

FOR LEASE

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Real Estate Development • Investments • Brokerage



18875 FM 121 Gunter, TX  
2,400 SF & 2,400 SF with 600 SF office Space Available

# EXECUTIVE SUMMARY



## OPPORTUNITY OVERVIEW:

Excellent, high-visibility industrial/flex opportunity located directly on FM 121. This opportunity consists of two (2) separate flex buildings with shared parking and access from FM 121. West Building features 2,400 SF of open warehouse space, 2 full length roll-up doors on two sides for easy access to East Bldg. The East building features 2,400 SF of open warehouse, with an additional 600 SF of office space. The East building is fully insulated and includes two (2) 10-ton AC units as well as propane heating to allow for a wide range of uses. The East building also includes two bathrooms and roll-up doors.

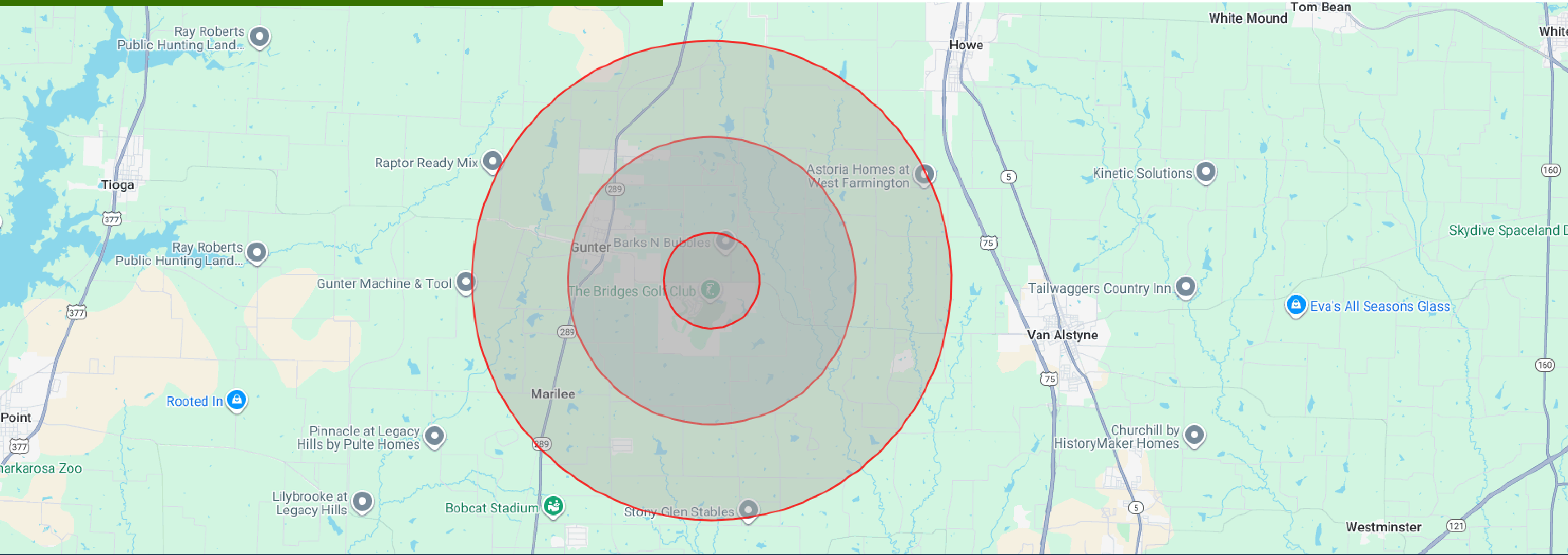
## TENANT HIGHLIGHTS:

- Direct access to FM 121
- 4,800 SF of open warehouse space
- Sufficient insulation and HVAC for unique & intense users
- 1 acre property allows plenty of parking & potential for outdoor storage
- < 3 miles from Hwy 289 & < 6 miles from I75
- Extreme growth (15%+ YoY) market area

PROPERTY INFO	
RBA	5,400 SF
Zoning	ETJ (no Zoning)
Year Built	2005
Parking	~20 spaces

2023 DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
Population (2023)	931	3,547	7,131
Growth (2020 -2024)	17.4%	9.88%	21.65%
Growth (2024 -2029)	14.93%	13.98%	16.65%
Avg Households Size	3.1	3.1	3.0
Avg Household Income	\$177,423	\$148,217	\$154,203
Total Consumer	\$15.8M	\$53.4M	\$1.13B
Spending Median Age	41	37.7	40.1

