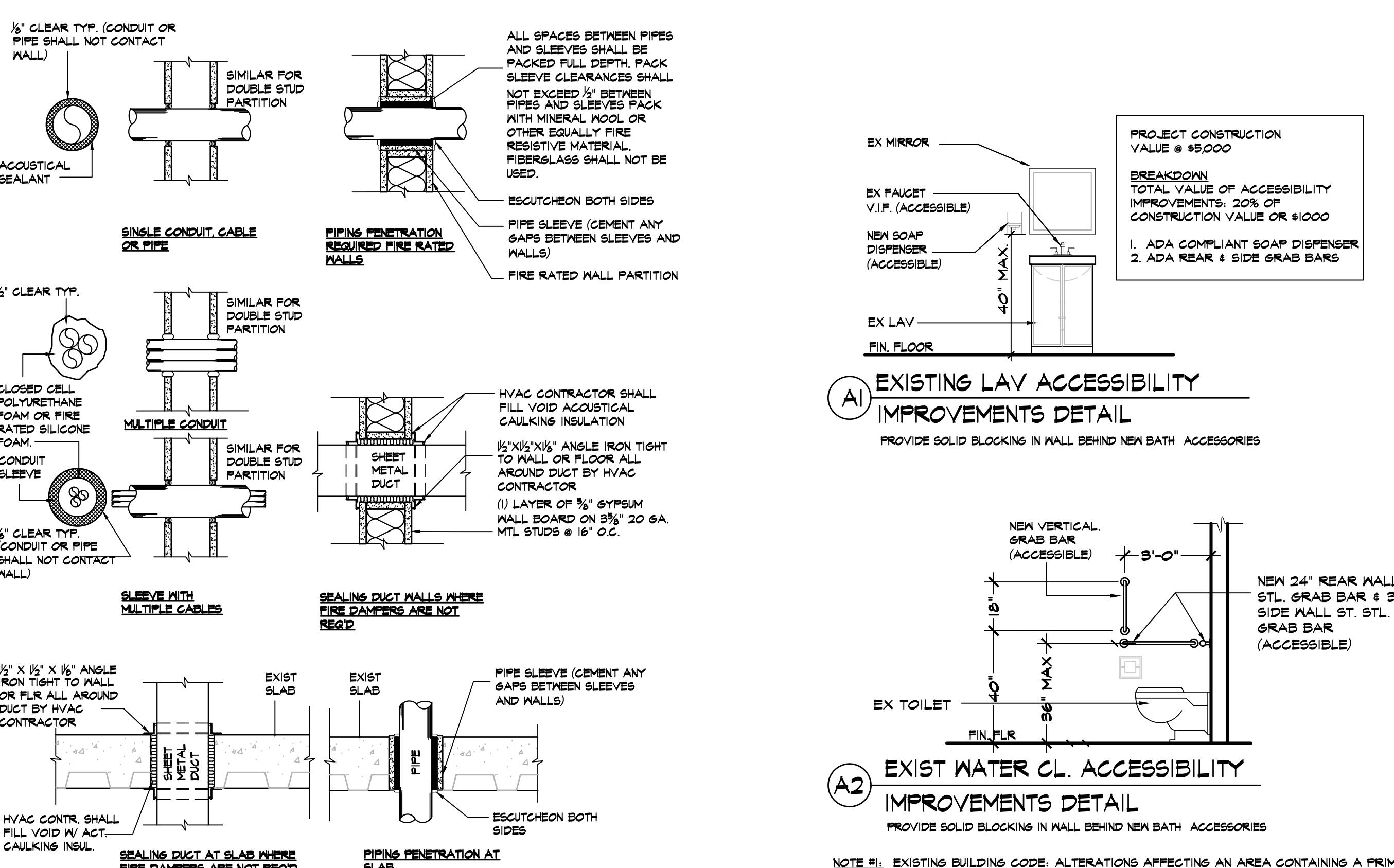


— NOTE: _____
be printed at reduced scale

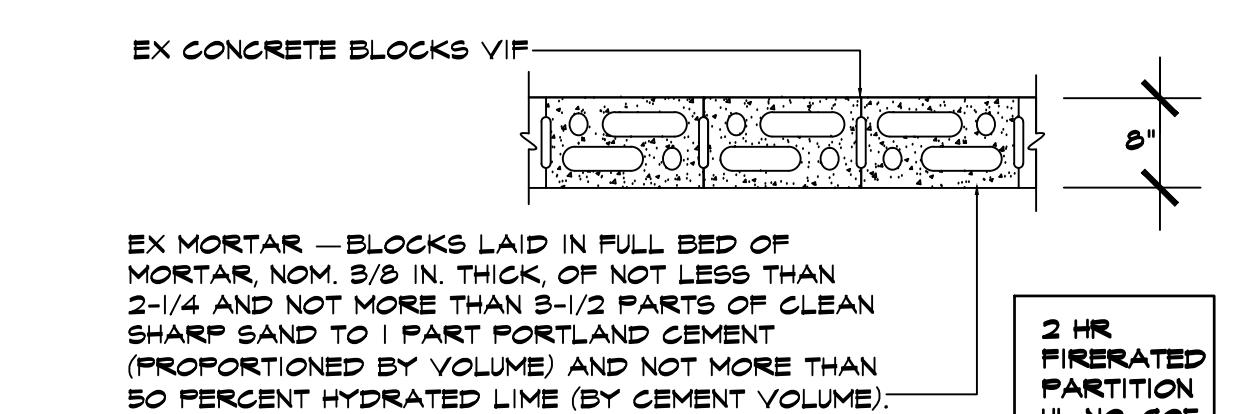
ZONE: SB-CENTRAL TAX MAP |D#: 1-208-11-13

