

20
20
PONCE

CONDOMINIUM OFFICE BUILDING SUITE 1204

2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA

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ARCHITECTURAL

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November 15, 2011.

General Notes

- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES. ALL PERMITS, UTILITY AND METER CONNECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS AND OTHER SUPPORT FACILITIES.
- CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
- CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATIONS.
- CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. BID SHALL BE BASED ON THE MOST STRINGENT REQUIREMENT.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
- DISCREPANCIES
 - A- IN DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY.
 - B- THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
 - C- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING. *DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE AWARE THAT EXISTING FIRE RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT CHANGE IN MATERIAL THAT ARE REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUB-CONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION ASSEMBLY.
- ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS SHALL MEET CODE REQUIREMENTS, PRESSURE TREATED WOOD SHALL BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH THE ELEMENTS (EXTERIOR).
- CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED AND REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL AND SO NOTED.

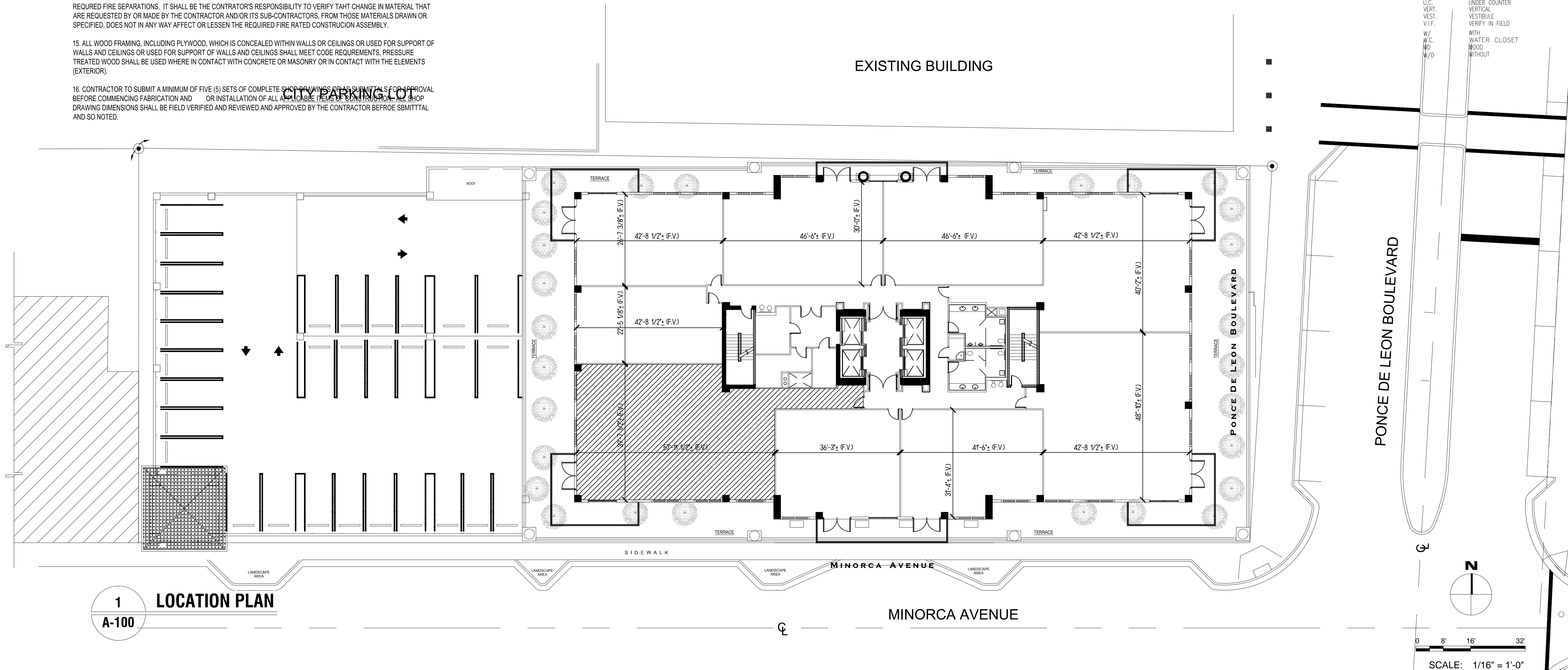
- CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLACKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURE, MILLWORK, SHELVES, BATHROOM FIXTURES AND ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. THE OMISSIONS OF ANY OR ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
- CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRE DAMPERS WHERE APPLICABLE.
- CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE, VERIFY AND COORDINATE COLORS WITH INTERIOR DESIGNER AND ARCHITECT.
- BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE (REFER TO NOTE #9). CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS, ETC.
- UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES.
- CONTRACTOR TO SUBMIT PRODUCT APPROVAL TO THE BUILDING DEPARTMENT FOR ALL WINDOWS, DOORS, HURRICANE SHUTTERS AND ALL COMPONENTS REQUIRING PRODUCT APPROVAL PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ANY DAMAGE TO EXISTING STRUCTURE IN THE CONSTRUCTION OF NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE PROPER SAFE GUARD IN COMPLIANCE WITH CODES DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO INSTALL BARRIERS AS NECESSARY AND REQUIRED AROUND PERIMETER OF CONSTRUCTION LIMITS TO PROTECT THE PUBLIC.
- COORDINATE ALL DEMOLITION WORK WITH ALL OTHERS TO INSURE WORK WILL PROGRESS WITHOUT INTERRUPTION TO AVOID DELAYS. COORDINATE AND SCHEDULE THE WORK WITH THE OWNER WHERE POSSIBLE DISTURBANCE MAY OCCUR AND WHERE RELOCATING OF OTHER POTENTIAL DISRUPTIONS OF OWNER'S FUNCTIONS AND SERVICES MAY OCCUR.
- GENERAL CONTRACTOR TO FIRE CAULK ALL EXISTING PENETRATIONS THRU FIRE SEPARATION STRUCTURES. FIRE CAULK TO BE U.L. LISTED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.

Symbols

- 2HR FIRE RATING WALL
- CONCRETE MASONRY
- CONCRETE
- GYPSUM BOARD
- BATT INSULATION
- PLYWOOD
- WOOD BLOCKING
- WOOD
- METAL
- WALL DETAILS
- WALL TYPES
- DATUM (0'-0" A.F.F. = 10'-0" N.G.V.D. - NATIONAL GEODETIC VERTICAL DATUM INTERIOR ELEVATION)
- PROPERTY LINE
- SECTION NUMBER
- COLUMN GRID
- REVISION
- MILLWORK TYPE
- KIT
- DOOR NUMBER
- MATERIAL OR FINISH TAG
- CEILING HEIGHT
- TELEPHONE
- ELECTRICAL OUTLET
- ELECTRIC SWITCH

Abbreviations

- ADJ. ADJUSTABLE
- ALUM. ALUMINUM
- ARCH. ARCHITECTURAL
- A.F.F. ABOVE FINISH FLOOR
- BLDG. BUILDING
- CAB. CABINET
- CLG. CEILING
- CLO. CLOSET
- COL. COLUMN
- CONC. CONCRETE
- CONT. CONTINUOUS
- C.M.U. CONCRETE MASONRY UNIT
- DET. DETAIL
- DMR. DIAMETER
- DR. DOOR
- DWG. DRAWING
- ELEC. ELECTRICAL
- ELEV. ELEVATION
- EQ. EQUIPMENT
- EXIST. EXISTING
- EXT. EXTERIOR
- F.D. FINISH FLOOR ELEVATION
- FFE FINISHED FLOOR
- FIN.FL. FINISHED FLOOR
- FACE OF FINISH
- GL. GLASS
- GYP.BD. GYPSUM BOARD
- HW.D. HARDWOOD
- HORIZ. HORIZONTAL
- HGT. HEIGHT
- KITCH. KITCHEN
- LAV. LAVATORY
- L.F. LINEAR FEET
- LIGHT LIGHT
- MAX. MAXIMUM
- MECH. MECHANICAL
- MET. METAL
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- M.O. MASONRY OPENING
- N.L.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- OPNG. OPENING
- PLYWD. PLYWOOD
- PAIR PAIR
- PTD. PAINTED
- RAD. RADIUS
- REF. REFERENCE
- REIN.F. REINFORCED
- REQ. REQUIRED
- ROUGH OPENING
- SHWR. SHOWER
- SM. SIMILAR
- SPECS. SO. SPECIFICATIONS
- SQ. SQUARE
- S.S. STAINLESS STEEL
- STOR. STORAGE
- SUSP. SUSPENDED
- SYM. SYMMETRICAL
- SQUM. FLA. BUILDING CODE
- STRUCT. STRUCTURAL
- TEMP. TEMPERED
- TYP. TYPICAL
- UNDER COUNTER
- VERT. VERTICAL
- VEST. VESTIBULE
- VERIFY IN FIELD
- W/ WITH
- W.C. WATER CLOSET
- WO. WOOD
- W/O WITHOUT



1 LOCATION PLAN
A-100

Architect

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2020

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Reg. No. RA-7410

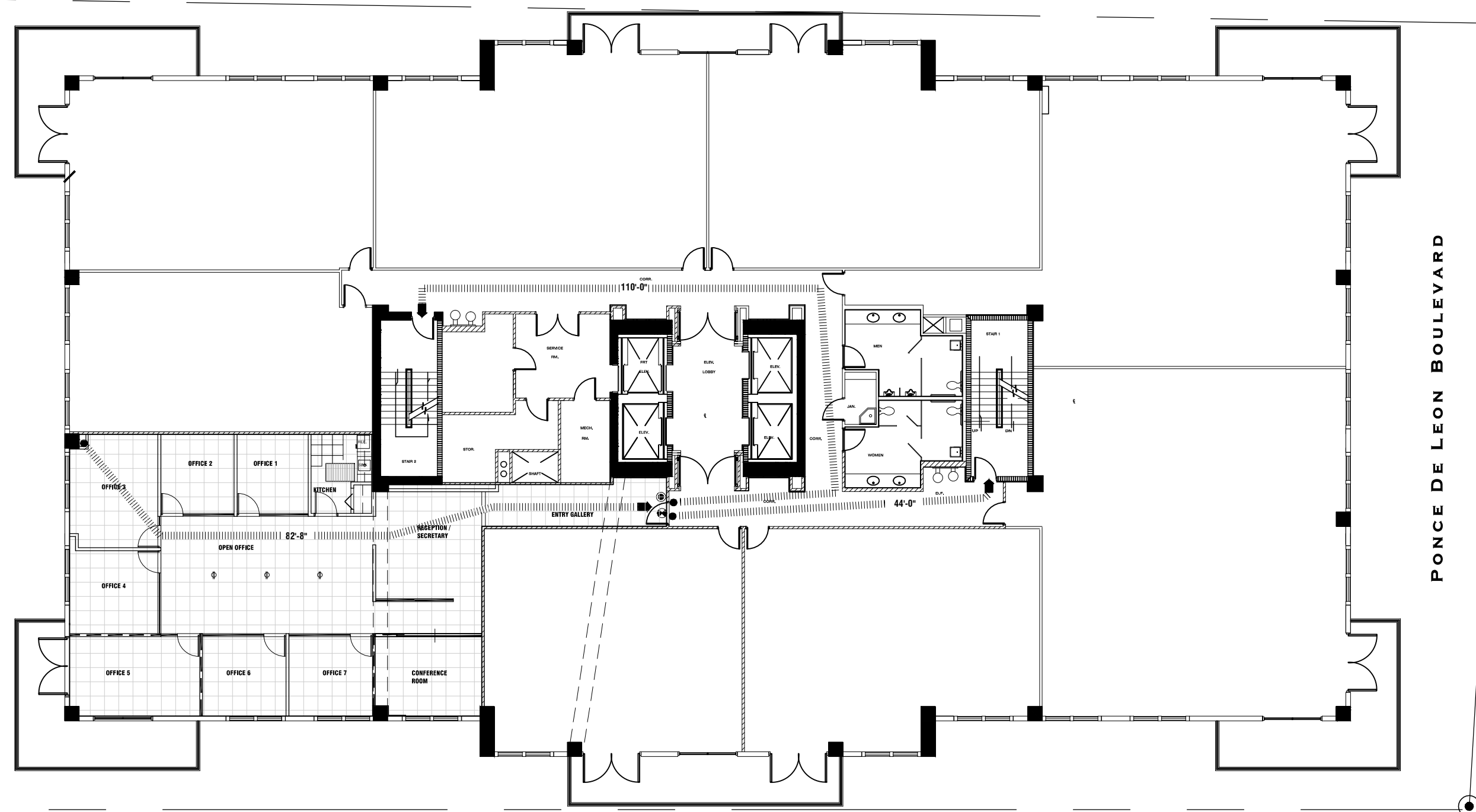
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Revised:

LOCATION PLAN
GENERAL NOTES
SYMBOLS

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PONCE DE LEON BOULEVARD

DESIGN CRITERIA

PROJECT DESCRIPTION

INTERIOR OFFICE BUILD OUT IN AN EXISTING OFFICE BUILDING. NO DEMOLITION, STRUCTURAL OR EXTERIOR SCOPE OF WORK.

