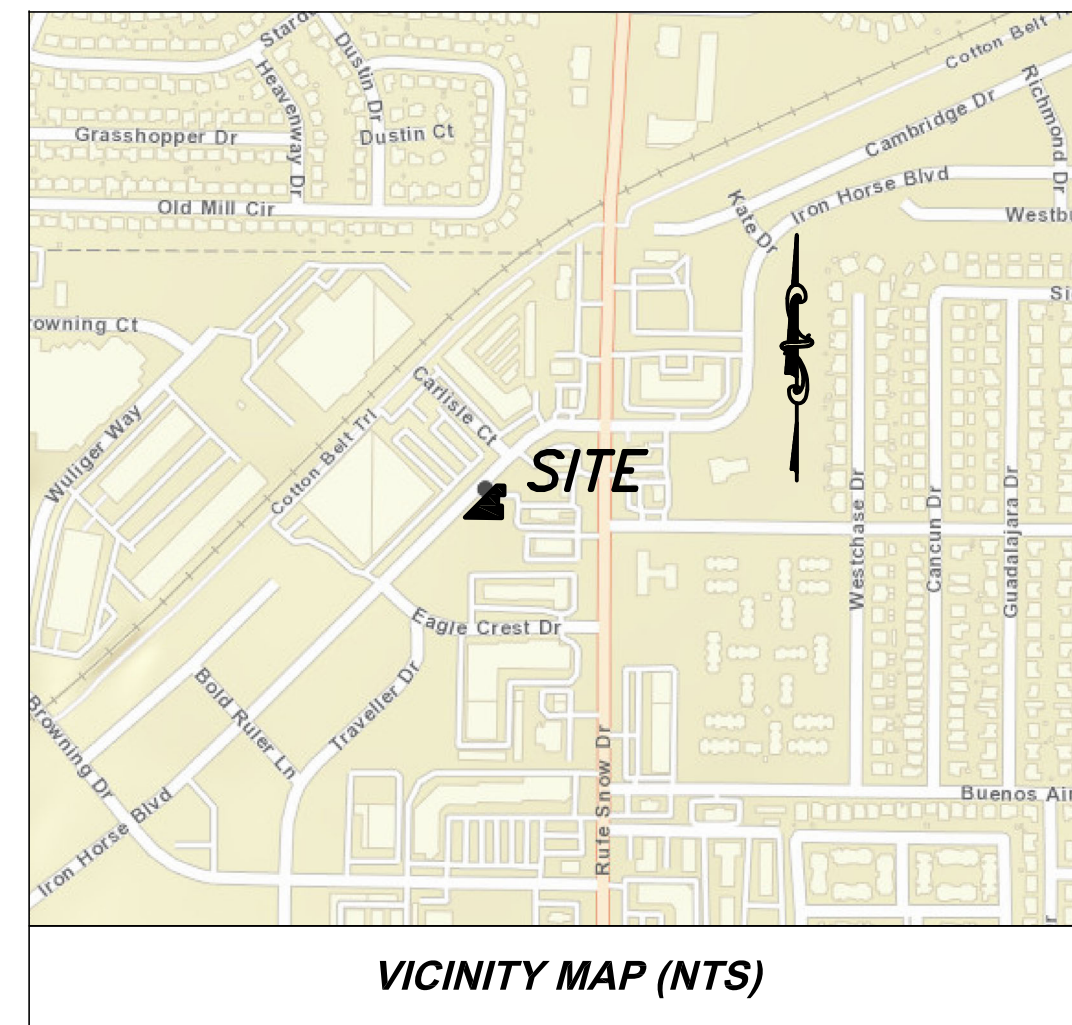


**SITE ENGINEERING PLANS FOR
FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180
LOT 1RA, BLOCK 7, INDUSTRIAL PARK ADDITION**

JANUARY, 2024

TSDE PROJECT NO. 202318



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NRH
REVIEWED BY: _____
DATE _____

LEGAL DESCRIPTION

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPED BY

JOHN LYNAUGH
PHONE: 214-986-6351
EMAIL: JLYNAUGH8382@GMAIL.COM

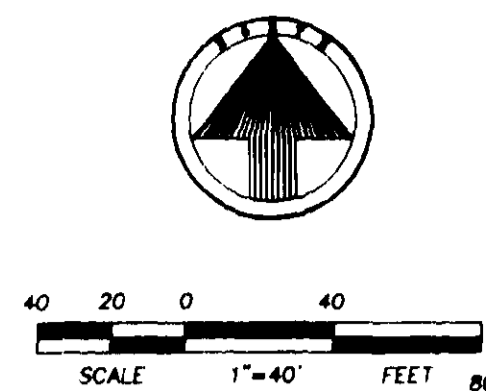
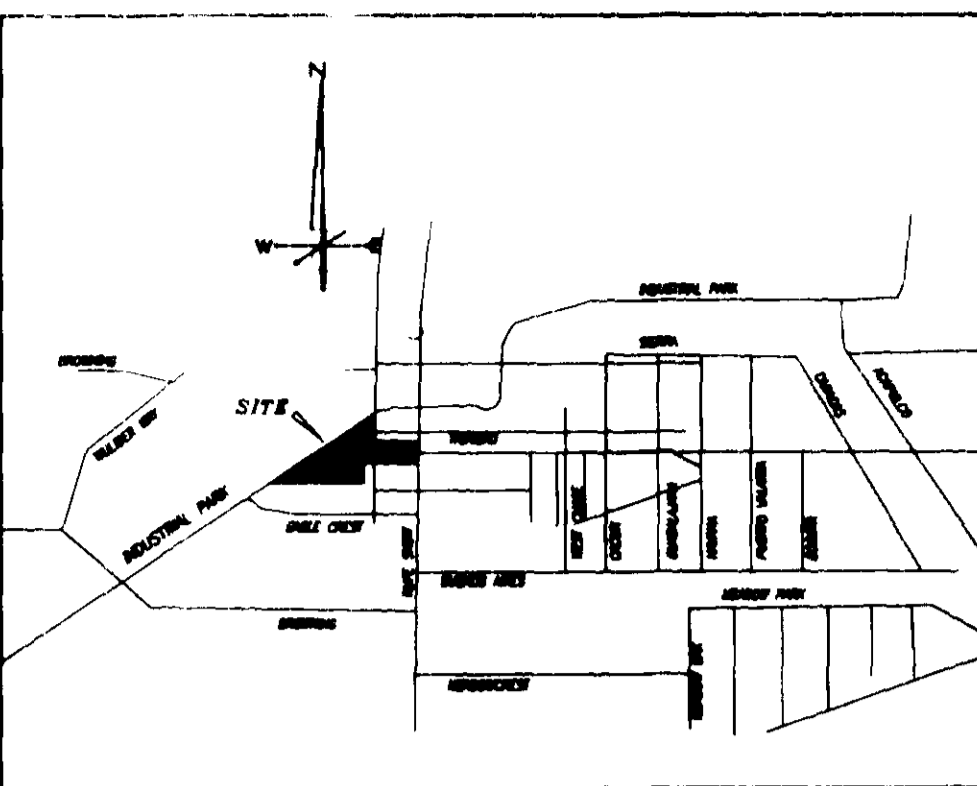


THOMAS SITE DEVELOPMENT
ENGINEERING INC.

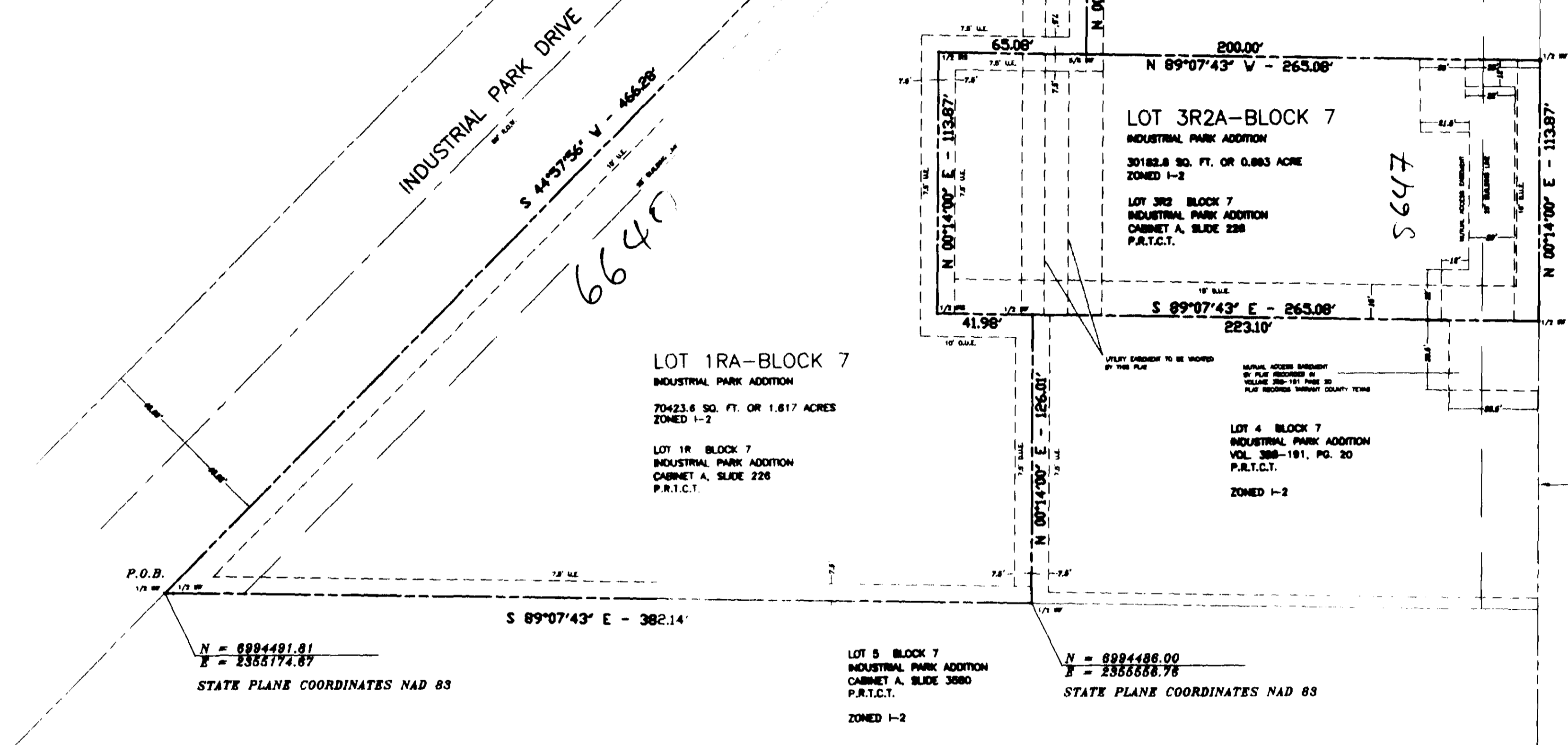
REGISTRATION NO. F-10289
P.O. BOX 1261, COLLEYVILLE, TX 76034
PHONE: (214) 680-2728; THOMAS-ENG.COM
EMAIL: MATHEW@THOMAS-ENG.COM

**FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180**

C-0.0



**LOCATION MAP
N.T.S.**



State of Texas
County of Tarrant

That I, Irving M. Groves III am the owner of the property shown hereon and described as follows and being LOTS 1R & 3-R-2A of BLOCK 7, Industrial Park Addition:

BEGINNING at a 1/2" iron rod found in the southeasterly right-of-way line of Industrial Park Blvd., an 80.0 foot wide public street; said from rod being the southwest corner of LOT 1R-1, BLOCK 7, Industrial Park Addition to the city of North Richland Hills, Texas, as filed in Cabinet A, Slide 226 in the Plat Records of Tarrant County, Texas; said iron rod having State Plane Coordinates of N 8994491.81 and E 2355174.67;

THENCE South 89 degrees 07 minutes 43 seconds East along the south line of LOT 1R a distance of 382.14 feet to a 1/2" iron rod found;

THENCE North 00 degrees 14 minutes 00 seconds East along the west line of LOT 4 a distance of 126.01 feet to a 1/2" iron rod found;

THENCE South 89 degrees 07 minutes 43 seconds East along the north line of LOT 4 a distance of 223.10 feet to a 1/2" iron rod found in the west right-of-way line of Rufe Snow Drive;

THENCE North 00 degrees 14 minutes 00 seconds East with the west right-of-way of Rufe Snow Drive a distance of 113.87 feet to a 1/2" iron rod found;

THENCE North 89 degrees 07 minutes 43 seconds West a distance of 200.00 feet to a 5/8" iron rod found;

THENCE North 00 degrees 14 minutes 00 seconds East a distance of 95.02 feet to a 5/8" iron rod found;

THENCE North 89 degrees 07 minutes 43 seconds West a distance of 77.05 feet to a 1/2" iron rod found in the southeasterly right-of-way line of Industrial Park Blvd.;

THENCE South 44 degrees 57 minutes 56 seconds West along said right-of-way line a distance of 468.26 feet to the POINT OF BEGINNING and containing 2.31 acres of land more or less.

KNOW ALL MEN BY THESE PRESENTS:

That, I Irving M. Groves, III do hereby certify that I am the legal owner of the above described tract of land and so hereby convey to the public for public use; the streets, alleys, rights-of-way, and any other public areas shown on this plat.

The easements indicated on this plat are for the purpose of constructing, using, and maintaining underground conduits, manholes, pipes, valves, posts, above ground cables, wires or combinations thereof together with the right of ingress and egress.

I, Irving M. Groves, III, do hereby adopt this Plat of Lots 1R and 3R2A, of Block 7, Industrial Park Addition, an addition to the City of North Richland Hills, Tarrant County, Texas.

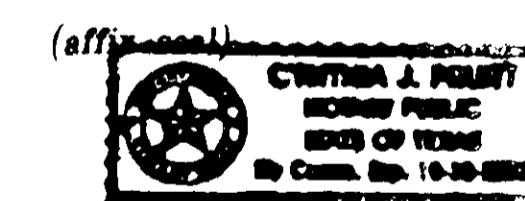
Irving M. Groves III
Irving M. Groves III, Owner

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned Notary Public in and for said county and state on this day personally appeared Irving M. Groves III, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this 31st day of Oct, 2000.

Notary Public in and for Tarrant County



Cynthia J. Pickett
Printed Name *10/30/2000*
Commission Expires

**CORRECTED
FINAL PLAT
OF
LOTS 1R & 3R2A, BLOCK 7
INDUSTRIAL PARK ADDITION**

BEING A REPLAT OF LOTS 1R & 3R2, BLOCK 7 INDUSTRIAL PARK ADDITION
AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

2.31 ACRES OF LAND
OUT OF THE
EDMUND M.D. KING SURVEY, ABSTRACT #982, TARRANT COUNTY, TEXAS

THIS PLAT IS FILED IN CABINET A SLIDE 6241 DATED 11/3/00

- NOTES:**
- 1) THE BEARINGS SHOWN HEREON ARE BASED UPON THE RECORDED BEARING OF S 00° 14' 00" W ALONG THE WEST R.O.W. OF RUFÉ SNOW DRIVE (VOLUME 388-191, PAGE 20, DEED RECORDS OF TARRANT COUNTY, TEXAS).
 - 2) THE STATE PLANE COORDINATES AND BEARING SHOWN HEREON WERE DERIVED FROM A SURVEY USING CITY OF NORTH RICHLAND HILLS GPS CONTROL POINTS G.P.S. 03 AND G.P.S. 18.

Whereas the Planning and Zoning Commission of the City of North Richland Hills, Texas voted affirmatively on this 28th day of September, 2000 to recommend approval of this Plat by the City Council.

Don C. [Signature]
Chairman, Planning and Zoning Commission

Ted Nelson
Attest: Secretary, Planning and Zoning Commission

Whereas the City Council of the City of North Richland Hills, Texas voted affirmatively on this 28th day of September, 2000 to approve this Plat for filing of record.

[Signature]
Mayor, City of North Richland Hills

[Signature]
Attest: City Secretary

Owner
Irving M. Groves, III
750 N. St. Paul Street
Dallas, Texas 75201
(214) 720-1883

Engineer
Warren E. Hagan, Inc.
500 Grapevine Hwy, Suite 472
Hurst, Texas 76054
(817) 577-1952

Applicant
Shemwell-Carter Resturants
1705 Northwest Hwy, Suite 225
Grapevine, Texas 76051
(817) 329-2422

Surveyor
Stembridge & Associates
6528 Sherri Lane
North Richland Hills, Texas 76180
(817) 428-7123

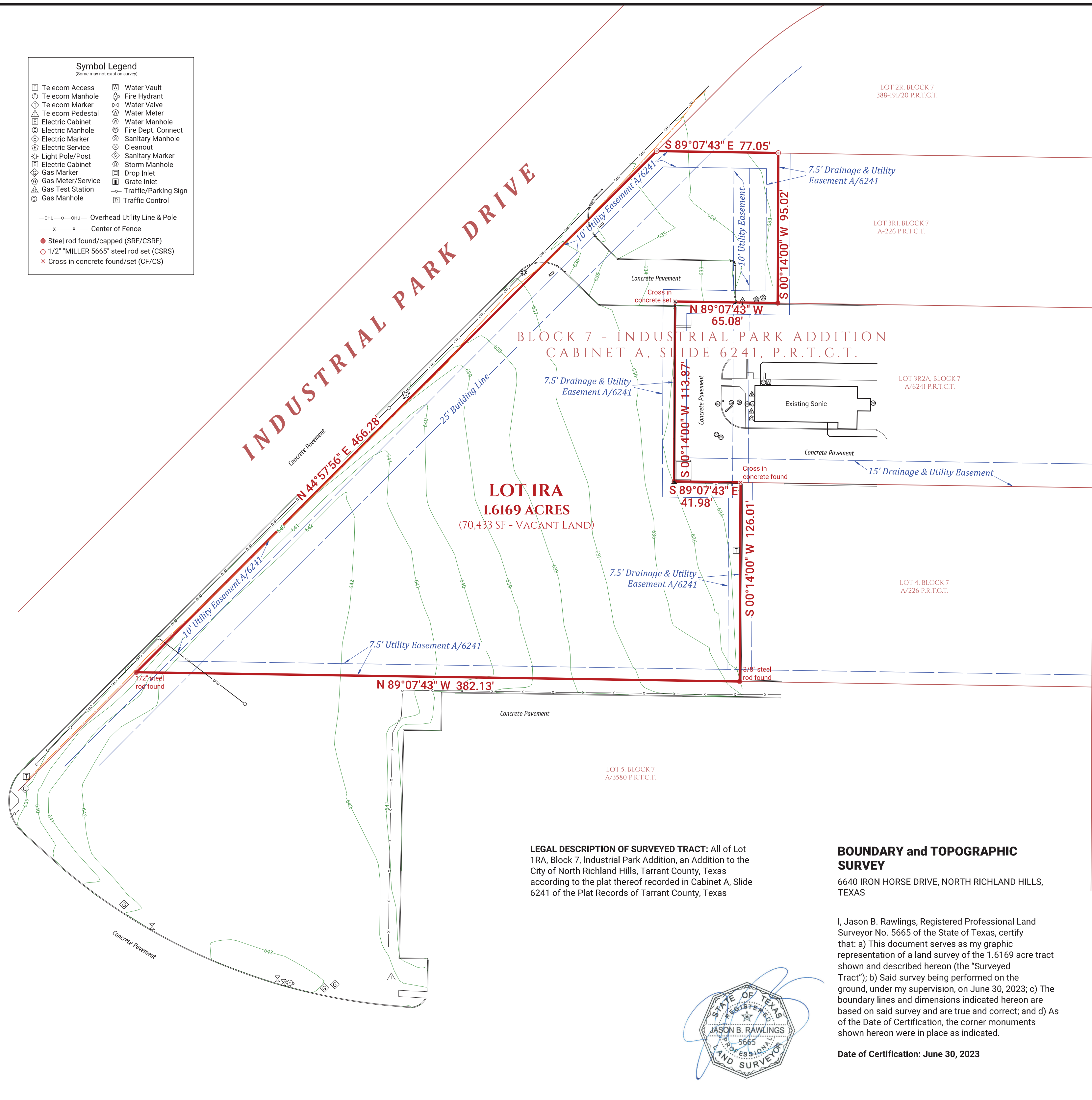
Delbert R. Stembridge, a Registered Professional Land Surveyor of the State of Texas do hereby certify that I have plotted the above subdivision from an actual survey on the ground and that the bearings, angle points, and points of curve are properly marked on the ground, and that this plat accurately represents that survey made under my supervision.

Delbert R. Stembridge
Delbert R. Stembridge, R.P.L.S. 2288



FILED
TARRANT COUNTY TEXAS
NOV - 3 A 110
COUNTY CLERK

Symbol Legend (Some may not exist on survey)			
⊠	Telecom Access	⊠	Water Vault
⊙	Telecom Manhole	⊙	Fire Hydrant
⊙	Telecom Marker	⊙	Water Valve
⊠	Telecom Pedestal	⊙	Water Meter
⊠	Electric Cabinet	⊙	Water Manhole
⊙	Electric Manhole	⊙	Fire Dept. Connect
⊙	Electric Marker	⊙	Sanitary Manhole
⊙	Electric Service	⊙	Cleanout
⊙	Light Pole/Post	⊙	Sanitary Marker
⊙	Electric Cabinet	⊙	Storm Manhole
⊙	Gas Marker	⊙	Drop Inlet
⊙	Gas Meter/Service	⊙	Grate Inlet
⊙	Gas Test Station	⊙	Traffic/Parking Sign
⊙	Gas Manhole	⊙	Traffic Control
—○—	Overhead Utility Line & Pole		
—x—	Center of Fence		
●	Steel rod found/capped (SRF/CSRF)		
○	1/2" MILLER 5665 steel rod set (CSRS)		
⊗	Cross in concrete found/set (CF/CS)		

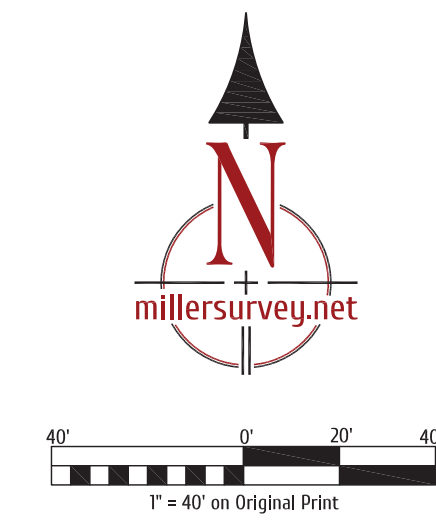


LEGAL DESCRIPTION OF SURVEYED TRACT: All of Lot 1RA, Block 7, Industrial Park Addition, an Addition to the City of North Richland Hills, Tarrant County, Texas according to the plat thereof recorded in Cabinet A, Slide 6241 of the Plat Records of Tarrant County, Texas

BOUNDARY and TOPOGRAPHIC SURVEY
6640 IRON HORSE DRIVE, NORTH RICHLAND HILLS, TEXAS

I, Jason B. Rawlings, Registered Professional Land Surveyor No. 5665 of the State of Texas, certify that: a) This document serves as my graphic representation of a land survey of the 1.6169 acre tract shown and described herein (the "Surveyed Tract"); b) Said survey being performed on the ground, under my supervision, on June 30, 2023; c) The boundary lines and dimensions indicated herein are based on said survey and are true and correct; and d) As of the Date of Certification, the corner monuments shown herein were in place as indicated.

Date of Certification: June 30, 2023



R U F E S N O W D R I V E



Job No. 23036 • Plot File 23036

FOR REFERENCE ONLY

NRH

CITY OF NORTH RICHLAND HILLS
GENERAL NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF NORTH RICHLAND HILLS' STANDARDS AND SPECIFICATIONS. WHEN SILENT, THE CURRENT "PUBLIC WORKS CONSTRUCTION STANDARDS" ADOPTED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) SHALL GOVERN.
- UTILITY CONTRACTOR AND STREET CONTRACTOR ARE TO NOTIFY A CITY TECHNICAL CONSTRUCTION INSPECTOR AT (817) 427-6440, AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION BARRICADING TO BE IN ACCORDANCE WITH CURRENT "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" GUIDELINES.
- DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR COORDINATING PERMISSION FROM TxDOT FOR ANY WORK IN STATE ROW.
- ALL MANHOLE LIDS SHALL BE PAINTED BLACK.
- PRIOR TO FINAL ACCEPTANCE OF A DEVELOPMENT, THE CITY MAY REQUIRE A FIELD SURVEY PROVIDED BY A REGISTERED PROFESSIONAL SURVEYOR TO VERIFY THAT THE AS-BUILT COORDINATES MATCH THE APPROVED DESIGN.

WATER:

- ALL WATER MAINS SHALL BE PVC AWWA-C900, DR18, CLASS 150.
- GATE VALVES SHALL CONFORM TO ANSI/AWWA C509-87J.
- CITY ORDINANCE PROHIBITS ANYONE (OTHER THAN CITY EMPLOYEES) FROM OPENING OR CLOSING A WATER VALVE WHICH IS PART OF THE ACTIVE SYSTEM.
- ALL FITTINGS SHALL BE RESTRAINED WITH ANCHORING COUPLINGS OR RESTRAINING HARNESSSES.
- ALL FITTINGS SHALL BE WRAPPED WITH 8 MIL POLYVINYL PLASTIC.
- WATER SERVICES SHALL NOT BE DIRECTLY CONNECTED TO WATER MAINS SIXTEEN (16") INCHES IN DIAMETER OR GREATER.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY WATER MAIN AND A STORM DRAIN FACILITY SHALL BE EQUAL TO 2.5 FEET OR HALF THE DEPTH OF THE WATER LINE, WHICHEVER IS GREATER.
- ROUTE WATER LINES AROUND STORM DRAIN INLETS WITH A MINIMUM OF 12" CLEARANCE OUT-TO-OUT.
- MINIMUM DEPTH OF COVER OVER ALL WATER MAINS SMALLER THAN TEN (10") INCHES IN DIAMETER SHALL BE THREE (3) FEET. MINIMUM DEPTH OF COVER FOR WATER MAINS TEN (10") INCHES AND LARGER SHALL BE THREE AND ONE-HALF (3.5) FEET.
- DETECTOR CHECK ASSEMBLY SHALL BE LOCATED IN AN UNDERGROUND VAULT WITHIN A WATER LINE EASEMENT. DETECTOR CHECK EQUIPMENT SHALL NOT BE LOCATED WITHIN BUILDINGS.
- A BILCO LID K-5 (3.5' x 3.5') OR APPROVED EQUAL IS REQUIRED ON DETECTOR CHECK VAULTS. A TRAFFIC-RATED LID (CERTIFIED AS TRAFFIC-RATED BY THE MANUFACTURER) IS REQUIRED WHEN VAULT IS LOCATED IN AN AREA SUBJECT TO VEHICULAR TRAFFIC.
- ALL PORTIONS (EXCLUDING CHAINS) OF FIRE HYDRANT ABOVE GRADE SHALL BE PAINTED WITH TNE-MC SERIES 024 HI-BUILD TNE-M-GLOSS. COLOR: CHILEAN RED.
- BLOW-OFF HYDRANTS ARE TO BE SURROUNDED WITH HIGH-VISIBILITY CONSTRUCTION FENCING FOR THE DURATION OF CONSTRUCTION ACTIVITY.

* GENERAL NOTES (1 OF 3) *



R 9-01-2015 FIGURE 1M-1

NRH

CITY OF NORTH RICHLAND HILLS
GENERAL NOTES

SANITARY SEWER:

- ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D-3034), UNLESS THE LINE IS DEEPER THAN 10 FEET, THEN SDR 26 PVC SHALL BE USED.
- ALL SANITARY SEWER LINES ARE TO HAVE ONE JOINT CENTERED BELOW WATER MAIN CROSSINGS.
- WHEN PLACING A NEW SANITARY SEWER MANHOLE OVER EXISTING VITREOUS CLAY PIPE, INSTALL NEW PVC PIPE ACROSS THE MANHOLE AT A LENGTH TO BE DETERMINED BY THE CITY REPRESENTATIVE.
- SEWER MAINS WHICH REQUIRE MORE THAN AN EIGHTEEN (18") INCH DIFFERENCE IN FLOW LINES MUST BE ACCOMMODATED WITH A FIVE (5') FOOT DIAMETER MANHOLE WITH AN INTERNAL DROP.
- ALL SANITARY SEWER MAINS SHALL END IN A MANHOLE. CLEANOUTS WILL NOT BE ALLOWED.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY SANITARY SEWER MAIN AND A STORM DRAIN FACILITY SHALL BE EQUAL TO 2.5 FEET OR HALF THE DEPTH OF THE SANITARY SEWER, WHICHEVER IS GREATER.
- THE MAXIMUM DEPTH FOR ALL SEWER SERVICE SHALL BE 10 FEET.
- INDIVIDUAL 4" SANITARY SEWER SERVICES WILL NOT BE PERMITTED IN MANHOLES WITHOUT THE EXPRESS PERMISSION OF THE PUBLIC WORKS DEPARTMENT.
- A MANHOLE MUST BE PROVIDED AT THE MAIN FOR ALL 6" AND LARGER SANITARY SEWER SERVICES.
- SERVICES WHICH ARE CONNECTED TO MANHOLES SHALL BE INSTALLED A MINIMUM OF 8 INCHES ABOVE THE MAIN FLOWLINE.

DRAINAGE:

- ALL STORM DRAINAGE PIPE SHALL BE ASTM C-76, CLASS III REINFORCED CONCRETE, UNLESS NOTED OTHERWISE.
- ROCK RIP RAP RUBBLE SHALL USE 12" (MINIMUM) ROCKS AND BE GROUTED SO THAT 6" OF THE ROCKS ARE EXPOSED.
- NO PRECAST INLETS ARE PERMITTED FOR PUBLIC DRAINAGE SYSTEMS.

STREETSCAPE:

- ALL STREET FEATURES (TRAFFIC SIGNALS, POLES, STREET LIGHTS, STREET SIGNS, ETC.) MUST BE DESIGNED IN ACCORDANCE WITH CURRENT ADOPTED STANDARDS. CONTRACTOR SHALL CONTACT THE PUBLIC WORKS DEPARTMENT AT (817)-427-6400 FOR A CURRENT LIST OF APPROVED STREETSCAPE MATERIALS.

PAVING:

- ALL PAVEMENT FOR PUBLIC STREETS MUST BE CONSTRUCTED USING A PAVING MACHINE.
- "CURB RAMPS" ARE TO BE CONSTRUCTED ON ALL PERMANENT CURB RETURNS AT INTERSECTIONS OF ALL STREETS OR AS DIRECTED BY THE PUBLIC WORKS DEPARTMENT.