# AREA DEMOGRAPHICS



### 2023 ESTIMATED POPULATION

1 MILE	931
3 MILES	3,547
5 MILES	7,131



### 2023 ESTIMATED HOUSEHOLDS

1 MILE	300
3 MILES	1,137
5 MILES	2,339



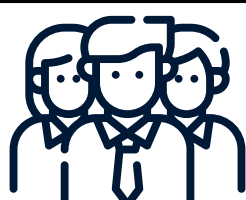
### 2023 ESTIMATED AVG HOUSEHOLD INCOME

1 MILE	\$177,423
3 MILES	\$148,217
5 MILES	\$154,203



### 2023 ESTIMATED ANNUAL SPENDING

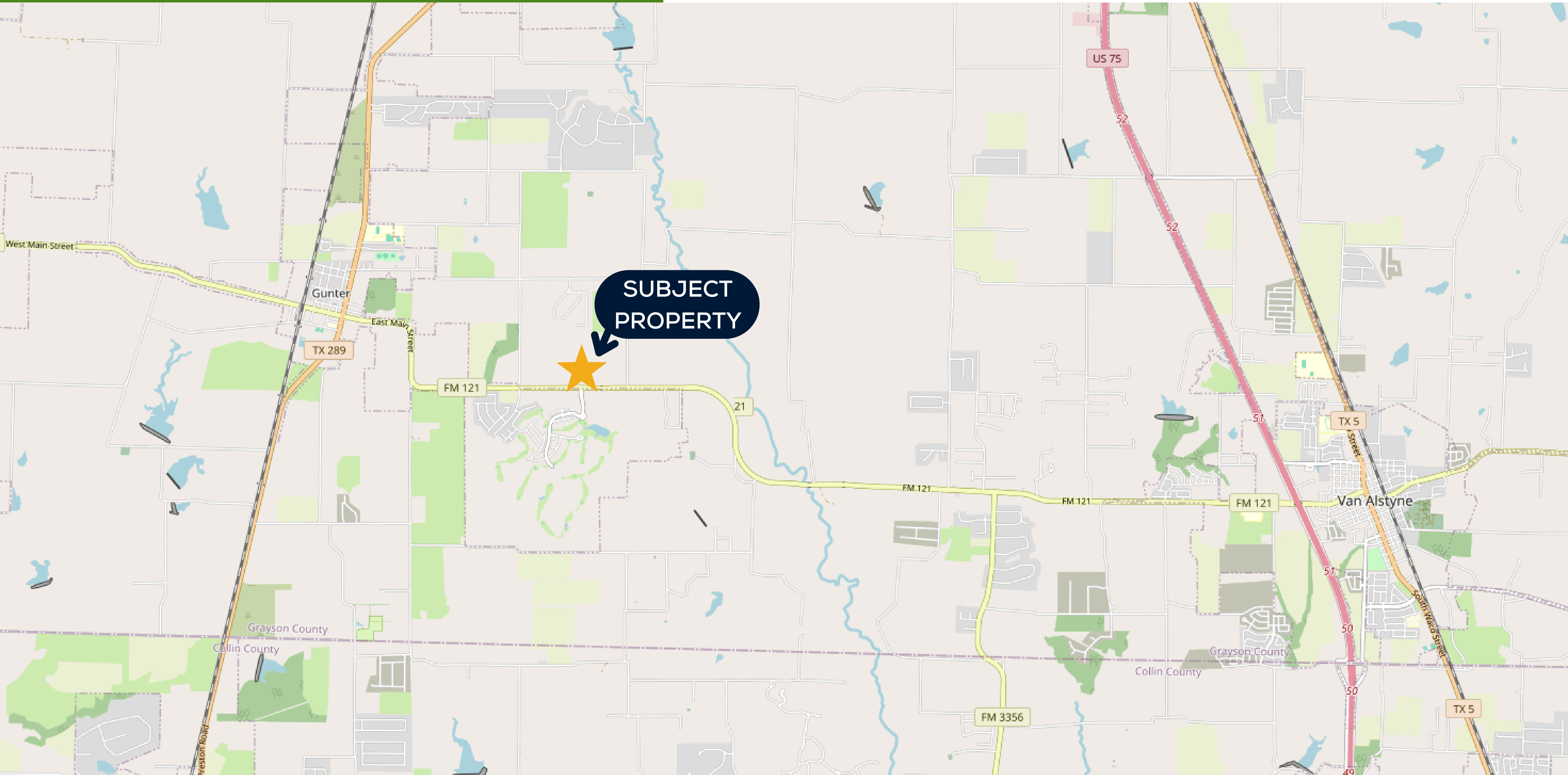
1 MILE	\$15.8M
3 MILES	\$53.4M
5 MILES	\$1.1B



### 2022 ESTIMATED EMPLOYEES

1 MILE	927
3 MILES	3,487
5 MILES	7,149

# MARKET AREA OVERVIEW



# SPACE OVERVIEW



2,400 SF  
Warehouse

(x2) 10-ton  
HVAC units

2,400 SF  
Warehouse

600 SF  
Office



# SPACE OVERVIEW



**LOCATION**

18875 FM 121  
Gunter, TX

**AVAILABLE SPACE**

~5,400 Square Feet

**YEAR BUILT**

2005

**OCCUPANCY**

VACANT

**CURRENT ZONING**

ETJ

**RATE**

CONTACT BROKER FOR  
ADDITIONAL DETAILS







COMMERCIAL

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[www.GO-COMMERCIAL.com](http://www.GO-COMMERCIAL.com)

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