ZONING COMPLIANCE

CB (COMMERCIAL)

- THIS IS AND INTERIOR WORK ONLY. NO ALTERATIONS WILL BE MADE TO EXISTING FACADES OF THE BUILDING

BUILDING DESCRIPTION

CONSTRUCTION TYPE = TYPE II
 12 STORIES (TYPE II) PER 503 TABLE F.B.C. (2007)
 SPRINKLED BUILDING

OCCUPANCY CLASSIFICATION

GROUP B (BUSINESS)
 LIFE SAFETY OCCUPANCY LOAD (N.F.P.A. 101 CHAPTER 6-1.127-1.7)
 1 PERSON PER 100 SQ.FT. OF GROSS FLOOR AREA
 SUITE 1204 2,317 SQ.FT./100 = 24 PERSONS

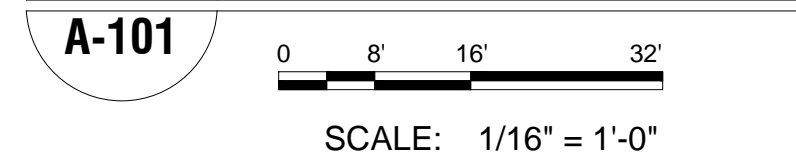
OFFICE	OCCUPANT LOAD	TRAVEL DISTANCE		DEAD END TRAVEL	COMMON PATH	CORRIDOR RATING	NUMBER OF EXITS
		UNSPRINKLERED	SPRINKLERED				
REQUIRED	100 GROSS	200'	300'		100'	N/A	1
SUITE 1104	23 PERSONS	N/A	105' MAX.	N/A	78'-8"	N/A	1

** COMMON PATH WITH SPRINKLERS = 100'
 ** COMMON PATH WITHOUT SPRINKLERS = 75'

FIRE NOTES:

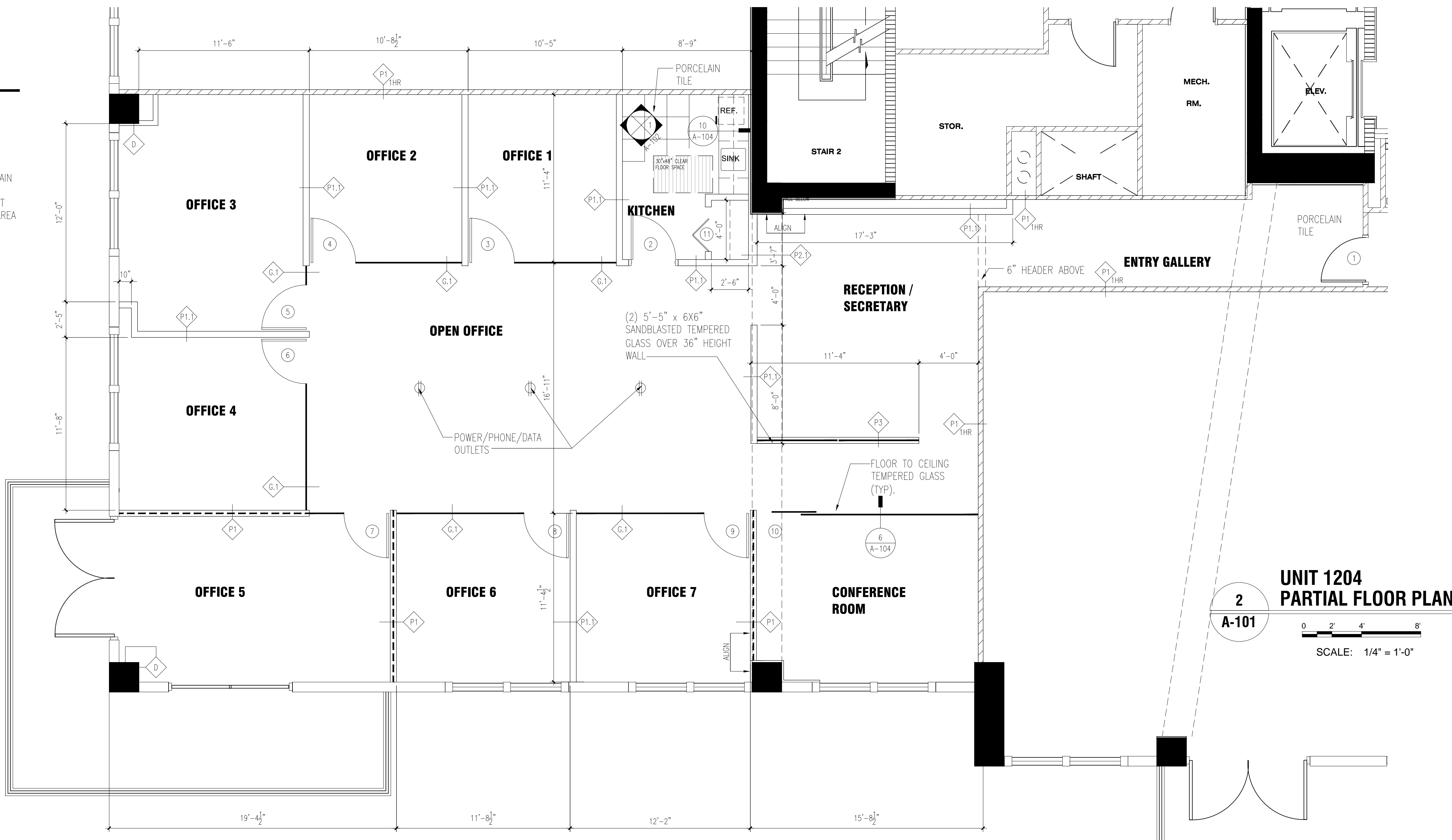
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, AS SHOWN IN THE DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS.
- PROVIDE EMERGENCY LIGHTING OF ONE FOOT CANDLE AT FLOOR LEVEL TO COMPLY WITH FLORIDA BUILDING CODE.
- MAINTAIN AISLES AT LEAST 44" WIDE @ PUBLIC AREAS.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
- INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING.
- CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS.
- CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS.
- CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATIONS.
- DECORATIONS, (CURTAINS, DRAPERIES, SHADES, HANGING, ETC.) SHALL BE NON-COMBUSTIBLE OR BEEN FLAMEPROOF IN AN APPROVED MANNER.
- PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE RATED WALL OR CEILINGS
- WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS
- LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE SIDEWALK.
- EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING FOR THE HEARING IMPAIRED. FLASHING VISUAL WARNINGS SHALL HAVE A FREQUENCY OF NOT MORE OF 60 FLASHES PER MINUTE.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL PROPRIETARY OR REMOTE STATION SERVICE OR LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

1 TWELVE FLOOR BUILDING PLAN

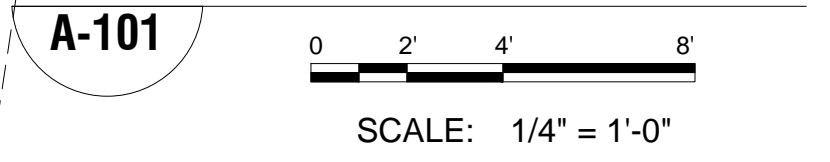


LEGEND

- DEAD END DISTANCE
- 2-HOUR FIRE RATED PARTITION
- 1HR. FIRE/SM. SEPARATION RATING
- EXISTING WALL OR PARTITION TO REMAIN
- TRAVEL DISTANCE TO EXIT WITHIN UNIT
- TRAVEL DISTANCE TO EXIT COMMON AREA
- SOUND INSULATED PARTITIONS
- EXIT
- 45 MINUTES FIRE RATED DOOR
- 2-HOUR FIRE RATED SHAFT
- 2-HOUR FIRE RATED SHAFT ABOVE



2 UNIT 1204 PARTIAL FLOOR PLAN



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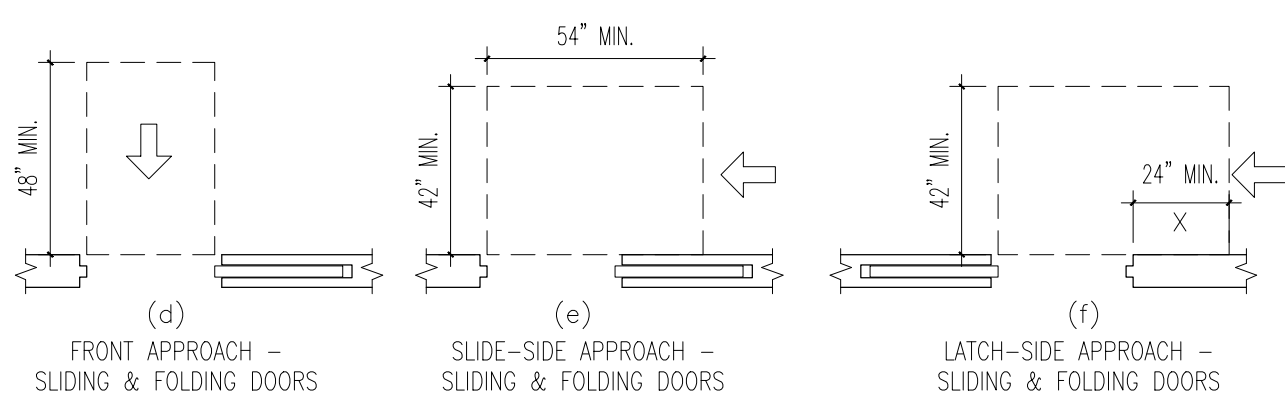
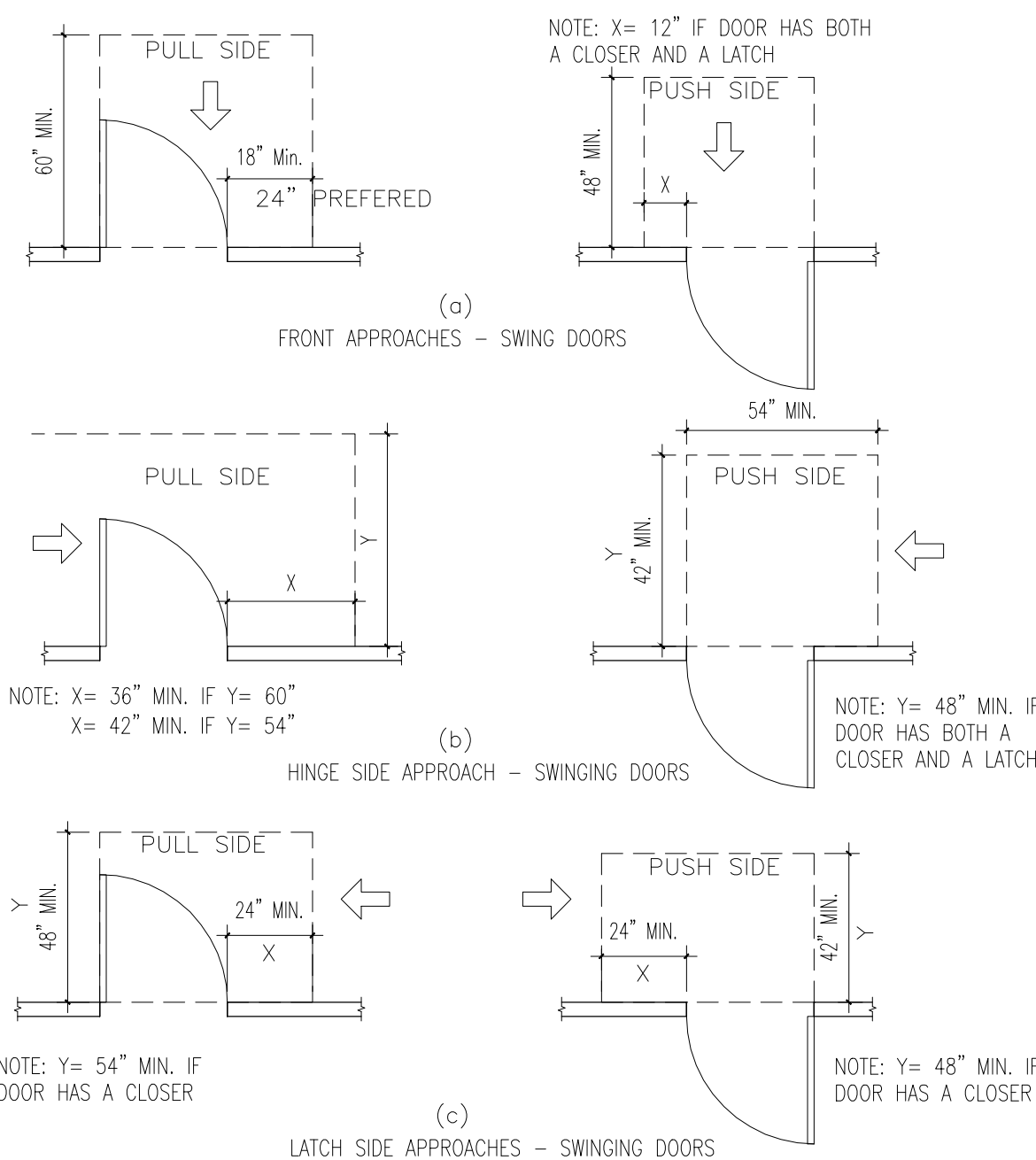
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BUILDING PLAN PARTIAL PLAN NOTES