LIST OF DRAWINGS

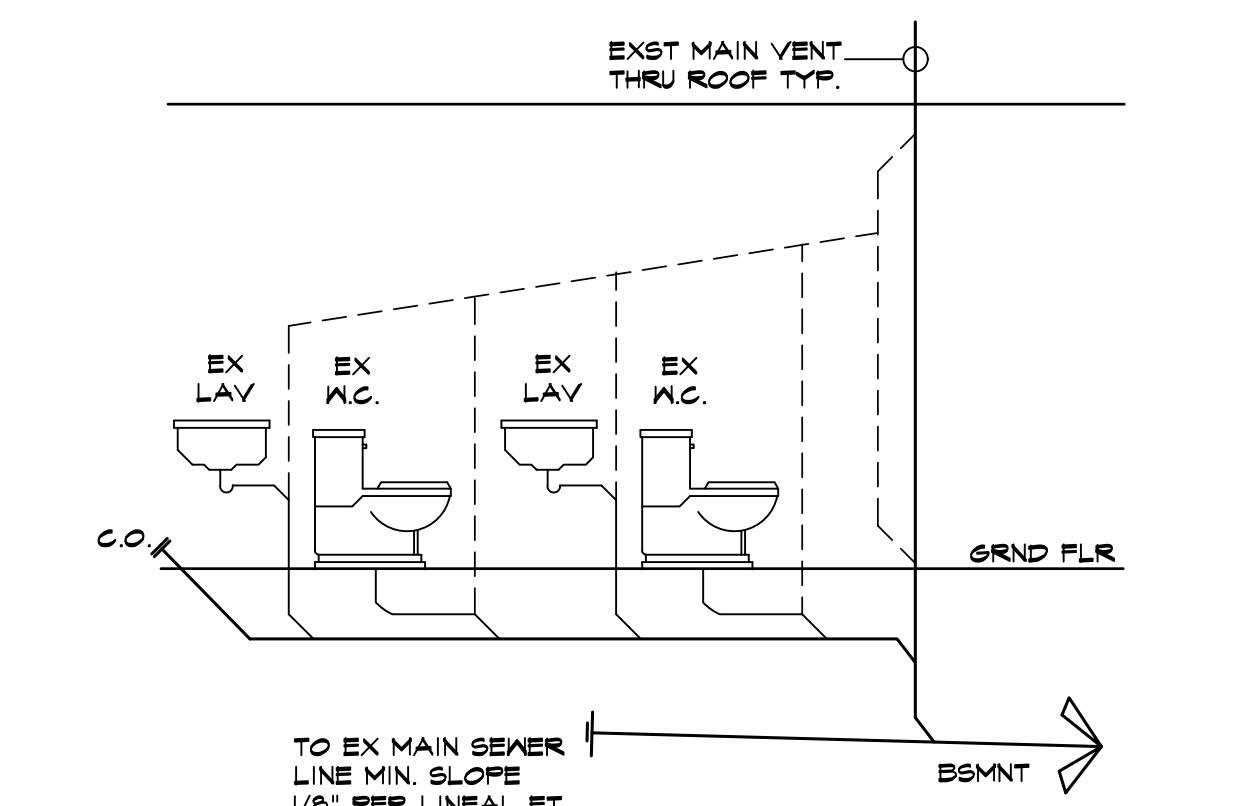
AI PLOT PLAN, BLDG CODE INFO, NOTES \$
AS-BUILT GROUND FLR PLAN
A2 AS-BUILT 2ND FLR & AS-BUILT GROUND FLR RCP
A3 AS-BUILT 2ND FLR RCP, DETAIL & PRD