* GENERAL NOTES (2 OF 3) *



R 7-01-2009 FIGURE 1M-2

NRH

CITY OF NORTH RICHLAND HILLS
GENERAL NOTES

PAVING (CONTINUED):

- ALL CONCRETE SHALL BE CLASS "C" CONCRETE AND SHALL HAVE 4.5 LB/IN OF CEMENT/SY, MAXIMUM SLUMP OF 5 INCHES, AND A 3600 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS SPECIFIED OTHERWISE. CONCRETE SHALL BE PLACED WHEN TEMPERATURE IS 35F AND RISING, IF THE TEMPERATURE IS 40F AND FALLING THEN PLACEMENT SHALL BE STOPPED. NO FLYASH SHALL BE ALLOWED IN THE CONCRETE MIX.
- OPEN CUTTING PAVEMENT TO INSTALL NEW UTILITIES IS NOT ALLOWED. THE CONTRACTOR MUST BORE THE UTILITY UNDER THE EXISTING STREET AND USE 3/8-INCH STEEL ENCASUREMENT PIPE THAT IS AT A MINIMUM CLASS 51 STEEL. SPACERS SHALL BE USED TO CENTER THE UTILITY PIPE IN THE ENCASUREMENT PIPE AND THE ENCASUREMENT PIPE SHALL BE GROUTED AT THE ENDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING TEMPORARY STREET PATCHES INSTALLED ON PUBLIC STREETS WITH PERMANENT REPAIRS WITHIN 21 CALENDAR DAYS OF OPEN CUTTING THE STREET, OR AS DIRECTED BY THE ASSISTANT PUBLIC WORKS DIRECTOR.
- TRAFFIC LANE MARKINGS SHALL BE INSTALLED WITH APPROVED RAISED MARKINGS (TRAFFIC BUTTONS TYPE 1C, 1A, ETC.) UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DEPARTMENT. ALL PAVEMENT MARKINGS "LEGENDS" SHALL BE INSTALLED WITH APPROVED THERMOPLASTIC MARKINGS.

GRADING/EARTHWORK/EROSION CONTROL:

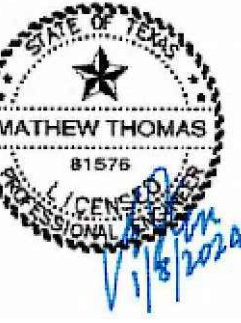
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS OUTSIDE THE CONSTRUCTION BOUNDARY, ARE TO BE SEEDED, HYDROMULCHED, OR SODDED TO RE-ESTABLISH VEGETATION (AT LEAST 70%) PRIOR TO FINAL ACCEPTANCE. A CUMULATIVE APPROACH WHERE A PORTION OF THE DISTURBED AREA IS 100% VEGETATED AND OTHER AREAS ARE LEFT BARE IS NOT ACCEPTABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF A MAXIMUM NUMBER OF PASSING FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 100 LINEAR FEET OF STREET AND ALL FALING DENSITY TESTS AND REQUIRED MOISTURE-DENSITY CURVES.
- ALL FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM-698).
- STOCKPILING OF EXCESS FILLS WILL NOT BE ALLOWED WITHIN CITY LIMITS WITHOUT OBTAINING A FILL/EXCAVATION PERMIT.
- PARKWAY GRADING SHALL NOT RESULT IN SLOPES GREATER THAN 4' HORIZONTAL TO 1' VERTICAL (4:1).
- ALL PARKWAY GRADING SHALL BE COMPLETE IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE CITY ACCEPTING THE PROJECT.
- A ROW OF CURLEX MATTING (OR APPROVED EQUAL) OR SOLID SOD SHALL BE PLACED BEHIND THE BACK CURB IN PARKWAYS.
- SLOPES CREATED BY EXCAVATION OR FILL SHALL NOT EXCEED 3' HORIZONTAL TO 1' VERTICAL (3:1) FOR A PERIOD MORE THAN 120 DAYS. IF LONGER THAN 120 DAYS THE SLOPE SHALL NOT EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1).
- ALL STATE AND LOCAL REQUIREMENTS MUST BE MET PERMITTING TO STORM WATER POLLUTION PREVENTION PLANS (SWPPP).

* GENERAL NOTES (3 OF 3) *



R 07-01-2009 FIGURE 1M-3

THOMAS SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. E-10289
P.O. BOX 1261, COLLEYVILLE, TX 76034
PH: (214) 680-2728
EMAIL: MATHEW@THOMAS-ENG.COM



FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

GENERAL NOTES

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER
JOHN LYNAUGH
PHONE: 214-886-6351
EMAIL: JLYNAUGH8382@GMAIL.COM

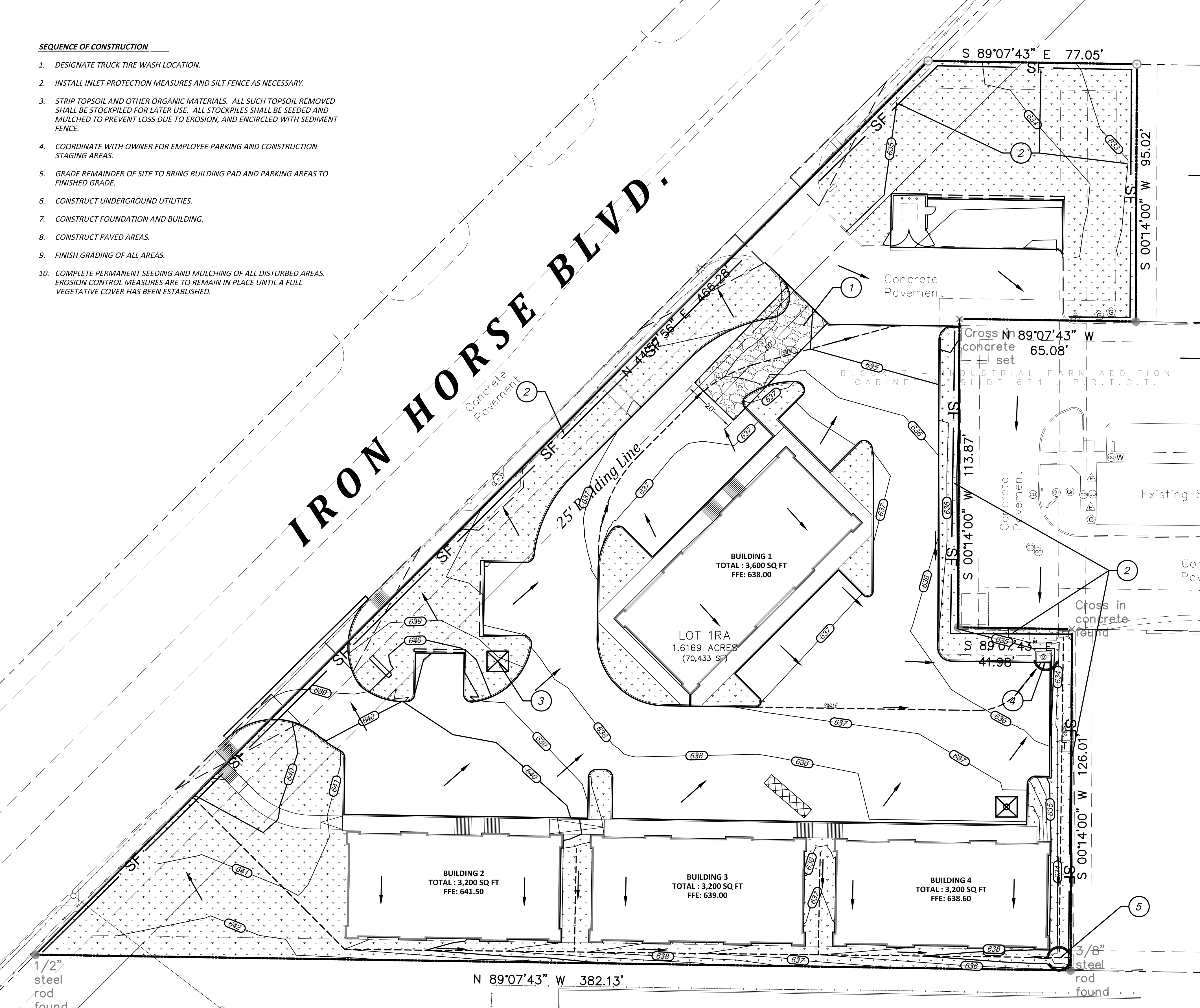
ENGINEER
THOMAS SITE DEVELOPMENT ENGINEERING INC.
P.O. BOX 1261, COLLEYVILLE, TX 76034
ATTN: MATHEW THOMAS, PE
PH: (214) 680-2728 EMAIL: MATHEW@THOMAS-ENG.COM

C-0.3

S:\SERIES\WORK\CONTRACTS\C-03 WORK FOLDER\202318 FLEX SPACE NRH DESIGN SHEETS\C-03 GENERAL NOTES - FLEX SPACE INCLUDING 1/10/2024 8:07:57 AM

SEQUENCE OF CONSTRUCTION

- DESIGNATE TRUCK TIRE WASH LOCATION.
- INSTALL INLET PROTECTION MEASURES AND SILT FENCE AS NECESSARY.
- STRIP TOPSOIL AND OTHER ORGANIC MATERIALS. ALL SUCH TOPSOIL REMOVED SHALL BE STOCKPILED FOR LATER USE. ALL STOCKPILES SHALL BE SEEDED AND MULCHED TO PREVENT LOSS DUE TO EROSION, AND ENCLOSED WITH SEDIMENT FENCE.
- COORDINATE WITH OWNER FOR EMPLOYEE PARKING AND CONSTRUCTION STAGING AREAS.
- GRADE REMAINDER OF SITE TO BRING BUILDING PAD AND PARKING AREAS TO FINISHED GRADE.
- CONSTRUCT UNDERGROUND UTILITIES.
- CONSTRUCT FOUNDATION AND BUILDING.
- CONSTRUCT PAVED AREAS.
- FINISH GRADING OF ALL AREAS.
- COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISTURBED AREAS. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED.



TO PREVENT SITE CONTAMINATIONS FROM WASHING DOWNSTREAM, THE FOLLOWING BMPs WILL BE IMPLEMENTED:

- SILT FENCING AND STRAW BALE BARRIERS WILL BE PLACED ALONG THE PERIMETER OF THE AREA TO BE CLEARED AND GRADED BEFORE ANY CLEARING OR GRADING TAKES PLACE. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENT.
 - THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED AS REQUIRED TO REMOVE EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE.
 - ALL VEHICLES ON SITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
 - PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
 - SPILL KITS WILL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES AS APPLICABLE.
 - DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN OR OTHER SUITABLE COVERING MATERIAL TO PREVENT MATERIAL FROM BEING DISPERSED ALONG THE HAUL ROUTE.
 - ALL RUTS CAUSED BY EQUIPMENT WILL BE GRADED.
 - WITHIN FOURTEEN (14) DAYS AFTER CLEARING AND GRADING, APPLY GROUND AGRICULTURAL LIMESTONE AND 10-10-10 FERTILIZER OR INSTALL SOD AS REQUIRED BY THE LANDSCAPING PLAN ON ALL AREAS NOT TO BE IMPACTED BY CONSTRUCTION.
 - FERTILIZERS TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.
 - FERTILIZERS TO BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER.
 - FERTILIZERS TO BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.
 - AFTER FERTILIZING, ALL AREAS WHICH WILL NOT BE IMPACTED BY CONSTRUCTION OF THE BUILDING WILL BE SEEDDED (IF SOD IS NOT THE STABILIZATION METHOD).
 - IF WATERING RESTRICTIONS ARE IN EFFECT, SEEDING OR SODDING MAY NOT BE AN OPTION. IN THIS CASE OTHER METHODS OF TEMPORARY STABILIZATION MAY BE NEEDED. CONTACT THE CITY OF NORTH RICHLAND HILLS FOR DIRECTION TO DEAL WITH THIS SITUATION.
 - TOP SOIL STOCK PILES WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN FOURTEEN DAYS FROM THE LAST CONSTRUCTION ACTIVITIES IN THAT AREA. THE TEMPORARY SEED SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. IF WATERING RESTRICTIONS ARE IN EFFECT, OTHER METHODS OF STABILIZATION ARE TO BE USED.
 - A COVERED DUMPSTER WILL BE USED FOR ALL WASTE MATERIALS RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY LOCATED OR LICENSED TO DO BUSINESS IN THE CITY OF NORTH RICHLAND HILLS TEXAS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED WHEN FULL AND AS FREQUENTLY AS REQUIRED TO PREVENT TRASH OVERFLOW AND THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL.
 - SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF ONCE A WEEK OR AS NEEDED TO AVOID OVERFILLING.
 - ALL PAINT CONTAINERS AND CURING COMPOUNDS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SYSTEM, BUT WILL BE PROPERLY DISPOSED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ONSITE. EQUIPMENT WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAW DUST, AND PLASTIC AND METAL TRASH CONTAINERS.
 - SPRAY GUNS WILL BE CLEANED ON A REMOVABLE TARP.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM SYSTEM WILL BE REPORTED TO THE NATIONAL RESPONSE CENTER AT 1-800-424-8802.
 - CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE IN THE DESIGNATED CONCRETE WASHOUT AREA.
 - WHEN TESTING/CLEANING OF WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORM WATER PIPE SYSTEM FOR ULTIMATE DISCHARGE INTO THE DETENTION POND.
- GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORM WATER CONTAMINATION FROM PETROLEUM PRODUCTS, FERTILIZERS, PAINTS, AND CONCRETE.

NOTES TO CONTRACTOR:

- SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO THE CITY FOR A GRADING PERMIT CAN BE RELEASED.
- POST A SMALL SITE CONSTRUCTION NOTICE BEFORE THE BEGINNING OF CONSTRUCTION ACTIVITIES.



LEGEND :

- 445 --- EXISTING 1' CONTOUR
- 447 --- PROPOSED 1' CONTOUR
- FLOW ARROW
- SF STANDARD SILT FENCE
- CONSTRUCTION ENTRANCE/
- SOD PLACEMENT AREAS
- RECOMMENDED CONSTRUCTION DUMPSTER LOCATION
- DRAINAGE SWALE
- CURB INLET PROTECTION
- CONCRETE WASHOUT AREA
- SANITARY PORTABLE TOILETS

NOTES BY SYMBOL:

- INSTALL CONSTRUCTION ENTRANCE
- INSTALL APPROX. 900 LF (TOTAL) OF SILT FENCE (TYPE A)
- INSTALL 10'X10' CONCRETE WASHOUT AREA
- CURB INLET PROTECTION
- DROP INLET PROTECTION

TOTAL DISTURBED AREA: 1.6 Ac.
 INITIAL "C" FACTOR = 0.35
 FINAL "C" FACTOR = 0.90

NOTES TO CONTRACTOR:

- SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO THE CITY FOR A GRADING PERMIT CAN BE RELEASED.
- POST A SMALL SITE CONSTRUCTION NOTICE BEFORE THE BEGINNING OF CONSTRUCTION ACTIVITIES.

GRAPHIC SCALE IN FEET
1" = 20'

0 20 40 60 80

EROSION CONTROL PLAN

LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
 PHONE: 214-886-6351
 EMAIL: JLYNAUGH8382@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
 P.O. BOX 1261, COLLETTVILLE, TX 76034
 ATTN: MATHEW THOMAS, PE
 PH: (214) 680-2728; EMAIL: MATHEW@THOMAS-ENG.COM

THOMAS SITE DEVELOPMENT ENGINEERING INC.

REGISTRATION NO. E-10289
 P.O. BOX 1261, COLLETTVILLE, TX 76034
 PH: (214) 680-2728; FAX: (214) 680-2728
 EMAIL: MATHEW@THOMAS-ENG.COM



FLEX SPACE
 6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

C-0.4

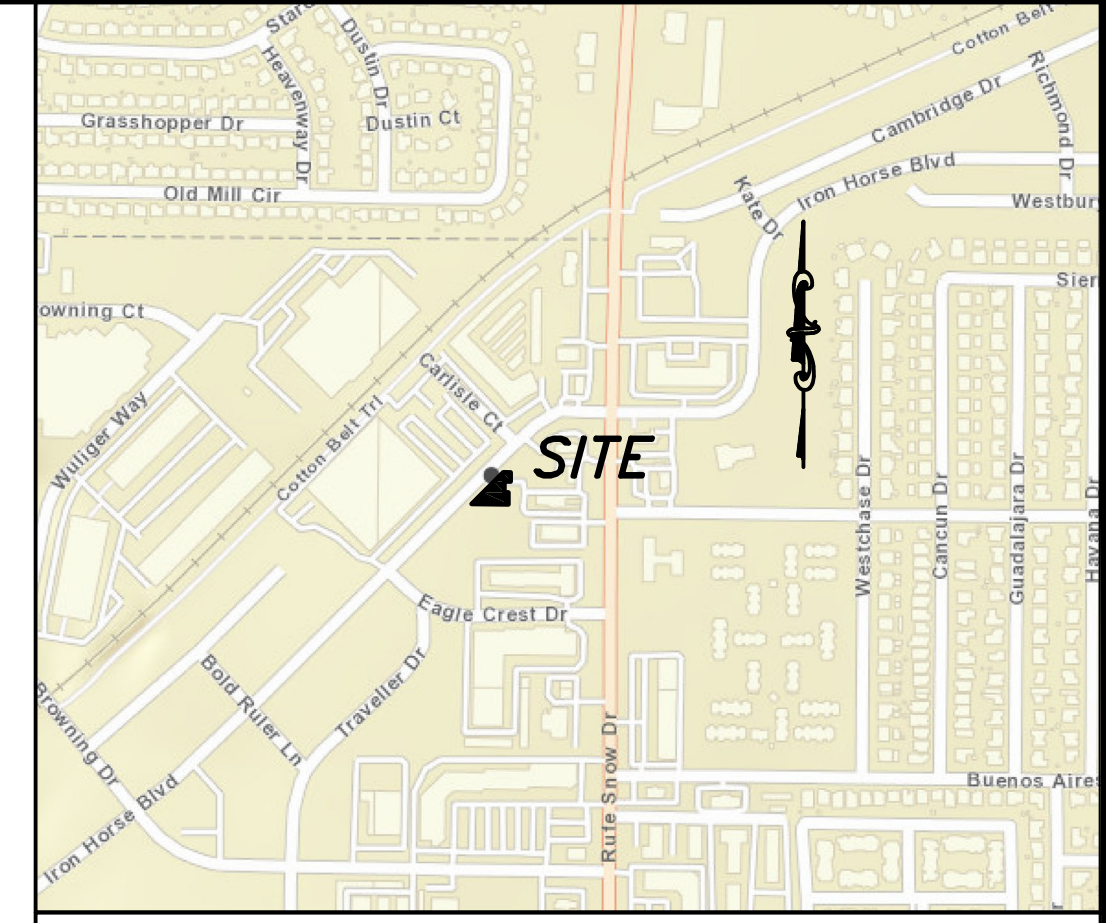
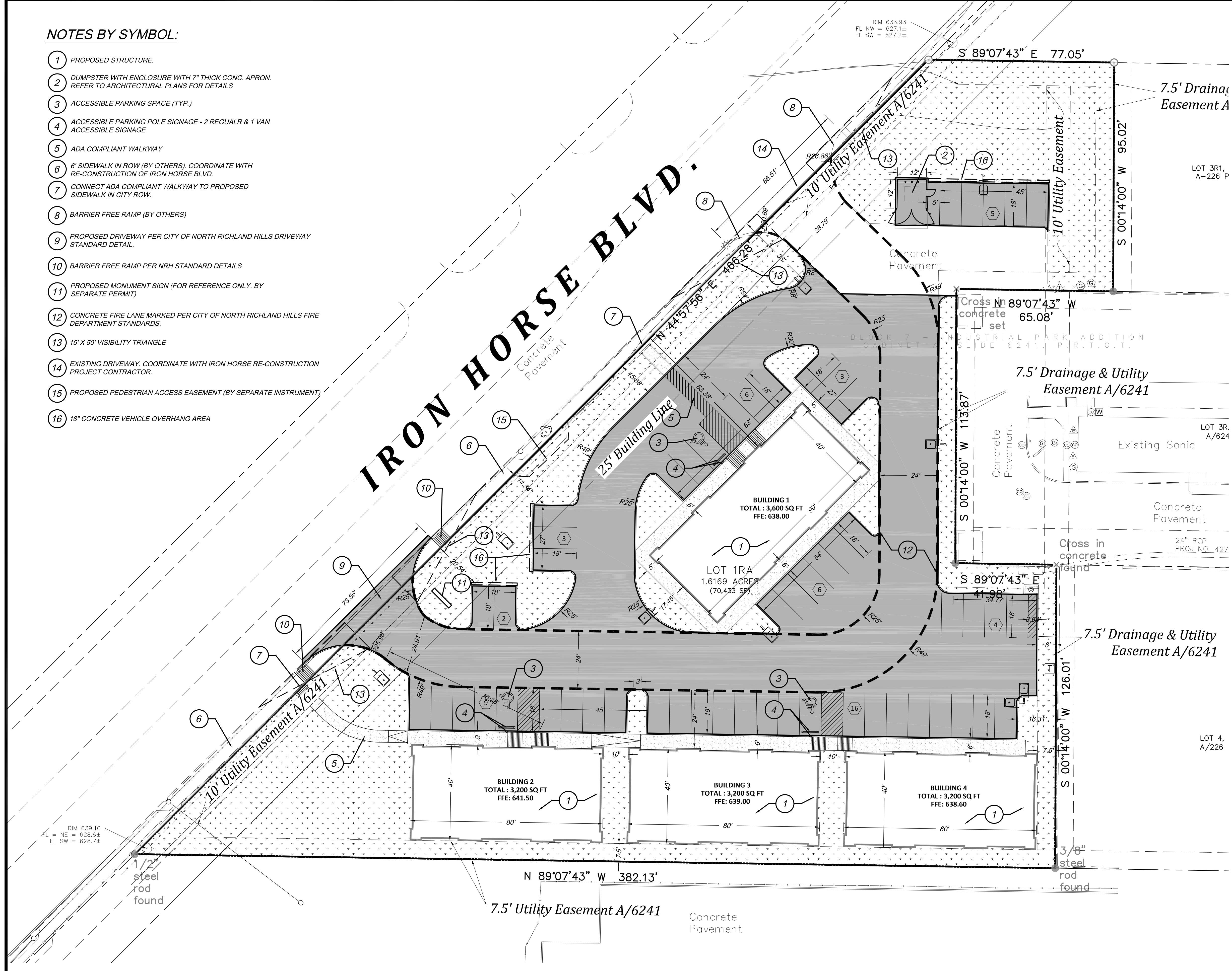
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NOTES BY SYMBOL:

- 1 PROPOSED STRUCTURE.
- 2 DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS
- 3 ACCESSIBLE PARKING SPACE (TYP.)
- 4 ACCESSIBLE PARKING POLE SIGNAGE - 2 REGULAR & 1 VAN ACCESSIBLE SIGNAGE
- 5 ADA COMPLIANT WALKWAY
- 6 6" SIDEWALK IN ROW (BY OTHERS). COORDINATE WITH RE-CONSTRUCTION OF IRON HORSE BLVD.
- 7 CONNECT ADA COMPLIANT WALKWAY TO PROPOSED SIDEWALK IN CITY ROW.
- 8 BARRIER FREE RAMP (BY OTHERS)
- 9 PROPOSED DRIVEWAY PER CITY OF NORTH RICHLAND HILLS DRIVEWAY STANDARD DETAIL.
- 10 BARRIER FREE RAMP PER NRH STANDARD DETAILS
- 11 PROPOSED MONUMENT SIGN (FOR REFERENCE ONLY. BY SEPARATE PERMIT)
- 12 CONCRETE FIRE LANE MARKED PER CITY OF NORTH RICHLAND HILLS FIRE DEPARTMENT STANDARDS.
- 13 15' X 50' VISIBILITY TRIANGLE
- 14 EXISTING DRIVEWAY. COORDINATE WITH IRON HORSE RE-CONSTRUCTION PROJECT CONTRACTOR.
- 15 PROPOSED PEDESTRIAN ACCESS EASEMENT (BY SEPARATE INSTRUMENT)
- 16 18" CONCRETE VEHICLE OVERHANG AREA

GENERAL NOTES:

- 1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
- 2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
- 3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
- 4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

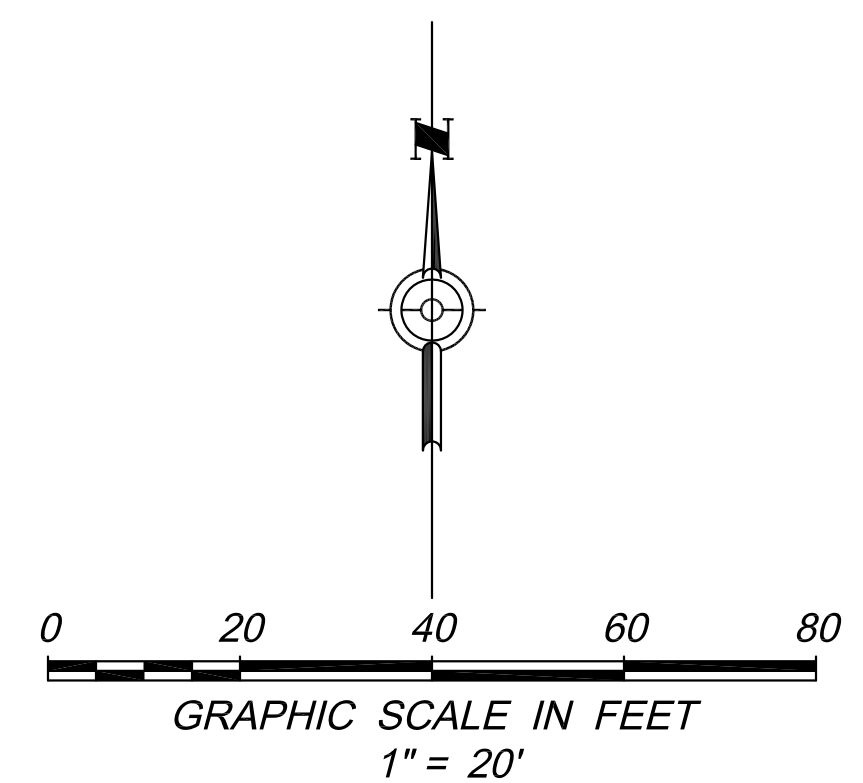


LEGEND:

- PROPERTY LINE
- - - ADJOINED PROPERTY
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - EXISTING CURB
- - - PROPOSED CURB AND GUTTER
- - - PAINTED STRIPE (TRAFFIC WHITE)
- - - PAINTED WALKWAY (TRAFFIC WHITE)
- - - CONCRETE PAVING
- - - 4" THICK CONCRETE SIDEWALK
- - - INTERIOR LANDSCAPED AREA (RE: LANDSCAPE PLANS)
- ⬡ PARKING STALL COUNT
- ⬡ SITE LIGHTING (SEE ELECTRICAL PLANS)

LAND USE CHART

PROPOSED DEVELOPMENT	FLEX SPACE
EXISTING ZONING	I-2
PROPOSED USE	FLEX SPACE
SITE AREA (Ac.)	1.62 Ac. (70,433 SF)
BUILDING AREA (sf)	13,200
BUILDING HEIGHT (ft)	23' (1 STORY)
FLOOR AREA RATIO PROPOSED	0.19
FRONT SETBACK REQUIRED / PROVIDED	25' / 63.38'
SIDE/REAR SETBACK REQUIRED / PROVIDED	0' / 7.5' MIN.
PARKING REQUIRED (13200 SF @ 1/250 GSF)	53
PARKING PROVIDED	54
HANDICAP SPACE PROVIDED	3
PERVIOUS (LANDSCAPE AREA) PROVIDED (sf)	23,665 sf (33.6%)



SITE PLAN

LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
 PHONE: 214-886-6351
 EMAIL: JLYNAUGH832@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
 P.O. BOX 1261, COLLEYSVILLE, TX 76034
 ATTN: MATHEW THOMAS, PE
 PH: (214) 680-2728; EMAIL: MATHEW@THOMAS-ENG.COM

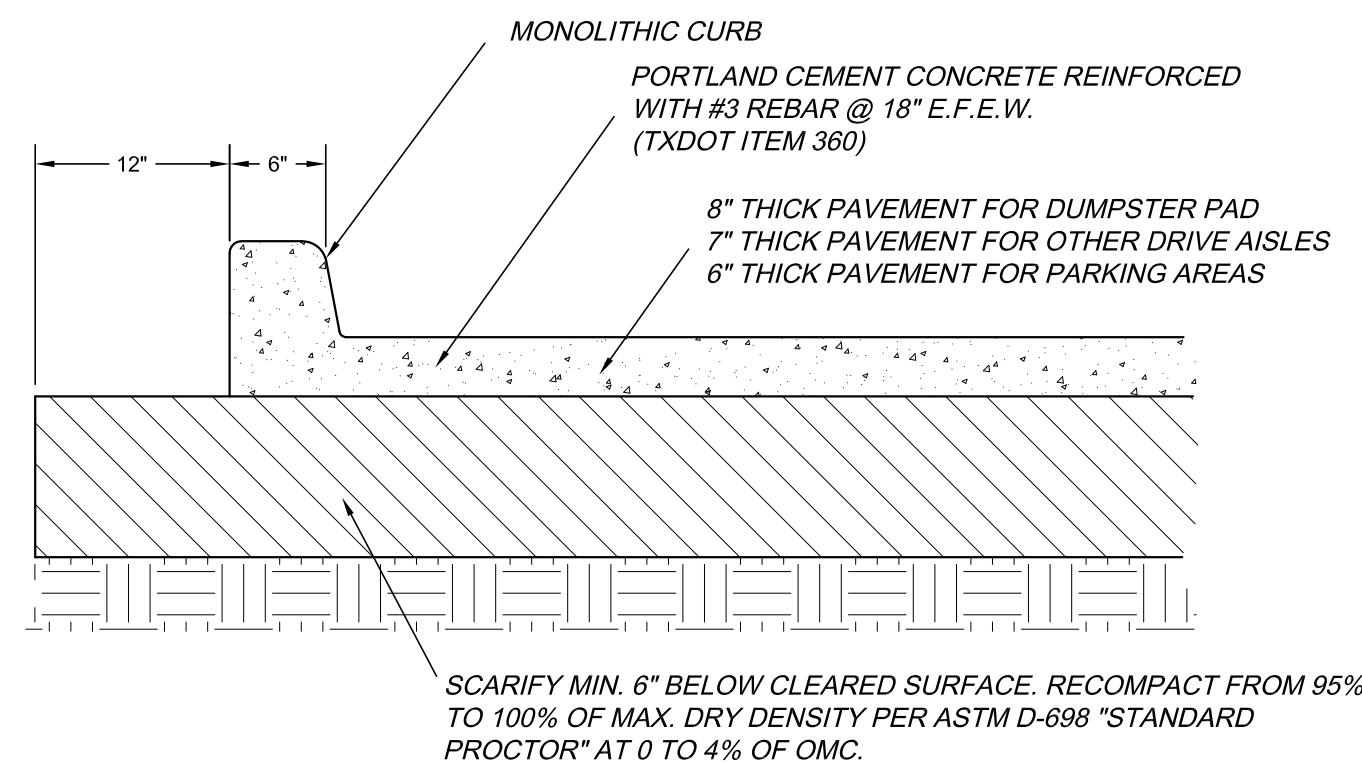
THOMAS SITE DEVELOPMENT ENGINEERING INC.
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 PH: (214) 680-2728; FAX: (214) 680-2728
 EMAIL: MATHEW@THOMAS-ENG.COM



6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

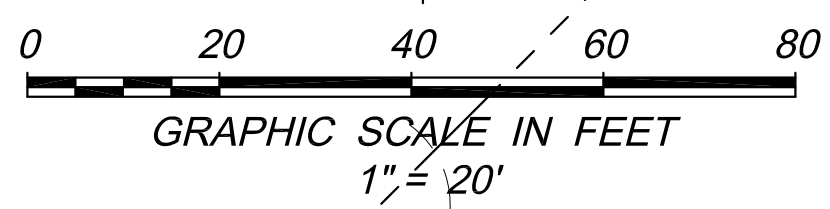
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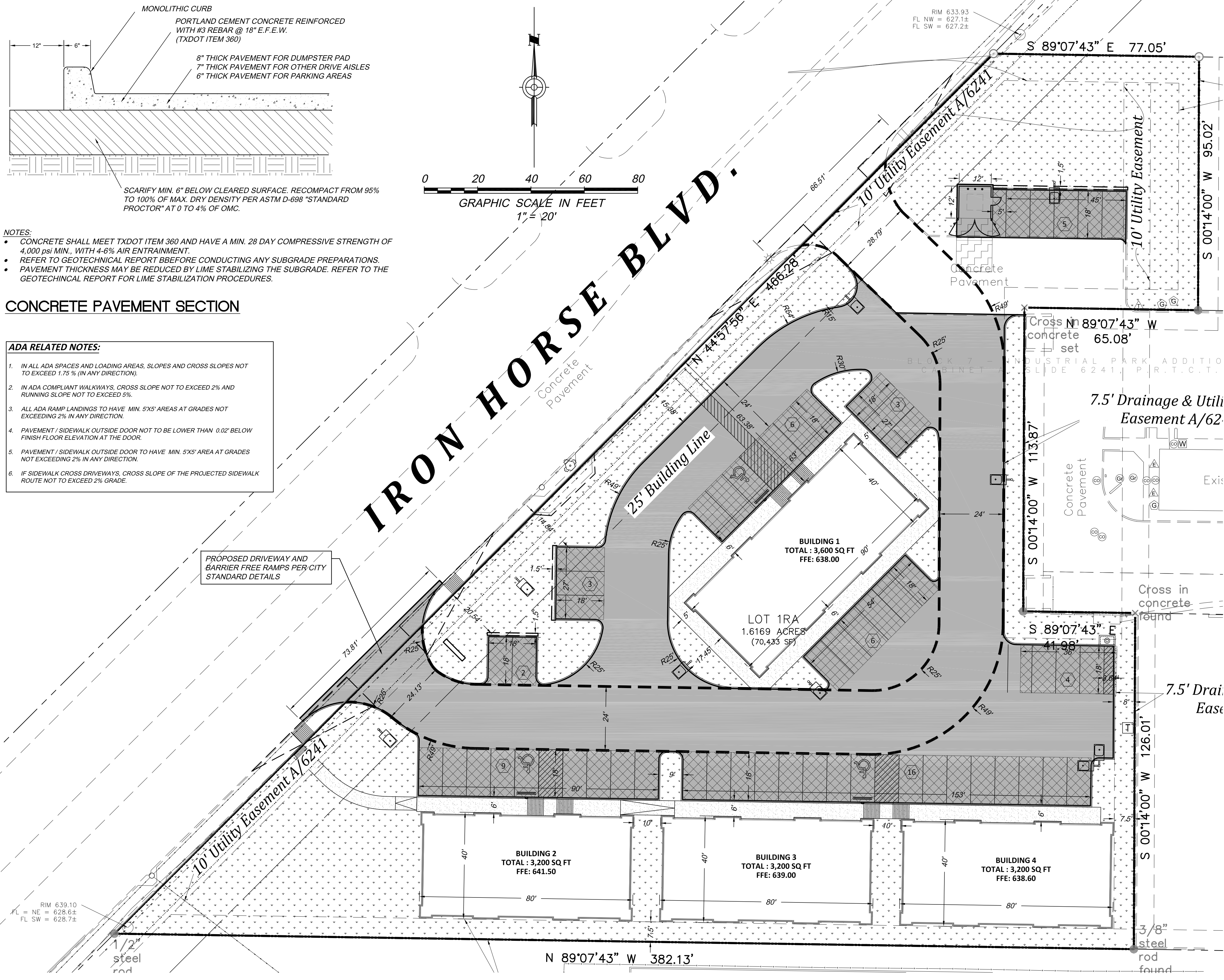
- NOTES:**
- CONCRETE SHALL MEET TXDOT ITEM 360 AND HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI MIN., WITH 4-6% AIR ENTRAINMENT.
 - REFER TO GEOTECHNICAL REPORT BEFORE CONDUCTING ANY SUBGRADE PREPARATIONS.
 - PAVEMENT THICKNESS MAY BE REDUCED BY LIME STABILIZING THE SUBGRADE. REFER TO THE GEOTECHNICAL REPORT FOR LIME STABILIZATION PROCEDURES.