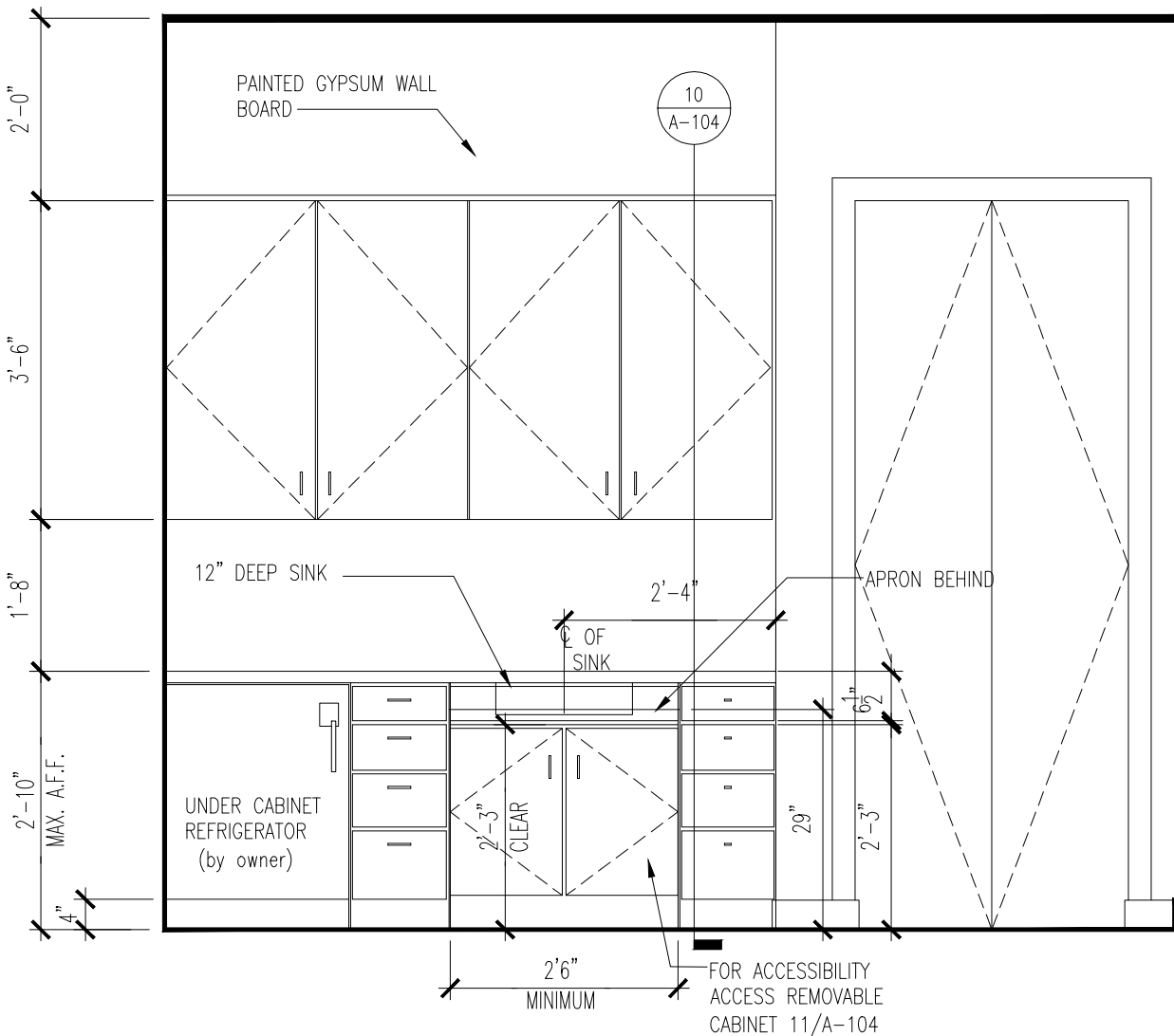
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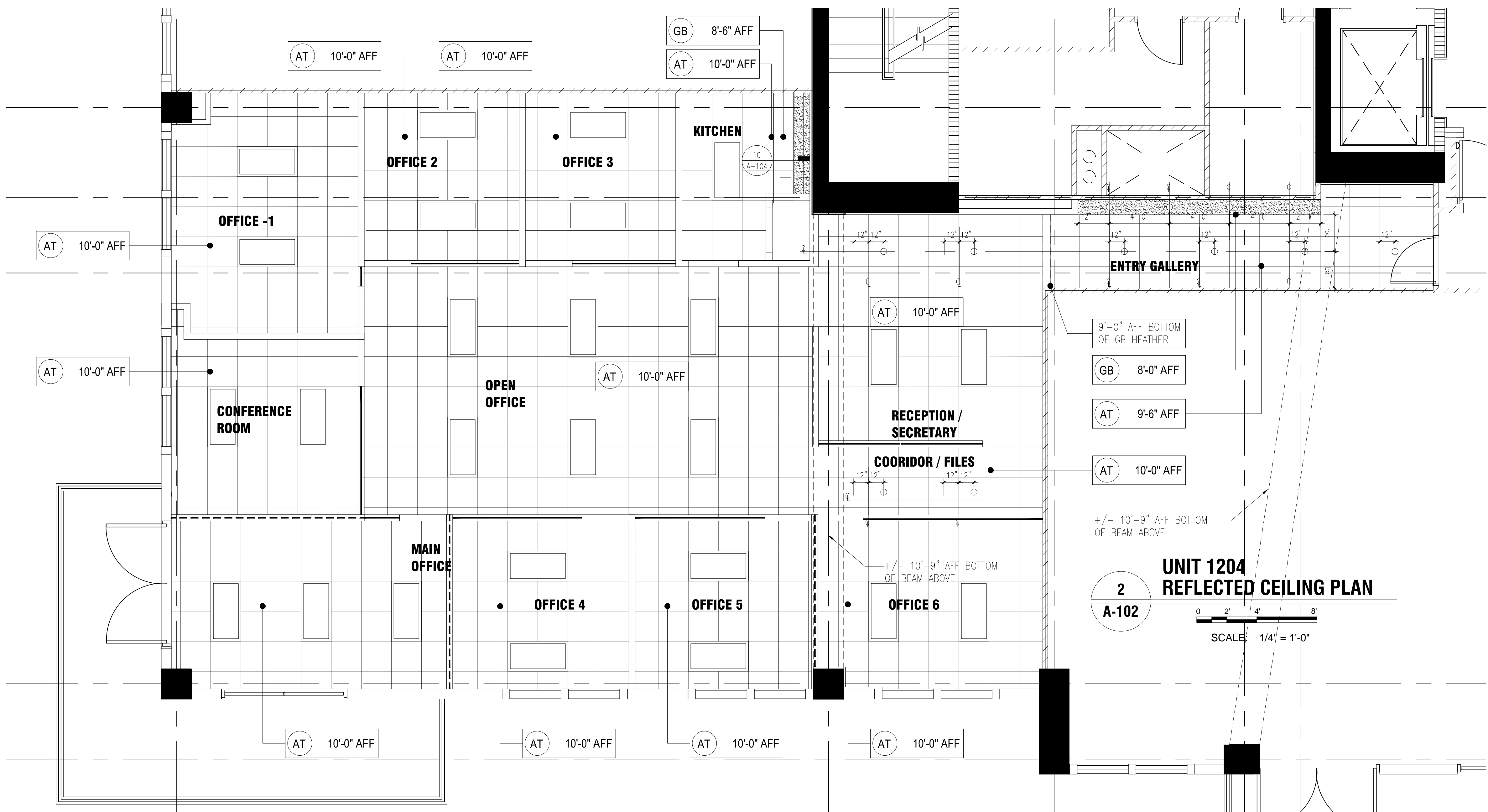
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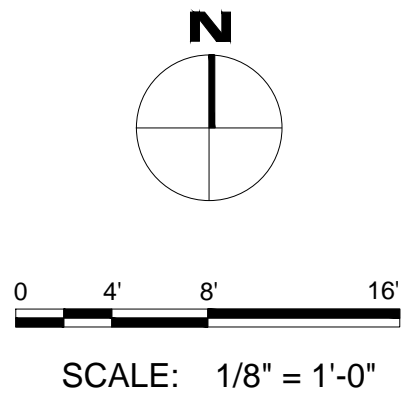
MANEUVERING CLEARANCES AT DOORS
 FLORIDA ACCESSIBILITY CODE 2007 PAGE 11.66&11.67 FIG. 25



1
UNIT 1204
INTERIOR ELEVATION
A-101
 SCALE: 1/2" = 1'-0"



2
UNIT 1204
REFLECTED CEILING PLAN
A-102
 SCALE: 1/4" = 1'-0"



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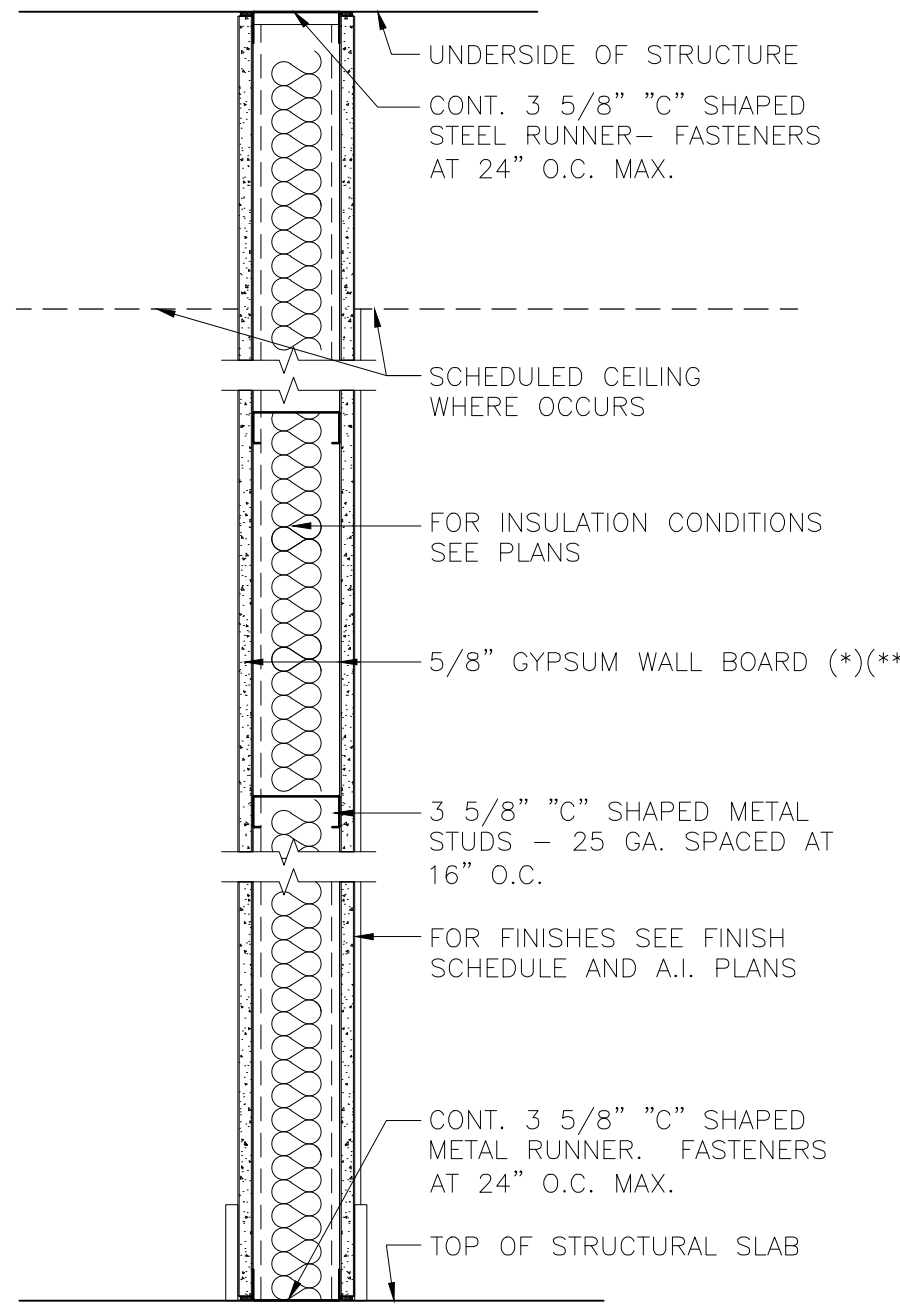
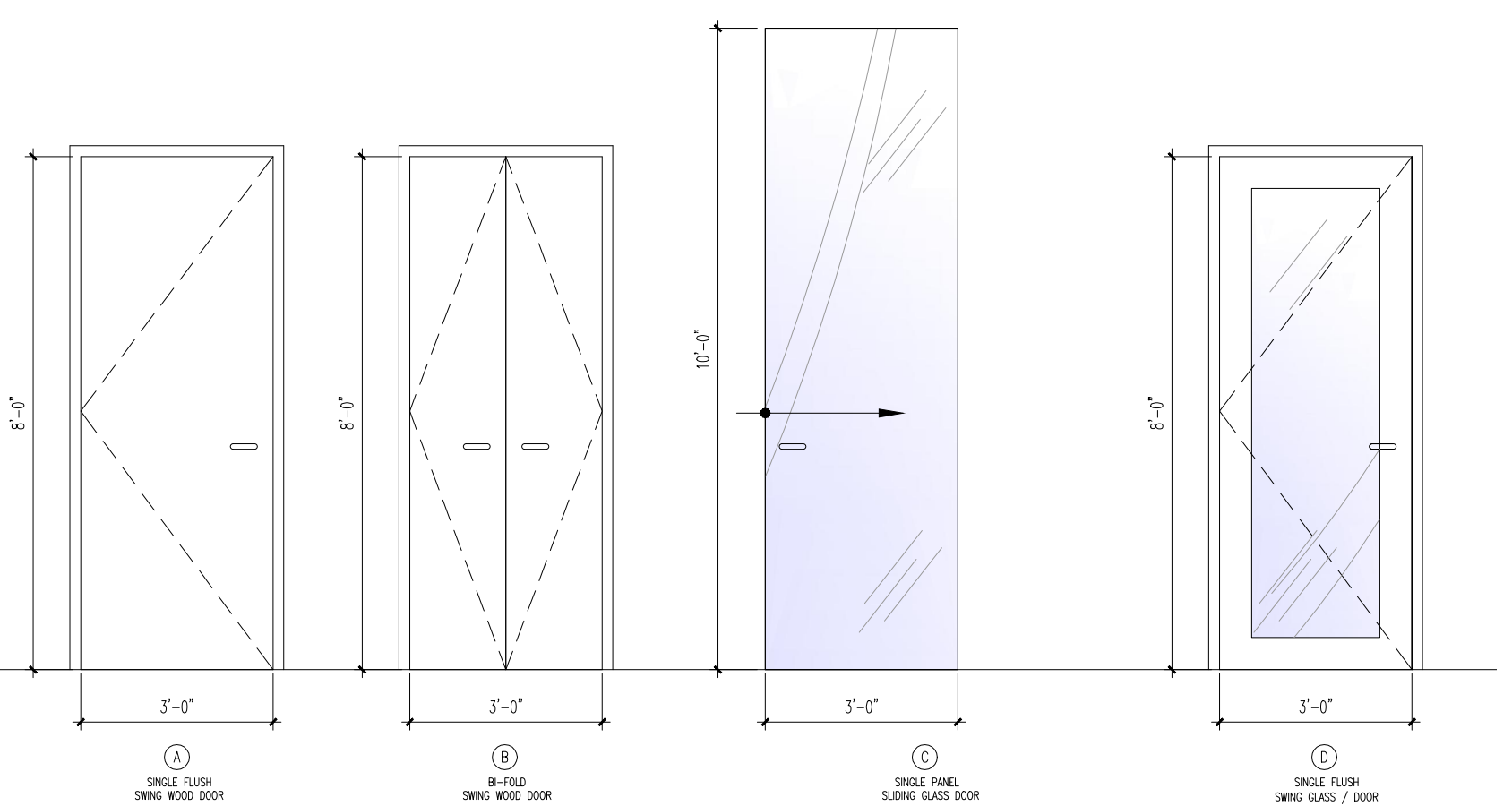
DOOR SCHEDULE													
DOOR No.	ROOM NAME	DOORS				FRAMES		HEAD	THRESHOLD		HARDWARE SET No.	REMARKS	
		SIZE	THK	MATL	FIN	TYPE	MATL	FIN	DETAIL	TYPE			DETAIL
1	ENTRY	3'-0"W x 8'-0"H	1 3/4"	WD/GL	STAIN	D	WD	PT	-	B	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
2	KITCHEN	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
3	OFFICE 1	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
4	OFFICE 2	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
5	OFFICE 3	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
6	OFFICE 4	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
7	OFFICE 5	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
8	OFFICE 6	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
9	OFFICE 7	3'-0"W x 8'-0"H	1 3/4"	WD	PT-02	A	WD	PT	-	C	-	SEE NOTES	BUILDING STANDARD TO MATCH 905 EXISTING
10	CONFERENCE ROOM	3'-0"W x 10'-0"H	1 1/2"	GL	GL	C	-	CLEAR	-	-	-	SEE NOTES	SLIDING GLASS DOOR
11	CLOSET	(2)1'6"W x 8'-0"H	1 3/4"	WD	PT-02	B	WD	PT	-	-	-	BI-FOLD	

