

FOR LEASE | 2,726 SF RETAIL W/DRIVE-THROUGH

69055 NORTH MAIN STREET



69055 NORTH MAIN STREET

RICHMOND, MI 48062

Available SF/Total Building Size:	2,726 SF
Lease Rate:	\$15.00 SF/yr (NNN)
Taxes:	\$12,236.15/yr
Insurance:	\$2,620.56/yr
Lot Size:	1.03 Acres
Year Built:	1980
Zoning:	B-2
Parking Spaces:	33

PROPERTY HIGHLIGHTS:

- Prominent downtown Richmond location
- Attractive Main Street exposure
- Ideal for free-standing retail or bank location with drive-through
- Abundant parking
- Highly visible signage
- Excellent condition

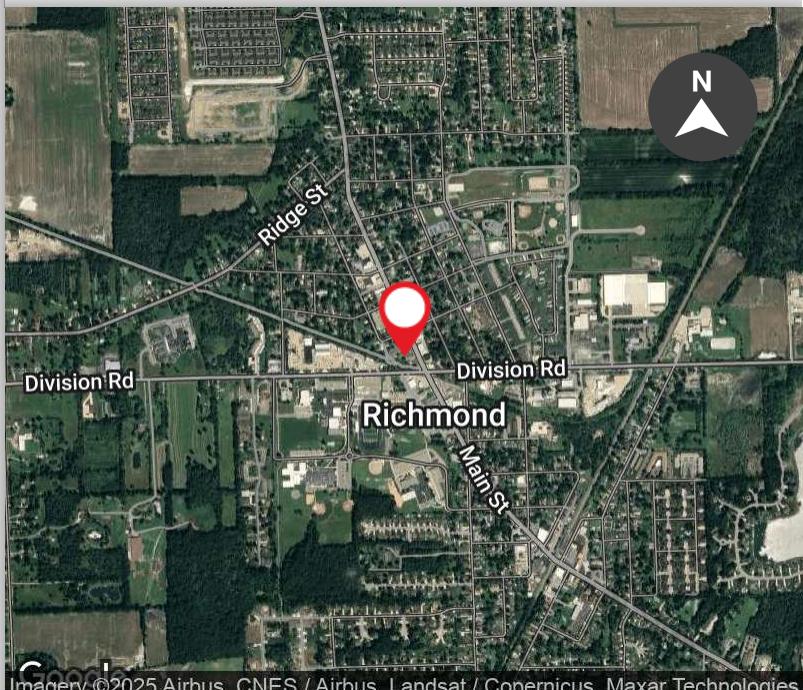
The information provided herein along with any attachment(s) was obtained from sources believed to be reliable, however, Friedman Real Estate makes no guarantees, warranties, or representations as to the completeness or accuracy of such information and legal counsel is advised. All information provided is subject to verification and no liability for reliance on such information or errors or omissions is assumed. The presentation of this property is submitted subject to errors, omissions, change of price or conditions, prior sale or lease, or withdrawal without notice. Copyright © 2025 Friedman Real Estate. All rights reserved.

FOR MORE INFORMATION **PLEASE CONTACT:**



GLENN N. DESROSIERS
Senior Vice President, Brokerage Services
glenn.desrosiers@freg.com

248.324.2000 **eCODE 116**



69055 NORTH MAIN STREET

PROPERTY INFORMATION

HIGHLIGHTS

Total Building SF:	2,726 SF
County:	Macomb
Cross Streets:	Main St & Division Rd

SITE

Land (acres):	1.03 AC
Parcel Number:	07-03-35-485-009
Year Built:	1980
Zoning:	B-2

GENERAL

Parking Spaces:	33
Parking Type:	Surface

AVAILABILITY AND PRICING

Availability and pricing	2,726 SF
Lease Rate:	\$15.00/SF* (NNN)
Taxes:	\$12,236.15/yr
Insurance:	\$2,620.56/yr

*Rent is quoted on a triple-net (NNN) basis excluding building taxes, building insurance, and common area maintenance expenses. NNN charges are estimated to be approximately \$6.45/SF (includes \$1.00/SF estimate for CAM) per year. Rental rate is subject to a 3% annual increase. Quoted rent is for "as is" space, subject to length of lease, leasehold improvements, etc. Gas and electric are separately metered and are the responsibility of the tenant.

FOR MORE INFORMATION **PLEASE CONTACT:**



GLENN N. DESROSIERS
glenn.desrosiers@freg.com

69055 NORTH MAIN STREET PROPERTY **PHOTOS**



69055 NORTH MAIN STREET ADDITIONAL **PHOTOS**