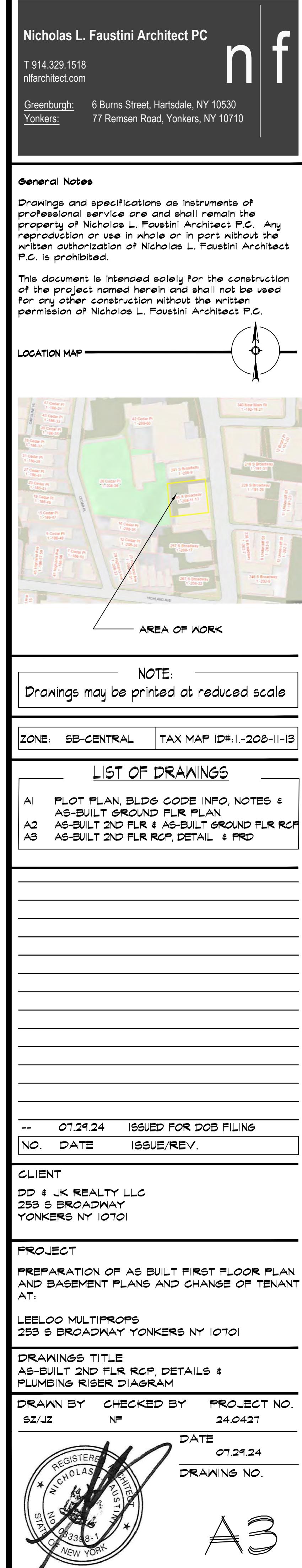
FSI FIRESTOP DETAILS



PARTITION TYPE DETAIL



PLUMBING RISER DIAGRAM

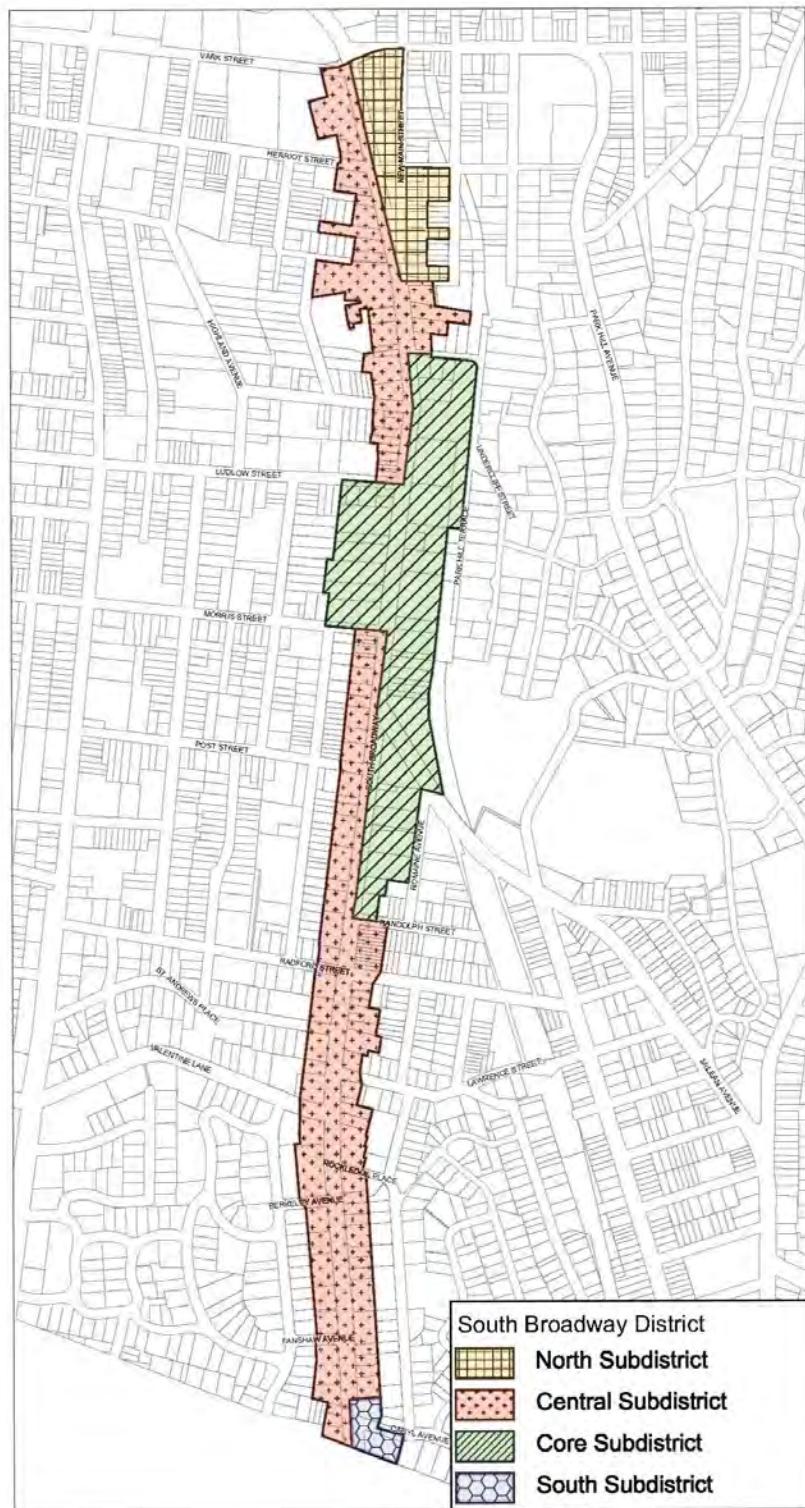


ZONING

43 Attachment 17

City of Yonkers

Map E: South Broadway District
[Added 11-22-2011 by G.O. No. 4-2011]



ZONING

43 Attachment 1

City of Yonkers

Table 43-1
Schedule of Use Regulations

[Amended 10-12-2004 by G.O. No. 6-2004; 12-9-2005 by G.O. No. 13-2005; 5-2-2006 by G.O. No. 5-2006; 9-25-2007 by G.O. No. 5-2007; 5-19-2009 by G.O. No. 3-2009; 10-11-2011 by G.O. No. 3-2011; 3-25-2014 by G.O. No. 1-2014; 3-10-2015 by G.O. No. 5-2015; 6-28-2016 by G.O. No. 13-2016; 12-12-2017 by G.O. No. 17-2017; 6-12-2018 by G.O. No. 8-2018; 3-5-2019 by G.O. No. 1-2019; 12-10-2019 by G.O. No. 12-2019; 2-9-2021 by G.O. No. 3-2021; 6-23-2021 by G.O. No. 10-2021; 6-23-2021 by Ord. No. 11-2021; 12-14-2021 by Ord. No. 13-2021; 11-22-2022 by Ord. No. 12-2022]

Use	District																	L-MX Key Streets Uses permitted on the ground floor
	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	OL	B	BA	CB	PMD	A & I	CA ²	L-MX	
Residential Uses¹																		
Apartment houses	—	—	—	—	—	—	P	P	P	—	P	P	P	P	—	—	P	—
Community residential facilities	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Community residential facilities for the disabled for up to 14 persons	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	—	—	—	Ps	—
Nursing homes	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—
Planned apartment complexes	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	—	—
Planned cluster developments	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	—	—
Planned townhouse complexes	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	P	—
Planned unit residential developments (PURDs)	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Planned urban redevelopments	—	—	—	—	—	—	S	S	S	—	S	S	—	S	—	—	—	—
Residential health-care facilities	—	—	—	—	—	—	S	S	S	—	S	S	—	—	—	—	—	—
Row houses (single-family attached dwellings)	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	—	—	—	—	—
Senior citizen apartment houses	—	—	—	—	—	—	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	—	P	—
Single-family detached dwellings	P	P	P	P	P	P	P	P	P	—	P	P	—	—	—	—	—	—
Two-family detached dwellings	—	—	—	—	—	P	P	P	P	—	P	P	—	—	—	—	P	—
Two-family attached dwellings	—	—	—	—	—	P	P	P	P	—	P	P	—	—	—	—	P	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