FINISH SCHEDULE										FINISHES SPECIFICATIONS		
ROOM NAME	FLOOR	BASE	WALL FINISH				CEILING			SOFFIT	PT-01 = BENJAMIN MOORE COLOR: CHINA WHITE FINISH: WALLS EGGSHELL FINISH: BASE BOARDS SEMIGLOSS	PT-02 = BENJAMIN MOORE COLOR: POLISH WHITE INTERIOR WOOD DOORS
			NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH	SOFFIT			
ENTRY	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
KITCHEN	PORCELAIN	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT	GWB/PTD			
OFFICE 1	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 2	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 3	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 4	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 5	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 6	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
OFFICE 7	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
CONFERENCE ROOM	CARPET	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				
CLOSET	PORCELAIN	WOOD	GWB/PTD	GWB/PTD	GWB/PTD	GWB/PTD	ACOUSTICAL TILE	WHITE MATT				

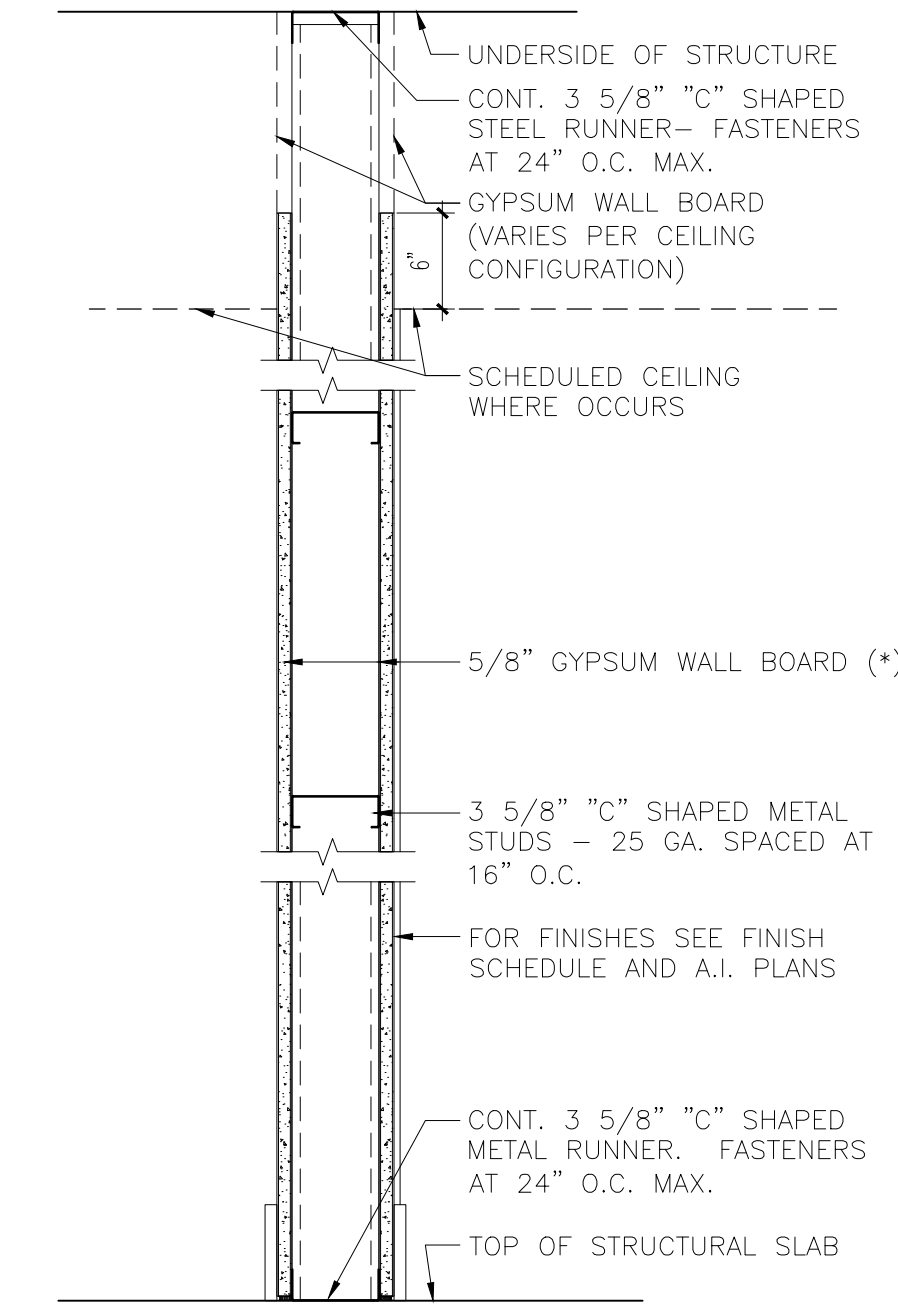
DOOR LABELS KEY	
DOOR LABEL	RATING
A"	3 HR.
B"	1 1/2 HRS.
C"	45 MIN.
(20 MIN.)NON	20 MIN.

- NOTE:**
- ALL HARDWARE AT PUBLIC AND COMMON AREAS MUST MEET ACCESSIBILITY REQUIREMENTS OF CHAPTER 11 OF THE FBC.
 - ALL DOORS FOR OFFICE ENTRIES, TRASH CHUTE ENCLOSURES, STAIR DOORS, AND MECHANICAL ROOMS SHALL BE SELF CLOSING.
 - ALL DOOR TO BE LOCATED 4" FROM THE WALL UNLESS LOCATION IS INDICATED IN THE FLOOR PLAN.
 - ALL PREMIUM GRADE VENEER SHALL BE STAINED AND FINISHED TO MATCH BUILDING STANDARD CONTROL SAMPLE, UNLESS DENOTED OTHERWISE IN THE FINISH SCHEDULE.
 - CONTRACTOR TO UNDERCUT ALL DOORS AS REQUIRED.
 - ANY KEY LOCK INSIDE TENANT SPACE SHALL BE KEYPED TO MASTER.
 - HARDWARE FOR ALL DOOR SHALL COMFORT TO SECURITY AND FORCED ENTRY PREVENTION REQUIREMENTS FOR FBC AN ADA REQUIREMENTS.

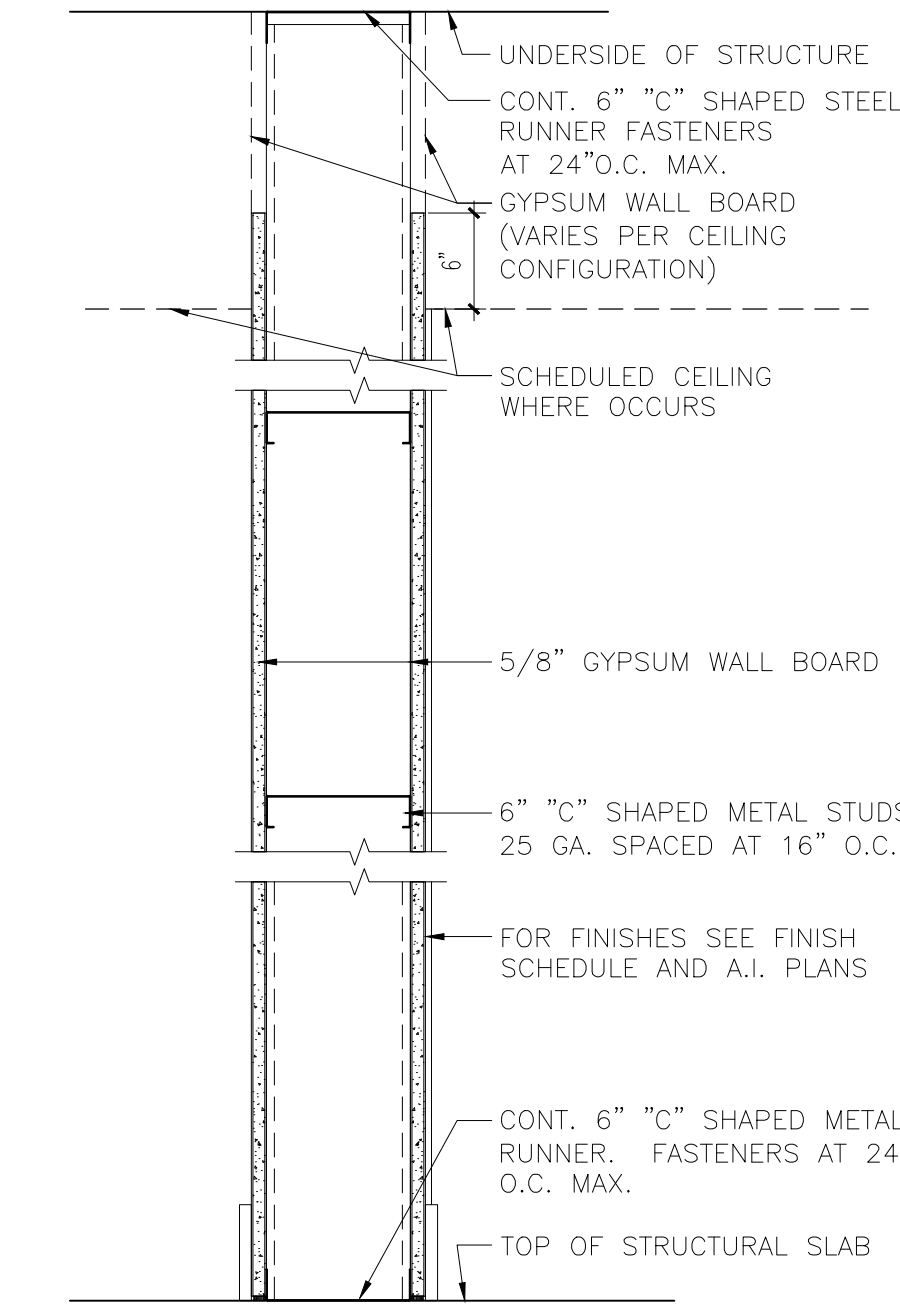
- HARDWARE**
- HARDWARE SHALL COMPLY WITH N.F.P.A. 101 38.2.2.2, FLORIDA ACCESSIBILITY CODE CHAPTER 11 & F.B.C. 1012
 - LOCKING HARDWARE ON ALL DOORS WITH EXIT SIGNS: NO INTERIOR KEY LOCK ALLOWED
 - ENTRY DOOR HARDWARE (CORRIDOR DOORS) LEVER TYPE (TO MATCH BUILDING STANDARD YALE, 5300 LN SERIES MONROE 626 SATIN CHROME PLATED) ADA
 - INTERIOR DOOR LATCH-SET/LOCK-SET: LEVER TYPE (YALE, 5300 LN SERIES MONROE 626 SATIN CHROME PLATED)
 - HINGES ENTRY DOOR: TWO (2) PAIR ON BUTT HINGES (TO MATCH BUILDING STANDARD)
 - HINGES INTERIOR DOORS: TWO (2) PAIR ON BUTT HINGES (TO MATCH BUILDING STANDARD)
 - ENTRY DOOR CLOSER: TO MATCH BUILDING STANDARDS
 - DOOR STOPS: FLOOR MOUNTED ON ALL DOORS
 - DOOR SILENCERS: ALL DOORS