CONCRETE PAVEMENT SECTION

- ADA RELATED NOTES:**
- IN ALL ADA SPACES AND LOADING AREAS, SLOPES AND CROSS SLOPES NOT TO EXCEED 1.75% (IN ANY DIRECTION).
 - IN ADA COMPLIANT WALKWAYS, CROSS SLOPE NOT TO EXCEED 2% AND RUNNING SLOPE NOT TO EXCEED 5%.
 - ALL ADA RAMP LANDINGS TO HAVE MIN. 5'X5' AREAS AT GRADES NOT EXCEEDING 2% IN ANY DIRECTION.
 - PAVEMENT / SIDEWALK OUTSIDE DOOR NOT TO BE LOWER THAN 0.02' BELOW FINISH FLOOR ELEVATION AT THE DOOR.
 - PAVEMENT / SIDEWALK OUTSIDE DOOR TO HAVE MIN. 5'X5' AREA AT GRADES NOT EXCEEDING 2% IN ANY DIRECTION.
 - IF SIDEWALK CROSS DRIVEWAYS, CROSS SLOPE OF THE PROJECTED SIDEWALK ROUTE NOT TO EXCEED 2% GRADE.

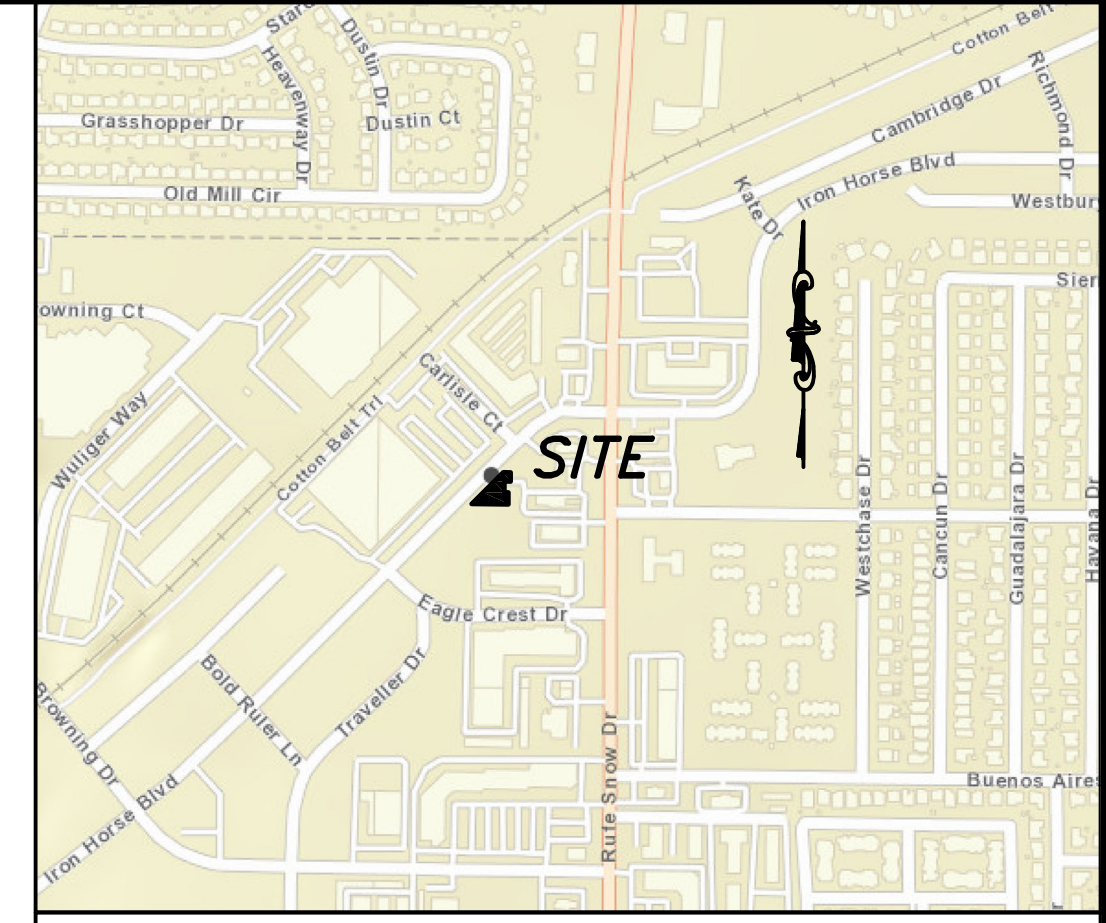


IRON HORSE BLVD.



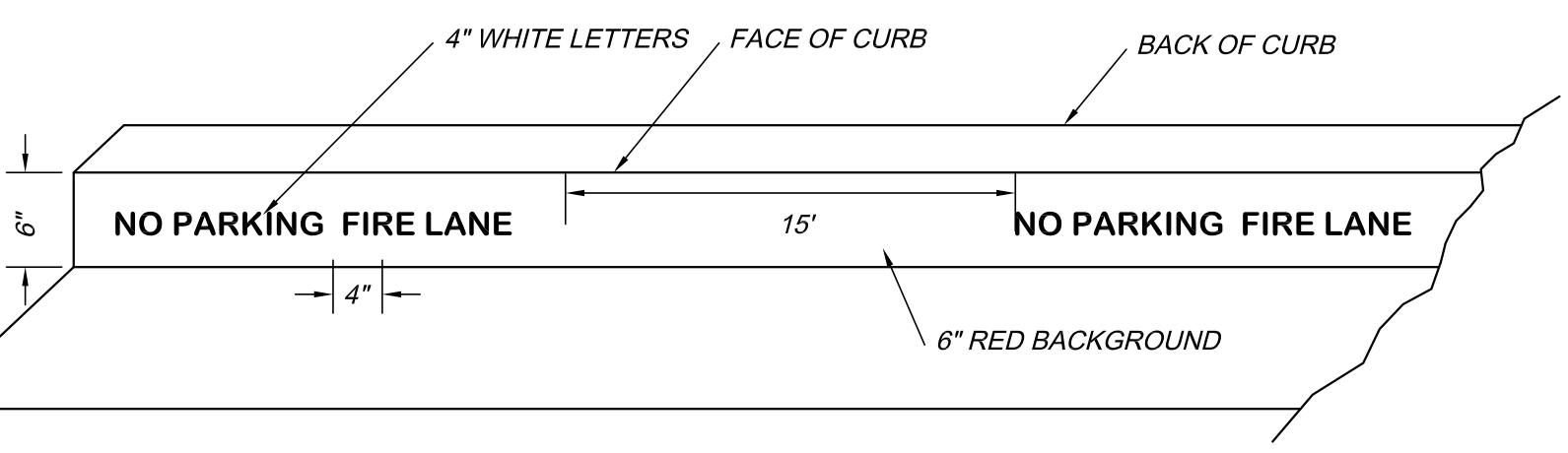
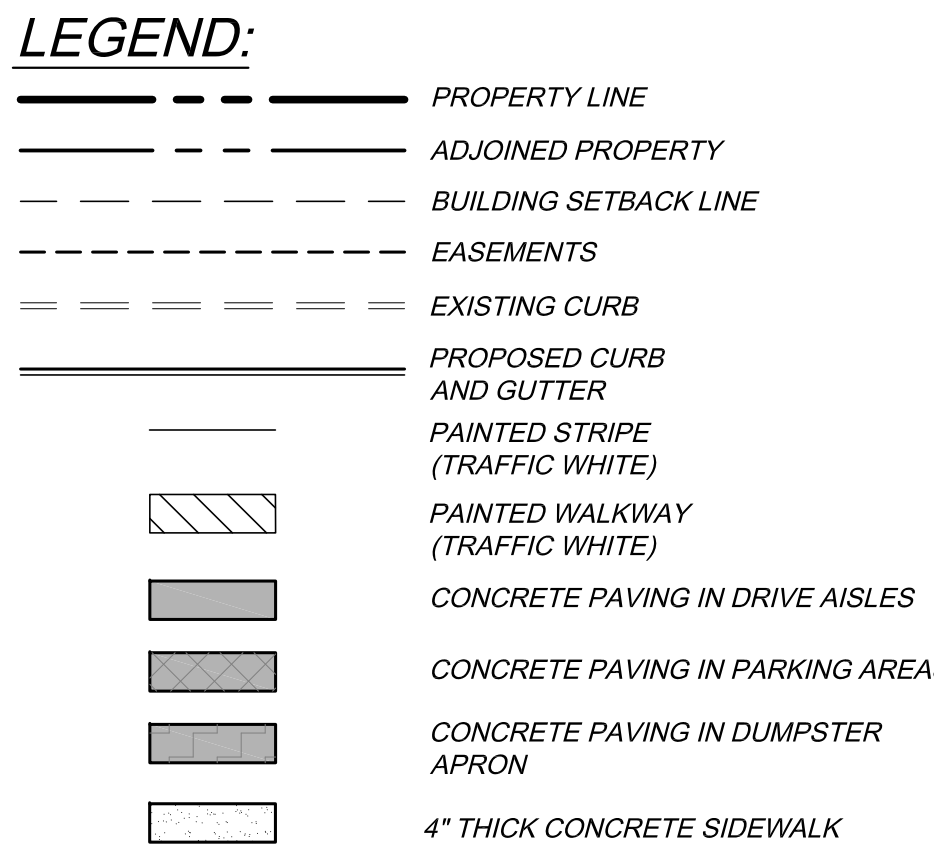
GENERAL NOTES:

- ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
- SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
- ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
- SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

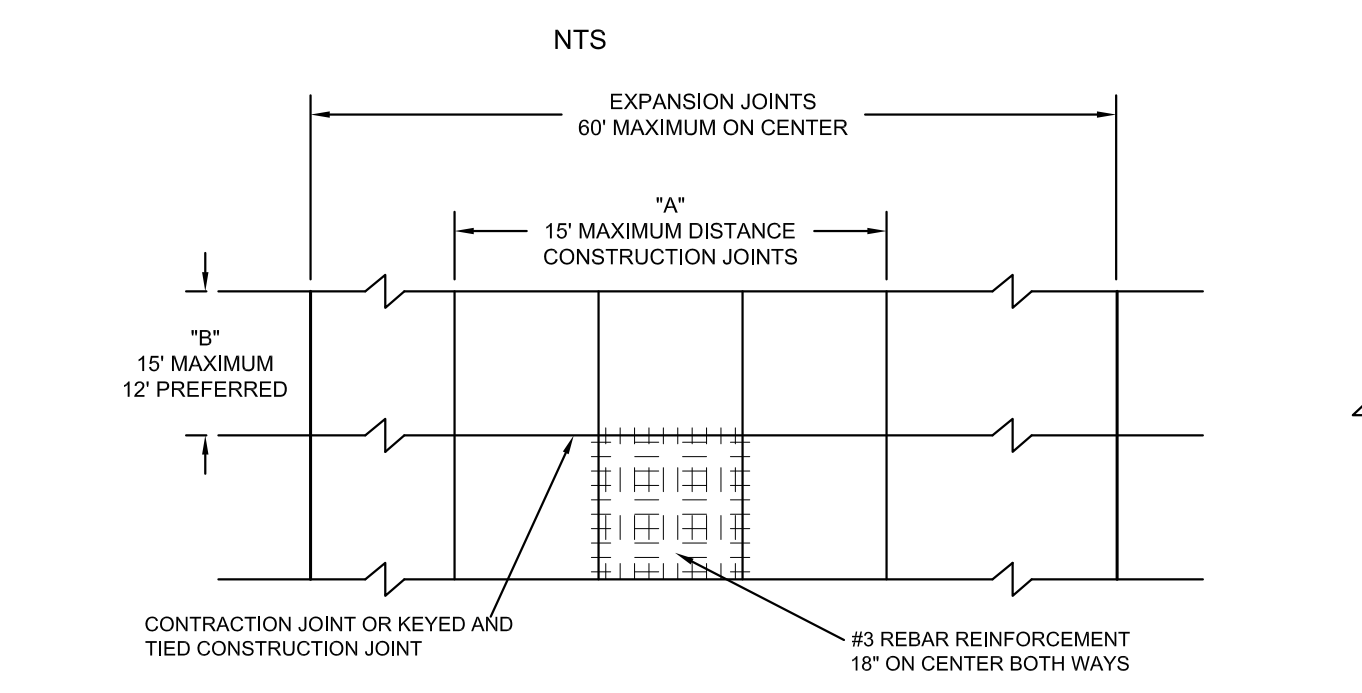


CONCRETE PAVING NOTES:

- SEE PAVING DETAILS AND NOTES FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT. PAVEMENT SECTION THICKNESS AND COMPACTION RATINGS TO BE VERIFIED WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
- PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
- CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 3600 PSI. THE MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO SHALL BE 0.50.
- CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 600 PSI.
- ALL CONCRETE SHALL BE AIR ENTRAINED AT MINIMUM 6% BY VOLUME, +/- 1.5%.
- CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
- THE NEW PAVEMENT SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
- THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE (TYP. ALL INTERSECTIONS).
- PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAWCUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAWCUTTING.
- PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINT. FILL JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
- PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
- ALL SAWCUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
- CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
- PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
- CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
- MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
- MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
- MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
- REINFORCING BARS SHALL BE CONTACT LAP SPLICED UNLESS SHOWN OTHERWISE. LAP SPLICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL, IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
- NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
- THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1 1/2 INCH.
- ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.



- NOTES:**
- NO PARKING FIRE LANE TO BE PAINTED ENTIRE LENGTH OF DEDICATED FIRE LANE.
 - FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
 - WHERE THE ABOVE FIRE LANE MARKINGS ARE DETERMINED TO BE INADEQUATE IN CONTROLLING TRAFFIC, THE PROPERTY OWNER WILL BE REQUIRED TO POST FIRE LANE SIGNS IN ADDITION TO OTHER MARKINGS.



- NOTES:**
- IN GENERAL "A" AND "B" (IN FEET) SHALL NOT EXCEED APPROXIMATELY TWICE THE NOMINAL THICKNESS OF THE CONCRETE PAVEMENT (IN INCHES).
 - THE RATIO OF "A"/"B" SHALL NOT EXCEED 1.5; "A" = "B" PREFERRED.

PAVING PLAN

LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER:
 JOHN LYNAUGH
 PHONE: 214-886-6551
 EMAIL: JLYNAUGH8382@GMAIL.COM

ENGINEER:
 THOMAS SITE DEVELOPMENT ENGINEERING INC.
 P.O. BOX 1261, COLLETTVILLE, TX 76034
 ATTN: MATHEW THOMAS, PE
 PH: (214) 680-2728; EMAIL: MATHEW@THOMAS-ENG.COM

THOMAS
 SITE DEVELOPMENT
 ENGINEERING INC.

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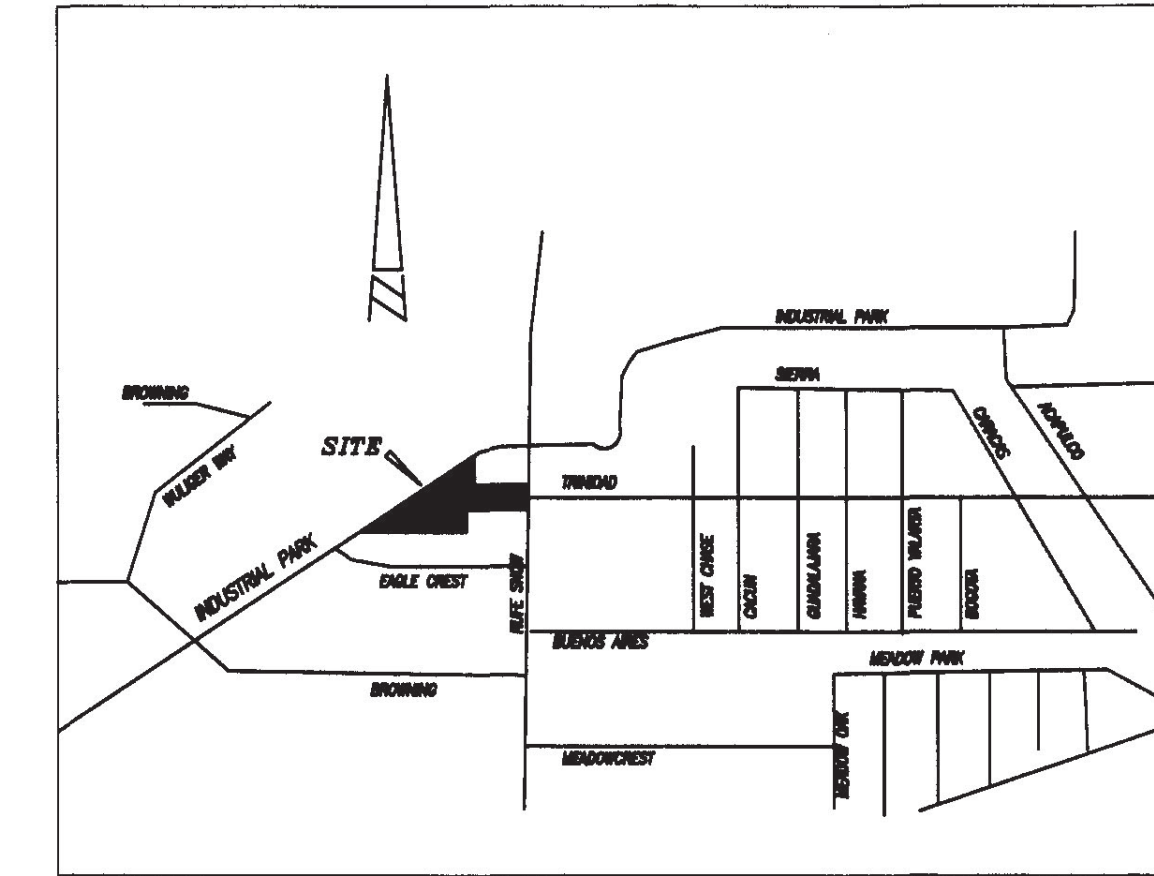
FLEX SPACE
 6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

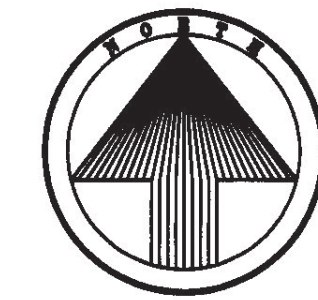
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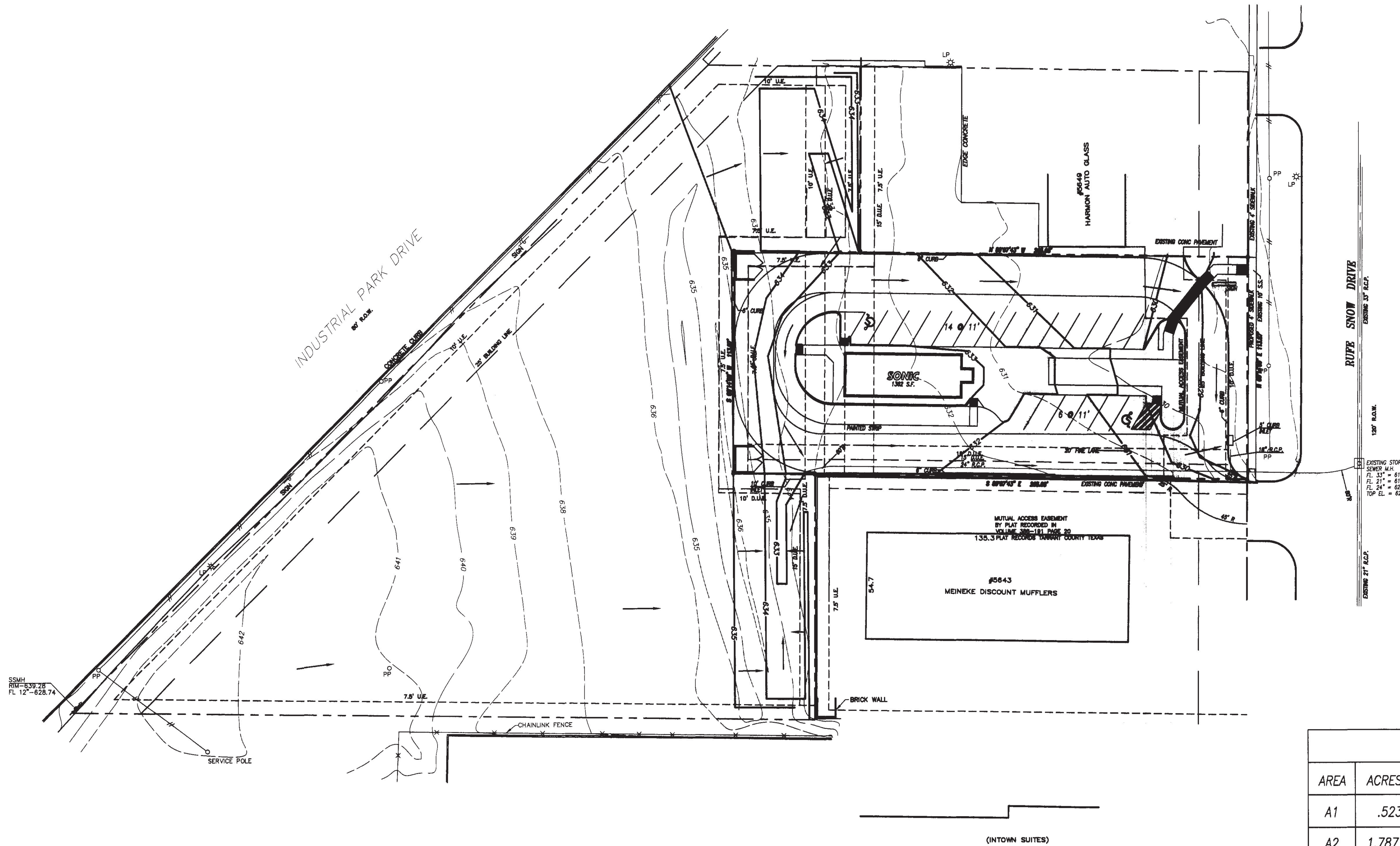
BENCHMARK:
BRASS DISK ON WEST SIDE OF NORTH HEADWALL AT N.E. CORNER OF RUFÉ SNOW
AND RAILROAD TRACKS, 800+ NORTH OF INDUSTRIAL PARK BLVD.
ELEVATION - 628.37 FEET



LOCATION MAP
N.T.S.



SCALE: 1" = 30'



UNDEVELOPED											
AREA	ACRES	C	TC	I ₅	I ₁₀	I ₂₅	I ₁₀₀	Q ₅	Q ₁₀	Q ₂₅	Q ₁₀₀
A1	.523	.3	20 MIN.	4.8	5.7	6.6	8.4	.75	.89	1.04	1.32
A2	1.787	.3	20 MIN.	4.8	5.7	6.6	8.4	2.57	3.06	3.54	4.50

DEVELOPED											
AREA	ACRES	C	TC	I ₅	I ₁₀	I ₂₅	I ₁₀₀	Q ₅	Q ₁₀	Q ₂₅	Q ₁₀₀
A1	.523	.85	10 MIN.	6.6	7.8	9.4	11.6	2.93	3.47	4.18	5.16
A2	1.787	.85	10 MIN.	6.6	7.8	9.4	11.6	10.03	11.85	14.28	17.62

FOR REFERENCE ONLY

STORM DRAINAGE STUDY
INDUSTRIAL PARK ADDITION
BLOCK 7, LOTS 1R-2A & 3R-2A, SONIC
THE CITY OF NORTH RICHLAND HILLS, TEXAS

SCALE: H: 1" = 30' V: 1" = 4'

DESIGNED BY: [Signature] DATE: 10/26/01
CHECKED BY: [Signature] DATE: 10/26/01
APPROVED BY: [Signature] DATE: 10/26/01

WARREN E. HAGAN, INC.
LAND DEVELOPMENT CONSULTANT
2000 Grapevine Hwy., Suite 1075 • North, Texas 76064 • 817/797-1800

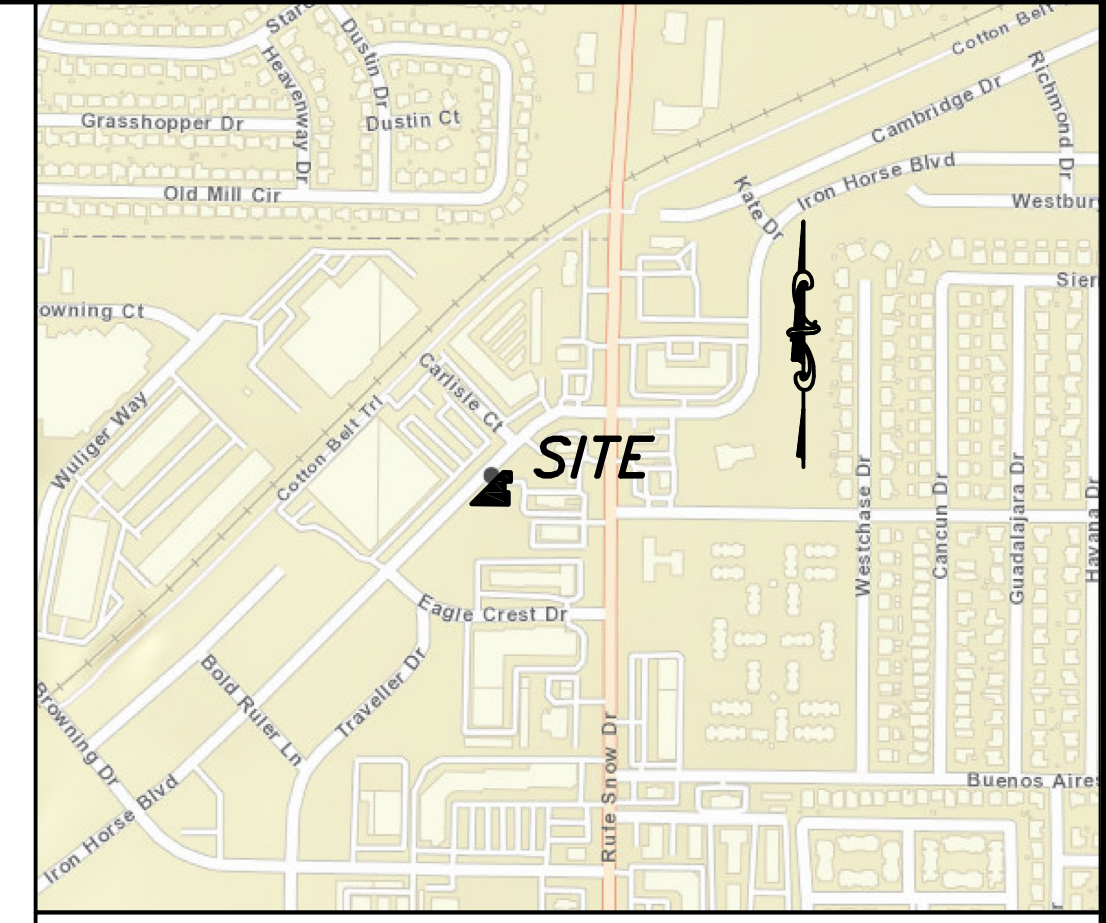
DAVID C. MOAK SURVEYORS, INC.
2500 W. HICKORY ROAD
DALLAS, TEXAS 75241

OWNER:
IRVING M. GROVES, III
788 N. ST. PAULI STREET
DALLAS, TEXAS 75248
BUR. 02141 794-1888

REVISIONS
1 CITY COMMENTS
2 AS BUILT
3
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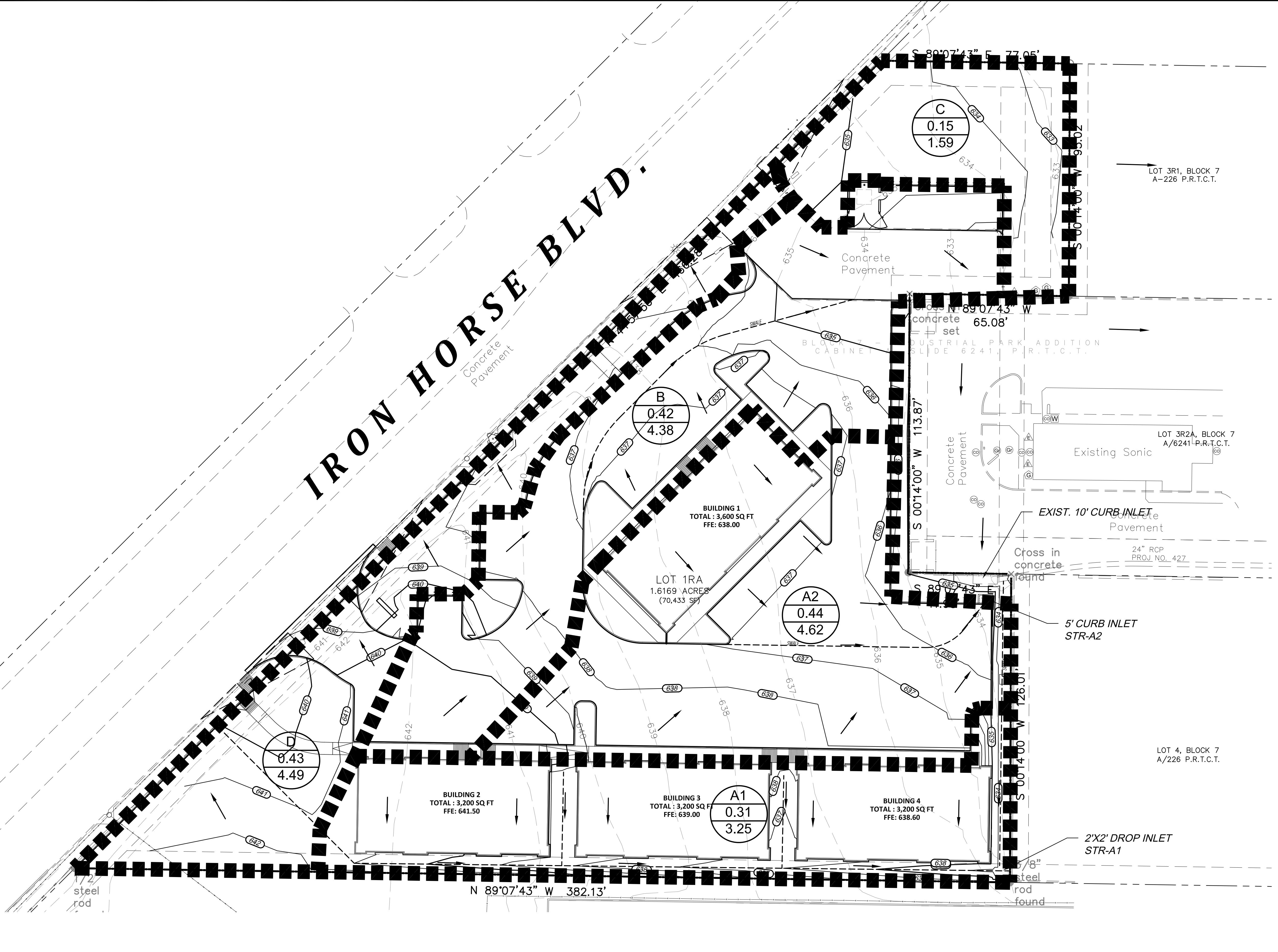
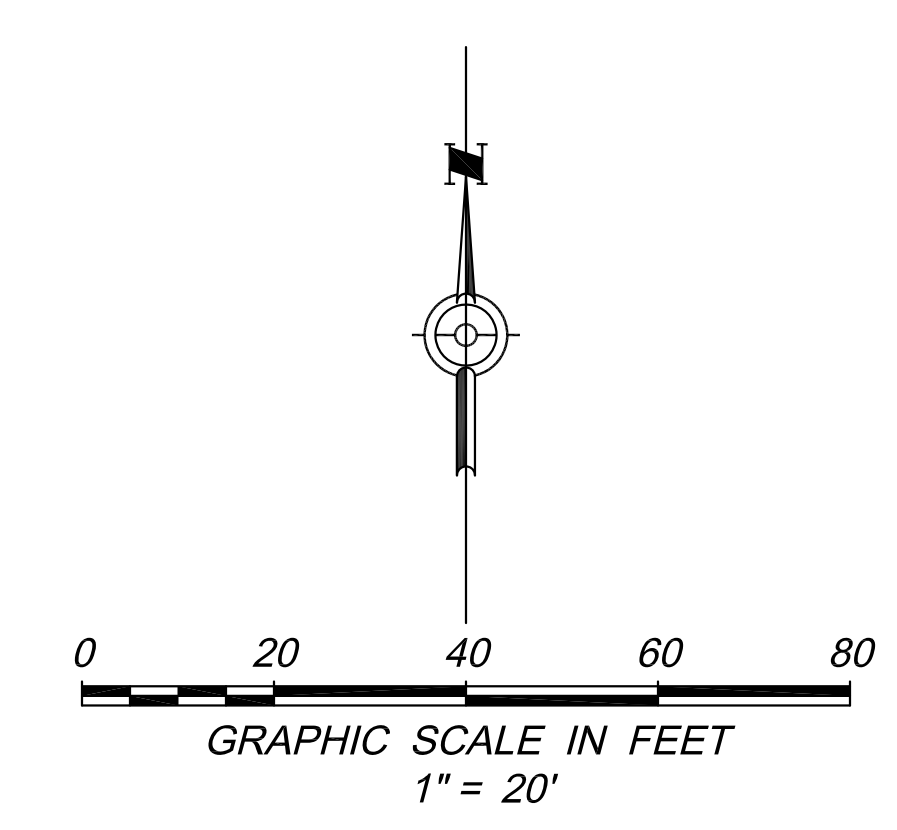
DATE
10/25/00
10/26/01

SHEET NO. C-3.0 of 11.0



- LEGEND:**
- PROPERTY LINE
 - - - ADJOINED PROPERTY
 - - - BUILDING SETBACK LINE
 - - - EXISTING EASEMENTS
 - - - PROPOSED EASEMENTS
 - - - EXISTING CURB
 - - - PROPOSED CURB AND GUTTER
 - 579 — EXISTING 1' CONTOUR
 - 578 — PROPOSED 1' CONTOUR
 - FLOW ARROW
 - █ DRAINAGE DIVIDE (PROPOSED)
 - (A) 0.59 / 2.00 DRAINAGE INFORMATION (AREA ID, AREA (ACRES), Q100 (CFS))

DRAINAGE INFORMATION:
 EXISTING DRAINAGE INFORMATION REFERENCED FROM SHEET 3 - STORM DRAINAGE STUDY, "INDUSTRIAL PARK ADDITION" FROM RECORD PLANS BY WARREN E. HAGAN INC. DATED OCTOBER 2001 ATTACHED TO THIS SET OF PLANS AS A REFERENCE.



PROPOSED CONDITIONS DRAINAGE CALCULATIONS												DESCRIPTION
DRAINAGE AREA	Tc (MIN.)	C	AREA (Ac.)	I5 (in/hr)	Q5 (cfs)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	
A1	10	0.90	0.31	6.60	1.85	7.8	2.18	9.40	2.63	11.60	3.25	SHEET FLOWS TO PROP. 2'X2' DROP INLET STR-A1
A2	10	0.90	0.44	6.60	2.63	7.8	3.11	9.40	3.75	11.60	4.62	SHEET FLOWS TO PROP. 5' CURB INLET STR-A2
B	10	0.90	0.42	6.60	2.49	7.8	2.94	9.40	3.55	11.60	4.38	SHEET FLOWS TO EXIST. 10' CURB INLET IN LOT 3R2A
C	10	0.90	0.15	6.60	0.90	7.8	1.07	9.40	1.29	11.60	1.59	SHEET FLOWS TO LOT 3R1
D	10	0.90	0.43	6.60	2.55	7.8	3.02	9.40	3.64	11.60	4.49	SHEET FLOWS TO IRON HORSE BLVD.

REFER TO DRAINAGE AREA MAP OF "INDUSTRIAL PARK ADDITION" FROM RECORD PLANS BY WARREN E. HAGAN INC. DATED OCTOBER 2001

PROPOSED DRAINAGE PLAN

LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

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 PHONE: 214-886-6351
 EMAIL: JLYNAUGH8382@GMAIL.COM

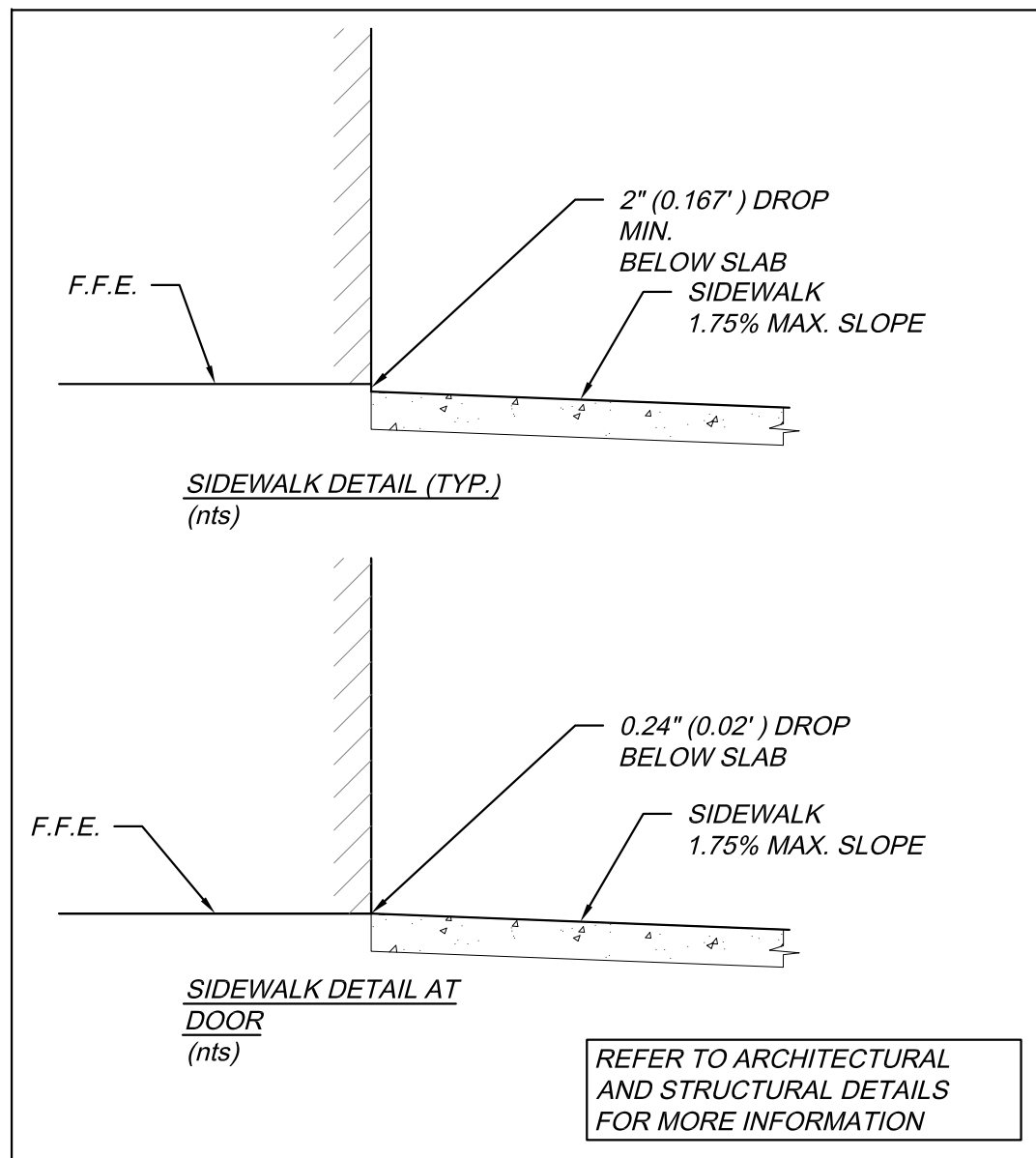
ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
 P.O. BOX 1261, COLLEYVILLE, TX 76034
 ATTN: MATHEW THOMAS, PE
 PH: (214) 680-2728; EMAIL: MATHEW@THOMAS-ENG.COM

REVISION	DESCRIPTION	DATE

C:\SERVERS\MATHEW\CONTRACTS\CAD WORK FOLDER\2023\18 FLEX SPACE INDR. PARK ADDITION\DRAINAGE PLAN - FLEX SPACE WRLG.DWG
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LEGEND:

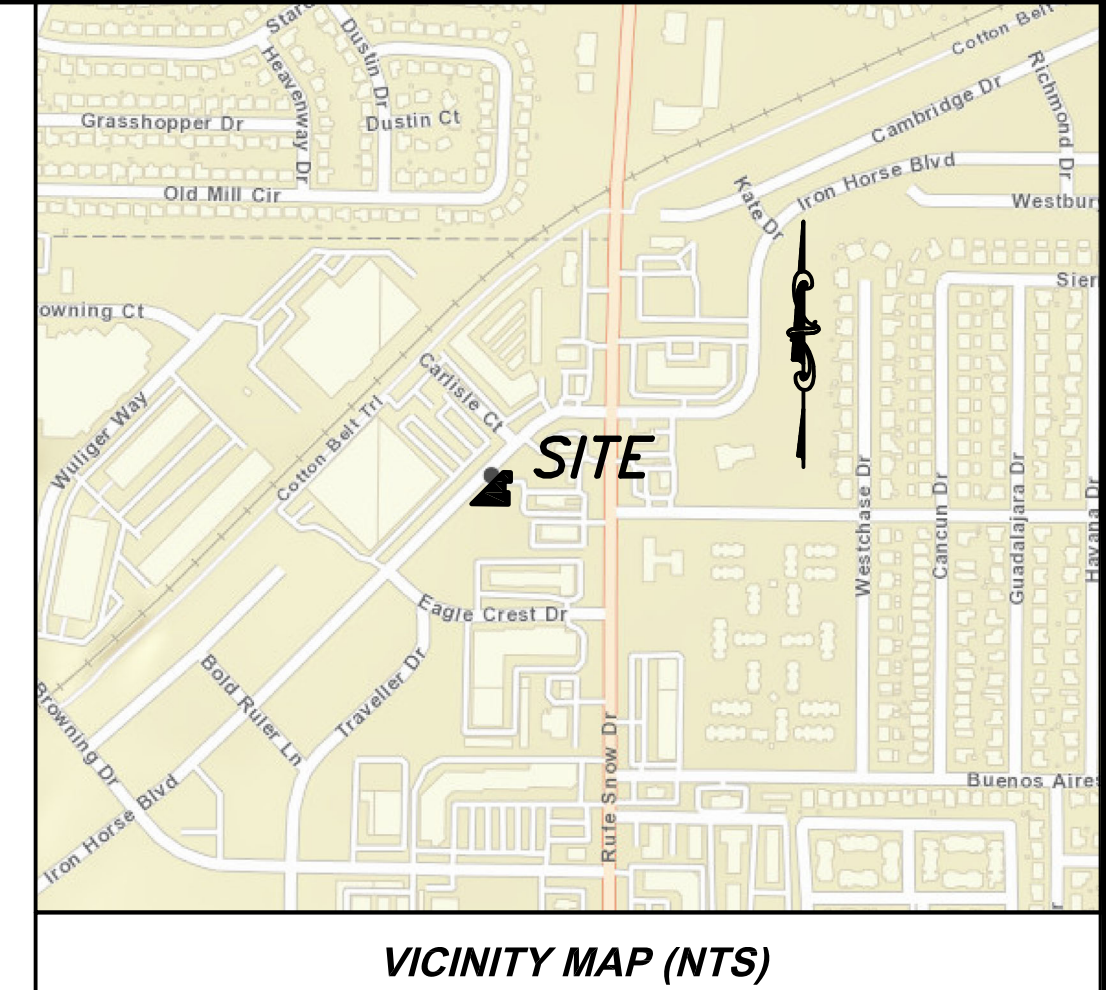
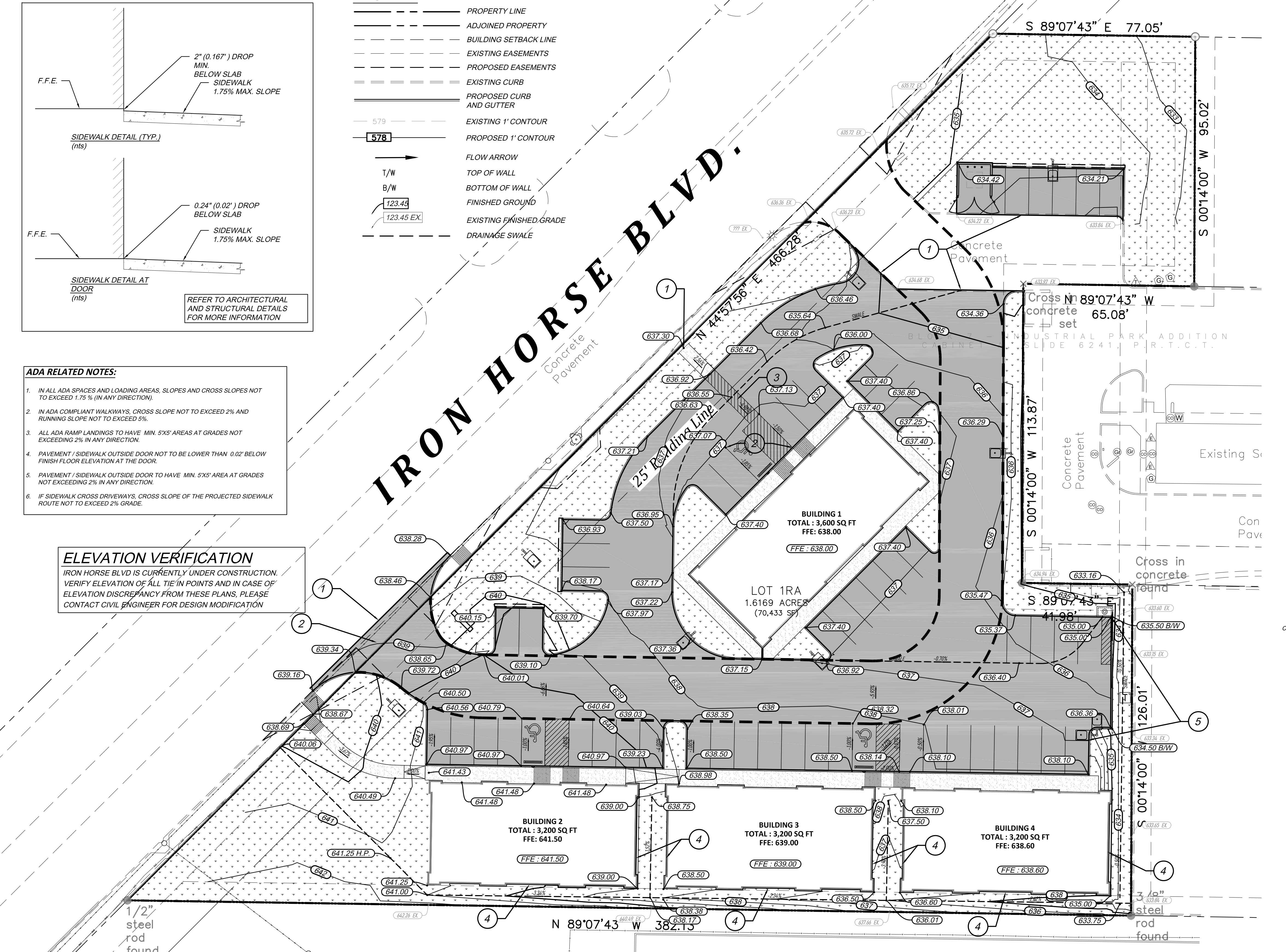
- PROPERTY LINE
- - - ADJOINED PROPERTY
- - - BUILDING SETBACK LINE
- - - EXISTING EASEMENTS
- - - PROPOSED EASEMENTS
- - - EXISTING CURB
- - - PROPOSED CURB AND GUTTER
- 579 — EXISTING 1' CONTOUR
- 578 — PROPOSED 1' CONTOUR
- FLOW ARROW
- T/W TOP OF WALL
- B/W BOTTOM OF WALL
- 123.43 FINISHED GROUND
- 123.45 EX. EXISTING FINISHED GRADE
- - - DRAINAGE SWALE



REFER TO ARCHITECTURAL AND STRUCTURAL DETAILS FOR MORE INFORMATION

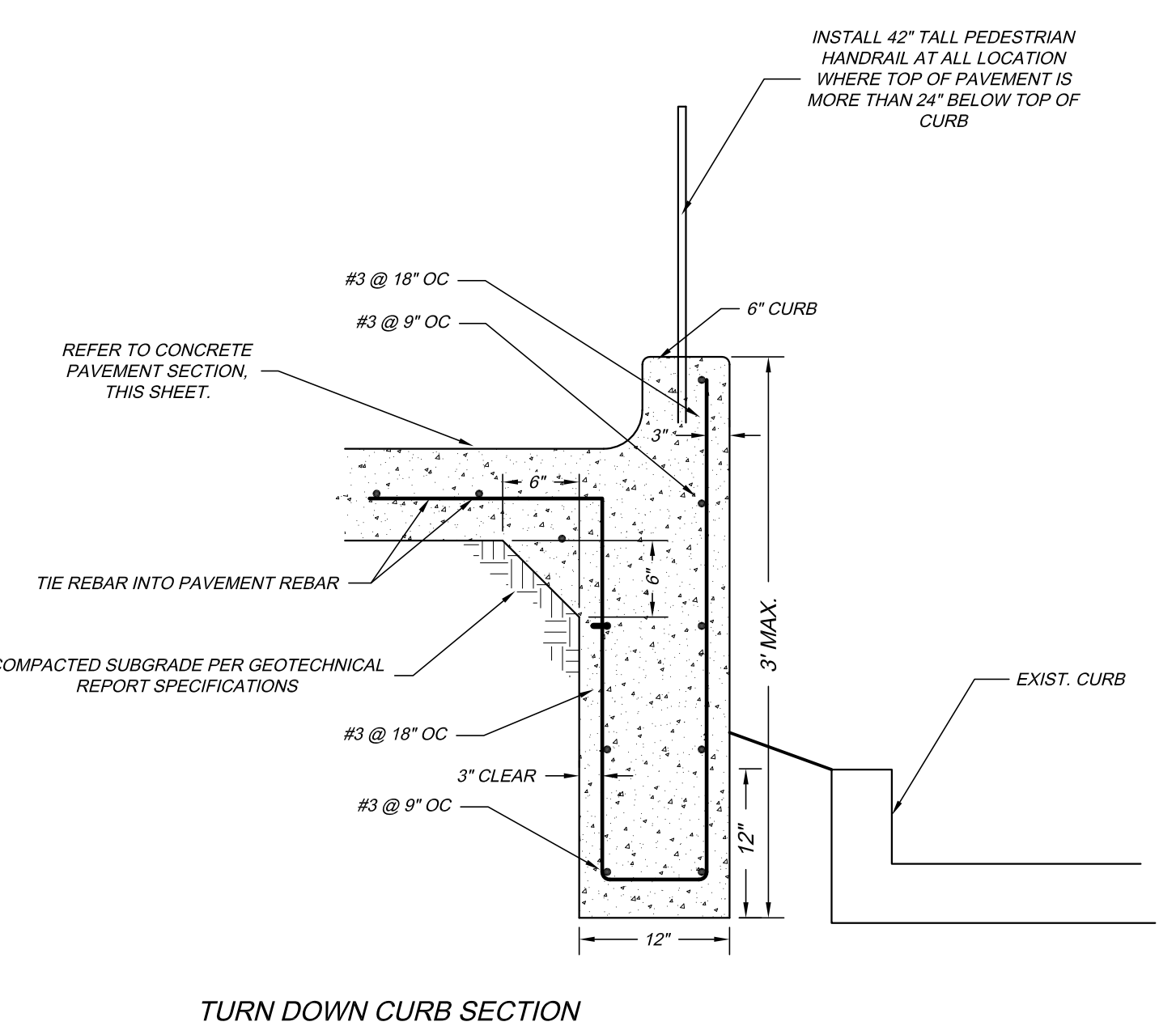
- ADA RELATED NOTES:**
- IN ALL ADA SPACES AND LOADING AREAS, SLOPES AND CROSS SLOPES NOT TO EXCEED 1.75% (IN ANY DIRECTION).
 - IN ADA COMPLIANT WALKWAYS, CROSS SLOPE NOT TO EXCEED 2% AND RUNNING SLOPE NOT TO EXCEED 5%.
 - ALL ADA RAMP LANDINGS TO HAVE MIN. 5'x5' AREAS AT GRADES NOT EXCEEDING 2% IN ANY DIRECTION.
 - PAVEMENT / SIDEWALK OUTSIDE DOOR NOT TO BE LOWER THAN 0.02' BELOW FINISH FLOOR ELEVATION AT THE DOOR.
 - PAVEMENT / SIDEWALK OUTSIDE DOOR TO HAVE MIN. 5'x5' AREA AT GRADES NOT EXCEEDING 2% IN ANY DIRECTION.
 - IF SIDEWALK CROSS DRIVEWAYS, CROSS SLOPE OF THE PROJECTED SIDEWALK ROUTE NOT TO EXCEED 2% GRADE.

ELEVATION VERIFICATION
IRON HORSE BLVD IS CURRENTLY UNDER CONSTRUCTION. VERIFY ELEVATION OF ALL TIE-IN POINTS AND IN CASE OF ELEVATION DISCREPANCY FROM THESE PLANS, PLEASE CONTACT CIVIL ENGINEER FOR DESIGN MODIFICATION



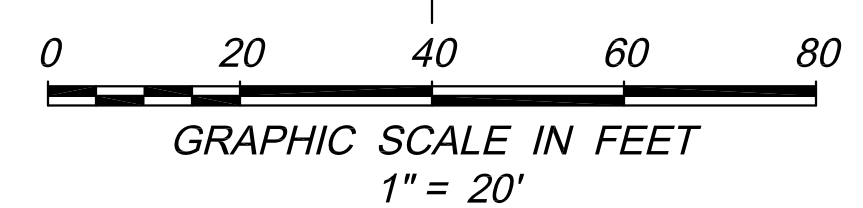
NOTES BY SYMBOL:

- MATCH EXISTING ELEVATION. SEE ELEVATION VERIFICATION NOTE
- CROSS SLOPE NOT TO EXCEED 1.75% (IN ANY DIRECTION) IN THIS AREA
- ADA PATH TO HAVE A CROSS SLOPE NOT TO EXCEED 1.75% AND A RUNNING SLOPE ON NO GREATER THAN 4.5%
- EXPOSED BEAM ALONG THIS EDGE
- TURN DOWN CURB IN THIS AREA WITH HANDRAIL



- GRADING NOTES:**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - IF REQUIRED BY THE PERMITTING AGENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 200 SQUARE YARDS OF PAVEMENT IN ADDITION TO ALL FAILING DENSITY TESTS.
 - THE ON-SITE SOILS, FREE OF VEGETATION, DEBRIS, AND ROCKS GREATER THAN 4 INCHES IN MAXIMUM DIMENSION, ARE GENERALLY SUITABLE FOR SITE GRADING. IF IMPORTED FILL MATERIALS ARE USED, IT IS RECOMMENDED THAT THEY SHOULD MEET TxDOT ITEM 247, TYPE A, GRADE 1 CRUSHED LIMESTONE SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT MORE INFORMATION.
 - PROOF ROLLING:
 - PRIOR TO PLACEMENT OF ANY FILL, AND AFTER REMOVAL OF THE EXISTING FILL, THE EXPOSED SUBGRADE SHOULD BE PROOF-ROLLED. QUALIFIED GEOTECHNICAL PERSONNEL SHOULD BE RETAINED TO OBSERVE THE PROOF ROLLING OPERATION.
 - USE HEAVY RUBBER-TIRED EQUIPMENT (LOADED DUMP TRUCK OR WATER TRUCK) WEIGHING NOT LESS THAN 20 TONS FOR PROOF ROLLING.
 - REMOVE AREAS THAT EXHIBIT PUMPING ACTION OR ARE EXCESSIVELY SOFT/COMPRESSIBLE. BACKFILL WITH ON-SITE SUITABLE MATERIALS.
 - FILL PLACEMENT AND COMPACTION:
 - PRIOR TO FILL PLACEMENT, SCARIFY SUBGRADE TO A DEPTH OF 8 INCHES.
 - COMPACT FROM 95 TO 100 PERCENT OF THE MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 698, "STANDARD PROCTOR" AT OR ABOVE OPTIMUM MOISTURE.
 - PLACE FILL IN LOOSE LIFTS NO GREATER THAN 8-INCH THICK.
 - COMPACT TO THE MOISTURE AND DENSITY REQUIREMENTS OUTLINED ABOVE.

- GENERAL NOTES:**
- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
 - IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
 - ALL PIPE SHALL BE LAID STARTING AT THE OUTFALL AND LAID UPSTREAM FROM THAT POINT.
 - SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND/OR TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED. ADD 0.5 FEET FOR TOP OF CURB ELEVATIONS. SPOT ELEVATIONS SHOWN IN LANDSCAPED AREAS ARE TO THE TOP OF SOD.
 - TOP OF ALL LANDSCAPED AREAS AT BUILDING SLAB TO BE A MIN. 6" BELOW FINISH FLOOR ELEVATION.
 - REFER TO THE GEOTECHNICAL REPORT FOR SOIL TREATMENT AND COMPACTION SPECIFICATIONS DURING THE GRADING OPERATIONS.