2 = In the CA Zone, any historic building over 50,000 square feet may have a resident manager or owner-occupant accessory residence. An historic building is one that is either locally designated or on the National Register.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District																				L-MX Key Streets Uses permitted on the ground floor				
	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	Cu	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A&I	CA	L-MX
Public and Institutional Uses¹																									
Cemeteries and mausoleums	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—		
Children's day camps	S	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	S	S	—		
Colleges/universities	—	—	—	—	—	—	—	—	—	P	—	—	—	—	P	P	P	—	—	P	—	—	P	—	
Convents, monasteries and seminaries	S	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	
Governmental motor vehicle yards	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	S	S	—	S	—	S	—	—	
Government uses (non-City of Yonkers)	—	—	—	—	—	—	—	—	—	S	S	S	S	S	—	—	S	S	—	S	—	S	—	S	
Hospitals	—	—	—	—	—	—	—	—	—	S	S	S	S	S	S	S	S	S	S	S	—	—	S	—	
Medical establishments	—	—	—	—	—	—	—	—	—	P	P	P	P	P	P	P	P	P	P	P	P	—	—	Ps	—
Municipal uses (City of Yonkers)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Offices of philanthropic institutions	—	—	—	—	—	—	—	—	—	Ps	—	Ps	—	—											
Parish houses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps	—
Philanthropic institutions providing social services	—	—	—	—	—	—	—	—	—	S	S	S	S	S	—	—	Ps	S	S	—	—	—	—	S	—
Places of worship	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—
Private recreational clubs or community swimming pools	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	S	S	—	—	—	—	S	S	—
Private clubs and community centers	—	—	—	—	—	—	S	S	S	—	—	—	S	S	—	—	—	—	—	—	—	—	S	S	—
Private marinas and seaplane landing docks	—	—	—	—	—	—	—	—	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Private not-for-profit recreational uses	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	S	—	—	—	—	—	—	S	—
Religious retreats	S	S	S	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Satellite facilities of colleges, universities, or theological seminaries	—	—	—	—	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—	—	—	—	—	—	—
Schools	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	Ps	—	Ps	Ps	—
Utility substations	—	—	—	—	—	—	—	—	—	—	S	S	S	S	S	—	—	S	S	S	S	—	S	—	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

2 = In the CA Zone, any historic building over 50,000 square feet may have a resident manager or owner-occupant accessory residence. An historic building is one that is either locally designated or on the National Register.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															<u>L-MX Key Streets</u> Uses permitted on the ground floor
	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	
Business, Commercial and Office Uses^{1,3}																
Audio, radio, video and television stations and studios	Ps	—	—	—	Ps	—	Ps	P	Ps	—						
Banks and financial uses	P	P	P	P	P	P	P	P	P	P	—	P	—	—	P	P
Banquet and catering facilities	—	Ps	Ps	Ps	Ps	Ps	P	Ps	—	Ps	—	Ps	—	P	P	—
Building supply stores ²	—	Ps	—	Ps	Ps	—	—	Ps	Ps	—	Ps	Ps	Ps	—	—	—
Cabarets and nightclubs ²	—	Ps	—	—	Ps	Ps	—	Ps	—	—	—	Ps	—	P	P	P
Commercial recreation uses, indoor ²	—	—	—	P	P	—	—	P	P	—	—	P	—	—	P	P
Commercial recreation uses, outdoor ²	—	—	—	—	P	—	—	P	—	P	P	P	P	—	—	—
Commercial schools	P	P	P	P	P	P	P	P	P	P	P	P	P	—	P	—
Conference centers	—	—	—	—	—	—	—	—	—	—	—	Ps	—	P	Ps	—
Day-care centers	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps
Department stores ²	—	—	—	—	P	—	—	—	—	—	—	P	—	—	P	P
Drive-through banks	—	Ps	—	Ps	—	—	—	Ps	Ps	Ps	—	Ps	—	—	—	—
Drive-through restaurants	—	Ps	—	Ps	—	—	—	Ps	Ps	—	—	—	—	—	—	—
Dry-cleaning establishments	—	Ps	Ps	Ps	Ps	—	—	Ps	Ps	—	Ps	Ps	Ps	—	—	—
Eating and drinking establishments	—	P	P	P	P	P	P	P	P	P	P	P	P	—	P	P
Fast-food restaurants	—	P	P	P	P	—	—	—	—	—	—	P	—	—	P	P
Food and beverage stores	—	P	P	P	P	P	P	P	—	—	P	—	—	P	P	P
Funeral parlors or mortuaries	—	—	P	P	—	—	—	P	—	—	—	—	—	—	—	—
Garden centers ²	—	Ps	—	—	Ps	—	—	Ps	Ps	—	—	Ps	—	—	—	—
Health clubs and gyms	—	P	P	P	P	P	P	P	—	—	—	P	—	P	P	P
Hotels	—	Ps	—	Ps	Ps	Ps	Ps	—	—	Ps	—	Ps	—	P	Ps	P

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = Any business or commercial use which is open to the general public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.

2 = Permitted only on a designated development site.

3 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

4 = Permitted as a nonresidential accessory use in the CA District.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															L-MX Key Streets Uses permitted on the ground floor
	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	
Business, Commercial and Office Uses^{1,3} (Cont'd)																
Hotels, by special use permit	S	—	—	—	—	—	—	S	S	—	S	—	—	—	—	—
Indoor markets	—	P	—	P	P	P	—	P	—	—	—	P	—	—	P	P
Live/work buildings	—	—	—	—	S	S	S	—	—	—	—	—	—	—	P	—
Medical establishments	P	P	P	P	P	P	P	P	P	P	P	P	—	—	P	P
Offices	P	P	P	P	P	P	P	P	P	P	P	P	—	P	P	P
Pawnshops and check-cashing stores	—	—	—	—	—	—	—	P	P	—	P	—	—	—	—	—
Personal service establishments	—	P	P	P	P	P	P	P	P	—	—	P	Ps	P ⁴	P	P
Planned executive parks	S	—	—	—	—	—	—	—	S	S	—	—	—	—	—	—
Planned mixed use	—	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—
Planned neighborhood commercial development	—	—	—	—	—	—	—	—	S	—	—	—	—	—	—	—
Planned shopping centers ²	—	Ps	—	Ps	P	—	—	Ps	—	—	—	P	—	—	—	—
Planned urban redevelopments	S	S	S	S	S	S	S	S	S	S	S	—	S	—	—	—
Restaurants	—	P	P	P	P	P	P	—	—	—	—	P	Ps	P	P	P
Retail establishments	—	P	P	P	P	P	P	—	—	—	—	P	Ps	P ⁴	P	P
Retail craft uses	—	—	—	—	P	P	—	P	P	—	P	P	P	—	P	P
Sexually oriented businesses	—	—	—	—	—	—	—	—	S	—	S	—	S	—	—	—
Self-storage warehouses	—	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—	—	—
Supermarkets ²	—	S	S	S	S	—	—	S	—	—	—	P	—	—	S	S
Telephone switching facilities	—	—	—	—	P	P	P	P	P	P	P	P	P	—	—	—
Theaters and movie theaters	—	P	—	P	P	P	P	P	—	—	—	P	—	P ⁴	P	P
Veterinary offices or hospitals	—	S	S	S	—	—	—	S	—	—	—	P	—	—	P	—
Wholesale price clubs and big-box retail stores ²	—	S	—	—	S	—	—	S	—	—	S	P	S	—	—	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = Any business or commercial use which is open to the general public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.