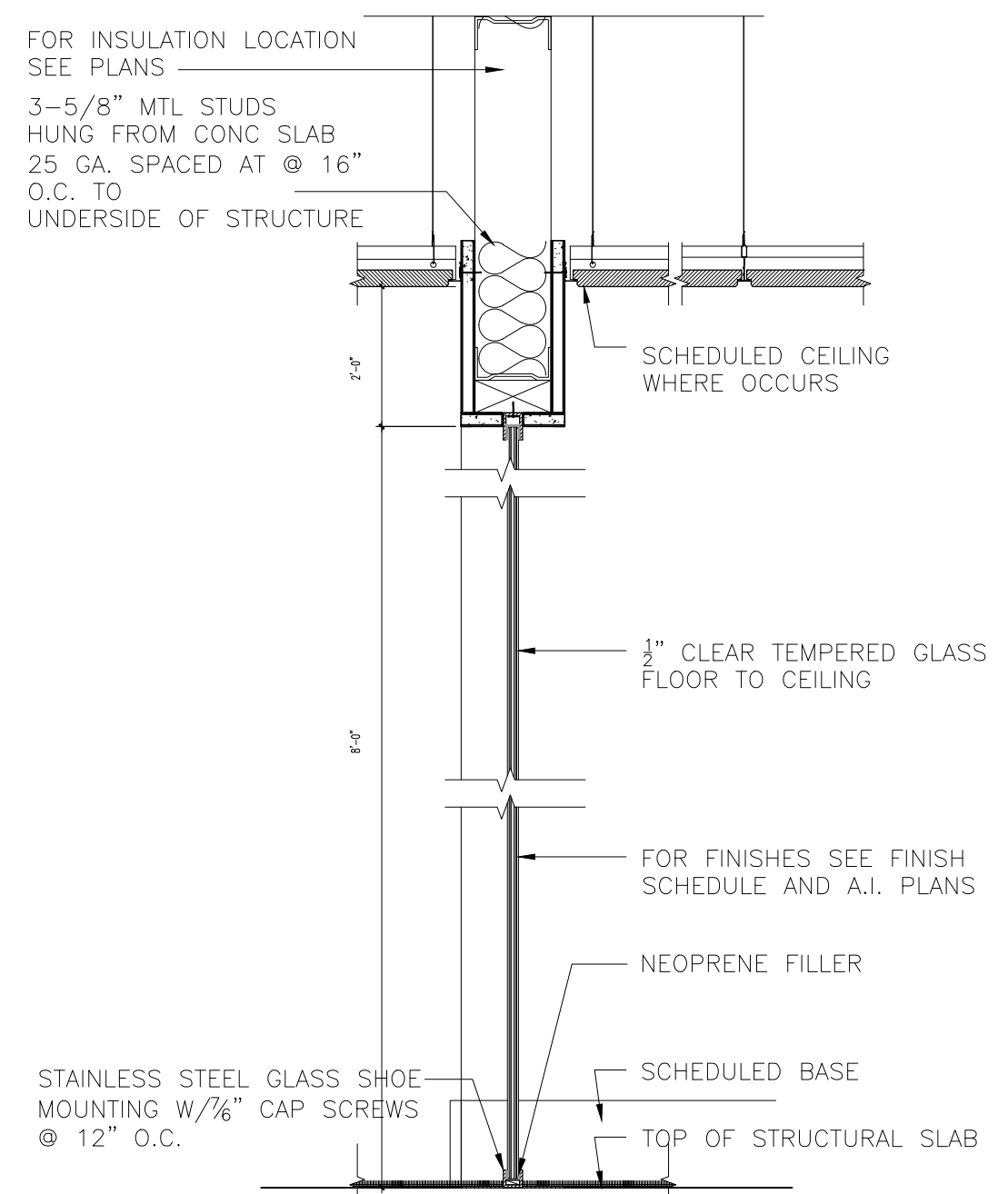
P1 PARTITION
NON-RATED
(*) PROVIDE CEMENTITIOUS BACKER BOARD AT BATHROOMS AND WET AREAS ONLY
P1.1 PARTITION
1HR. PARTITION
1 HR. FIRE RATING U.L. DESIGN NO. U465
(*) PROVIDE ONE ADDITIONAL LAYER OF CEMENTITIOUS BACKER BOARD ON TOP OF TYPE "X" G.W.B. AT BATHROOMS AND WET AREAS ONLY
(**) TYPE "X" FIRE-RESISTANT GYPSUM WALL BOARD



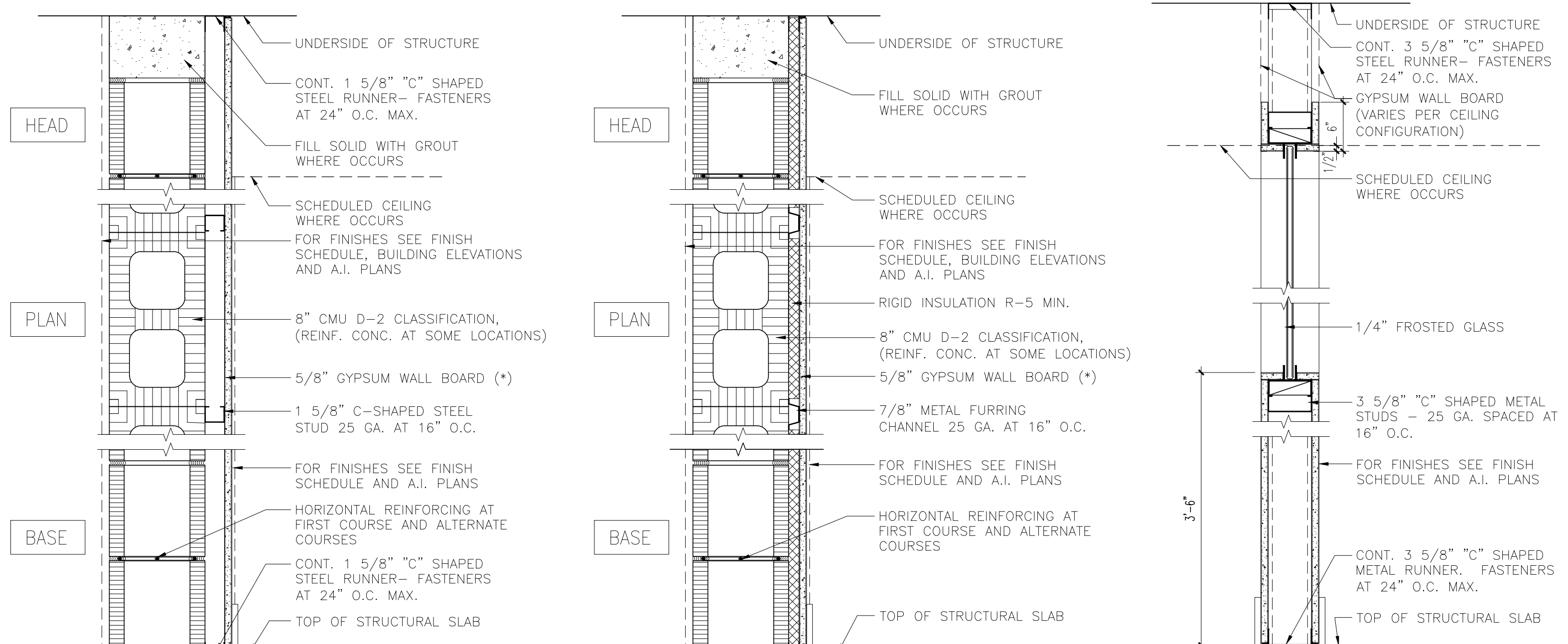
A1 C.M.U. WALL
1HR. C.M.U. WALL
2 HR. FIRE RATING U.L. DESIGN NO. U905 (ONLY 1 HR. FIRE RATING REQUIRED)
A1 2HR. C.M.U. WALL
2 HR. FIRE RATING U.L. DESIGN NO. U905
(*) CEMENTITIOUS BACKER BOARD AT BATHROOMS AND WET AREAS ONLY



D C.M.U. WALL
1HR. C.M.U. WALL
2 HR. FIRE RATING U.L. DESIGN NO. U905 (ONLY 1 HR. FIRE RATING REQUIRED)
D 2HR. C.M.U. WALL
2 HR. FIRE RATING U.L. DESIGN NO. U905
(*) CEMENTITIOUS BACKER BOARD AT BATHROOMS AND WET AREAS ONLY