GRADING PLAN

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH, PHONE: 214-886-6351, EMAIL: JLYNAUGH8382@GMAIL.COM
ENGINEER: MATHEW THOMAS, PHONE: (214) 680-2728, EMAIL: MATHEW@THOMAS-ENG.COM

THOMAS SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. E-10289
P.O. BOX 1261, COLLETTVILLE, TX 76034
PHONE: 214-680-2728, FAX: 214-680-2728
EMAIL: MATHEW@THOMAS-ENG.COM

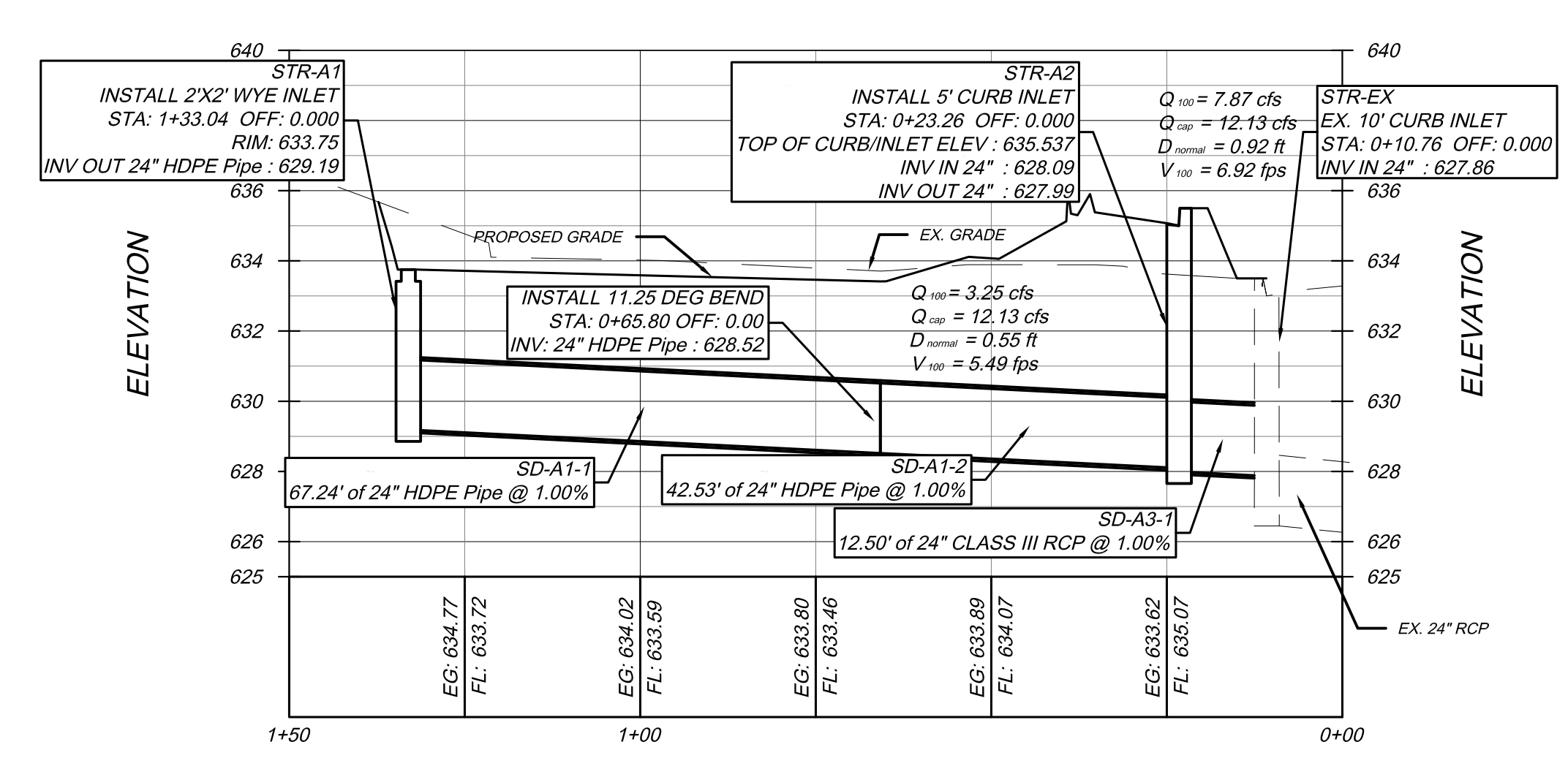
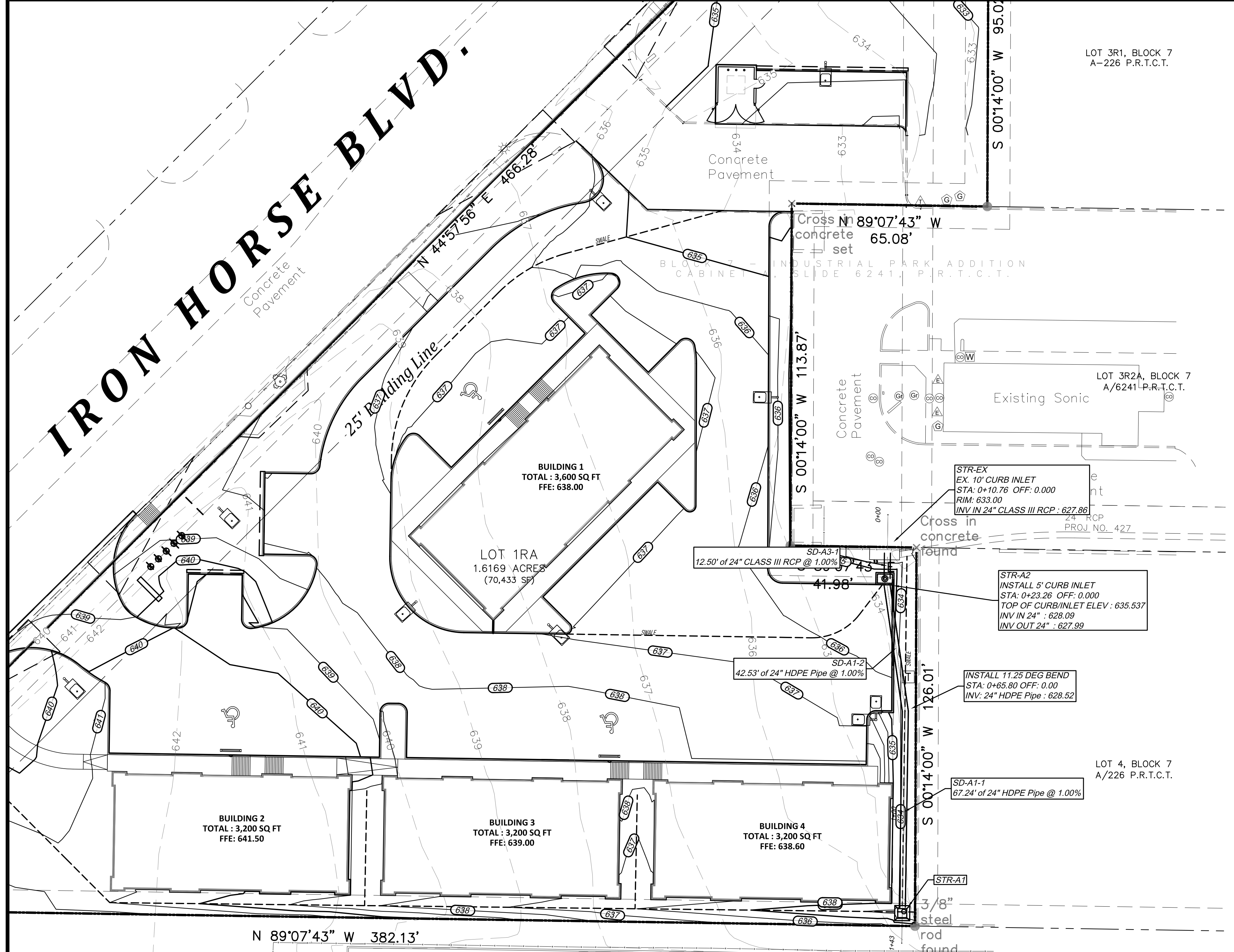


6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

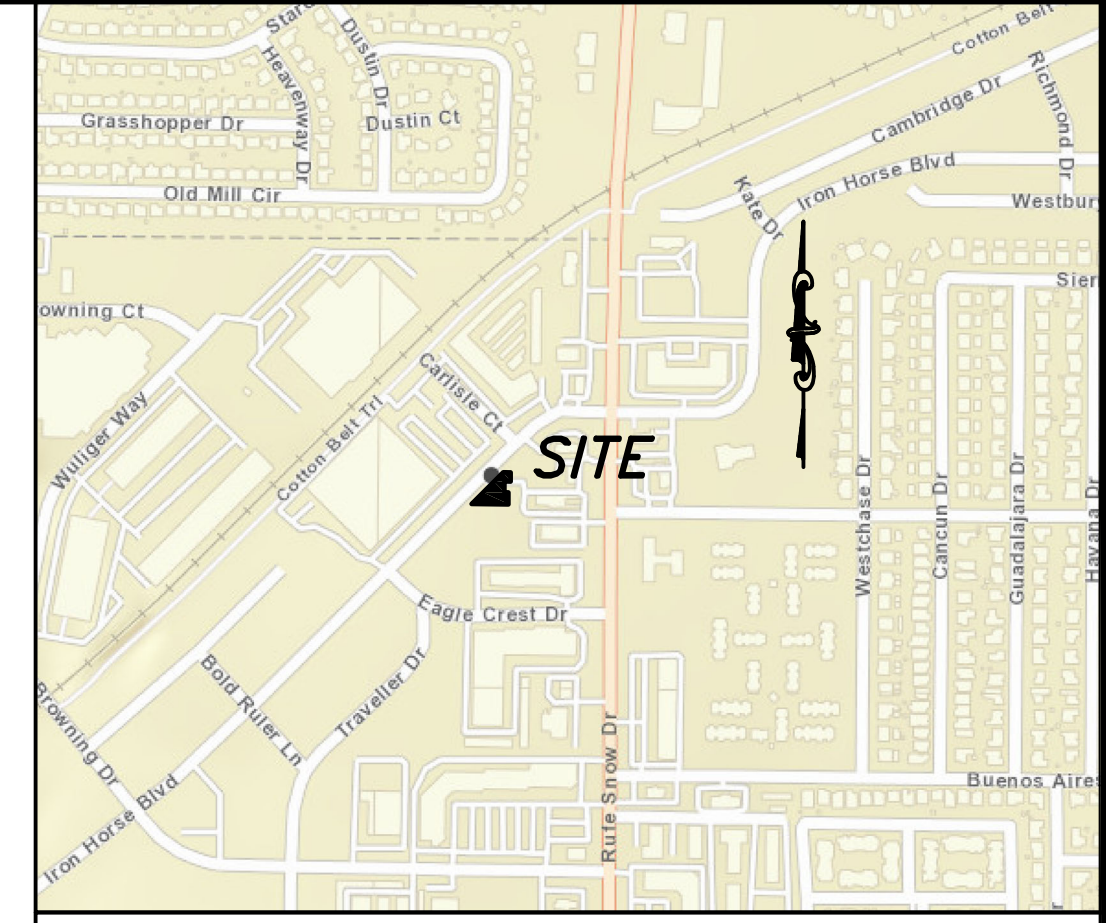
C-3.1

IRON HORSE BLVD.



STORM DRAIN LINE A PROFILE

PROFILE SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 4'



VICINITY MAP (NTS)

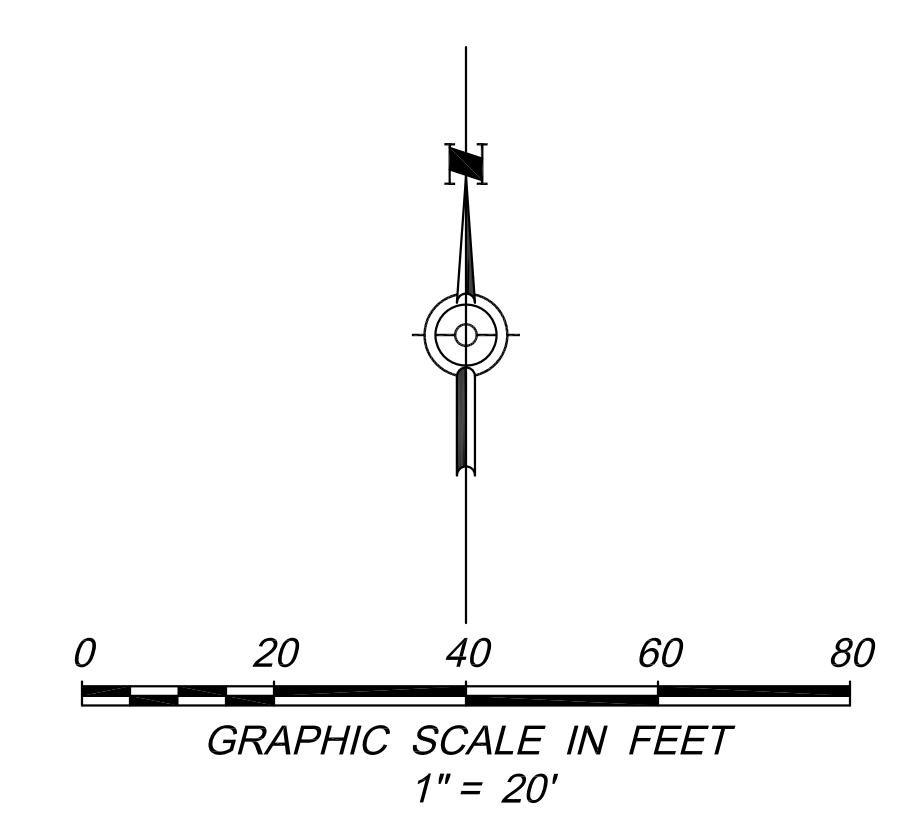
- LEGEND:**
- PROPERTY LINE
 - - - ADJOINED PROPERTY
 - - - BUILDING SETBACK LINE
 - - - EXISTING EASEMENTS
 - - - PROPOSED EASEMENTS
 - - - EXISTING CURB
 - - - PROPOSED CURB AND GUTTER
 - 579 EXISTING 1' CONTOUR
 - 578 PROPOSED 1' CONTOUR

THOMAS SITE DEVELOPMENT ENGINEERING INC.

REGISTRATION NO. E-10289
 P.O. BOX 1261, COLLETTVILLE, TX 76034
 P.H. 421-886-6351
 EMAIL: MATHEW@THOMAS-ENG.COM



FLEX SPACE
 6640 BLVD., NORTH RICHLAND HILLS, TX 76180



STORM DRAIN PLAN & PROFILE

LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
 PHONE: 214-886-6351
 EMAIL: JLYNAUGH832@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
 P.O. BOX 1261, COLLETTVILLE, TX 76034
 ATTN: MATHEW THOMAS, PE
 PH: (214) 690-2728; EMAIL: MATHEW@THOMAS-ENG.COM

REVISION	DESCRIPTION	DATE

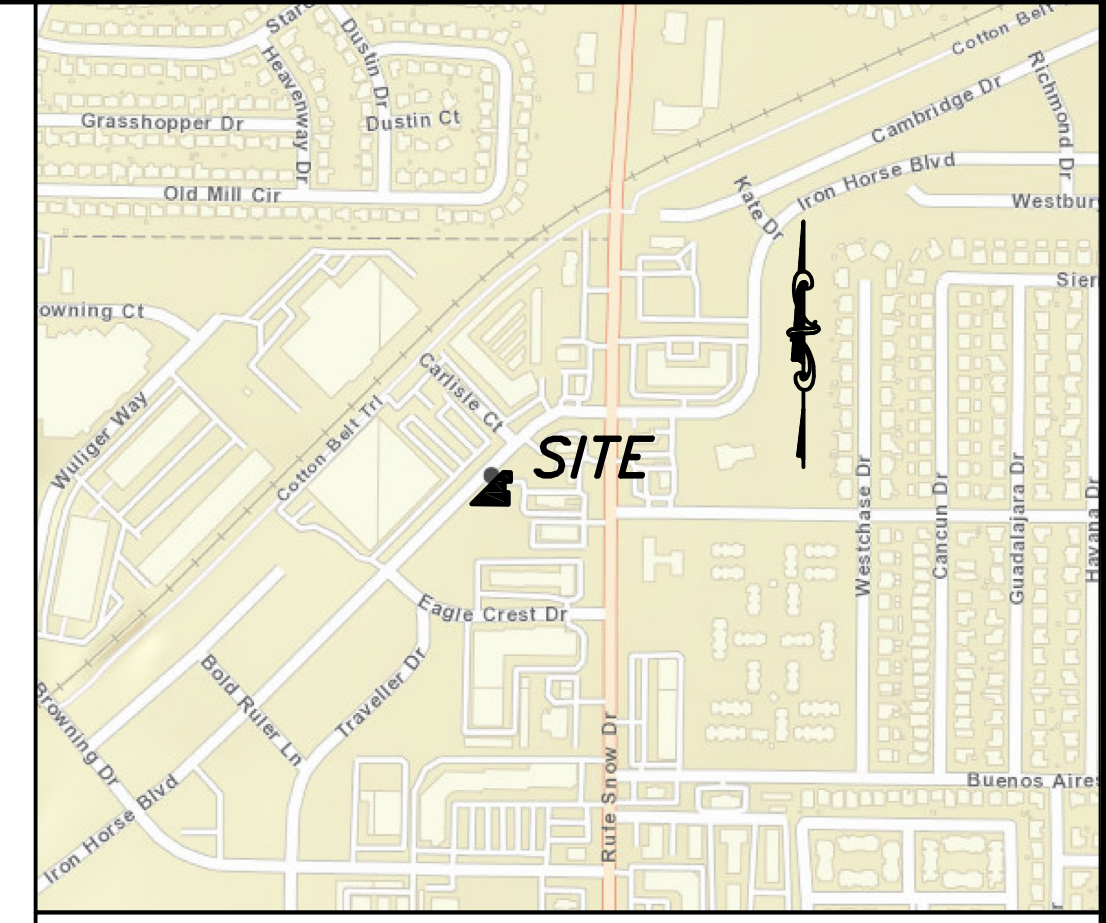
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LEGEND:

- PROPERTY LINE
- ADJOINED PROPERTY
- BUILDING SETBACK LINE
- EXISTING EASEMENTS
- PROPOSED EASEMENTS
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- C.O. PROPOSED SAN. SEWER CLEANOUT
- T PROPOSED GATE VALVE
- W --- W PROPOSED PRIVATE 2" WATER LINE
- SS --- SS PROPOSED PRIVATE 6" SAN. SEWER LINE
- UGE --- UGE PROPOSED UNDERGROUND ELECTRIC
- COM --- COM PROPOSED COMMUNICATION LINES

UTILITY MATERIAL SPECIFICATIONS		
DESCRIPTION	SPECIFICATION	
3" WATER LINE AND SMALLER	AWWA C901 & ASTM F714 PE PIPE	
GAS LINES	ASTM D-25 13 DIRECT BURIAL HDPE PIPE	
SANITARY SEWER (4" TO 15")	SDR26 MEETING ASTM D3034	



THOMAS
SITE DEVELOPMENT
ENGINEERING INC.

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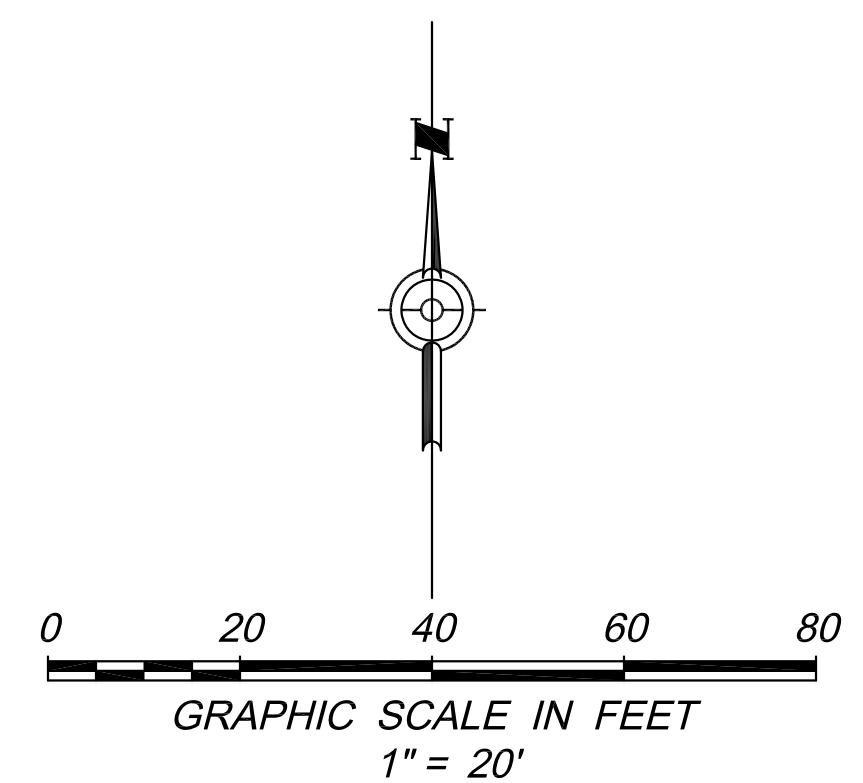
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

FLEX SPACE

GENERAL NOTES

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- IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
- ALL PIPE SHALL BE LAID STARTING AT THE PUBLIC TIE-IN LOCATION AND LAID UPSTREAM FROM THAT POINT.
- DOMESTIC WATER LINE MECHANICAL DEVICES TO INCLUDE DETECTOR CHECK, BACKFLOW AND ANTI-SYPHON TO BE LOCATED WITHIN THE MECHANICAL ROOM. SEE MEP PLANS FOR DETAILS AND DESIGN.
- ALL SANITARY SEWER AND WATER PIPE AND APPURTENANCES SHALL MEET ASTM AND CITY OF NORTH RICHLAND HILLS STANDARDS FOR UTILITY CONSTRUCTION.
- GAS LINE TO BE INSTALLED PER ATMOS REQUIREMENTS. LINE SIZE TO BE DETERMINED BASED ON LOAD REQUIREMENTS AND AVAILABLE PRESSURE AT GAS METER.
- OBTAIN ALL PERMITS REQUIRED BY CITY OF NORTH RICHLAND HILLS PRIOR TO STARTING CONSTRUCTION OF UTILITIES WITHIN CITY OF NORTH RICHLAND HILLS RIGHTS-OF-WAY & EASEMENTS.
- SEE GENERAL NOTES SHEET C-0.3 FOR ADDITIONAL INFORMATION.
- FOR IRRIGATION AND ELECTRICAL SLEEVE LOCATIONS REFER TO THE IRRIGATION AND ELECTRICAL PLANS.

NOTE:
ALL SEWER LINES IN THE SCOPE OF THE PROJECT ARE PRIVATE.



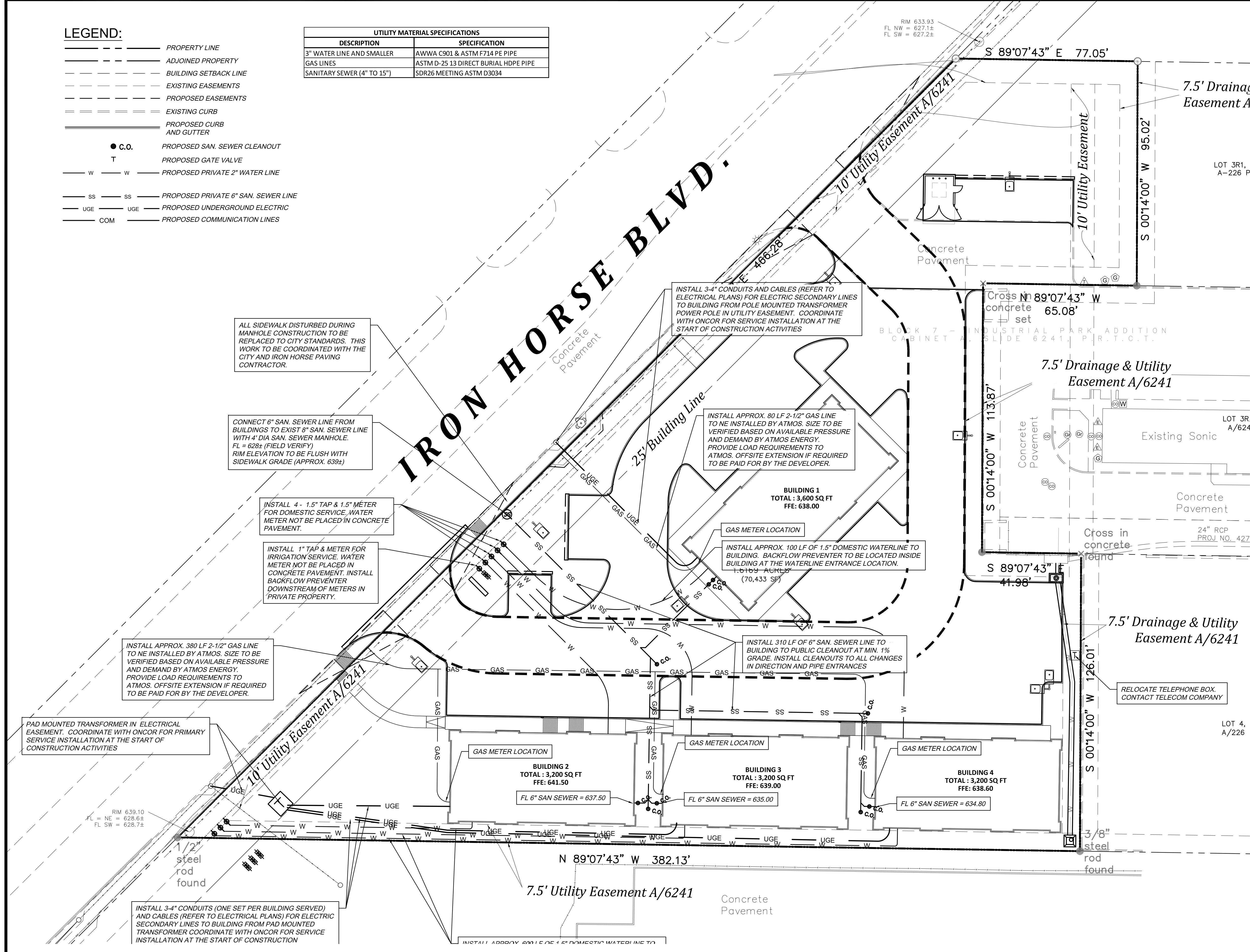
UTILITY PLAN

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

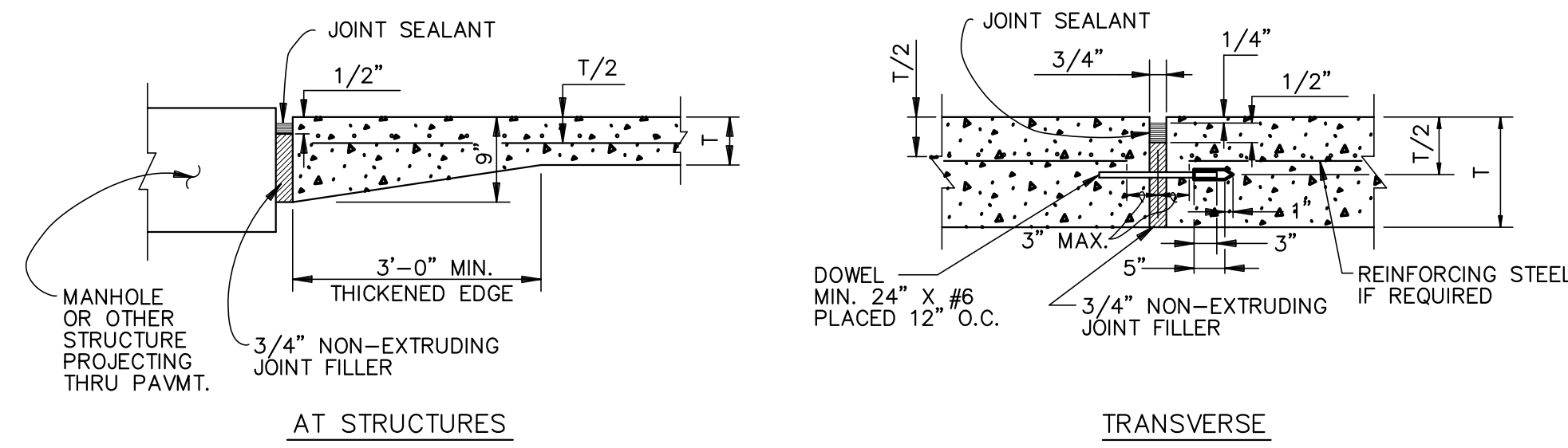
<p>DEVELOPER JOHN LYNAUGH PHONE: 214-886-6351 EMAIL: JLYNAUGH8382@GMAIL.COM</p>	<p>ENGINEER THOMAS SITE DEVELOPMENT ENGINEERING INC. P.O. BOX 1261, COLLETVILLE, TX 76034 ATTN: MATHEW THOMAS, PE PH: (214) 680-2728; EMAIL: MATHEW@THOMAS-ENG.COM</p>
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TRENCH SAFETY:

STATE OF TEXAS LAW REQUIRES THAT THE CONTRACTOR WILL PROVIDE A TRENCH SAFETY PLAN (TRENCH SHORING) FOR UTILITY TRENCHES GREATER THAN FIVE (5) FEET IN DEPTH. THIS PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL SUBMIT THE TRENCH SAFETY PLAN TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

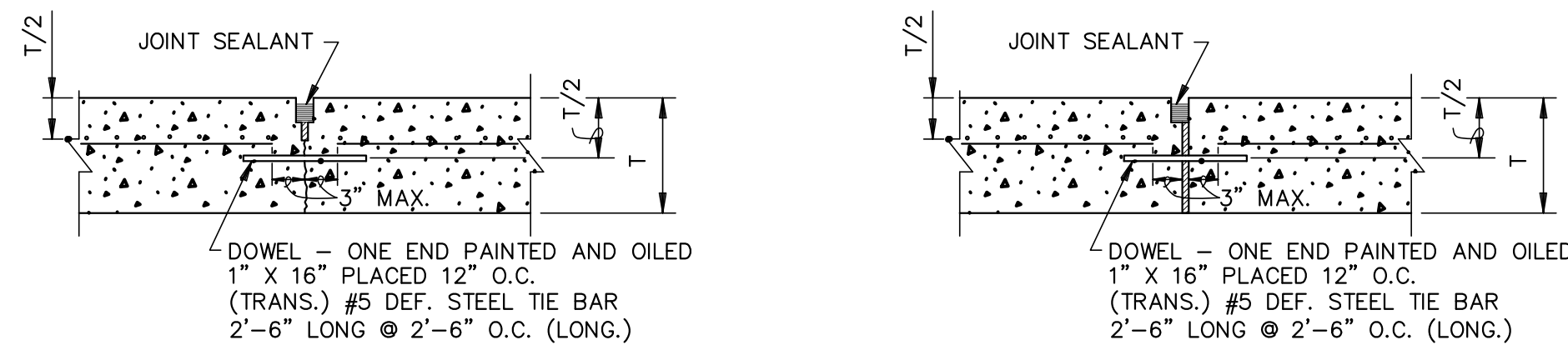


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EXPANSION JOINTS

N.T.S.

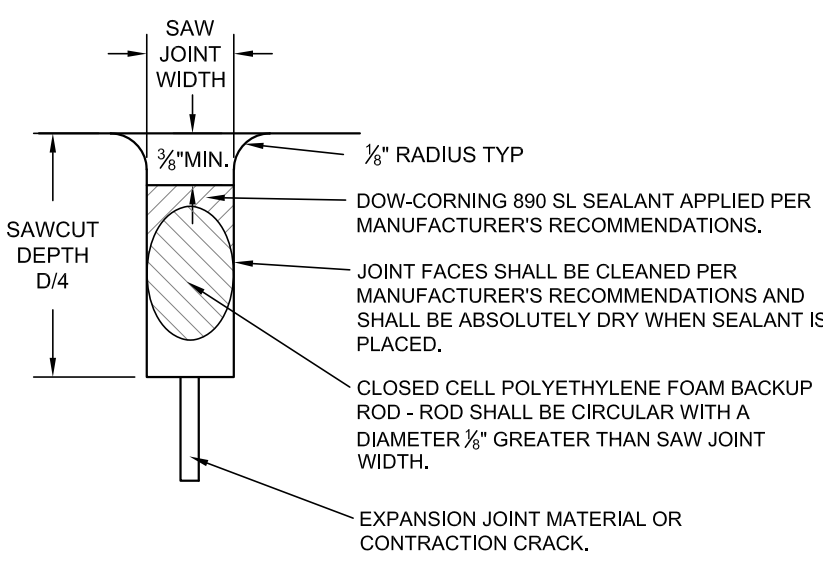


CONTRACTION JOINT

N.T.S.

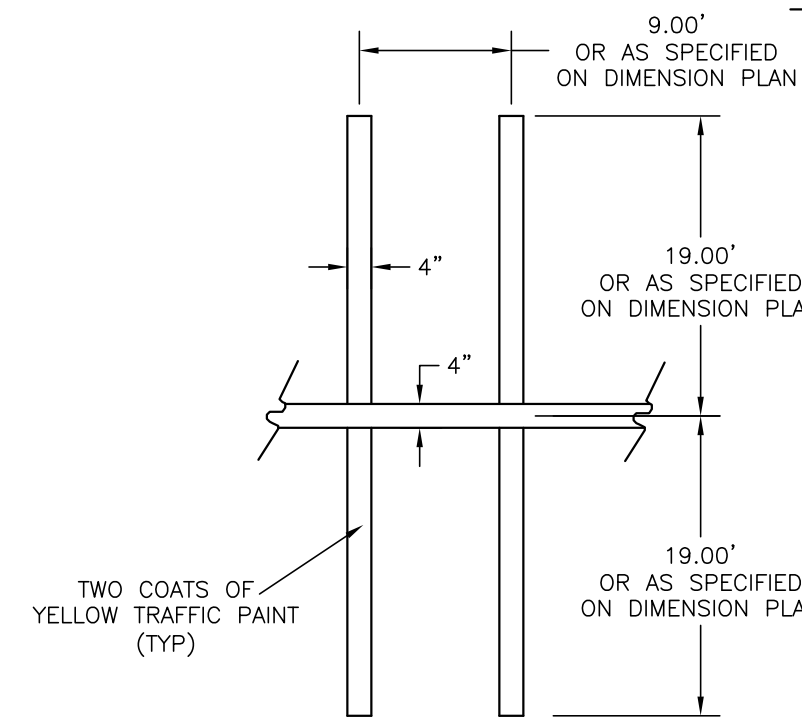
CONSTRUCTION JOINT

N.T.S.

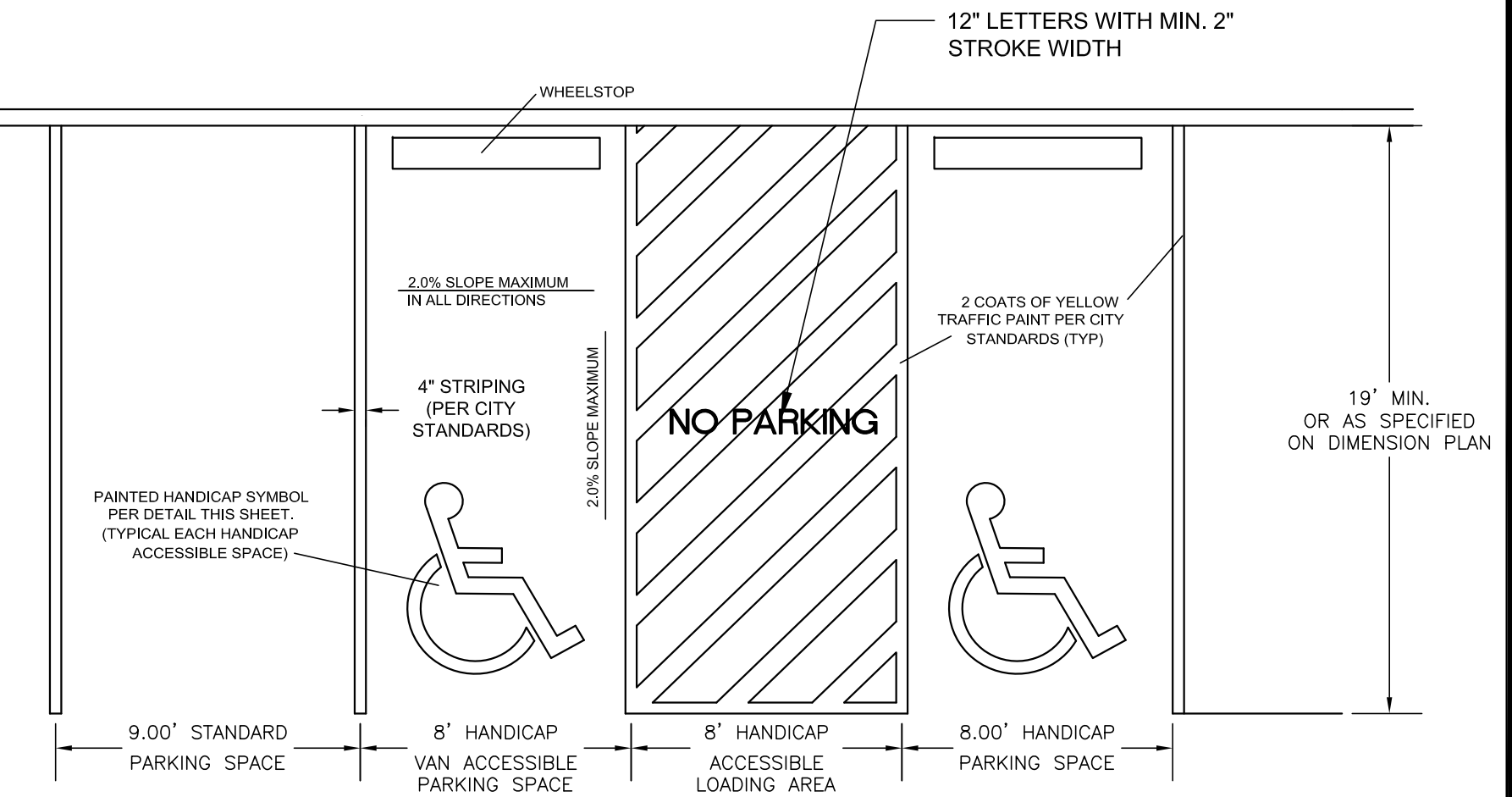


NOTE: WHEN PLACING SEALANT IN EXPANSION JOINTS, POLYETHYLENE BOND BREAKER TAPE SHALL BE ON TOP OF THE PREMOLDED EXPANSION JOINT IN LIEU OF BACKUP ROD.

NTS



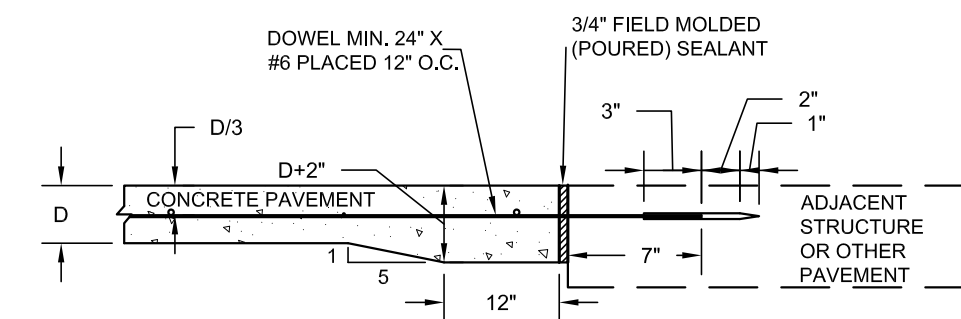
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ADA SPACES PAVEMENT STRIPING

NOT TO SCALE

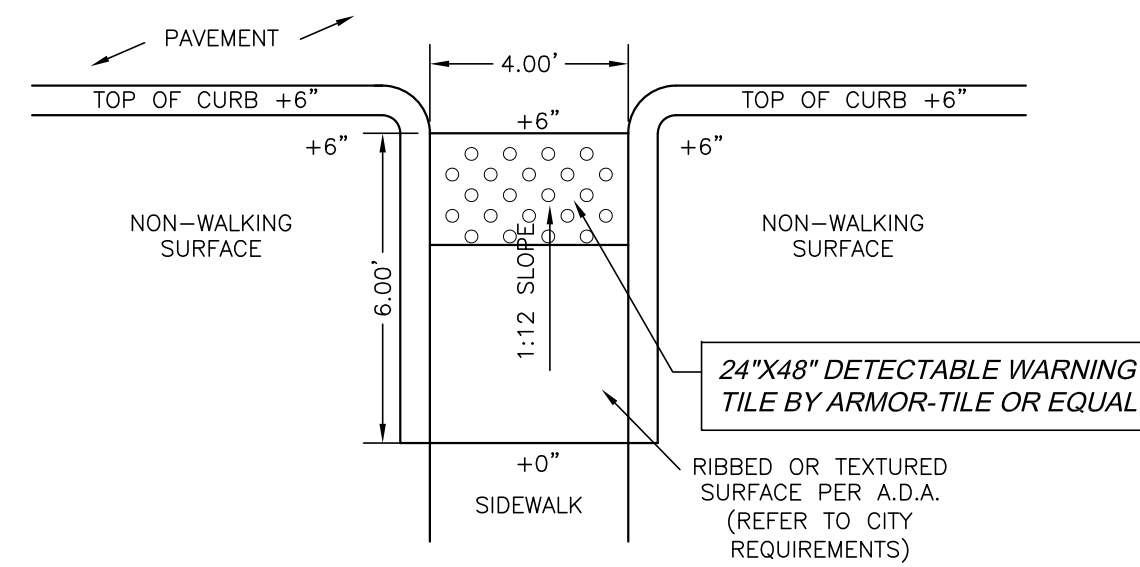
NOTE: SEE SITE PLAN FOR PARKING DIMENSIONS. DIMENSIONS SHOWN ARE MINIMUM REQUIRED.



NOTE: DO NOT DOWEL TO ADJACENT STRUCTURES UNLESS OTHERWISE SPECIFIED.

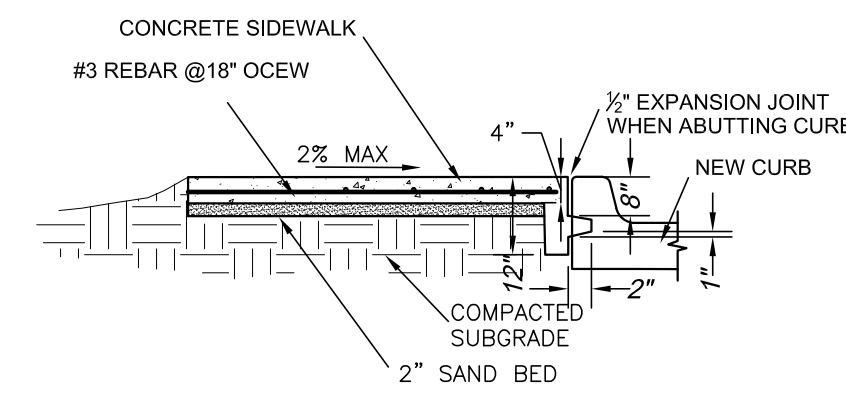
EXPANSION JOINT AT EXISTING CONDITION

NTS



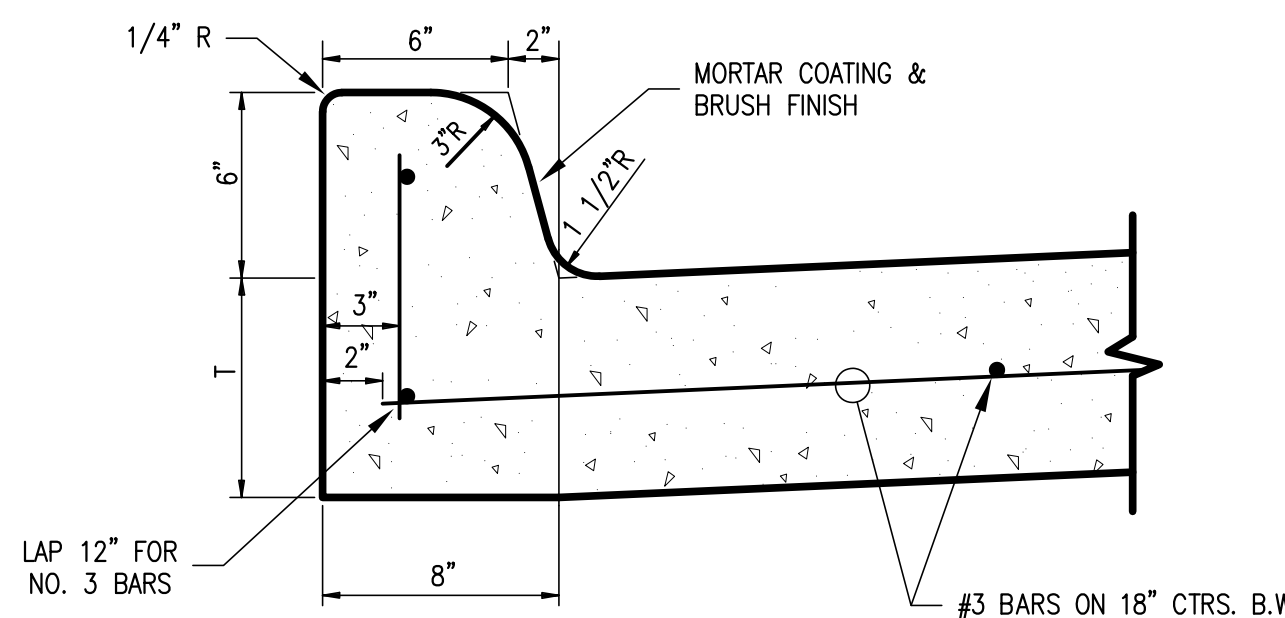
BARRIER FREE RETURNED CURB A.D.A. RAMP

NTS (PER FEDERAL A.D.A. STANDARD 4.7.5 AND FIGURE 12(b))

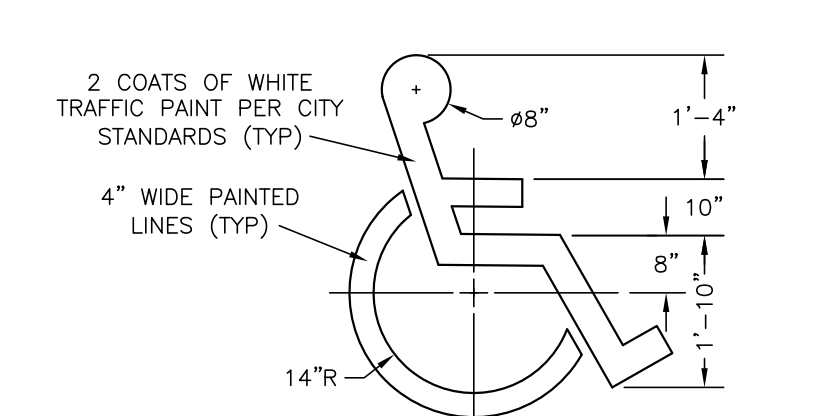


TYPICAL SIDEWALK AGAINST NEW CURB

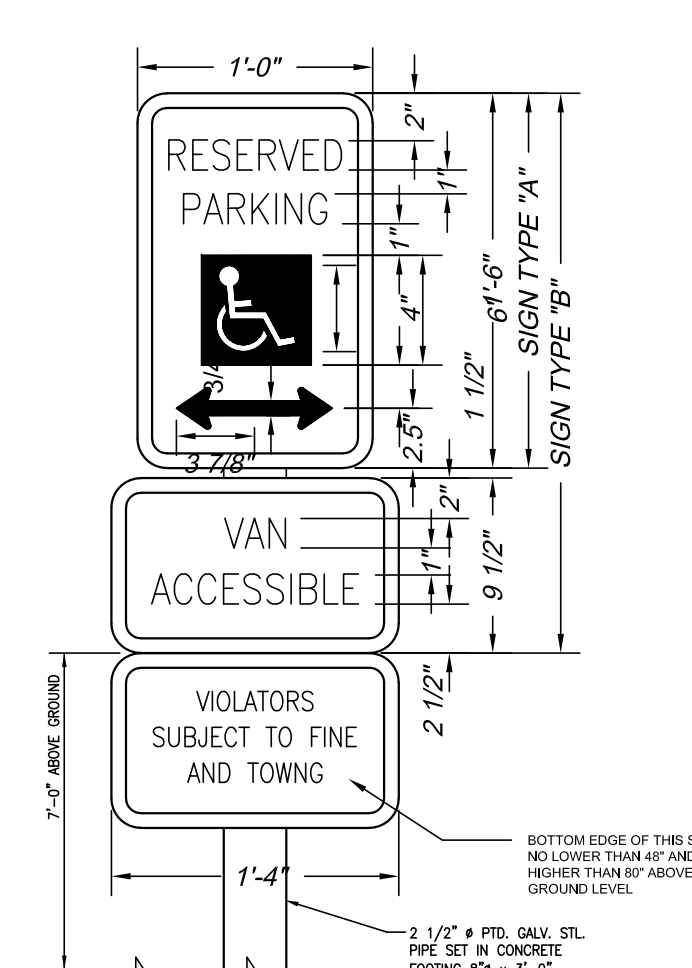
- NOTE:
- ALL HONEYCOMBS IN THE BACK OF CURB TO BE TROWEL PLASTERED BEFORE POURING SIDEWALK.
 - LUG MAY BE FORMED BY SHAPING SUBGRADE TO THE APPROXIMATE DIMENSIONS SHOWN.
 - ALL SIDEWALK SUBGRADE COMPACTED SUBGRADE OR SELECT FILL WITH PI BETWEEN 10 - 18.
 - SUBGRADE TO BE COMPACTED TO ASTM D 968 TO ±3% OF OMC
 - EXPANSION JOINTS TO BE PROVIDED AT STREET JOINTS AT A MAXIMUM OF 40' DISTANCE.



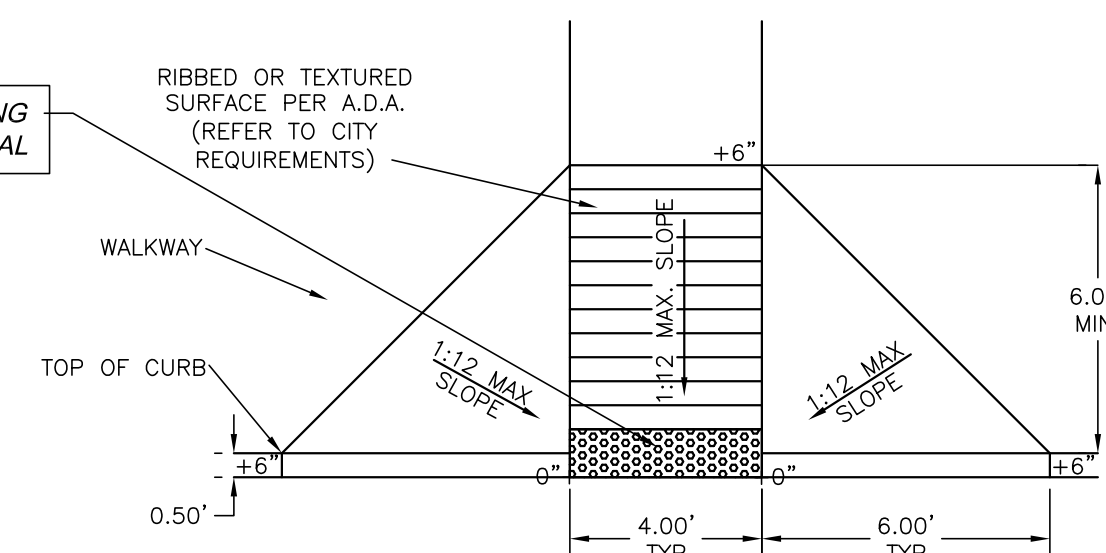
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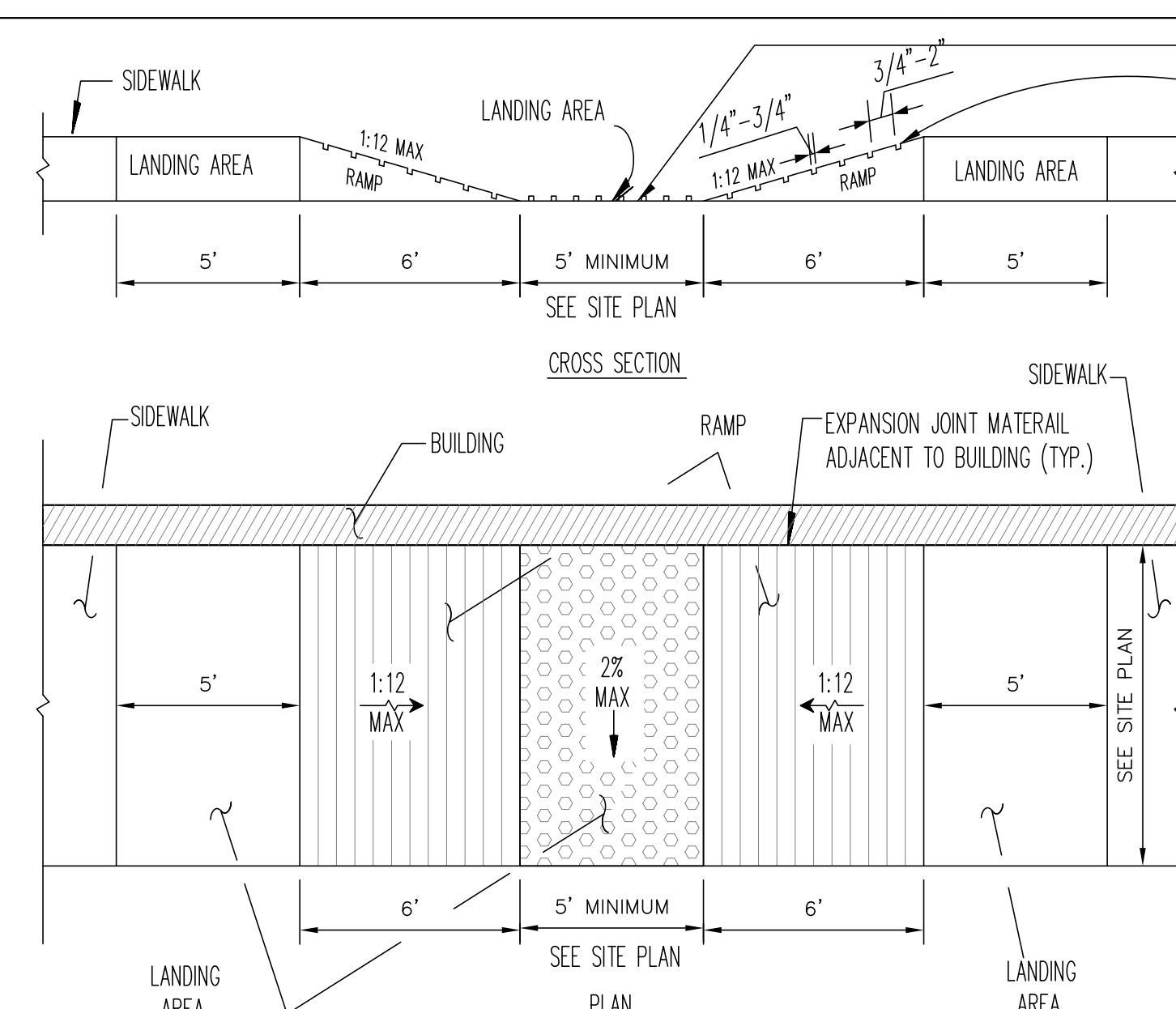


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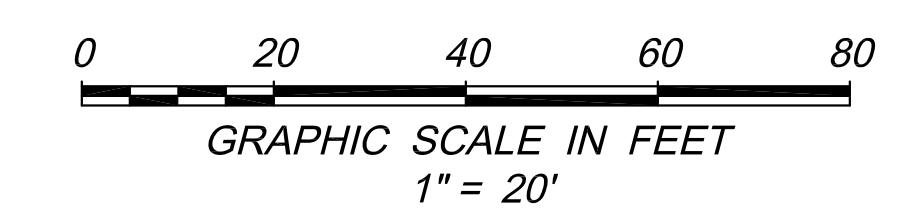
BARRIER FREE RAMP DETAIL

NTS



- NOTE:
- RAMPS SHALL BE PAINTED THE SAME COLOR AS STRIPING AND THE TEXTURE SHALL BE SCORED GROOVES.
 - THE BOTTOM OF THE RAMP SHALL HAVE A MAX. 1/4" LIP.
 - CONSTRUCT PER A.D.A. STANDARDS.
 - IF MAX. SLOPE OF RAMP DOES NOT EXCEED 1:20 THEN NO COLOR OR TEXTURE CONTRAST IS REQUIRED.

TDLR ACCESSIBLE CURB RAMP



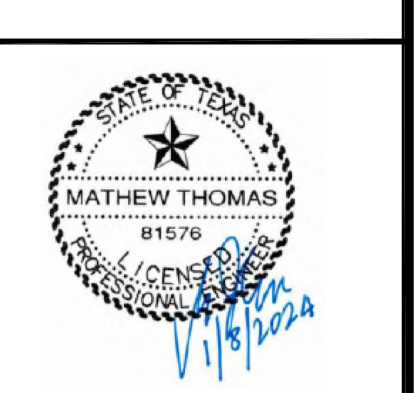
SITE DETAILS

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
PHONE: 214-886-6351
EMAIL: JLYNAUGH8382@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
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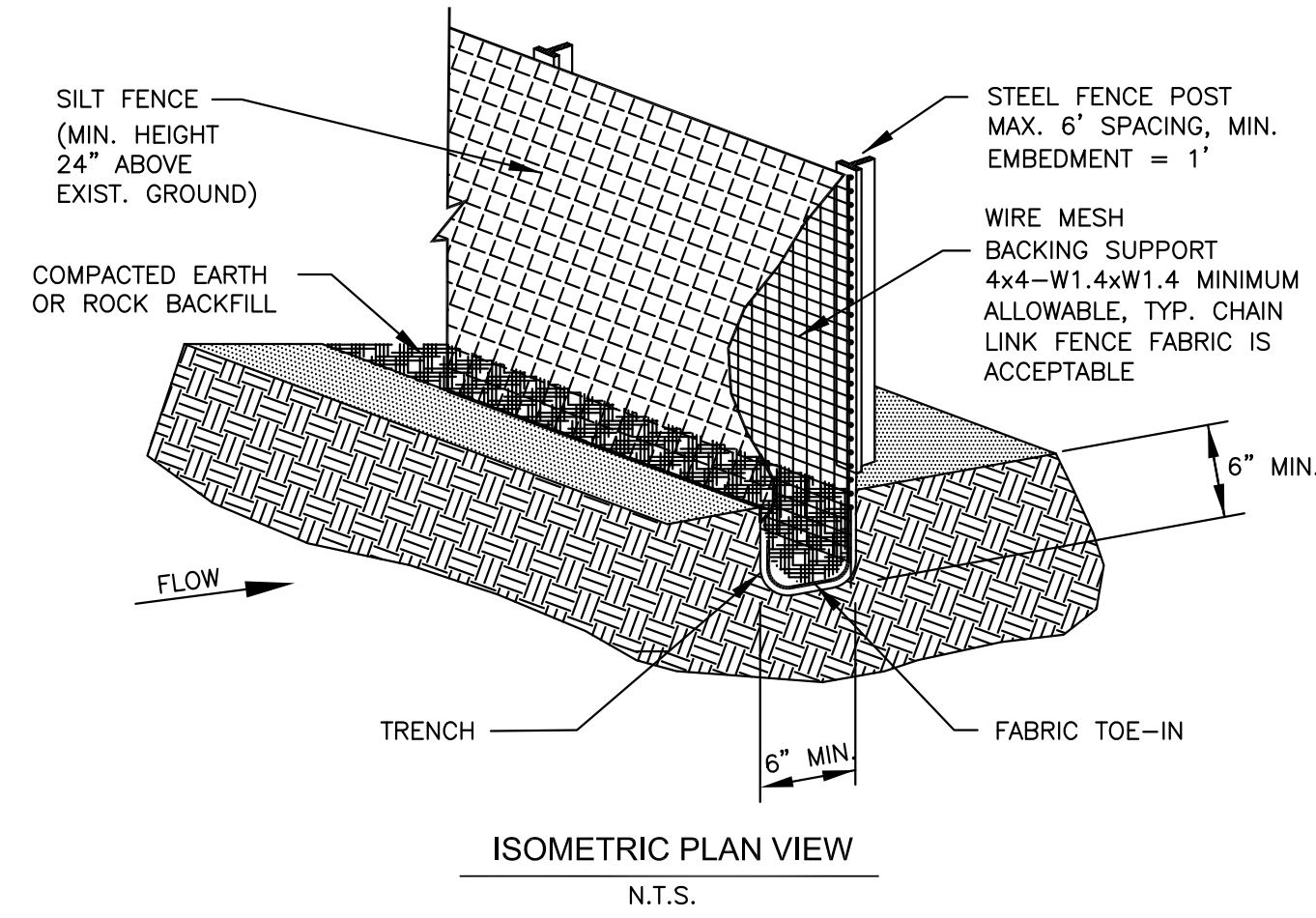


FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

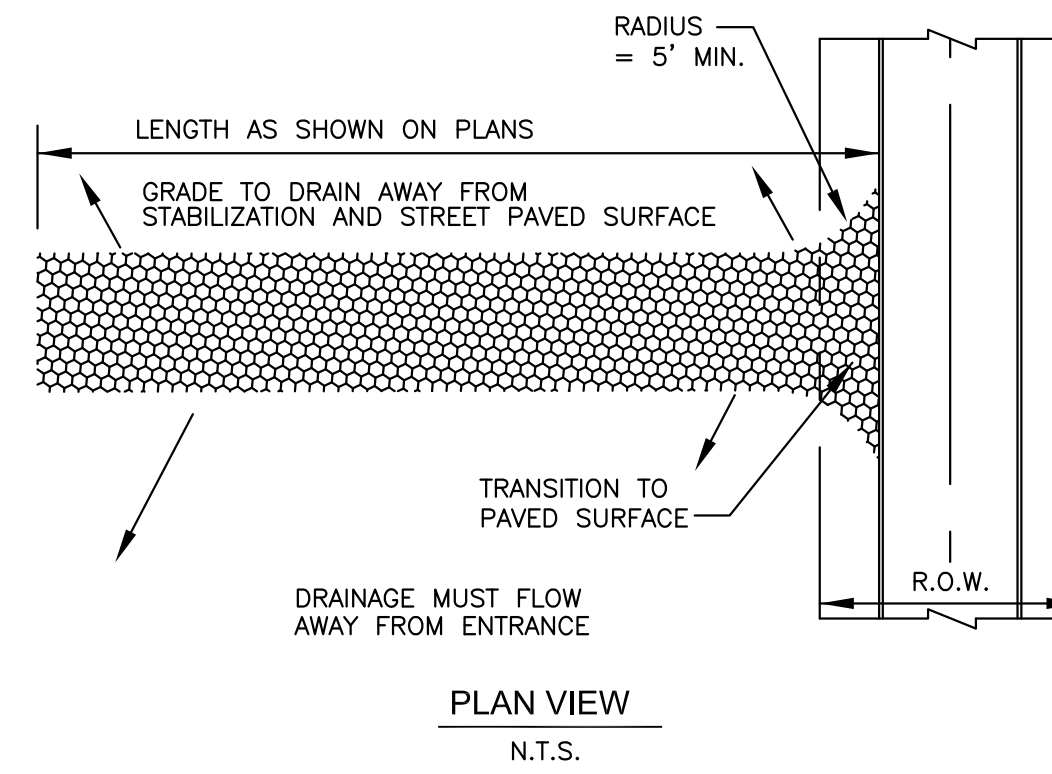
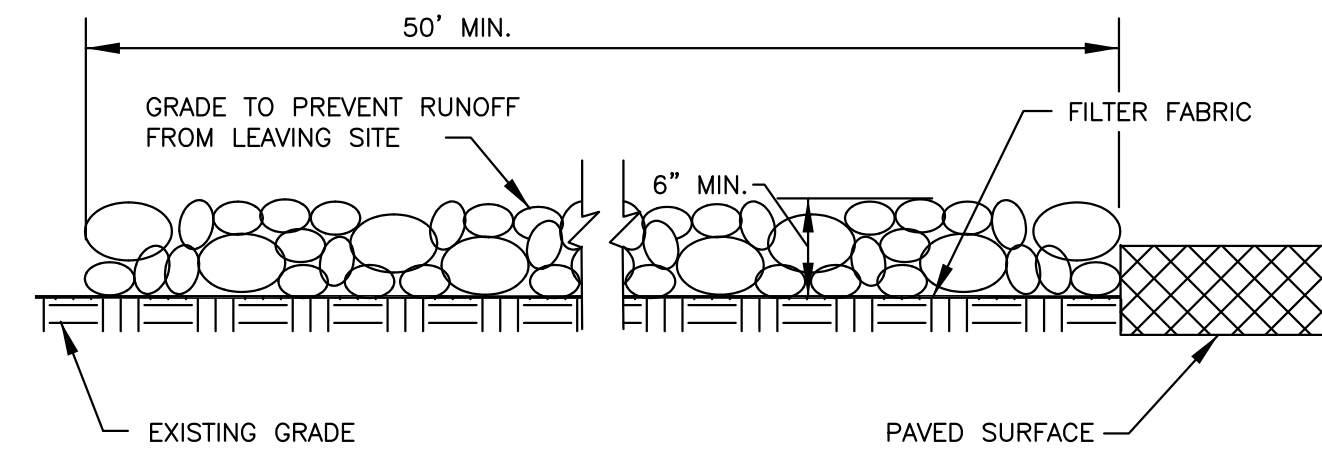
C-5.0

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SILT FENCE GENERAL NOTES:

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES :

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

SILT FENCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1020A

SILT FENCE

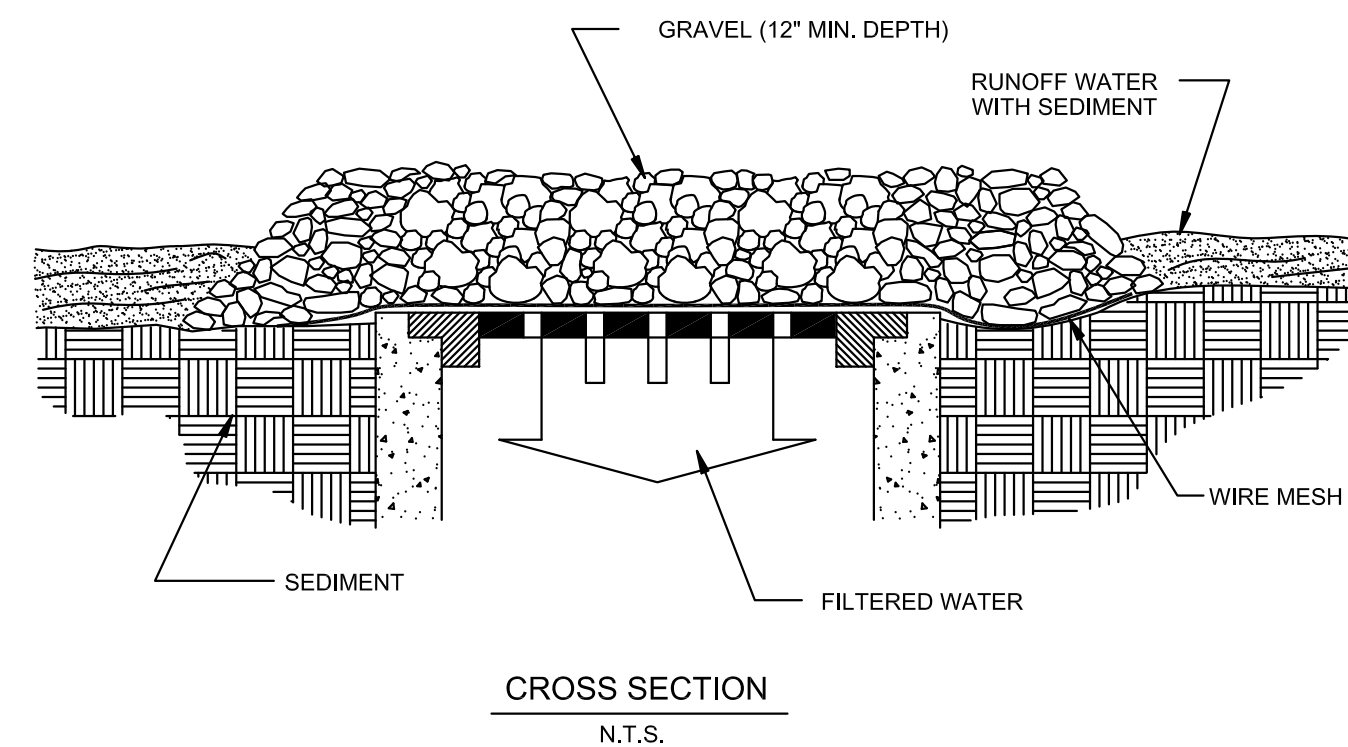
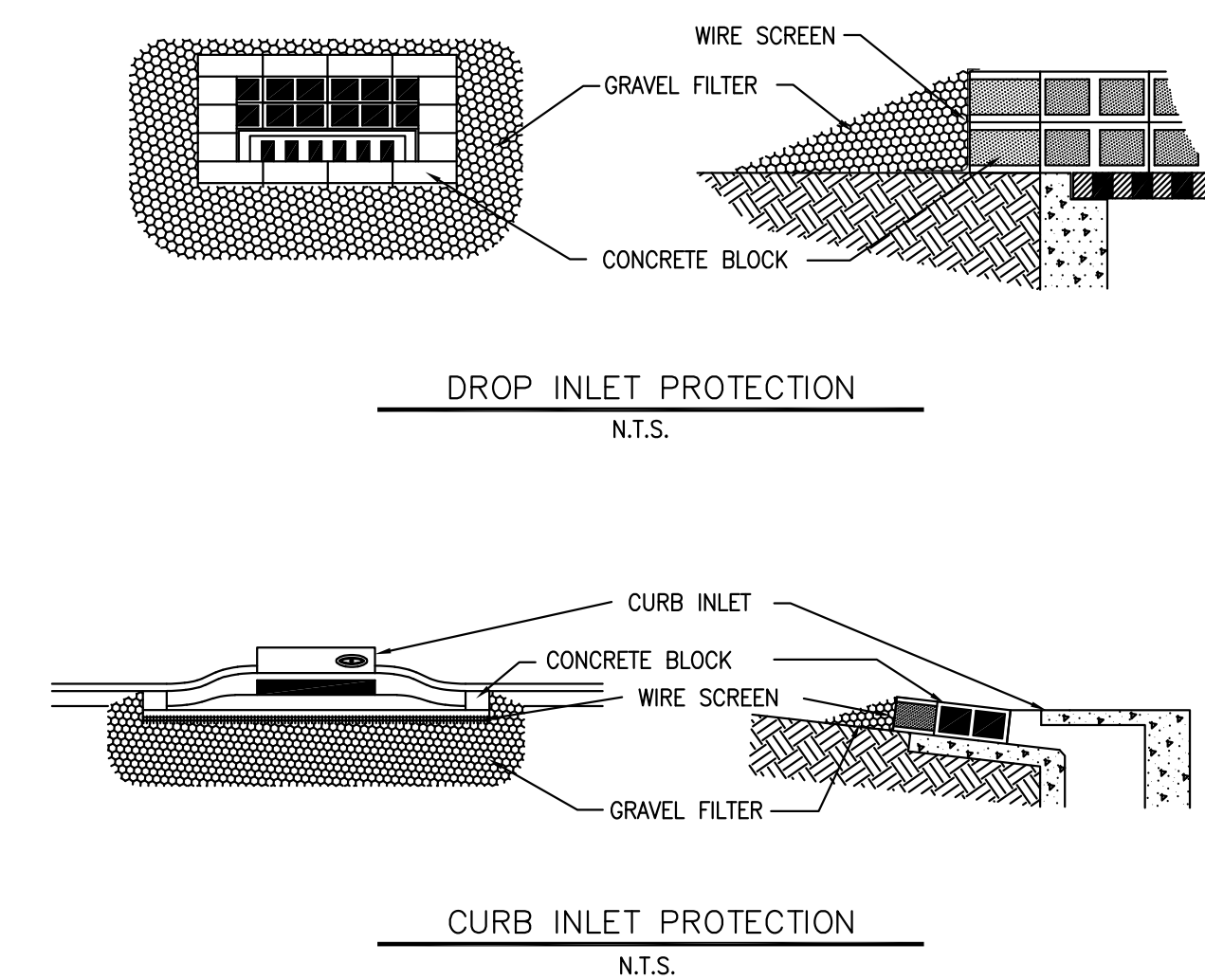
North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1020B

STABILIZED CONSTRUCTION ENTRANCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1070A

STABILIZED CONSTRUCTION ENTRANCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1070B



SPECIFIC APPLICATION

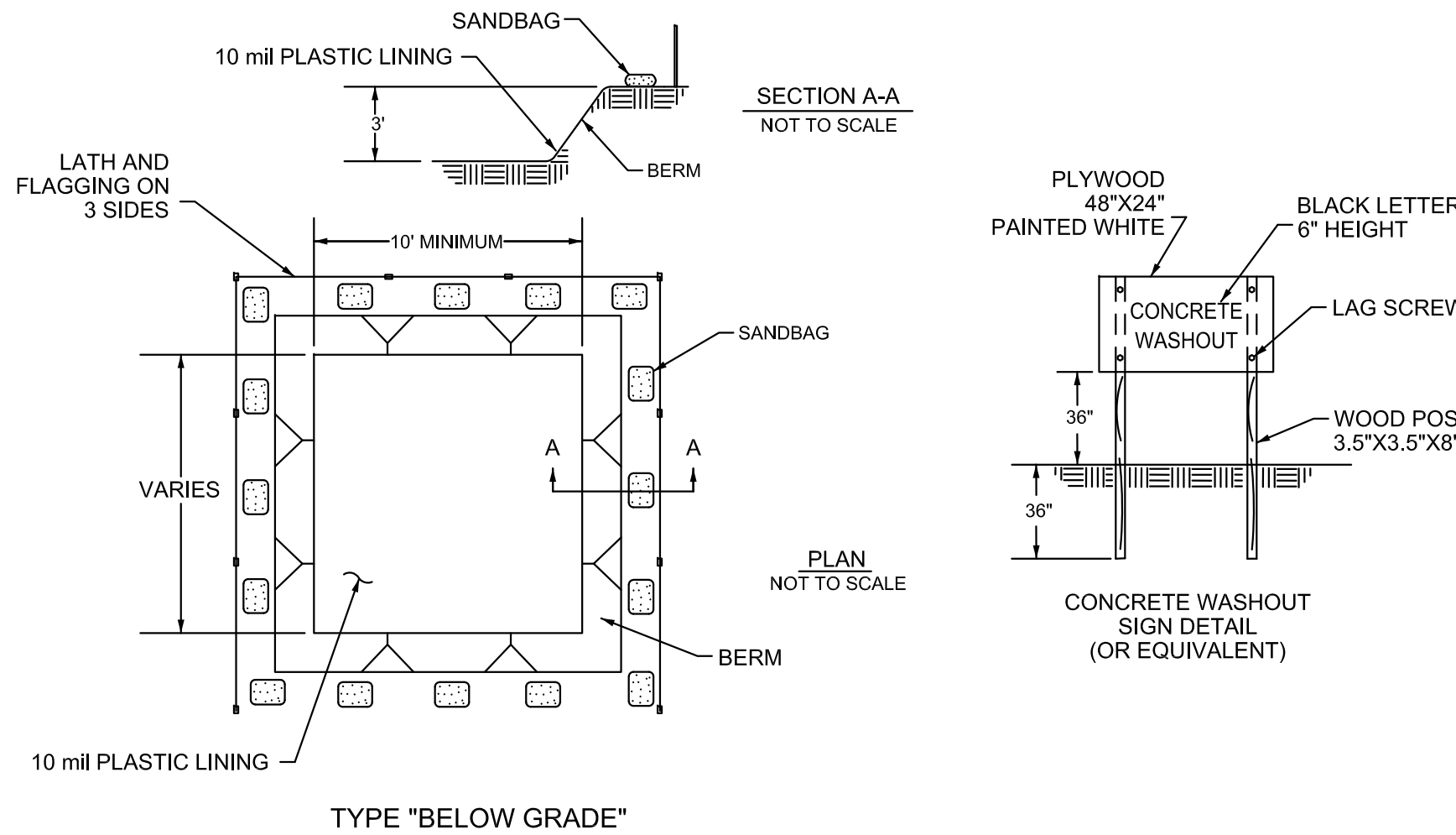
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATION FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE AND UNPROTECTED AREAS.

INLET PROTECTION BLOCK AND GRAVEL

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1130

INLET PROTECTION WIRE MESH AND GRAVEL

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: OCT. '04 STANDARD DRAWING NO.: 1140



NOTES

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

CONCRETE WASHOUT PIT
NTS

THESE NCTCOG STANDARDS HAVE BEEN REVIEWED BY MATHEW THOMAS PE AND APPROVED FOR USE ON THIS PROJECT

EROSION CONTROL DETAILS

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
1.62 Ac., (70,433 sf)
CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
PHONE: 214-986-6351
EMAIL: JLYNAUGH8382@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
P.O. BOX 1261, COLLEYVILLE, TX 76034
ATTN: MATHEW THOMAS, PE
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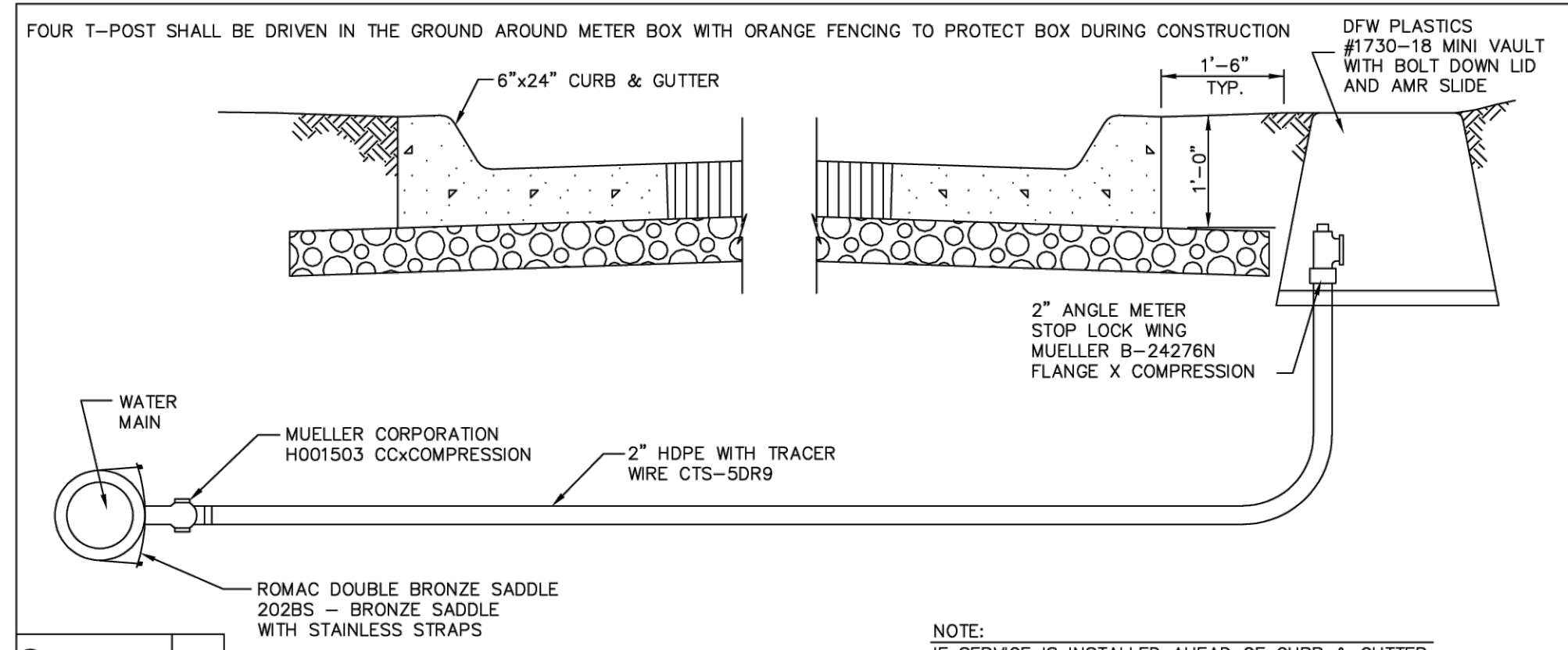
THOMAS SITE DEVELOPMENT ENGINEERING INC.
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EMAIL: MATHEW@THOMAS-ENG.COM



FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

REVISION	DESCRIPTION	DATE

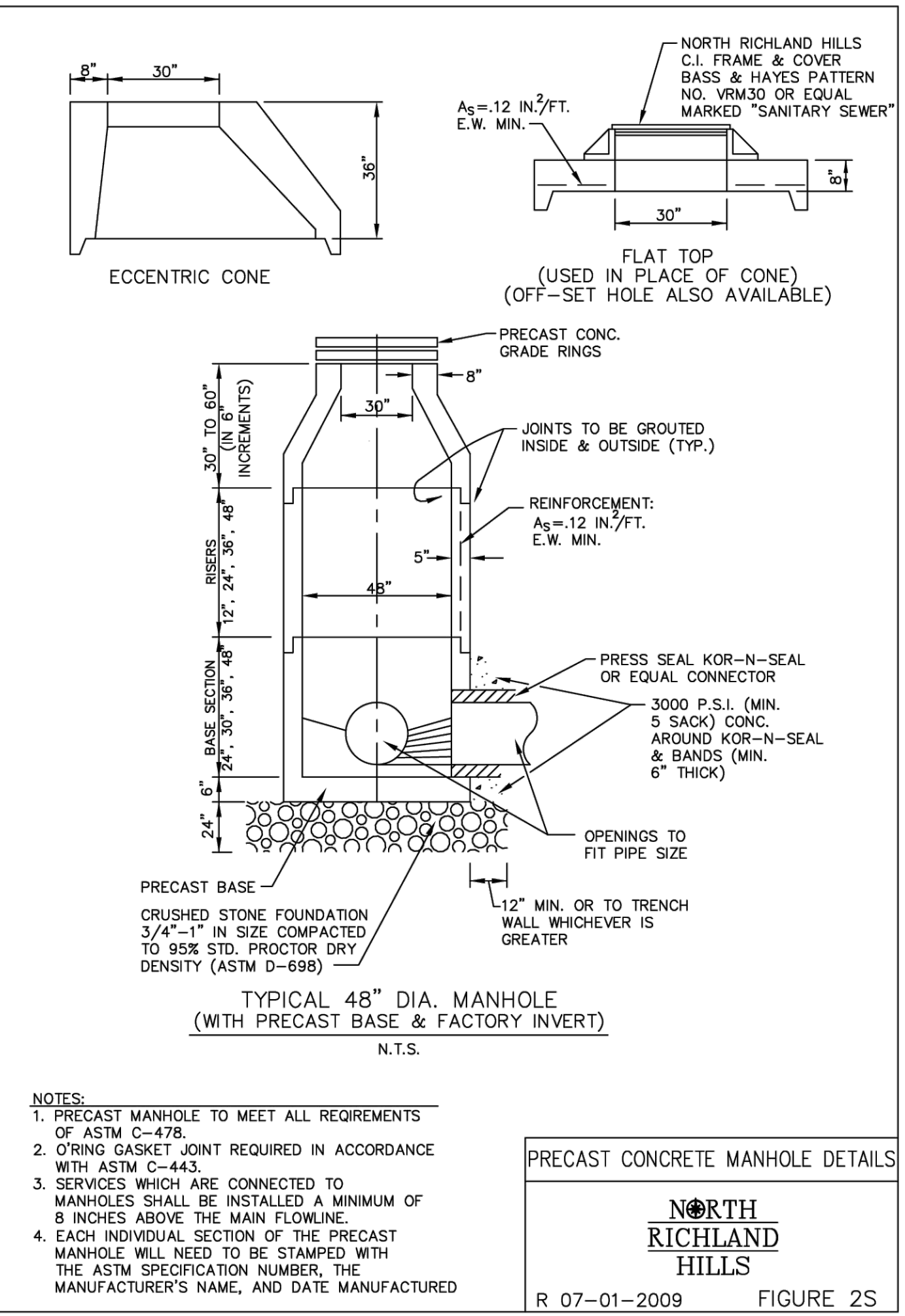
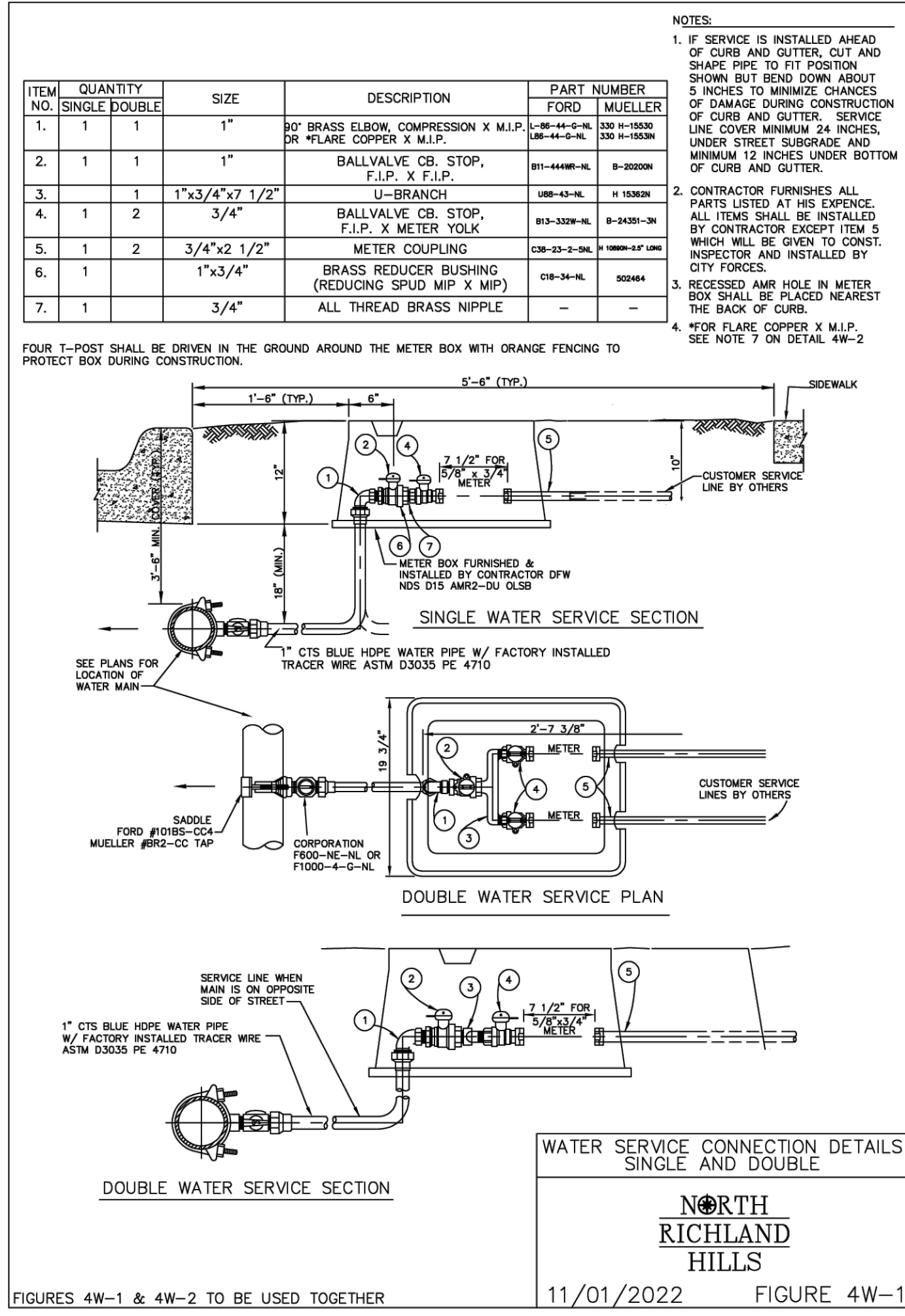
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DETAIL FOR 2" WATER SERVICE

08-09-2021
NORTH RICHLAND HILLS
2" WATER SERVICE
FIGURE 5W

NOTE:
IF SERVICE IS INSTALLED AHEAD OF CURB & GUTTER, CUT AND SHAPE PIPE TO FIT POSITION SHOWN BUT BEND DOWN ABOUT 5 INCHES TO MINIMIZE CHANCES OF DAMAGE DURING CONSTRUCTION OF CURB AND GUTTER. SERVICE LINE COVER MINIMUM 24 INCHES, UNDER STREET SUBGRADE.



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FLEX SPACE
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

THESE CITY OF NORTH RICHLAND HILLS STANDARDS HAVE BEEN REVIEWED BY MATHEW THOMAS PE AND APPROVED FOR USE ON THIS PROJECT

UTILITY DETAILS

LOT 1RA, BLOCK 7
INDUSTRIAL PARK ADDITION
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CAB. 4 SLIDE 6241 P.R.T.C.
CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

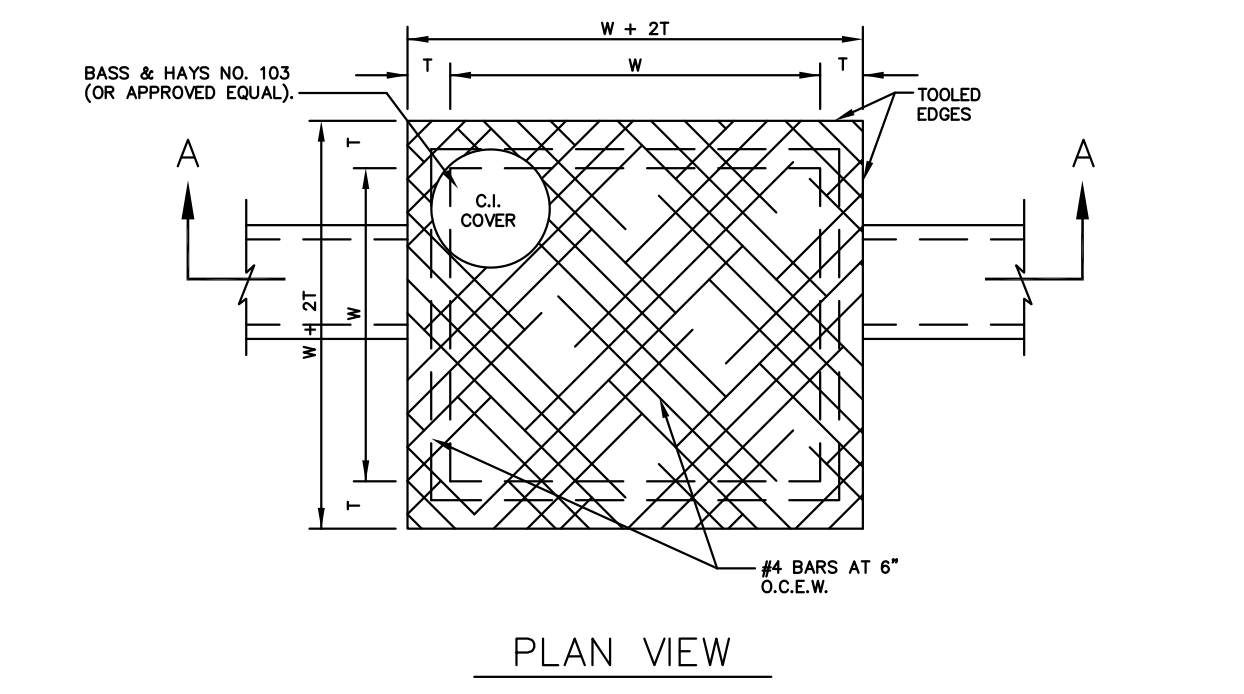
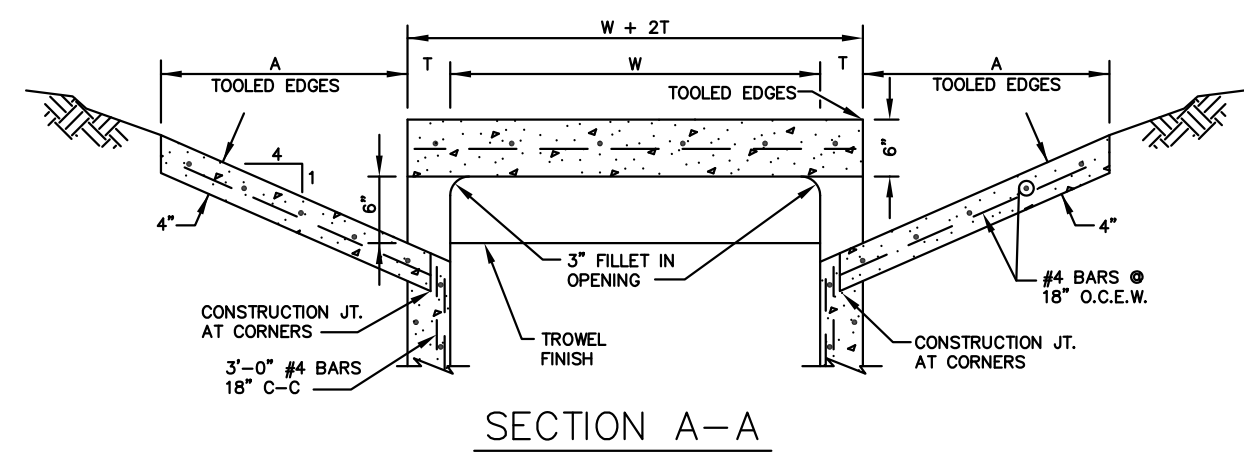
DEVELOPER: JOHN LYNAUGH
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EMAIL: JLYNAUGH532@GMAIL.COM

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
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REVISION	DESCRIPTION	DATE

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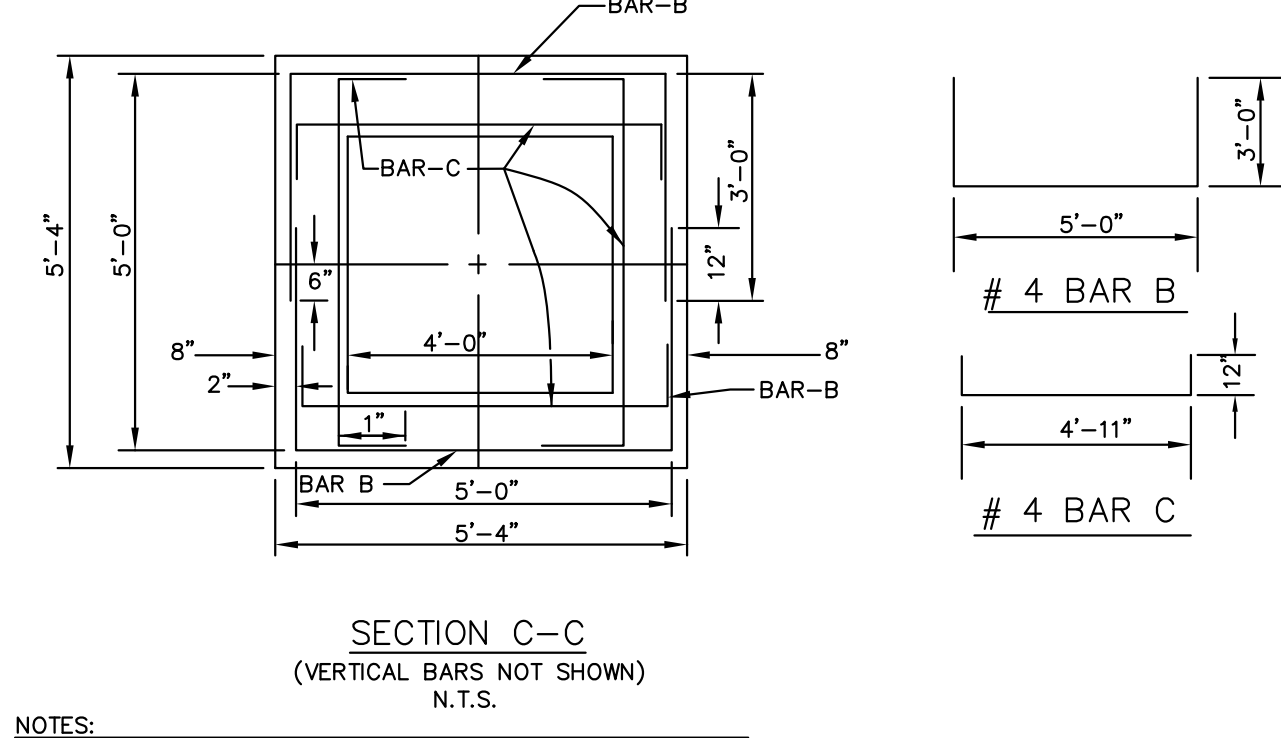
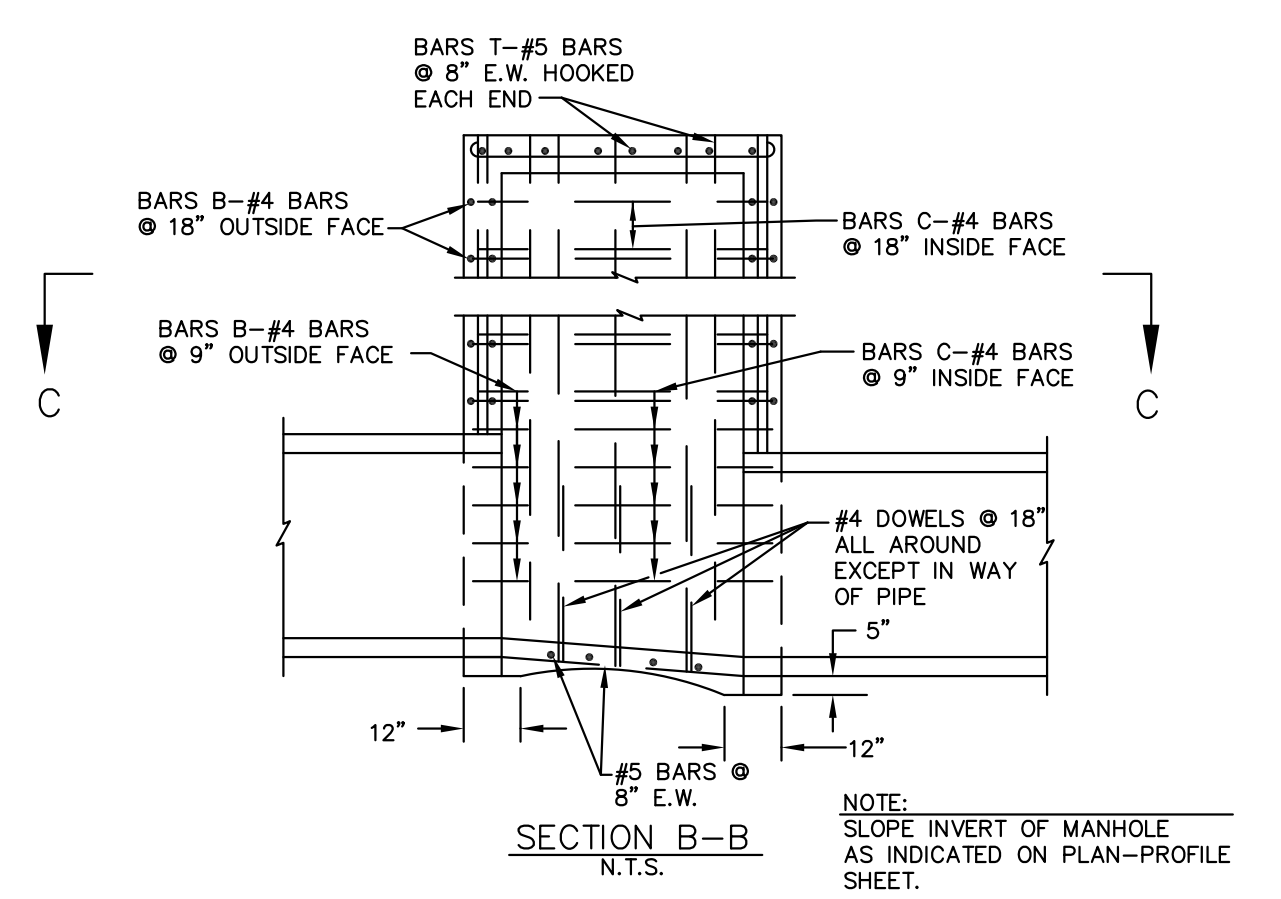
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INLET SIZE	T	W	A
2' SQUARE	7"	2'-0"	2'-0"
4' SQUARE	7"	4'-0"	3'-0"
5' SQUARE	8"	5'-0"	4'-0"
6' SQUARE	9"	6'-0"	4'-0"

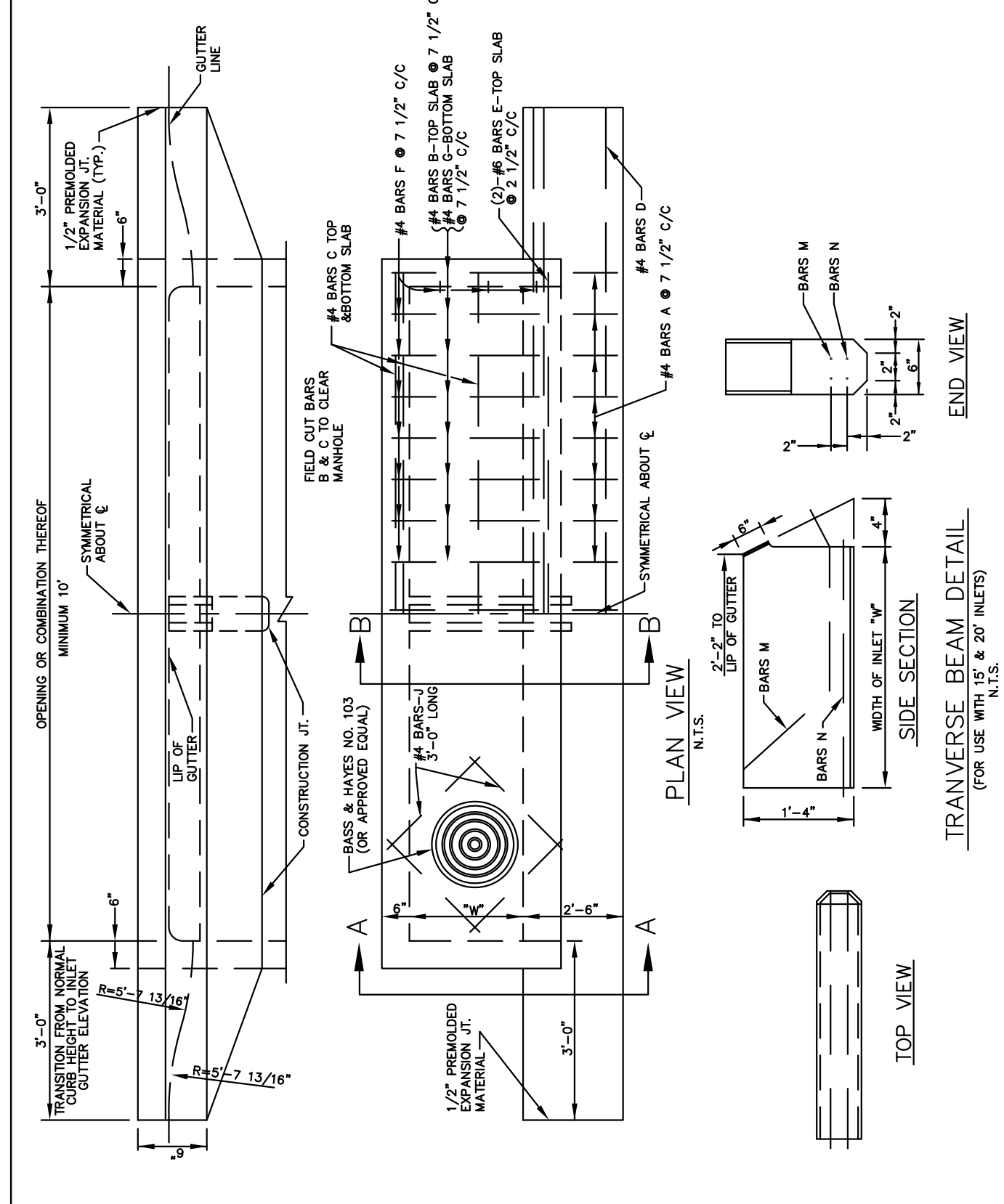
- NOTES:
1. MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF NORTH RICHLAND HILLS STANDARD SPECIFICATIONS FOR STANDARD CONCRETE MANHOLES. MINIMUM 3000 PSI CONCRETE.
 2. LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 2" TO THE CENTER OF BARS, UNLESS OTHERWISE NOTED.
 3. FOR DETAILS OF REINFORCING OF LOWER PORTIONS OF INLET SEE APPROPRIATE SQUARE MANHOLE DETAILS.
 4. DEPTH OF REINFORCING OF LOWER PORTIONS OF INLET IS VARIABLE. APPROXIMATE DEPTH WILL BE SHOWN ON PLANS AT LOCATION OF INLET.
 5. ALL STANDARD DROP INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS OTHERWISE SHOWN ON PLANS.
 6. DECK MAY BE REINFORCED SAME AS 4' SQUARE MANHOLE.

STANDARD DROP INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 11D

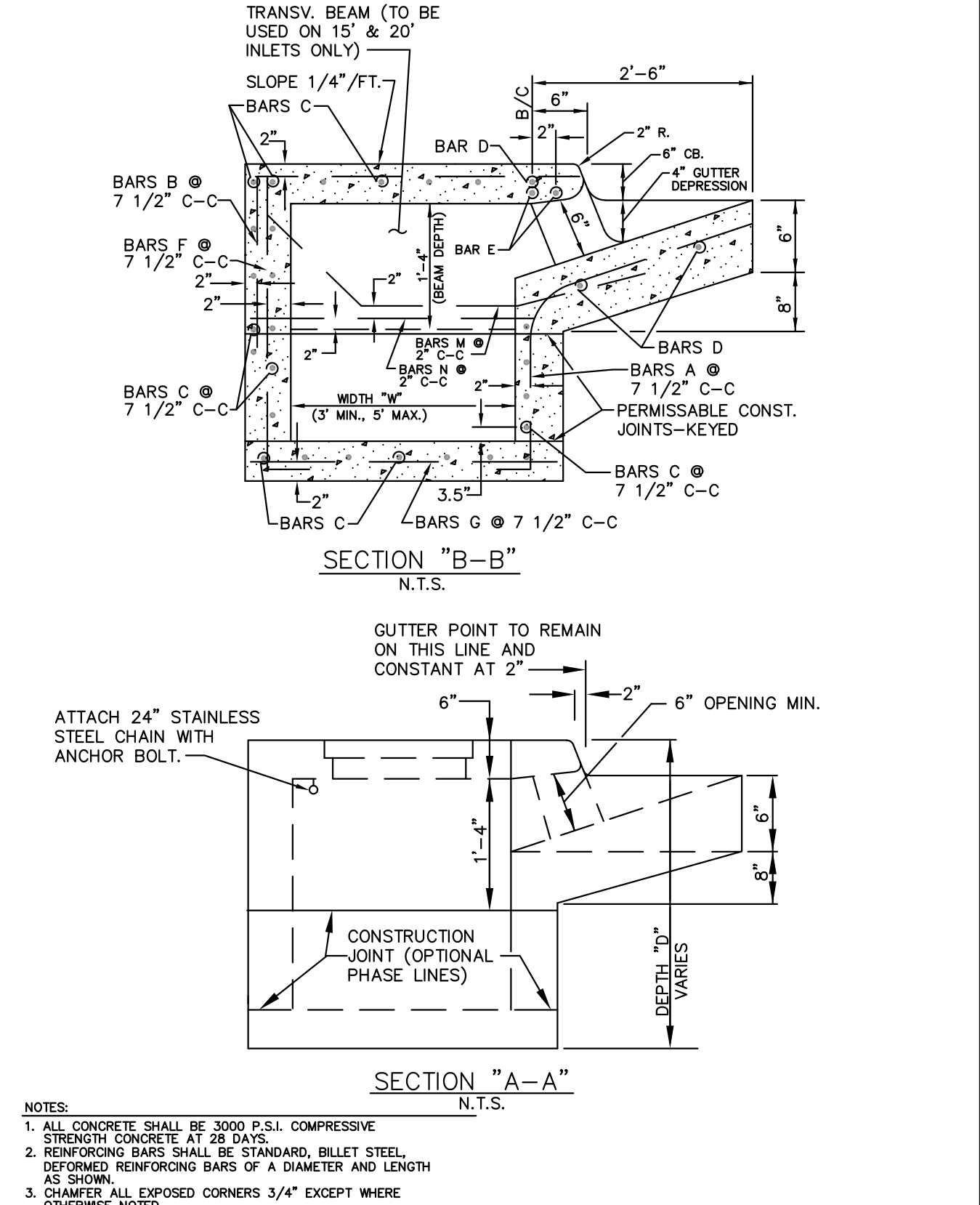


- NOTES:
1. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF STANDARD SPECIFICATION FOR STANDARD MANHOLES.
 2. LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACE SHALL HAVE A COVER OF 2" TO THE CENTER OF BARS, UNLESS OTHERWISE NOTED.
 3. EXCAVATION FOR MANHOLE TO BE INCLUDED IN UNIT PRICE BID FOR MANHOLE.
 4. STANDARD 4 FOOT SQUARE MANHOLE SHALL NOT BE USED IF STORM DRAIN PIPE I.D. IS GREATER THAN 36".

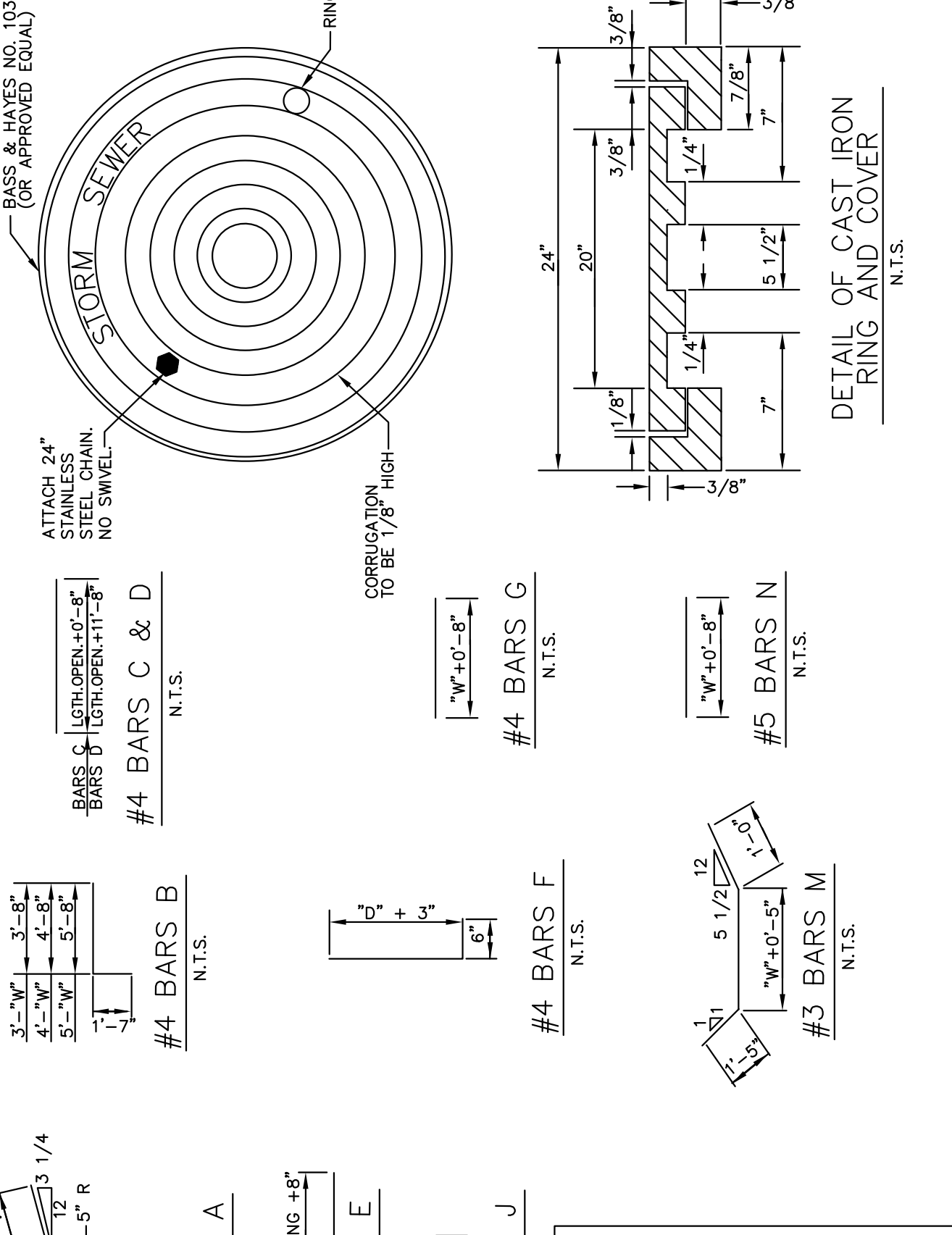
STANDARD 4 FOOT SQUARE STORM DRAIN MANHOLE/VAULT
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 12D-2



STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-1



STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-2



STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-3



STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-3

STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-1

STANDARD CURB INLET
NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 16D-2

THESE CITY OF NORTH RICHLAND HILLS STANDARDS HAVE BEEN REVIEWED BY MATHEW THOMAS PE AND APPROVED FOR USE ON THIS PROJECT

DRAINAGE DETAILS

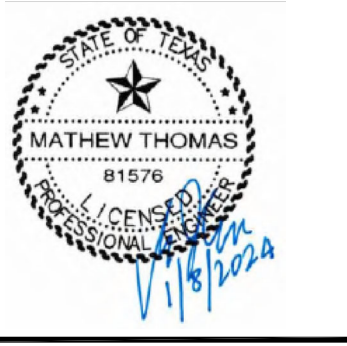
LOT 1RA, BLOCK 7
 INDUSTRIAL PARK ADDITION
 1.62 Ac., (70,433 sf)
 CAB. 4 SLIDE 6241 P.R.T.C.
 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

DEVELOPER: JOHN LYNAUGH
 ENGINEER: MATHEW THOMAS, PE

REVISION	DESCRIPTION	DATE

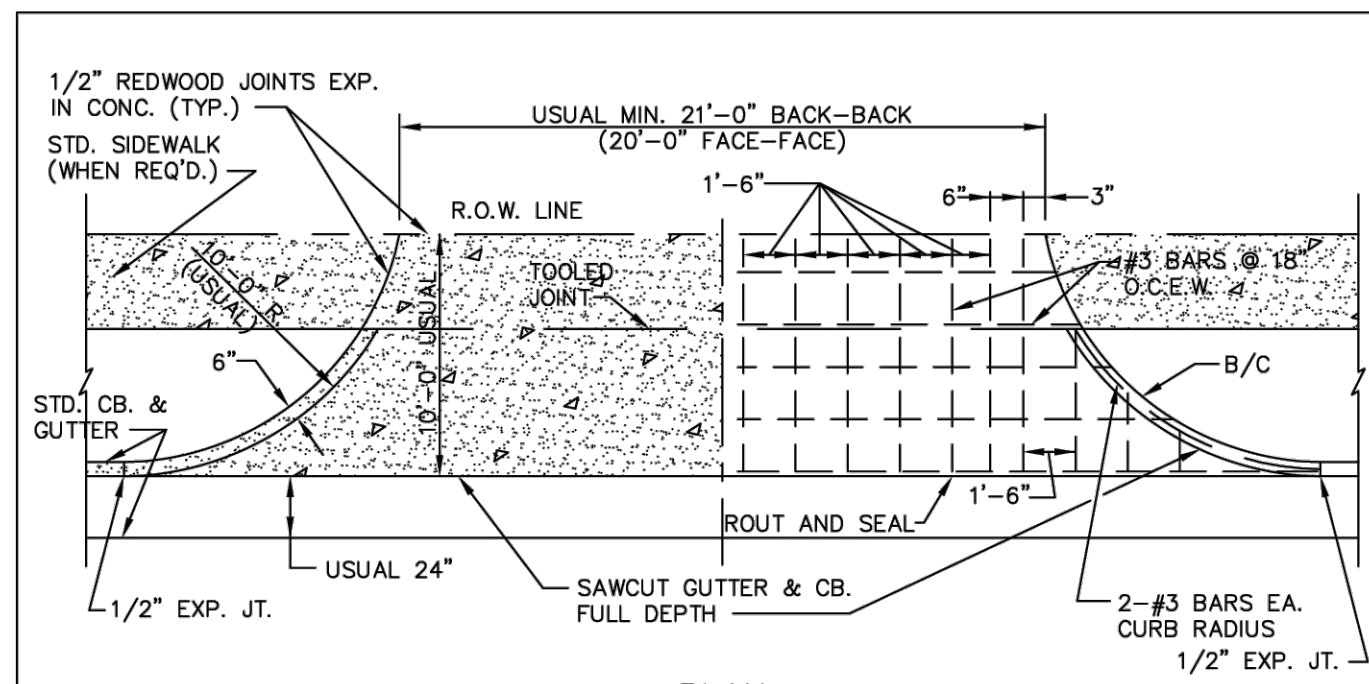
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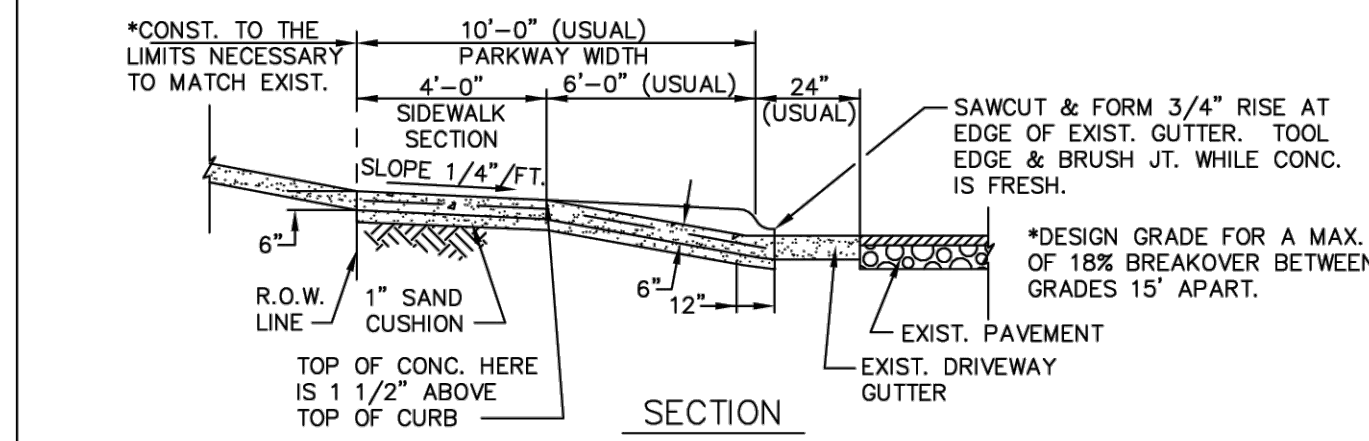
6640 BLVD., NORTH RICHLAND HILLS, TX 76180

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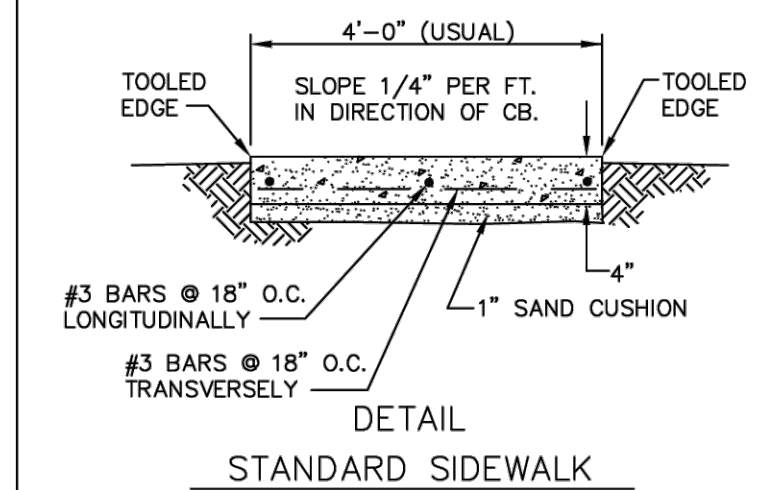


NOTE: IF GUTTER IS CRACKED, DRIVEWAY AND GUTTER MUST BE POURED MONOLITHICALLY.

PLAN



SECTION



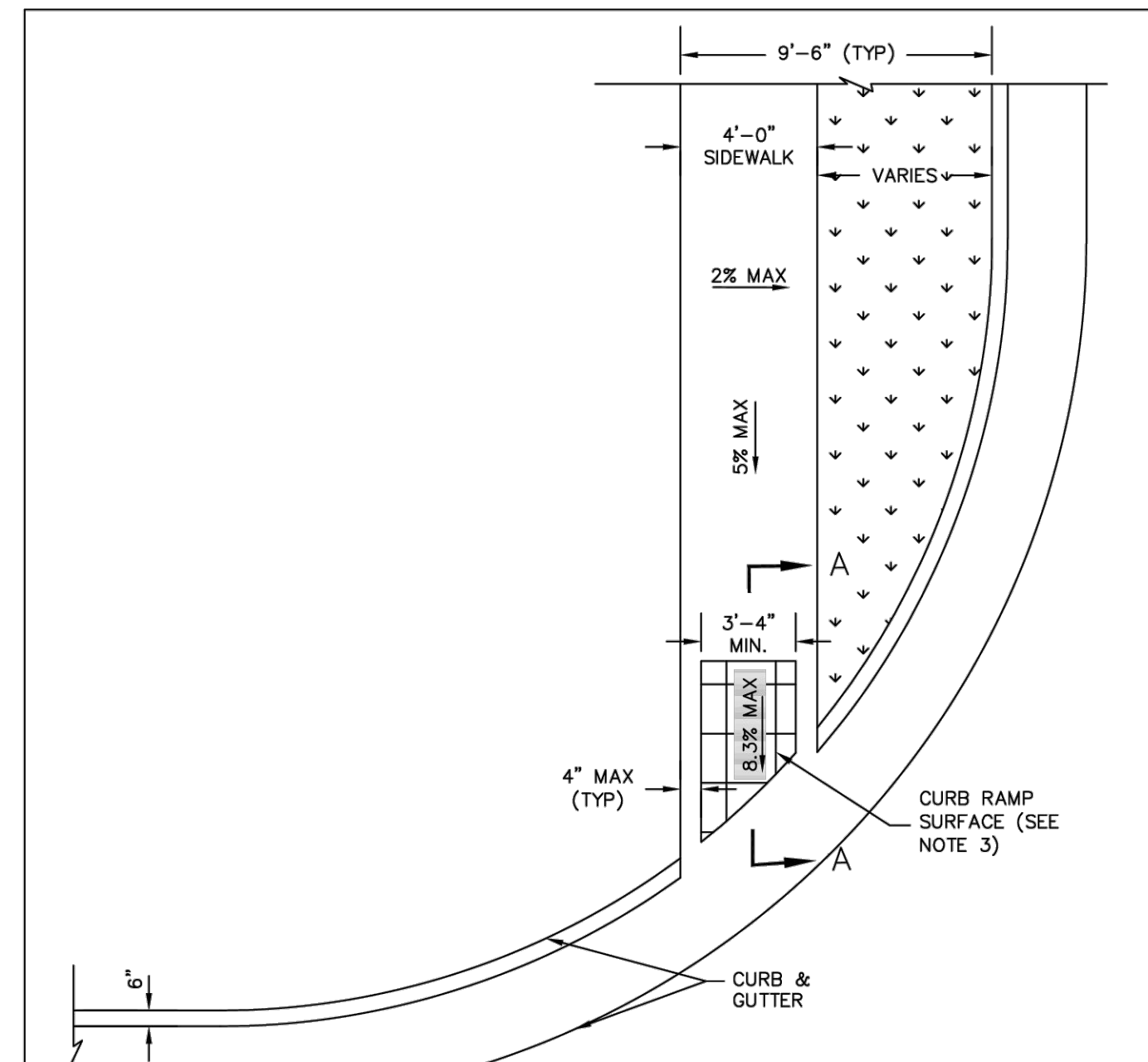
DETAIL
STANDARD SIDEWALK

- NOTES:
1. MINIMUM THICKNESS OF DRIVEWAY IS 6". USE 3000 PSI COMPRESSIVE STRENGTH CONCRETE WITH 5" MAXIMUM SLUMP.
 2. CONCRETE TO BE POURED WITHIN 72 HOURS FROM THE TIME THE CURB & GUTTER IS SAWCUT.
 3. PARKWAY, SIDEWALK, AND DRIVEWAY SIDEWALK SECTION WILL ALL HAVE A 1/4" PER FOOT SLOPE DOWN IN THE DIRECTION OF THE TOP OF CURB.
 4. SEE FIGURE 4P FOR EXPANSION JOINT DETAIL.

COMMERCIAL DRIVE DETAILS

**NORTH
RICHLAND
HILLS**

R 07-01-2009 FIGURE 12P



PLAN
N.T.S.

NOTES:

1. ALL SIDEWALKS AND CURB RAMPS SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE WITH 5 SACKS OF CEMENT/C.Y., MAXIMUM SLUMP OF 5 INCHES, AND A 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
2. CURB RAMP SURFACE COLOR SHALL BE BRICK RED.
3. CURB RAMP SURFACE SHALL COMPLY WITH CURRENT REQUIREMENTS OF TEXAS ACCESSIBILITY STANDARDS AND AMERICANS WITH DISABILITY ACT (ADA). SURFACES MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTING THE CURB RAMP.
4. CURB RAMPS MUST COMPLY WITH ALL REQUIREMENTS OF TEXAS ACCESSIBILITY STANDARDS SECTION 4.7.

SECTION A-A
N.T.S.

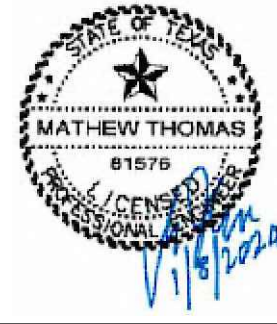
CURB RAMP DETAIL IV

**NORTH
RICHLAND
HILLS**

R 07-01-2009 FIGURE 10P-4

THESE CITY OF NORTH RICHLAND HILLS STANDARDS HAVE BEEN REVIEWED BY MATHEW THOMAS PE AND APPROVED FOR USE ON THIS PROJECT

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FLEX SPACE
 6640 BLVD., NORTH RICHLAND HILLS, TX 76180

DRIVEWAY & RAMP DETAILS

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REVISION	DESCRIPTION	DATE

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C:\DESIGN\ARCHIVE\INDUSTRIAL PARK ADDITION\DRIVEWAY & RAMP DETAILS - FLEX SPACE INSHLING\FIGURE 12P-4.dwg