2 = Permitted only on a designated development site.

3 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

4 = Permitted as a nonresidential accessory use in the CA District.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District														<u>L-MX Key Streets</u> Uses permitted on the ground floor
	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX	
Motor Vehicle Use^{1,2}															
Automobile rental establishments	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	Ps	—	—	Ps	—
Automobile repair shops	—	—	—	—	—	—	Ps	Ps	—	Ps	—	Ps	—	—	—
Automobile sales establishments	Ps	—	Ps	—	—	—	Ps	Ps	—	—	—	—	—	—	—
Automobile service stations	Ps	Ps	Ps	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Automobile storage yards	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Automobile supply and service stores	—	—	Ps	—	—	—	Ps	Ps	—	Ps	—	Ps	—	S	—
Automobile and/or truck body repair shops	—	—	—	—	—	—	—	—	—	Ps	—	Ps	—	—	—
Automobile washes	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Convenience stores in conjunction with automobile service stations	S	S	S	—	—	—	S	S	—	S	—	S	—	—	—
Transport service businesses	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Truck and bus depots, and rental, storage and sales establishments	—	—	—	—	—	—	Ps	Ps	—	Ps	—	—	—	—	—
Truck and bus service stations, and repair shops	—	—	—	—	—	—	Ps	Ps	—	Ps	—	Ps	—	—	—
Car sharing service office	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = Any motor vehicle use which is open to the public between 12:00 midnight and 6:00 a.m. shall be subject to a special use permit as provided for in § 43-74A of this chapter.

2 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District								L-MX Key Streets Uses permitted on the ground floor
	C	CM	IP	I	PMD	A & I	CA	L-MX	
Industrial, Warehouse and Storage Uses¹									
Breweries and microbreweries	P	P	P	P	—	P	—	P	—
Building supply yards	Ps	Ps	—	Ps	—	Ps	—	—	—
Commercial kennels	S	S	—	S	—	S	—	—	—
Concrete batch plants, mixing or processing, but not manufacturing	—	—	—	P	—	—	—	—	—
Construction and demolition debris transfer stations	—	—	—	S	—	—	—	—	—
Dry-cleaning plants	S	S	—	S	—	S	—	—	—
Heavy industrial uses	—	—	—	P	—	P	—	—	—
Industrial parks	P	P	P	P	—	P	—	—	—
Light industrial uses	P	P	P	P	P	P	—	P	P
Medium industrial uses	P	—	P	P	—	P	—	P	P
Mini-warehouse or self-storage warehouses	Ps	Ps	Ps	Ps	—	—	—	—	—
Motor truck freight terminals and distribution centers	Ps	Ps	Ps	Ps	—	P	—	—	—
Printing plant, photo lithography or reproduction establishments	P	P	P	P	—	P	—	P	P
Quarries, and sand and gravel pits	—	—	—	S	—	—	—	—	—
Research and development laboratories	—	—	—	—	P	—	—	—	—
Rock crushing operations	—	—	—	S	—	—	—	—	—
Stonecutter, monument works	P	P	P	P	—	S	—	—	—
Telecommunications towers	—	S	S	S	S	—	—	—	—
Testing laboratories and pilot plants	S	S	S	S	—	S	—	—	—
Warehousing, storage and wholesaling of nonhazardous and nonflammable materials	P	P	P	P	—	P	—	S	—
Industrial design uses	—	—	—	—	—	—	—	P	P
Laboratories, research and development	—	—	—	—	—	—	—	P	—
Industrial vivarium	—	—	—	—	—	—	—	P	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = For Downtown District (D-MX, D-IRT, UR-LD, UR-MD, UR-HD) use and dimensional regulations, see Article XVIII.

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															
	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	B	BA	CU	PMD	CB	A & I	CA
Residential Accessory Uses																
Accessory residence for resident-manager or owner-occupant (applicable for historic buildings over 50,000 square feet)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	P
Amateur radio and TV towers	S	S	S	S	S	—	—	—	—	—	—	—	—	—	—	—
Decks and patios	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	Ps	Ps	—	Ps
Doghouses or structures accommodating pets	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—
Family day care	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	P
Fences and walls	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Garage and yard sales	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—
Group family day-care homes	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	P
Home-based businesses	S	S	S	S	S	S	—	—	—	—	—	—	—	—	—	S
Home occupations	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	Ps
Parish houses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	Ps
Piers, docks and boathouses	—	—	—	—	—	—	—	—	Ps	—	—	—	—	—	—	—
Pigeon raising coops	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—
Radio and TV antennas	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Refuse collection, storage and recycling facilities	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Satellite antennas	S	S	S	S	S	S	S	S	S	S	S	S	P	S	—	S
Signs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Storage of recreational vehicles, campers, boats and motor vehicle trailers	Ps	Ps	Ps	Ps	Ps	Ps	—	—	—	—	—	—	—	—	—	—
Storage sheds, greenhouses and children's playhouses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	—
Swimming pools and bathhouses	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Tennis courts and other sports courts	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps
Exercise facilities - resident use only	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	P

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District															
	CU	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA	L-MX
Nonresidential Accessory Uses																
Amusement games and devices	Ps	—	Ps	—	—	Ps	—	Ps	Ps							
Automatic teller machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	—	Ps	Ps	Ps
Awnings or canopies	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Bars or lounge areas serving liquor and brew pubs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	P	Ps	Ps
Christmas tree sales	—	—	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps	—	Ps	—	Ps	—	Ps
Classroom for existing place of worship	—	—	—	—	—	Ps	—	—	—	—	—	—	—	—	—	—
Fences and walls	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Greenhouses	—	—	Ps	Ps	Ps	—	—	—	Ps	Ps	—	Ps	—	Ps	Ps	Ps
Helistops or heliports	—	—	—	—	—	—	—	—	—	—	—	—	—	S	—	—
Laboratories	Ps	—	—	—	—	—	—	Ps	Ps	Ps	Ps	Ps	—	S	—	Ps
Live entertainment	—	Ps	Ps	P	P											
Live/work units	—	—	—	—	—	S	S	—	—	—	—	—	—	—	—	P
Loading berths or spaces	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Newspaper vending machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Outdoor dining areas	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Outdoor storage	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Railroad sidings	—	—	—	—	—	—	—	—	Ps	Ps	Ps	Ps	—	Ps	—	—
Refuse collection, storage and recycling facilities	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	Ps	Ps
Retail uses in conjunction with offices	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	—	P	—
Satellite antennas	S	S	S	S	S	S	S	S	S	S	S	S	P	S	Ps	S
Signs	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Soda or candy vending machines	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Cafeterias	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps
Solar energy collectors	Ps	Ps	Ps	Ps	Ps	—	—	—	Ps	Ps	Ps	—	Ps	Ps	Ps	Ps
Temporary flea markets or carnivals	—	—	—	—	—	—	—	—	Ps	Ps	Ps	Ps	—	Ps	—	Ps
Time and temperature signs	—	—	Ps	Ps	—	—	—	—	Ps	Ps	—	—	—	—	—	—
Water tanks	—	—	—	—	—	—	—	—	—	—	—	P	—	—	P	—

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

ZONING

Table 43-1
Schedule of Use Regulations
(Continued)

Use	District																							
	S-200	S-100	S-75	S-60	S-50	T	MG	M	A	CU	OL	BR	B	BA	CB	DW	GC	C	CM	IP	I	PMD	A & I	CA
Fee-in-lieu of parking	—	—	—	—	—	—	—	—	—	—	—	—	—	—	S	S	—	—	—	—	—	—	—	Ps
Shared parking	—	—	—	—	—	—	Ps	P	S	Ps	Ps													
Private garage	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Private open-air parking	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps	Ps
Semipublic open-air parking	—	—	—	—	—	—	Ps	Ps	Ps															
Semipublic parking structure	—	—	—	—	—	—	Ps	Ps	Ps															
Car sharing service parking space	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps
Curb cuts	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	Ps ¹

P = Permitted use

Ps = Permitted, with supplemental requirements (see Article VI)

S = Permitted subject to special use requirements (see Article VII)

Notes:

1 = See curb cut standards in the Ludlow Mixed-Use District - § 43-242, Parking and access standards.

GENERAL ORDINANCE -- 2011

BY:

A GENERAL ORDINANCE AMENDING SECTION
43-47 OF THE ZONING CODE OF THE CITY
OF YONKERS IN REGARD TO THE SOUTH
BROADWAY DISTRICT

The City of Yonkers, in City Council convened, does hereby
ordain and enact:

Section 1. General Ordinance No.4 -2000 and the accompanying
map, also known as Chapter 43 of the Code of the City of Yonkers, and
more commonly known as the Zoning Code of the City of Yonkers, is
hereby amended, in part, by adding a new Section 43-47, entitled "South
Broadway District", to read as follows:

"Section 43-47 South Broadway District.

A. Purpose. The purpose of the South Broadway Zoning District (SBD)
is to recognize, preserve and develop the special character of the South
Broadway shopping area. South Broadway developed as one of the
premier shopping streets in Yonkers and Southern Westchester County
and remains one of the important shopping areas in the City. It is a vibrant
example of the traditional urban shopping street with wide sidewalks,
street trees, a pedestrian and shopper friendly physical environment
complete with fine architecture and a beneficial and sustainable mix of
retail, commercial and residential uses. The South Broadway Zoning
District recognizes the advantages that this form of development brings to
the City of Yonkers and seeks to enhance and preserve the business,
residential and physical environment of the area while removing regulatory
impediments to the continued growth of the area.

B. District. The South Broadway Zoning is divided into four sub-areas,
North, Center, Core and South.

C. Dimensional Regulations. The South Broadway Zoning District
dimensional regulations shall be:

- (1) Central Area
(a) Front yard set back- None required.

- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
- (f) Floor area ratio- 4.0
- (g) Height- Forty Feet.
- (h) Lot area, minimum-None required.
- (i) Lot width- None required.
- (j) Maximum Lot Coverage- 90%.

(2) Core Area

- (a) Front yard set back- None required.
- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
- (f) Floor area ratio- 3.0
- (g) Height- 50 Feet Base/80 Feet total.

Tower setback 15 feet minimum above 50 feet.

- (h) Lot area, minimum-None required.
- (i) Lot width- None required.
- (j) Maximum Lot Coverage- 90%.

(3) South Area

- (a) Front yard set back- None required.
- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.

- (f) Floor area ratio- 10.0
- (g) Height- 120 Feet,
60 Feet Base/120 Feet total.
- (h) Lot area, minimum-None required.
- (i) Lot width- None required.
- (j) Maximum Lot Coverage- 90%.

(4) North Area

- (a) Front yard set back- None required.
- (b) Side yard set back-None required.
- (c) Rear yard set back-10 Feet for commercial or 25 feet for residential.
- (d) Side Front yard set back-None required.
- (e) Build to line- New structures shall be required to meet the average street build to line of the adjacent structures. The approving agency may in its review of an enlarged or altered development require the construction to meet the front build-to-line in order to maintain a consistent street frontage in the South Broadway District.
- (f) Floor area ratio- 10.0
- (g) Height- 120 Feet,
60 Feet Base/120 Feet total.
- (h) Lot area, minimum-None required.
- (k) Lot width- None required.
- (l) Maximum Lot Coverage- 90%.

(5) Building Requirements.

- (a) Mandatory ground floor transparency:70%
- (b) Building facades more than 50 feet wide abutting streets shall be divided into multiple bays similar to existing contextual architecture
- (c) façade materials and design shall respect existing contextual architecture with regards to treatment of material and fenestration.
- (d) Buildings shall be designed to articulate a base , middle and top and shall design the windows and cornice to respect and remain in context to similar contextual architecture on either side of the building.
- (e) The overall width of a building portion above 50 feet or four stories, whichever is less shall not exceed 100 feet along the lot's frontage.

D. Nonconforming uses. Nonconforming uses in the South Broadway District shall be governed by the provisions of Section 43-21 of the Yonkers Zoning Code entitled "Nonconforming uses buildings and structures", except as otherwise provided herein:

(a) Existing Apartment Houses and mixed use Apartment Houses and Commercial uses may continue as non-conforming uses and structures and shall not be subject to Section 43-21 (E) of the Yonkers Zoning Code. Reconstruction of a nonconforming use, building or structure, in so much as that section mandates that in the event of destruction or damage exceeding 50% of the valuation of the structure as assessed for City taxes that the structure may not be reconstructed except subject to review by the Zoning Board of Appeals. In order to preserve the mixed use nature of the South Broadway Zoning District should a building or structure used as an apartment house or a Mixed Use/Apartment House and Retail, the use of which or the use of a portion of which is nonconforming or which is dimensionally nonconforming, be destroyed or damaged by any means to an extent not exceeding 85 percent of the assessed valuation of the structure as assessed for City Taxes, it may be reconstructed and any accompanying nonconforming use continued, provided that the reconstruction is commenced within twenty four (24) months of the date of such damage and completed within two years of said date. No additional review of the reconstruction shall be required beyond that necessary to obtain a building permit and certificate of occupancy provided that the building is reconstructed in kind as determined by administrative review by the Commissioner of Housing and Buildings and the Director of Planning.

E. Permitted Uses. The following uses shall be permitted in the South Broadway District:

Permitted Uses

Municipal uses (City of Yonkers)

Apartment Houses (permitted in the Core, North and South sub-district areas.

Live/work units

Banks and financial uses

Commercial Schools

Department Stores

Eating and drinking establishments

Fast food restaurants

Food and beverage stores

Funeral Parlors or mortuaries

Health Clubs and gyms

Indoor markets

Medical Establishments

Offices

Pawnshops and Check Cashing Stores
Personal service establishments
Restaurants
Retail establishments
Retail craft uses
Telephone Switching Facilities
Theaters and Movie Theaters

Permitted uses (with supplemental requirements)
Automobile Rental Establishments
Automobile Sales Establishments
Offices of philanthropic institutions
Audio, radio, video and television stations and studios
Banquet and catering facilities
Cabarets and night clubs
Day Care Centers
Dry Cleaning establishments
Hotels
Senior Citizens Apartment Houses (permitted in Core, North and South sub-district areas)

Uses permitted subject to special use requirements.
Private Not-for Profit recreational uses:
Supermarket

Accessory Uses

Permitted Uses

None

Permitted uses (with supplemental requirements)
Automatic Teller Machines
Amusement games and devices
Awnings
Bars or Lounge areas serving liquor or brew pubs
Christmas tree sales
Fences and Walls
Home Occupations
Laboratories
Live entertainment
Loading berths or spaces
Newspaper vending machines
Outdoor dining areas
Outdoor storage
Refuse collection, storage and recycling
Retail uses in conjunction with offices
Signs

Soda or candy vending machines
Private garage
Private open air parking
Semi-public open air parking
Semi-public parking structure
Shared parked

Uses permitted subject to special use requirements
Satellite antennas
Fee in lieu of parking

F. Off Street Parking and Loading. The following parking regulations, in addition to parking regulations found elsewhere in Chapter 43, will be applied in this district:

- (1) The provisions of Section 43-127 and Section 43-131(A) shall not apply to buildings, structures or uses in existence at the time of the passage of this Chapter, whether continued as permitted uses or as a nonconforming use, or thereafter converted or changed to a different lawful use.
- (2) The approving agency shall not permit any reduction or elimination of whatever quantity of parking or loading space that may already exist, except to the extent that it may exceed such requirement.

G. Previously Approved Projects. Buildings, structures or uses approved under the zoning regulations in existence at the time of the adoption of this amendment shall be permitted to be started for a period of two (2) years after the approval of this amendment and must be completed within a period not to exceed five (5) years from the adoption date of this amendment."

Section 2. General Ordinance No. 24-1968 as readopted, confirmed, reenacted and reaffirmed by General Ordinance No. 39-1970, commonly known as the Zoning Ordinance of the City of Yonkers and the zoning map, is hereby amended by adding the South Broadway (SBD) District as shown on the annexed map.

Section 3. This ordinance shall take effect immediately.

PLANNING BOARD RESOLUTION

RESOLUTION OF THE YONKERS PLANNING BOARD APPROVING THE SOUTH BROADWAY ZONING STUDY AND FORWARDING THE PLAN TO THE YONKERS CITY COUNCIL FOR ITS USE AND ADOPTION.

WHEREAS, the Yonkers Department of Planning and Development has caused to be prepared a draft master plan for the South Broadway Area and

WHEREAS, The Yonkers Department of Planning and Development forwarded the South Broadway Zoning Study to the Yonkers City Council and the City Council then forwarded it to the Yonkers Planning Board for its review and recommendation to the Yonkers City Council as required under General City Law §28-a; and

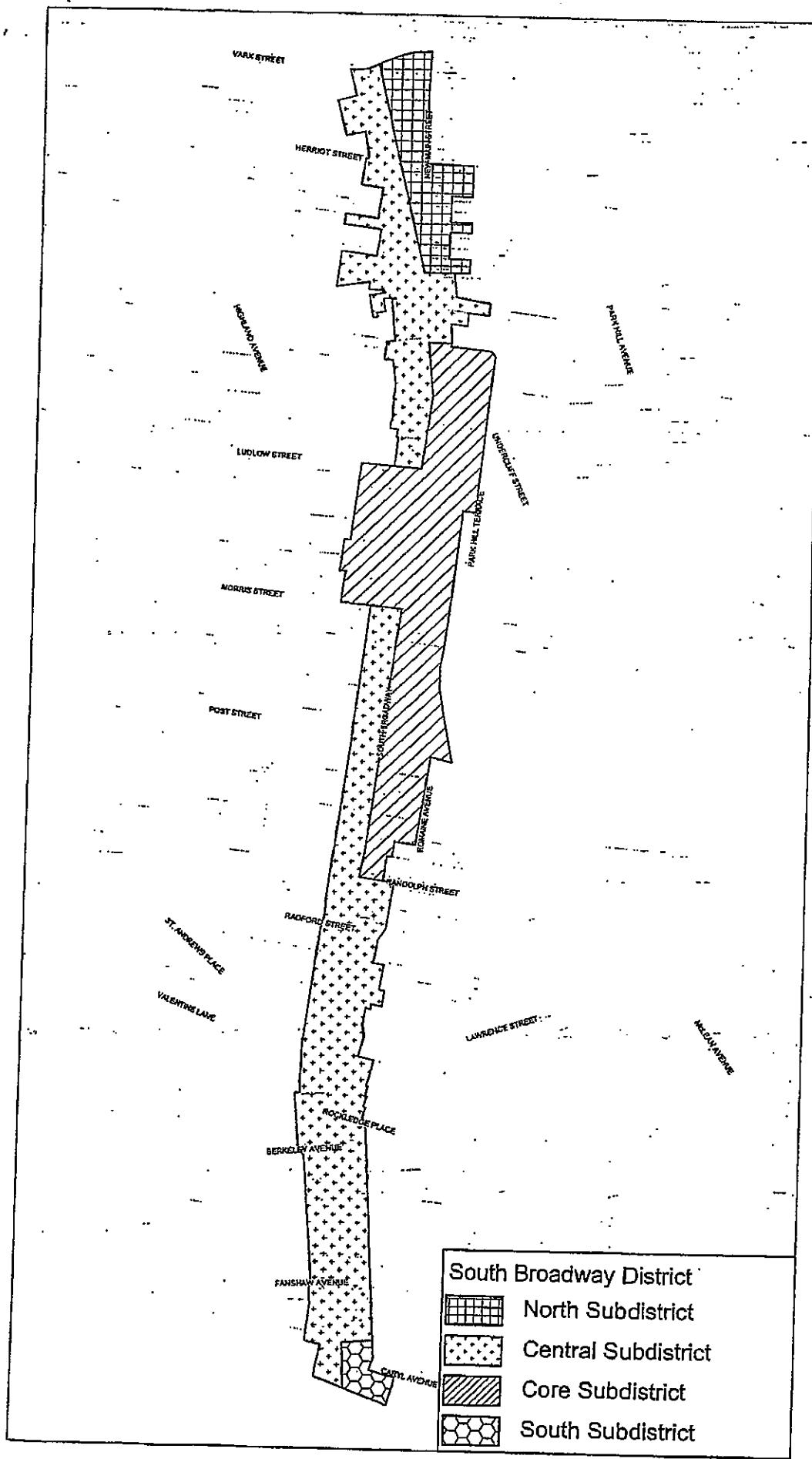
WHEREAS, the Yonkers Planning Board has reviewed the South Broadway Zoning Study, has toured the plan area and reviewed the proposed actions of the plan and finds that the Zoning Study proposes an orderly and desirable rezoning scheme for the continued development of the South Broadway corridor that takes into account the goals of the city's overall comprehensive plan, and

WHEREAS, the board desires to see the South Broadway Zoning Study and South Broadway zoning adopted in the compliance with the accepted and proper protocols as required under various New York State laws and regulations,

Now therefore, be it resolved

The Yonkers Planning Board, pursuant to Section 28-a of the General City Law of New York State, gives its favorable recommendation regarding the approval of the South Broadway Zoning Study to the City of Yonkers City Council and recommends the adoption without amendment of the Zoning Study and its accompanying zoning.

Motion by: *Greg*
Seconded by: *Ariva*
Approved by a vote of: *6-0* (*(Walt)* (vast))
Meeting of September 15, 2010



RESOLUTION NO. - 2011

RESOLUTION OF THE YONKERS CITY COUNCIL AUTHORIZING THE ISSUANCE OF A DETERMINATION OF SIGNIFICANCE PURSUANT TO THE STATE ENVIRONMENTAL QUALITY REVIEW ACT ("SEQRA") RELATING TO THE AMENDMENT OF THE ZONING CODE OF THE CITY OF YONKERS IN REGARD TO THE SOUTH BROADWAY DISTRICT.

BY:

WHEREAS, there is pending before the Yonkers City Council an ordinance for the amendment of the Zoning Code of the City of Yonkers, specifically the addition of a new § 43-47 entitled "South Broadway District"; and

WHEREAS, the City Council has determined that the proposed amendment of the Zoning Code is an Unlisted Action under the State Environmental Quality Review Act ("SEQRA") requiring the City Council to comply with the regulations promulgated pursuant to SEQRA; and

WHEREAS, an Environmental Assessment Form has been prepared to assist the City Council in complying with its responsibilities under SEQRA; and

WHEREAS, the City Council has carefully considered the proposed action and has reviewed the Environmental Assessment Form and the criteria set forth in Section 617.7 of 6 NYCRR Part 617 of the SEQRA regulations and has identified and carefully considered the relevant areas of environmental concern as are fully set forth in said Environmental Assessment Form to determine if the proposed action will have a significant impact upon the environment.

NOW THEREFORE, BE IT RESOLVED, by the Yonkers City Council that based upon it's review of the Environmental Assessment Form and for the reasons set forth in said Environmental Assessment Form, it is determined that there will be no adverse impact on the environment from the proposed amendment of the Zoning Code of the City of Yonkers regarding the South Broadway District; and,

BE IT FURTHER RESOLVED, that the City Council President is authorized and directed to sign the Determination of Significance on the Environmental Assessment Form, on behalf of the City Council pursuant to Article 8 of the Environmental Conservation Law, indicating that the proposed action will not result in any significant adverse environmental impacts and to immediately transmit same to be filed and made available pursuant to the requirements of 6 NYCRR Part 617; and,

BE IT FURTHER RESOLVED, that this Resolution shall take effect immediately.