G1 PARTITION
NON-RATED GLASS
(*) PROVIDE 1 LAYER 5/8" QUIET ROCK ON BOTH SIDES



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 305.377.4921

2020 PONCE
 CONDOMINIUM OFFICE BUILDING
 2020 PONCE DE LEON BOULEVARD
 FLORIDA CORAL GABLES,

Architect
 BERNARD ZYSCOVICH
 Reg. No. RA-7410

Seal
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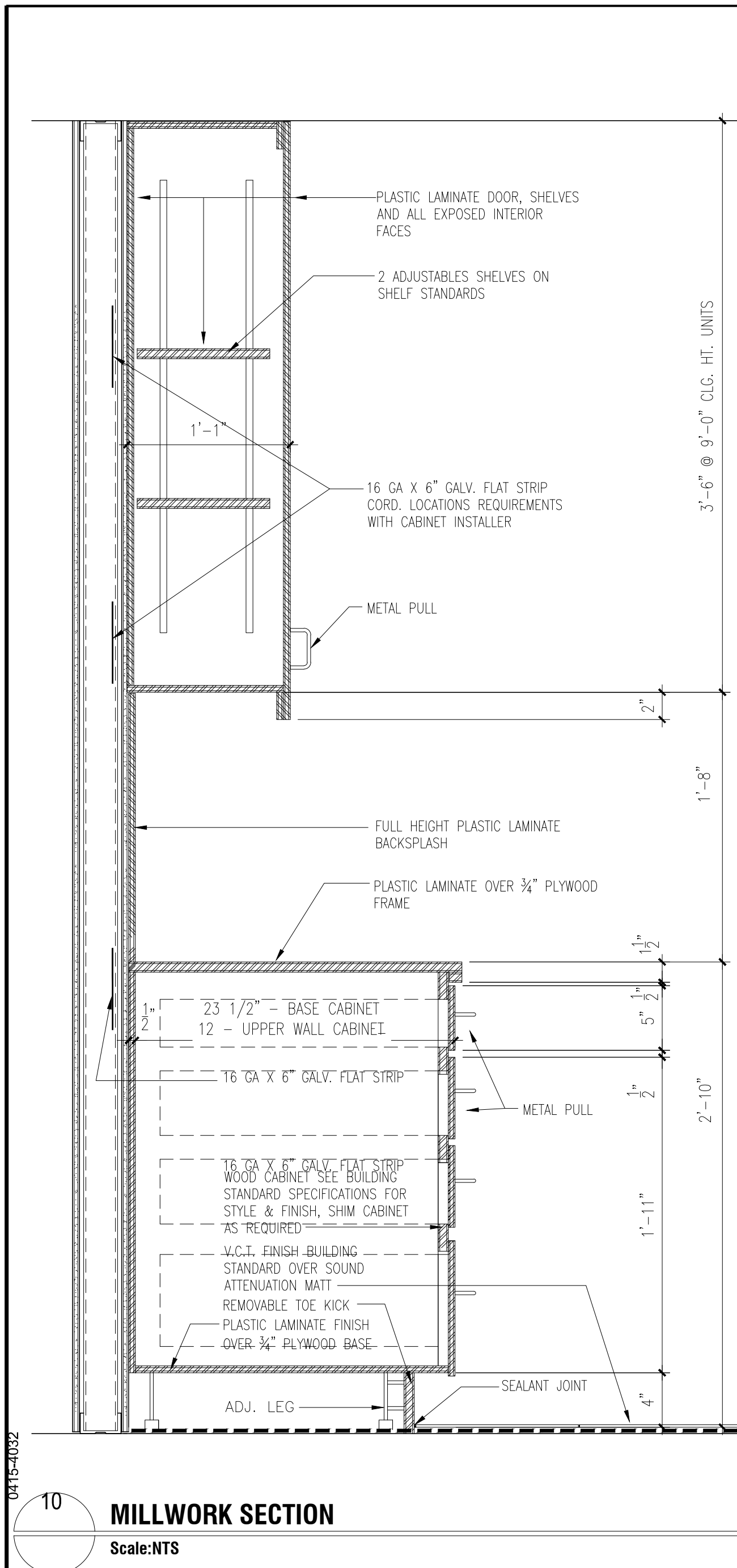
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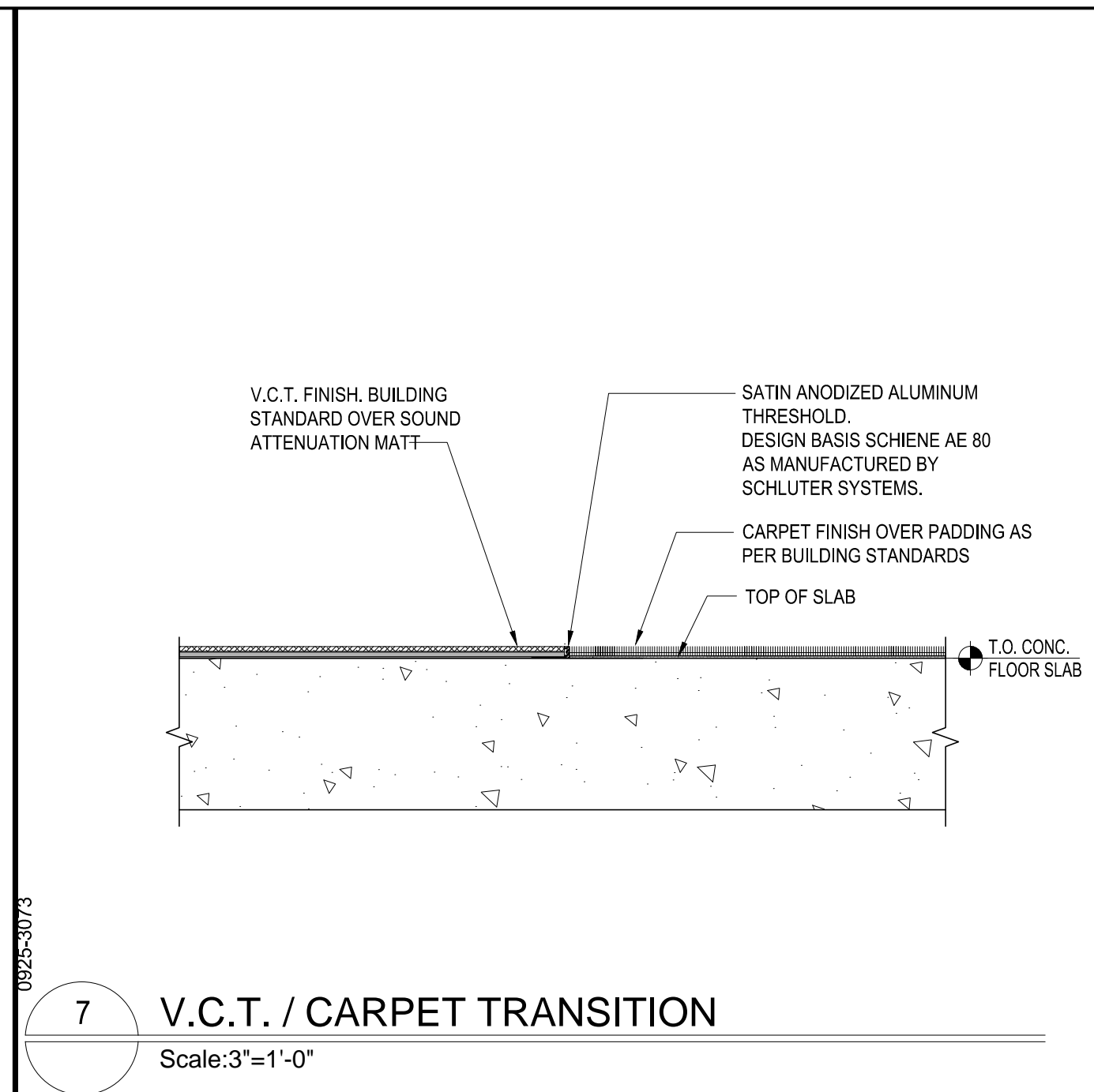
SCHEDULES AND DETAILS

