

# FOR LEASE | 2,726 SF RETAIL W/DRIVE-THROUGH

69055 NORTH MAIN STREET



## 69055 NORTH MAIN STREET

RICHMOND, MI 48062

Available SF/Total Building Size:	2,726 SF
Lease Rate:	\$15.00 SF/yr (NNN)
Taxes:	\$12,236.15/yr
Insurance:	\$2,620.56/yr
Lot Size:	1.03 Acres
Year Built:	1980
Zoning:	B-2
Parking Spaces:	33

### PROPERTY HIGHLIGHTS:

- Prominent downtown Richmond location
- Attractive Main Street exposure
- Ideal for free-standing retail or bank location with drive-through
- Abundant parking
- Highly visible signage
- Excellent condition

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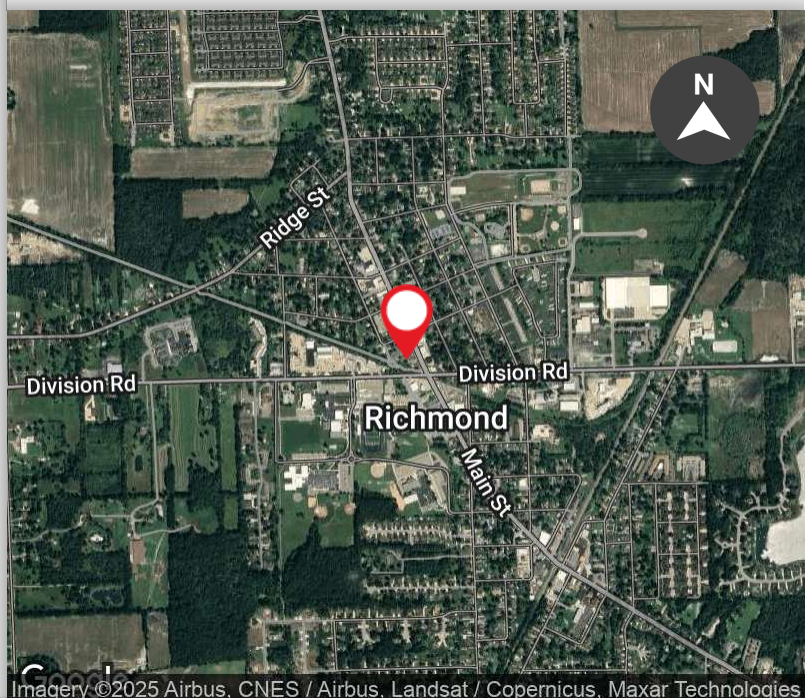
FOR MORE INFORMATION PLEASE CONTACT:



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## 69055 NORTH MAIN STREET

# PROPERTY **INFORMATION**

### HIGHLIGHTS

Total Building SF:	2,726 SF
County:	Macomb
Cross Streets:	Main St & Division Rd

### SITE

Land (acres):	1.03 AC
Parcel Number:	07-03-35-485-009
Year Built:	1980
Zoning:	B-2

### GENERAL

Parking Spaces:	33
Parking Type:	Surface

### AVAILABILITY AND PRICING

Availability and pricing	2,726 SF
Lease Rate:	\$15.00/SF* (NNN)
Taxes:	\$12,236.15/yr
Insurance:	\$2,620.56/yr

\*Rent is quoted on a triple-net (NNN) basis excluding building taxes, building insurance, and common area maintenance expenses. NNN charges are estimated to be approximately \$6.45/SF (includes \$1.00/SF estimate for CAM) per year. Rental rate is subject to a 3% annual increase. Quoted rent is for "as is" space, subject to length of lease, leasehold improvements, etc. Gas and electric are separately metered and are the responsibility of the tenant.

FOR MORE INFORMATION **PLEASE CONTACT:**



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**69055 NORTH MAIN STREET**  
**PROPERTY PHOTOS**



**69055 NORTH MAIN STREET**  
**ADDITIONAL PHOTOS**