1147 PMNO 11-15-2011

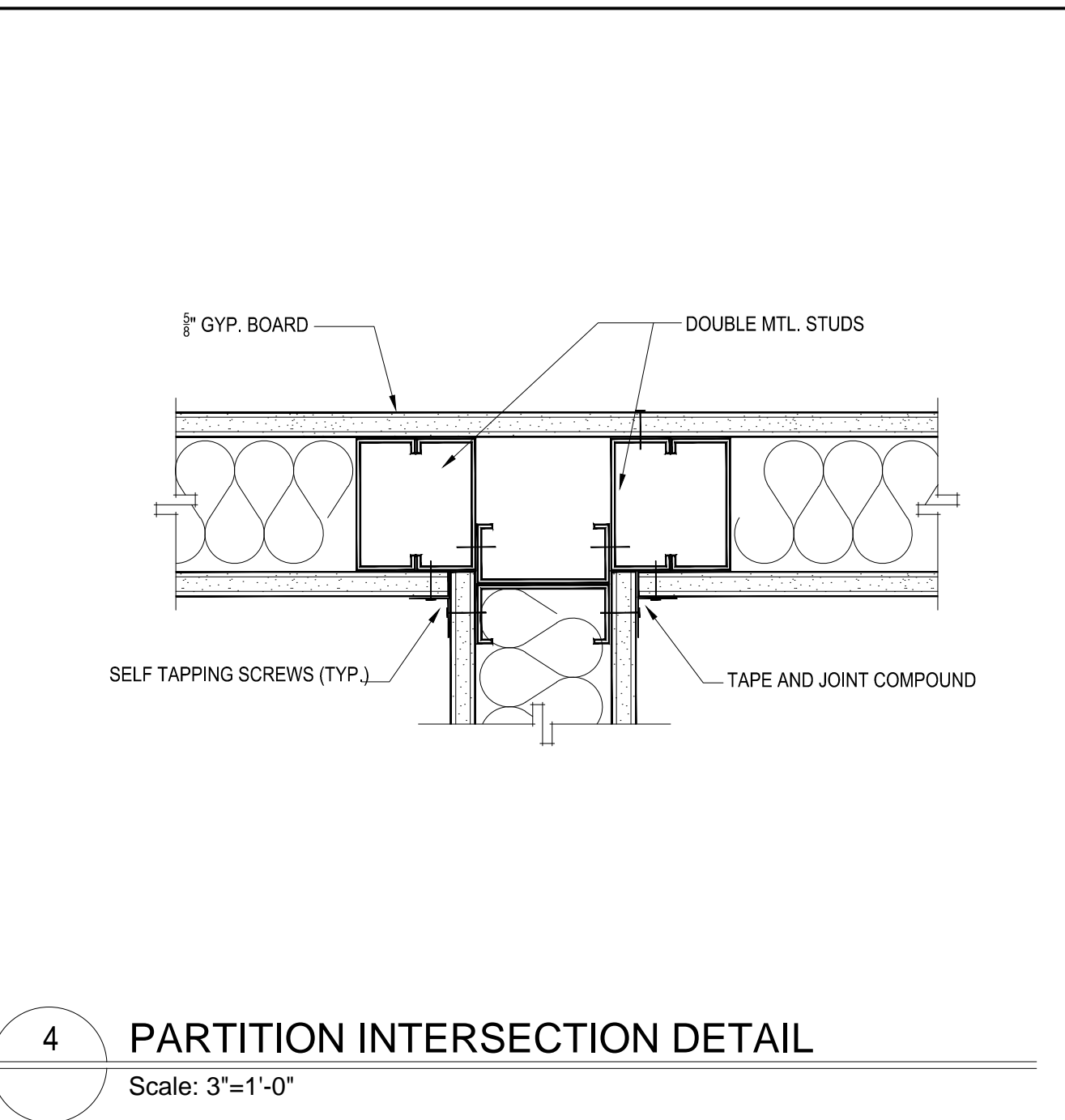
A-103



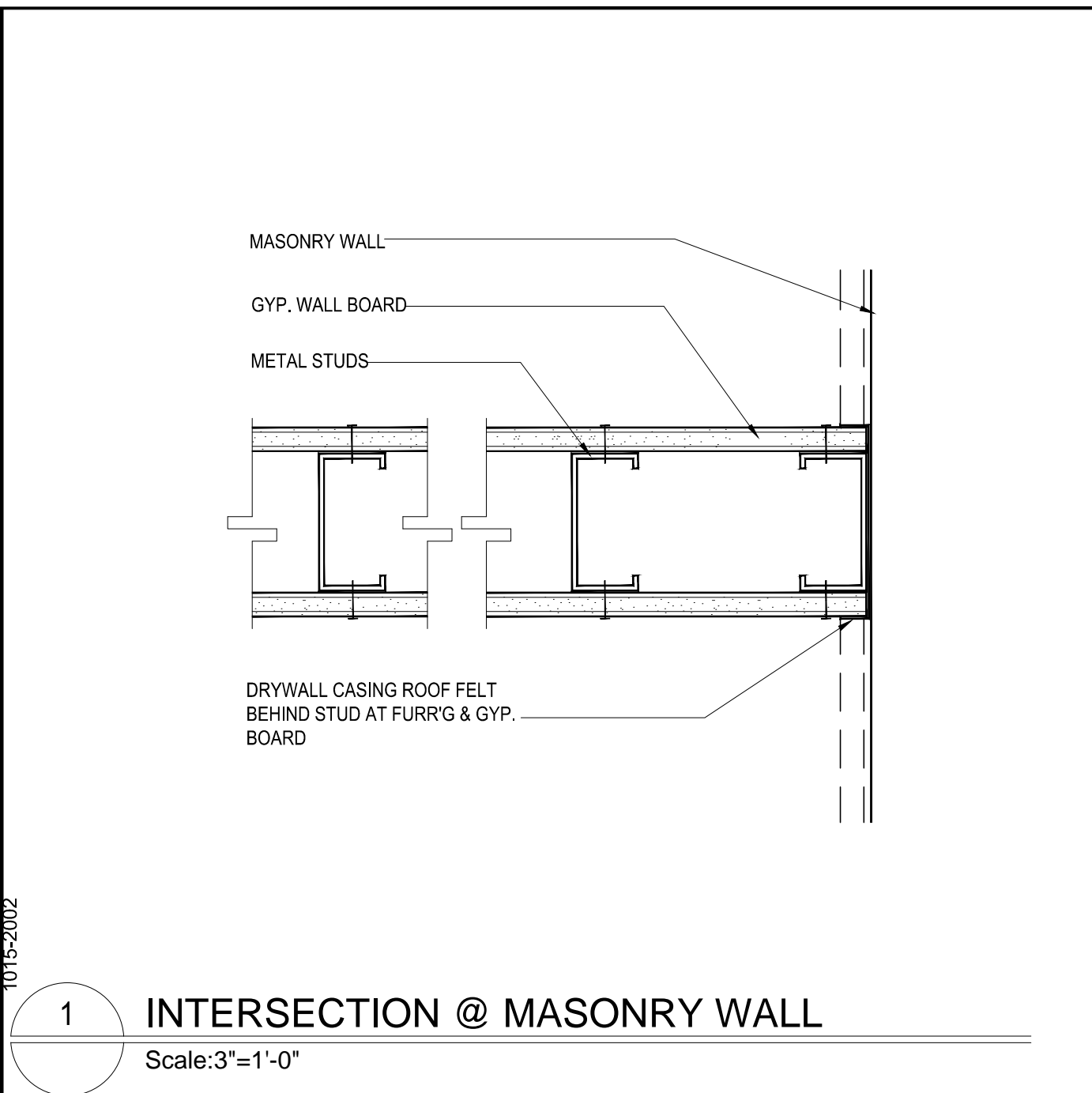
10 MILLWORK SECTION
Scale: NTS



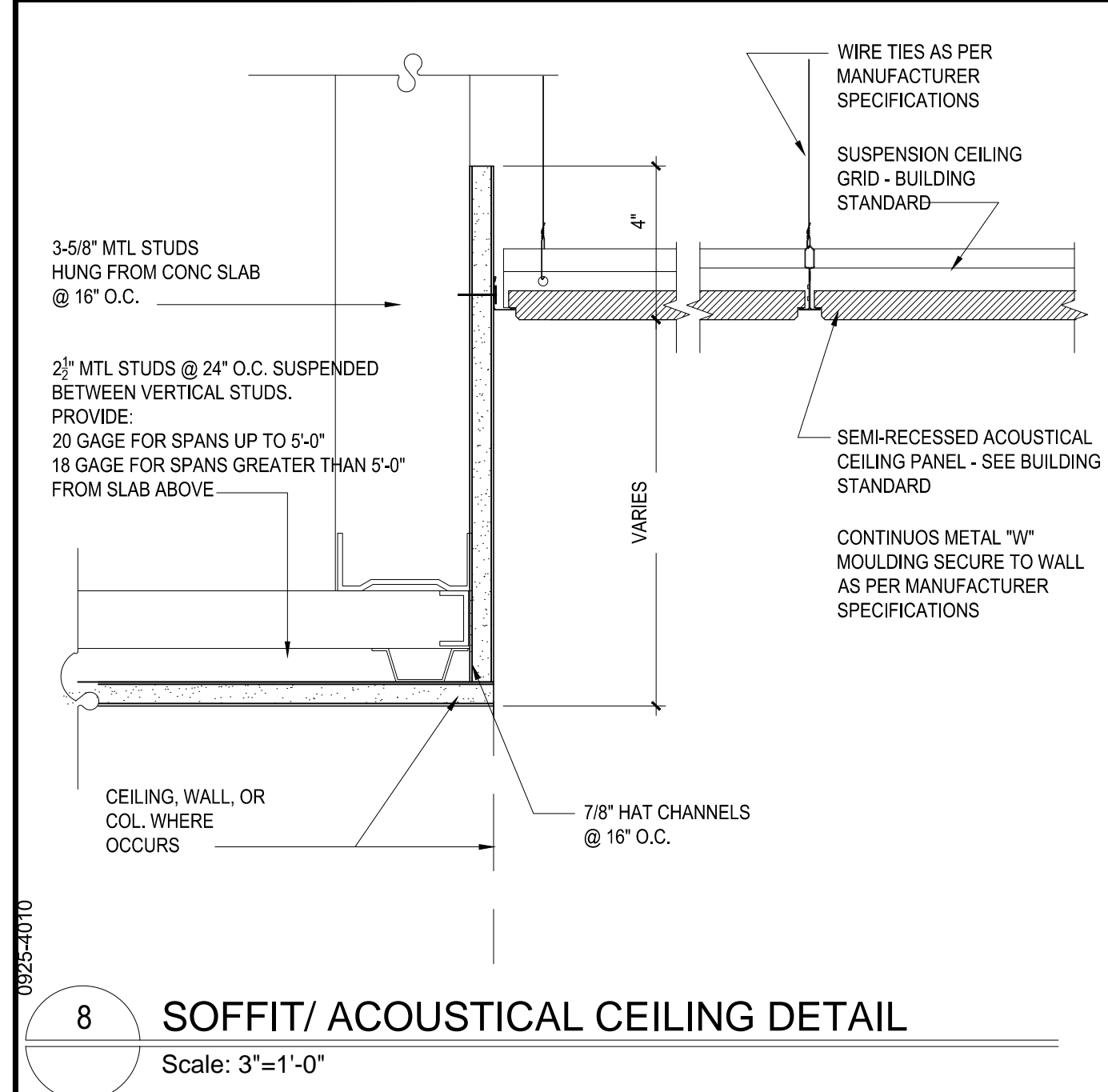
7 V.C.T. / CARPET TRANSITION
Scale: 3"=1'-0"



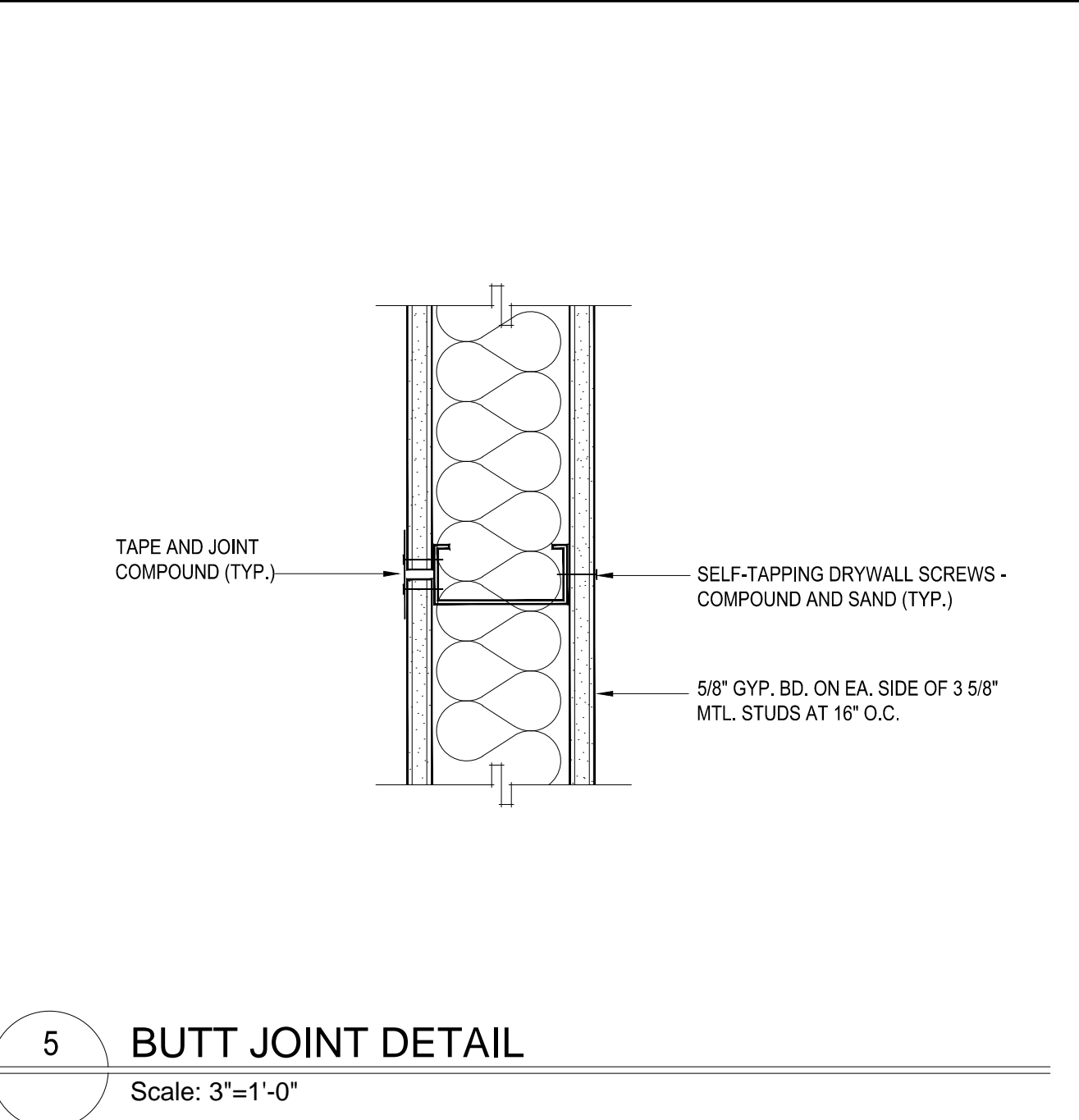
4 PARTITION INTERSECTION DETAIL
Scale: 3"=1'-0"



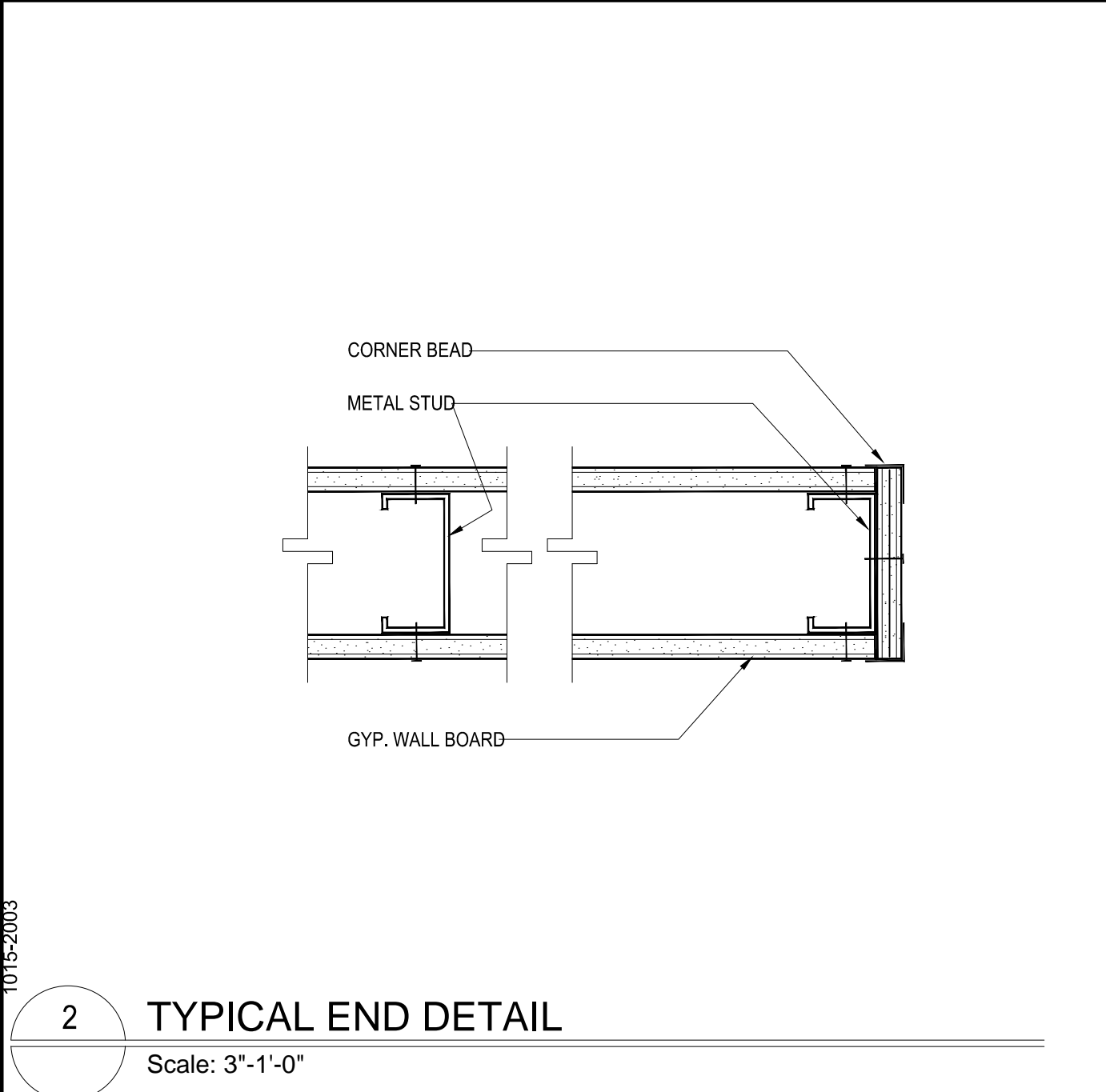
1 INTERSECTION @ MASONRY WALL
Scale: 3"=1'-0"



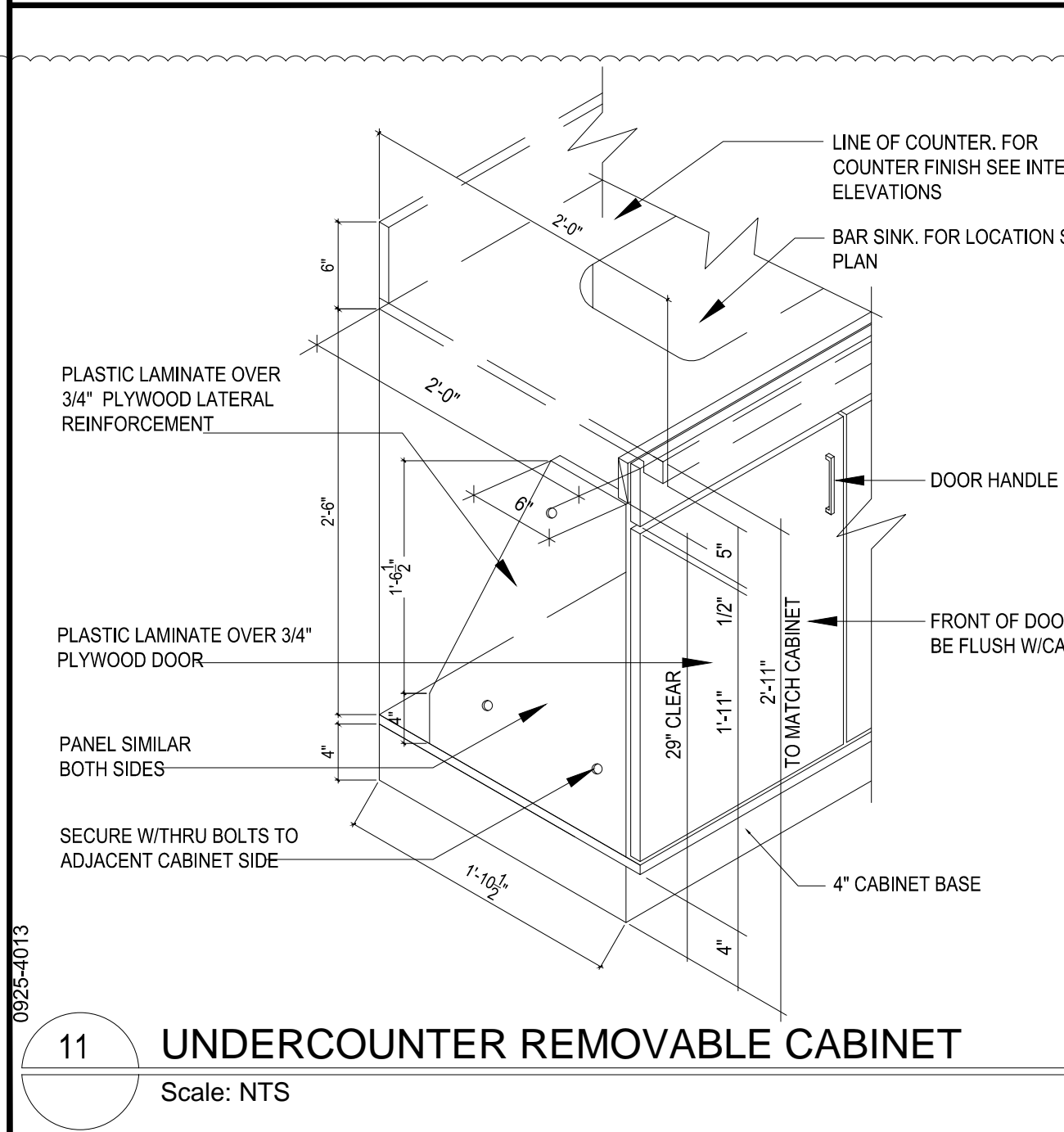
8 SOFFIT/ ACOUSTICAL CEILING DETAIL
Scale: 3"=1'-0"



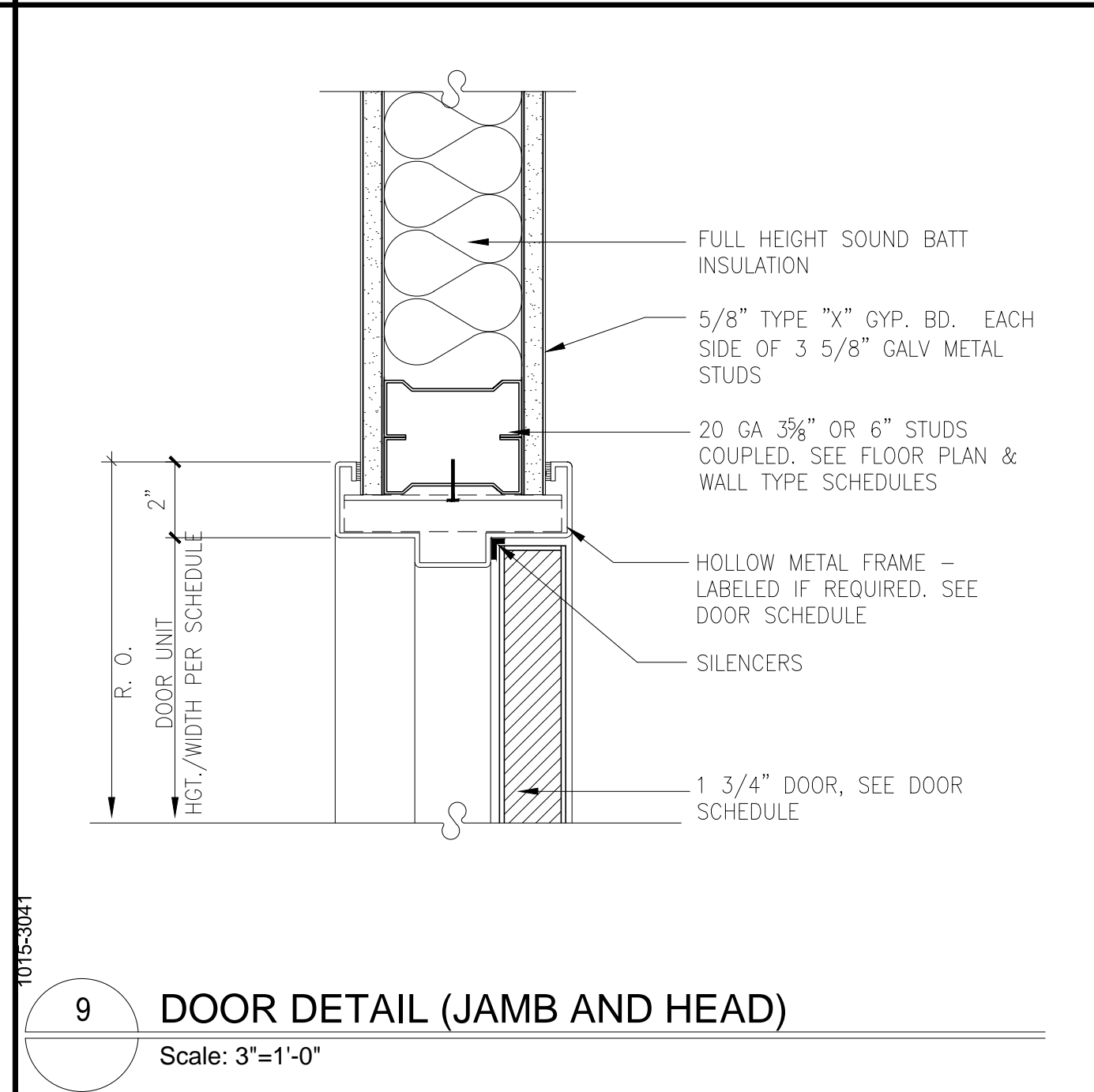
5 BUTT JOINT DETAIL
Scale: 3"=1'-0"



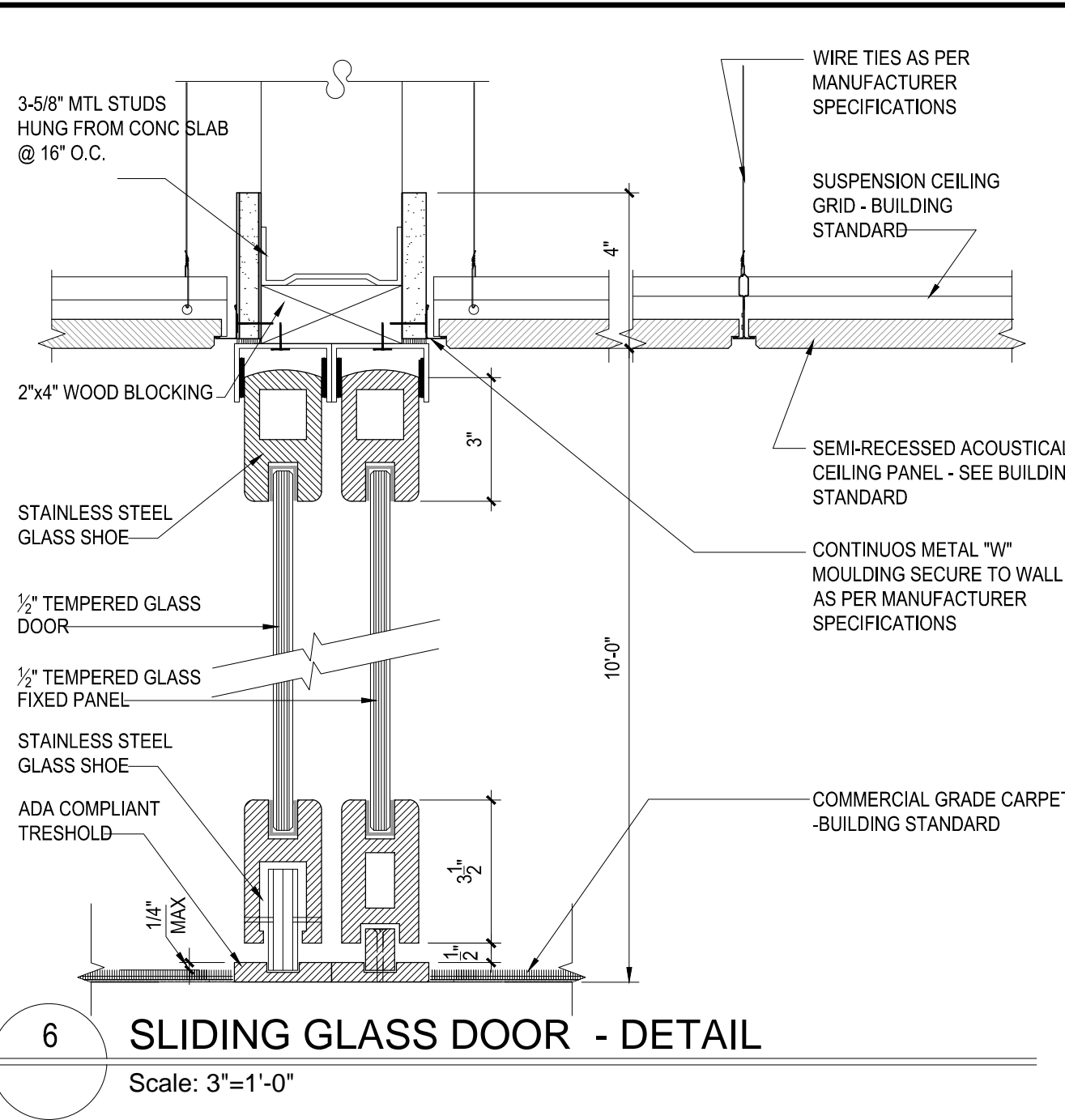
2 TYPICAL END DETAIL
Scale: 3"=1'-0"



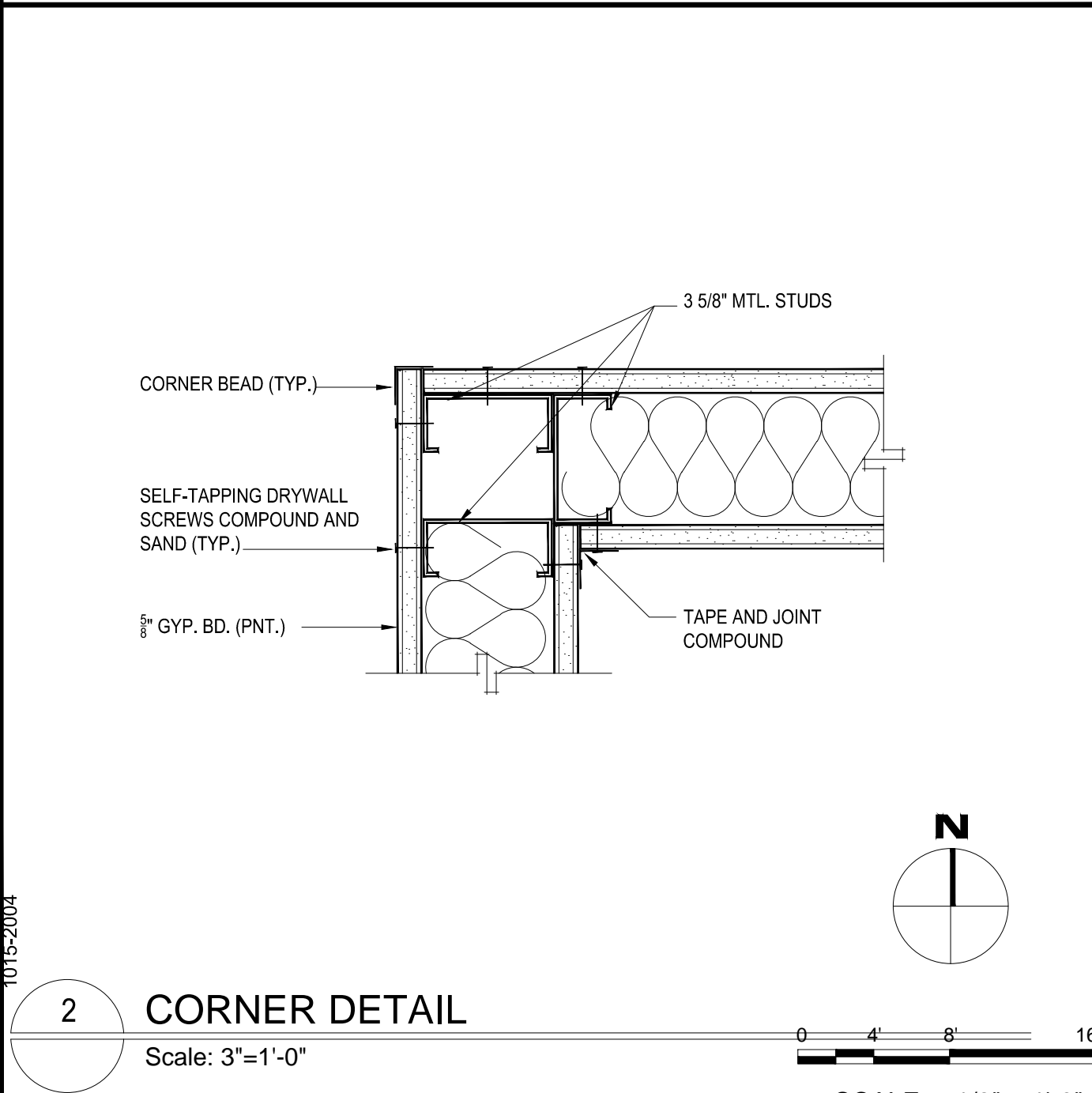
11 UNDERCOUNTER REMOVABLE CABINET
Scale: NTS



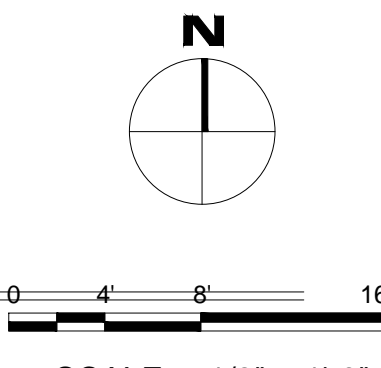
9 DOOR DETAIL (JAMB AND HEAD)
Scale: 3"=1'-0"



6 SLIDING GLASS DOOR - DETAIL
Scale: 3"=1'-0"



2 CORNER DETAIL
Scale: 3"=1'-0"



11/21/2011 4:50:36 PM GIMBERT

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Revised:

