

Article 7

Business Districts



Section 7.01 Statement of Purpose

- (a) **O-1, Office District.** The O-1, Office District is intended to permit lower intensity office and personal service uses in well-landscaped settings, often adjacent to or near residential areas.
- (b) **C-1, Local Business District.** The C-1, Local Business District is intended to permit retail business and service uses which are needed to meet the convenience shopping and service needs of nearby residential areas. In order to promote sustainable business districts and compatibility with nearby uses, uses are prohibited which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic, or late hours of operation. The intent of this district is also to concentrate local business areas at strategic locations to the mutual advantage of both the consumers and merchants and to avoid unattractive marginal strip business development along arterial roadways.
- (c) **C-2, General Business District.** The C-2, General Business District is intended to permit a wider range of business and entertainment activities than permitted in the local business district. Commercial establishments in the BC-2 District cater to the convenience and comparison shopping needs of nearby residential areas and customers further away for types of businesses. These uses would generate larger volumes of vehicular traffic, would need more off-street parking and loading and would require more planning to integrate such districts with adjacent residential areas. Special attention is focused on site layout, building design, vehicular and pedestrian circulation and coordination of site features between adjoining sites.
- (d) **C-3, Highway Service District.** The C-3, Highway Service District is intended to permit more intensive business and entertainment activities than that permitted in the Local and General Business Districts. The uses in the C-3 District are more automotive oriented and serve a market that includes City residents, residents from surrounding communities, and pass by traffic. The permitted uses are directed to arterial streets and are generally not appropriate immediately adjacent to residential zoning districts. Standards for site layout, building design, vehicular circulation and buffering from other nearby uses are created to ensure well-designed vibrant districts.
- (e) **RC, Regional Center District.** The RC, Regional Center District is intended to promote large scale commercial and office developments which can take advantage of the potential trade of passengers, visitors and employees at the Metro Airport. It is also recognized that this international air facility will encourage adjacent land uses for conventions, trade centers, educational and training facilities, hotels, restaurants, car rental and parking facilities. and complementary multi-story apartments and condominiums. This district is intended to encourage innovation and variety in type, design and arrangement of uses that create a vibrant and unified Regional Center.

Section 7.02 Schedule of Uses

No building or land shall be used and no building shall be erected except for one (1) or more of the following specified uses, unless otherwise provided for in this Ordinance. Land and/or buildings in the districts indicated at the top of [Table 7.02](#) may be used for the purposes denoted by the following abbreviations:

P: Permitted Use: Land and/or buildings in this District may be used for the purposes listed by right.

SLU: Special Land Use: The use may be permitted by obtaining Special Land Use

approval by the Planning Commission, or City Council for the uses listed in [Section 18.03](#), when all applicable standards cited in [Article 18](#) and Specific Standards of [Section 7.04](#) are met.

NP: Not Permitted: The use is not permitted in the district.

"Other Requirements" indicates additional requirements or conditions applicable to the use. In addition the standards of Part III may also be applicable, in particular [Article 13](#) General Site Development Requirements, [Article 14](#) Off-Street parking, Loading, Access and Circulation Requirements and [Article 17](#) Site Plan Review Requirements and Procedures.

Table 7.02 Schedule of Uses						
Use	O-1	C-1	C-2	C-3	RC	Other Requirements
Residential						
Multiple-family dwellings					P	11.01(c)
Boarding homes			SLU	SLU		
Institutional and Educational						
Business schools	P	P	P	P	P	
Colleges, universities and other institutions of higher learning, public and private, offering courses in general, technical, or religious education	P		P	P	P	11.02(b)
Law enforcement facilities, customs, homeland security and emergency services including fire stations and medical care units	P	P	P	P	P	
Performing and fine arts schools	P	P	P	P	P	
Places of worship	P	P	P	P	P	11.02(c)
Municipal buildings and uses	P	P	P	P	P	
Trade, technical and vocational schools, not including truck driving schools	P	P	P	P	P	
Human Care and Medical						
Child day care centers, nursery schools and day nurseries (more than 12 children less than 24 hours per day)	P	P	P	P	P	11.03(c)
Hospitals and 24-hour urgent care centers	P	P	P	P	P	11.03(d)
Therapy and rehabilitation centers	P	P	P	P	P	11.03(e)
Medical or dental clinics	P	P	P	P	P	
Nursing and convalescence homes	P	P	P	P	P	11.03(f)
Shelters and social assistance centers	SLU		SLU	SLU		11.03(g)
Substance abuse rehabilitation centers	SLU		SLU	SLU		11.03(h)
Medical, optical and pharmaceutical laboratories	P		P	P	P	
Animal/Agricultural						
Kennels, commercial			SLU	SLU		11.15(c)
Kennels and long-term parking (park and bark)					SLU	11.15(c) , 14.05
Pet day care		SLU	SLU	SLU	SLU	11.15(d)
Kennels, commercial			SLU	SLU		11.15(c)

Table 7.02 Schedule of Uses						
Use	O-1	C-1	C-2	C-3	RC	Other Requirements
Pet grooming and obedience training with no boarding or daycare		P	P	P	P	
Veterinary hospitals and clinics	P	P	P	P	P	
Retail						
Retail businesses whose principal activity is the sale or rental of merchandise within a completely enclosed building		P	P	P	P	
Convenience food store and party store		P	P	P	P	
Drive-thru uses accessory to a principal permitted use (except restaurants)		SLU	SLU	P	P	11.04(a)
Flea markets within a completely enclosed building			SLU	SLU		
Nurseries and similar commercial outdoor retail sale of trees, fruits, vegetables, shrubbery, plants, seed, topsoil, humus, fertilizer, trellises, lawn furniture, and other home and garden supplies and equipment, and similar uses			SLU	SLU		11.04(b)
Commercial outdoor display, sales and storage (accessory)				P	P	11.04(b)
Pharmacies with drive-thru prescription windows		SLU	SLU	P	P	11.04(a)
Pharmacies without drive-thru prescription windows	P	P	P	P	P	
Pawn shops			SLU	SLU		
Resale and consignment shops		P	P	P		
Retail sales of home improvement supplies			P	P		
Services						
Personal service establishments which perform services on the premises, such as watch repair, home electronics, and appliance repair, shoe repair shops, tailors, dressmaker, photographic studios, photographic reproduction locksmiths and similar establishments requiring a retail adjunct	P	P	P	P	P	
Barber and beauty shops, tanning salons and health spas	P	P	P	P	P	
Funeral homes and mortuaries	P	P	P	P		
Hotel, motel, bed and breakfast inns			P	P	P	
Laundry or dry-cleaning customer outlets, coin operated laundromats, self-serve dry-cleaning centers, and the like. Dry cleaning or laundry plants serving more than one retail outlet are prohibited		P	P	P		
Tattoo and piercing parlors		P	P	P		
Tool and equipment rental without outdoor storage			P	P		
Tool and equipment rental with outdoor storage, but excluding vehicles			SLU	SLU		
Restaurants and Bars						
Carryout restaurants		P	P	P	P	

Table 7.02 Schedule of Uses						
Use	O-1	C-1	C-2	C-3	RC	Other Requirements
Cocktail lounge/night club		SLU	P	P	P	
Drive-in restaurants			SLU	SLU	P	11.06(a)
Drive-thru restaurants			SLU	SLU	SLU	11.06(a)
Restaurants, taverns, brewpubs, and microbreweries	SLU	P	P	P	P	
Restaurants and taverns with outdoor seating	SLU	SLU	P	P	P	11.06(b)
Restaurants with open front windows		SLU	P	P	P	
Vehicle and Truck Repair, Service and Parking						
Long-term parking facilities (park-and-fly, vehicle storage)					SLU	14.05
Truck (small – under 10,000 pounds), utility trailer and small equipment sales, rental, or lease				SLU	SLU	11.04(b)
Vehicle dealerships (new) including automobile, motorcycle, boat and recreational vehicle sales, rental or lease; use may include up to 25% used vehicle sales				P	P	11.07(a) 11.04(b)
Vehicle dealerships (used) including automobile, motorcycle, boat and recreational vehicle sales, rental or lease				P		11.07(a) 11.04(b)
Vehicle engine and body repair (major) establishments				SLU		11.07(d)
Vehicle maintenance and repair (minor) establishments				P	P	11.07(e)
Vehicle (car) rental establishments				SLU	SLU	11.07(a) and 14.05
Vehicle service centers/fueling stations				SLU	SLU	11.07(f)
Vehicle wash and auto-detailing				P	SLU	11.07(g)
Recreation \ Leisure \ Entertainment						
Accessory outdoor recreation facilities such as tennis courts and swimming pools when such uses are intended primarily for the guests or tenants of a principal permitted use of the site			P	P	P	
Adult uses			SLU	SLU		11.08(a)
Arcades			SLU	SLU	SLU	11.08(b)
Bowling alleys			P	P	P	
Casinos and racetracks					SLU	
Comedy clubs			P	P	P	
Golf courses					SLU	11.08(c)
Indoor commercial recreation uses such as tennis courts, ice-skating rinks, court sports facilities and similar uses		P	P	P	P	
Banquet halls, entertainment establishments and poker rooms			P	P	P	

Table 7.02 Schedule of Uses						
Use	O-1	C-1	C-2	C-3	RC	Other Requirements
Pool and billiard halls			P	P	P	
Private service clubs, fraternal organizations, lodge and union halls	P	P	P	P		
Publicly owned and operated parks and recreational facilities	P	P	P	P	P	
Recreational, health services and related uses including but not limited to: health clubs or gyms; martial arts, instruction or practice; gymnasiums; tanning salons			P	P	P	
Bath houses, saunas or businesses providing whirlpool baths, or mineral baths			SLU	SLU	SLU	
Tennis courts, archery courts, shuffleboard, horseshoe courts, miniature golf, golf driving range, children's amusement park or similar outdoor recreation uses				P	P	
Theaters, motion picture and live (not including adult)			P	P	P	
Office/Professional/Financial						
Office buildings	P	P	P	P	P	
Business services such as mailing, copying, data processing and retail office supplies	P	P	P	P	P	
Corporate headquarter offices, administrative, professional, and/or business offices of permitted principal uses, legal, engineering, surveying, accounting, architectural and similar professional offices	P	P	P	P	P	
Data processing and computer centers, including incidental service and maintenance of electronic data processing	P	P	P	P	P	
Financial establishments such as banks, credit unions, savings and loan associations	P	P	P	P	P	
Financial establishments with drive-thru tellers	P	P	P	P	P	11.09(a)
Free standing automated teller machine kiosks not located on a bank site.	SLU	SLU	SLU	SLU	SLU	
Insurance offices and brokerage houses	P	P	P	P	P	
Management and conference centers, convention facilities, corporate education and training facilities	P		P	P	P	
Specialized or customized photographic or graphic design services	P		P	P		

Table 7.02 Schedule of Uses						
Use	O-1	C-1	C-2	C-3	RC	Other Requirements
Construction Contractors/Supplies						
Contractor establishment of an office, showroom, or workshop nature, without outdoor storage, of an electrician, plumber, heating, and air-conditioning contractor, decorator, building contractor, painter, upholsterer or similar contractor which requires a retail adjunct, providing such use is within a completely enclosed building and excludes outside storage yards		P	P	P		
Transportation and Warehousing						
Bus, railroad and transit terminals	P	P	P	P	P	
Utilities						
Utility distribution facilities such as water mains, sewer mains, electrical, gas, distribution lines, and associated structures that are designed to serve the immediate vicinity	P	P	P	P	P	
Utility buildings, substations, including pump stations and transformer substations that are necessary to serve the immediate vicinity	P	P	P	P	P	11.13(a)
Accessory						
Accessory buildings and uses customarily incidental to any of the above permitted uses	P	P	P	P	P	
Commercial outdoor display, sales, and storage				P	P	11.04(b)
Charitable donation drop boxes	P	P	P	P	P	13.09

Section 7.03 Requirements Applicable to All Uses

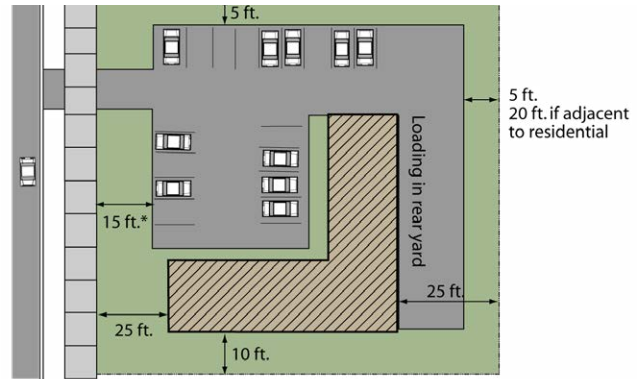
All commercial uses permitted by right or by special land use approval shall be required to meet all of the following requirements:

- (a) All business establishments shall be retail or service establishments dealing directly with customers.
- (b) All goods produced on the premises shall be sold at retail on the premises where produced.
- (c) All businesses or services shall be conducted within a completely enclosed building except where commercial outdoor seating, display, storage, service or sales is permitted as an accessory use and has been approved as part of the site plan in accordance with the standards of [Article 11](#) for the respective use or as otherwise permitted.
- (d) A temporary use permit shall be obtained in accordance with [Section 22.03\(e\)](#) for any temporary building, structure or use.
- (e) Where noted in [Table 7.02](#), uses shall be required to meet the use regulations of [Article 11](#).

Section 7.04 Area, Height, and Placement Requirements

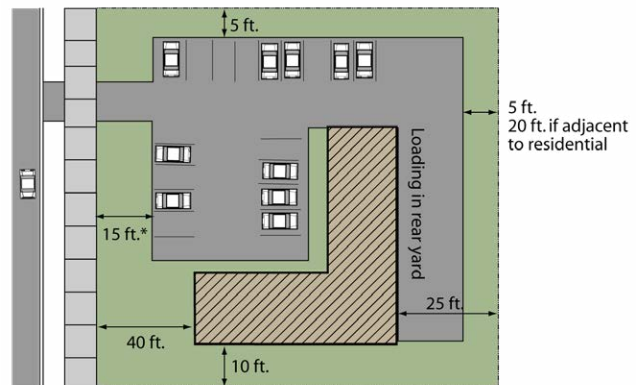
(a) **Schedule of Regulations.** Building height and lot coverage shall be in accordance with the following:

O-1 Office	
C-1 Local Business	
Setbacks ^{2,3,4,5,9,10,11}	
Min. Front Yard ^{6,7,8} :	
Building	25 ft.
Parking	15 ft.
Min. Side Yard:	
Building	10 ft.
Parking	5 ft.
Min. Rear Yard:	
Building	25 ft.
Parking	5 ft.
Building Height	
Maximum Stories	2
Maximum Height	25 ft.
Maximum Lot Coverage ¹	
O-1:	
Building	35%
Impervious Surface	75%
C-1:	
Building	40%
Impervious Surface	85%



* The 15 ft parking lot setback/greenbelt may be reduced to 10 feet where at least 50% of the parking is located to the side or rear of the building.

C-2 General Business	
Setbacks ^{2,3,4,5,9,10,11}	
Min. Front Yard ^{6,7,8} :	
Building	40 ft.
Parking	15 ft.
Min. Side Yard:	
Building	10 ft.
Parking	5 ft.
Min. Rear Yard:	
Building	25 ft.
Parking	5 ft.
Building Height	
Maximum Stories	3
Maximum Height	35 ft.
Maximum Lot Coverage ¹	
Building	40%
Impervious Surface	85%



* The 15 ft parking lot setback/greenbelt may be reduced to 10 feet where at least 50% of the parking is located to the side or rear of the building.

- setbacks noted in [Section 7.04 \(a\)](#). A greater setback shall be required where necessary to meet the greenbelt or buffer requirement under [Section 13.02](#).
- (4) **Adjoining Residential.** Where a side or rear lot line adjoins a residential use, the parking lot setback shall be increased to a minimum of twenty (20) feet to accommodate a wider buffer zone under [Section 13.02](#).
 - (5) **Shared Access and Cross Circulation.** Where a commercial site adjoins another commercial site where there is shared parking, shared driveway access or service drive connections to allow cross circulation between the adjacent uses, the Planning Commission may waive the parking lot setback and landscaping requirement between the two commercial uses.
 - (6) **Front Parking Lot Setback.** A fifteen (15) foot parking lot setback and frontage greenbelt B under [Section 13.02](#) shall be provided along the site frontage. In RC the setback shall be twenty (20) feet. In the C-1 and C-2 zoning districts, the Planning Commission may reduce the parking lot setback and greenbelt depth requirement to ten (10) feet where a majority (more than 50%) of the parking will be located in the side or rear yard of the site and there is not more than a single row of parking between the building and the front lot line.
 - (7) **Front Yards of Partially Built-Up Blocks:** On platted lots that have a depth of less than one hundred fifty (150) feet, the minimum front yard setback of any new building shall not be required to be more than the average front yard setback of adjacent buildings along the same block.
 - (8) **Detention Ponds.** Detention/retention ponds shall be prohibited in the required front yard setback (i.e. must meet front yard setback), unless the City Engineer determines there is no reasonable alternative due to existing topography and natural drainage problems. This restriction shall not apply to rain gardens, bio-retention swales, irrigation trench planters and other similar stormwater management alternatives to retention or detention ponds.
 - (9) **Accessory Buildings.** Accessory buildings shall be required to meet all of the dimensional requirements for principal buildings, including setback and building height. Accessory buildings shall be constructed of a material that is compatible with the principal building and of a similar color.
 - (10) **Natural Features Setback.** All structures shall be set back at least twenty five (25) feet from all regulated wetlands, natural ponds, lakes and streams.
 - (11) **Multiple-family Dwellings.** Multiple family residential dwellings shall be permitted, provided they comply with the dimensional requirements of the HRM District as contained in [Article 4](#). Residential dwelling units may be included within a mixed-use building with residential on upper floors above retail or service uses meeting the dimensional requirements of the HRM District.
 - (12) **Regional Center Building Height.** The maximum one hundred fifty (150) foot height of structures in the RC District shall be reduced to the height limits set by the Federal Aviation Authority (FAA) in locations where the structure would penetrate the approach, transitional or horizontal surfaces for the airspace surrounding the Detroit Metropolitan Wayne County International Airport. All development applications must submit a Notice of Proposed Construction or Alteration, FAA Form 7460-1 to the FAA.

- (2) All truck access to and from the site shall be upon a major or minor arterial Class A road.
- (3) To ensure that the reasonable use of neighboring properties is not adversely affected and to reduce the potential for adverse health, odor or other environmental impacts, the property lines encompassing the proposed use shall only abut industrial districts and comply with the following separation distances:
 - a. Two thousand six hundred forty (2,640) feet from the property lines of any residential district, hospital, nursing home, senior housing project, or any facility designed for use by the physically infirm, or where large numbers of people congregate, such as recreation centers, parks or playgrounds, public meeting halls, places of religious worship, schools or libraries.
 - b. Six hundred sixty (660) feet from the property lines of any existing residential structure or any RC, C-1, C-2, C-3, CBD-1, CBD-2, CBD-3 or O-1 zoning district.
 - c. Additionally, the City shall determine that the proposed use shall not adversely affect nonconforming residential uses and that adequate separation is provided from existing industrial uses that may be particularly sensitive, such as food, beverage or drug processing facilities.
 - d. The separation distances specified above may be reduced by not more than fifty percent (50%) upon a finding by the Planning Commission and City Council that the distance is sufficient to prevent any occurrence of health or obnoxious odor problems or pollution of land, water courses or drainage systems.
- (4) In order to fully assess all implications and effects of the project, an in-depth environmental impact assessment shall be prepared by the petitioner and submitted for review at the public hearing and approval by the City in accordance with [Section 8.06](#).
- (5) The site shall be screened from view by a greenbelt A required under [Section 13.02\(c\)](#) and from adjacent property by a buffer meeting the requirements of [Section 13.02\(d\)](#).
- (6) Environmental Controls as follows shall be provided:
 - a. All processing, treatment, recycling, transfer, unloading and storage shall be within a completely enclosed building or in approved storage tanks. The facility shall be constructed to enclose all equipment which generate significant levels of noise.
 - b. All aggregate and bulk materials shall be stored in the building or in concrete bunkers or silos. The bunkers or silos shall be equipped to control fugitive dust and particles.
 - c. The plan shall indicate that all motor vehicles, which have contained or been in contact with hazardous waste, recycled materials or sludge, shall be washed clean prior to leaving the site. The method and area for washing shall be specified on the site plan.
 - d. The facility shall be equipped with an approved waste water recycling system to avoid contaminated water or liquids from being discharged to ground water, surface water or storm sewers. This shall include a wash-out, wash-down, and secondary containment system to recover and recycle impurities and other by-products processed from trucks, machinery products, supplies

Recycling, incineration, treatment, storage or disposal of hazardous waste, including hazardous or non-hazardous deep well injection shall be required to comply with the following requirements:

- (1) The use shall be located on a site of not less than thirty (30) acres.
- (2) All truck access to and from the site shall be upon a major or minor arterial Class A road.
- (3) To ensure that the reasonable use of neighboring properties is not adversely affected and to reduce the potential for adverse health, odor or other environmental impacts, the property lines encompassing the proposed use shall only abut industrial districts and comply with the following separation distances:
 - a. Two thousand six hundred forty (2,640) feet from the property lines of any residential district, hospital, nursing home, senior housing project, or any facility designed for use by the physically infirm, or where large numbers of people congregate, such as recreation centers, parks or playgrounds, public meeting halls, places of religious worship, schools or libraries.
 - b. Six hundred sixty (660) feet from the property lines of any existing residential structure or any RC, C-1, C-2, C-3, CBD-1, CBD-2, CBD-3 or O-1 zoning district.
 - c. Additionally, the City shall determine that the proposed use shall not adversely affect nonconforming residential uses and that adequate separation is provided from existing industrial uses that may be particularly sensitive, such as food, beverage or drug processing facilities.
 - d. The separation distances specified above may be reduced by not more than fifty percent (50%) upon a finding by the Planning Commission and City Council that the distance is sufficient to prevent any occurrence of health or obnoxious odor problems or pollution of land, water courses or drainage systems.
- (4) In order to fully assess all implications and effects of the project, an in-depth environmental impact assessment shall be prepared by the petitioner and submitted for review at the public hearing and approval by the City in accordance with [Section 8.06](#).
- (5) The site shall be screened from view by a greenbelt A required under [Section 13.02\(c\)](#) and from adjacent property by a buffer meeting the requirements of [Section 13.02\(d\)](#).
- (6) **Environmental Controls**
 - a. All processing, treatment, recycling, transfer, unloading and storage shall be within a completely enclosed building or in approved storage tanks. The facility shall be constructed to enclose all equipment which generate significant levels of noise.
 - b. All aggregate and bulk materials shall be stored in the building or in concrete bunkers or silos. The bunkers or silos shall be equipped to control fugitive dust and particles.
 - c. The plan shall indicate that all motor vehicles, which have contained or been in contact with hazardous waste, recycled materials or sludge, shall be washed clean prior to leaving the site. The method and area for washing shall be specified on the site plan.
 - d. The facility shall be equipped with an approved waste water recycling system

garbage, debris, paper, cardboard, wood, liquids, semi-solids, contained gaseous waste material, or other non-hazardous solid or liquid waste shall be required to comply with the following conditions, except where more stringent requirements exist under applicable State or Federal laws, or except where there is conflict with these laws.

- (1) The use shall be located on site of not less than ten (10) acres.
- (2) All truck access to and from the site shall be upon a major or minor arterial which has been constructed to Class A road standards.
- (3) The site location shall abut only land located within a C-2, C-3, M-1, M-2, or M-T zoning district.
- (4) No portion of any structure, facility, access drive, parking area or storage area shall be located within one hundred (100) feet of any property used for residential purposes.
- (5) All areas adjacent to the transfer point, such as the tipping floor and the turning, standing, parking, and storage areas shall be paved with sealed concrete. Adequate standing and parking facilities shall be provided on the site so that no packers or other collection vehicles, at any time, are standing on a public street awaiting entrance to the site. Areas subject to leakage or wash down areas shall have a secondary containment system. All other roads on the premises shall be paved with concrete or a bituminous hard surface.
- (6) Emission of smoke, dirt, dust and fly ash shall be controlled through the use of electrostatic precipitator or other equipment of equal or better efficiency, which shall meet all applicable Federal, State and local air pollution control regulations.
- (7) The transfer facility and the adjacent area shall be kept clean and free of litter.
- (8) All salvage and transfer operations shall be conducted totally within an enclosed building.
- (9) The operation shall be consistent with all applicable performance standards of this Ordinance.
- (10) If refuse is to remain at the transfer facility beyond the working day, that material shall be stored in a leak proof, fly and rodent resistant structure or container located within the building. No overflow from containers shall be permitted.
- (11) Equipment, adequate in size and quantity and in an operational condition, shall be available at all times. If, for any reason, the transfer facility is rendered inoperable for more than twenty-four (24) hours or there is a shutdown of the facility, an alternate plan or method of disposal shall be available to handle the refuse. These plans must be approved as part of the special land use approval process.
- (12) No refuse shall be burned at the transfer facility. Arrangements shall be made for adequate fire protection and extinguishing of accidental fires. Refuse which is burning, or at a temperature which is likely to cause a fire, or is of highly flammable or explosive nature, shall not be accepted at the transfer facility.
- (13) The proposed plan of operation shall be approved by the Wayne County Health Department and other applicable agencies prior to the issuance of a certificate of compliance.
- (14) In order to fully assess all implications and effects of the project, an in-depth

environmental impact assessment shall be prepared by the petitioner and submitted for review at the public hearing and later approval by the City in accordance with [Section 8.06](#).

(f) Sludge composting

- (1) The site shall have a minimum area of thirty-five (35) acres.
- (2) The site shall have direct access and all access routes on Class A Wayne County Roads or local roads which meet Class A Standards.
- (3) To ensure that the reasonable use of adjoining properties is not affected and to reduce the potential for adverse health or odor impacts, the property lines encompassing the proposed use shall only abut industrial districts and comply with the following separation distances:
 - a. Two thousand six hundred forty (2,640) feet from the property lines of any residentially-zoned district, major medical facility, nursing home, senior housing project, or any facility which is designed for use by the physically infirm or where large numbers of people congregate, such as senior recreation centers, public meeting halls, churches, schools, and libraries.
 - b. Three hundred (300) feet from the property lines of any RC, C-1, C-2, C-3, O-1, CBD-1, CBD-2 or CBD-3 District.
 - c. Additionally, the City shall determine that the proposed use shall not adversely affect non-conforming residential uses and that adequate separation is provided from existing industrial uses that may be particularly sensitive such as food, beverage or drug processing plants, or industries which employ large numbers of people.
 - d. The separation distances specified above may be reduced by not more than fifty percent (50%) upon a finding by the Planning Commission and City Council that the reduced isolation distances are sufficient to prevent any occurrence of health or obnoxious odor problems.
- (4) All processing, treatment, unloading, and final product storage shall be within a completely enclosed building. The plan shall indicate that all motor vehicles, which have contained or been in contact with sludge, shall be washed clean prior to leaving the site. The method of washing shall be specified on-site.

Vehicles used to transport sludge to the site shall provide for the completely enclosed, sealed containment of the sludge such as provided by concrete transit mix trucks or similar vehicles having a completely enclosed, sealed container, the intent being to prevent any leakage of the sludge material. Open box dump trucks with tarpaulin/canvas covering are prohibited. Vehicles shall comply with federal and state regulations for the transport of these materials.
- (5) No structures, parking areas, retention basins, or facilities shall be located within one hundred (100) feet of the front property line. This area, exclusive of access drives, shall be landscaped, planted open space meeting the requirements of [Section 13.02](#).
- (6) In order to fully assess all implications and effects of the project, an in-depth environmental impact assessment shall be prepared by the petitioner and submitted for review at the public hearing and later approval by the City in

Table 12.15(c) Wireless Communication Facilities

Type/Location of Wireless Facility	Location Permitted	Approval Procedure
1. Wireless Communication Facility attached to existing structures:		
Collocation upon an existing wireless communication support structure	All districts	Administrative approval
Replacing an existing wireless communication support structure with a new one to support additional collocation	All districts	Administrative approval if not more than 20 feet taller or 10% of original height, whichever is greater. Planning Commission if more than 20 feet taller or more than 10% greater than original height.
Attached to an existing utility structure	All districts	Administrative approval, with letter of acceptance from the utility company
Attached to an existing building	All non-single-family residential districts	Administrative approval
2. New Wireless Communication Support Structure:		
Replacing an existing tower with a taller tower to permit additional collocation	O-1, C-1, C-2, C-3, RC, O-R, M-1, M-2, M-T, AP districts or a government owned site in any district	Site Plan approval by the Planning Commission in accordance with Article 17 .
Monopole	Located on a municipally owned site in any zoning district	Site Plan approval by the Planning Commission in accordance with Article 17 .
Monopole	Located on a site owned by county or state governmental entity, places of worship, or public school in any zoning district	Special Land Use approval by the City Council in accordance with Article 18 .
Monopole	O-1, C-1, C-2, C-3, RC, O-R, M-1, M-2, M-T, AP districts	Special Land Use approval by the City Council in accordance with Article 18 .
Lattice tower where it can be shown that a monopole is not feasible.	<i>M-2, M-T districts</i>	Special Land Use approval by the City Council in accordance with Article 18 .

(d) Application Requirements

- (1) An application for a wireless communication facility, new towers shall be required to include a site plan that meets the requirements of Article 17. An application for a new wireless communication support structure (i.e. a new tower) shall include the following, in addition to other submittal requirements for site plan, as required in Article 17:
 - a. Signed certification by a professional engineer licensed by the State of Michigan with regard to the manner in which the proposed structure will fall in the event of damage, accident or injury (i.e. "fall zone"), and that the setback area provided shall accommodate the structure should it fall or

Section 13.01 Building Appearance

- (a) **Statement of Purpose.** The purpose of this Section is to provide exterior building wall material standards to enhance the visual environment of the City, thereby improving property values, stimulating investment in various business districts, encouraging quality industrial, and research and development projects, and enhancing the quality of life for City residents. The provisions of this section are to ensure that development projects utilize quality architecture to ensure that a building meets the design recommendations of the Master Plan, protects the investment of adjacent landowners, blends harmoniously into the streetscape, and creates a positive image for business and employment districts.
- (b) **Applicability.** This Section shall apply to all new construction, except single-family and two-family detached residential structures, and shall consist of those materials and combinations of materials as set forth in this Section. Architecture shall be reviewed by the Planning Commission, Administrative Review Committee (ARC), Building & Safety Director as a part of the site plan, sketch plan or building permit review under the requirements of this article.
- (1) Calculations for material wall percentages do not include areas of the façade used for doors and windows.
- (c) **Single and Two-Family Residential.** All single and two-family residential buildings shall meet the requirements of [Section 11.01\(a\) & \(b\)](#).
- (d) **Multiple-Family Residential.** All multiple-family residential buildings located in any district shall meet the following elevation material requirements:

Elevation	Permitted elevation materials	
Front façade and other elevations facing a street	75% minimum brick, face brick or stone	Up to 25% may be wood, vinyl, or fiber cement (hardy board) siding, stucco, or other similar quality material approved by the City
Side and rear facades that do not face a street	Brick, face brick, stone, wood, vinyl, or fiber cement (hardy board) siding, stucco or other similar quality material approved by the City	
Basements and foundations	Concrete block, including split face, and scored block, precast concrete, concrete formed in place	

- (e) **Commercial, Office, and Institutional.** All non residential buildings located in a residential zoning district and all buildings located in the O-1, C-1, C-2, C-3, RC, and O-R zoning districts shall meet the following elevation material requirements. Sites in the CBD Zoning Districts shall meet the architectural requirements in Article 6.

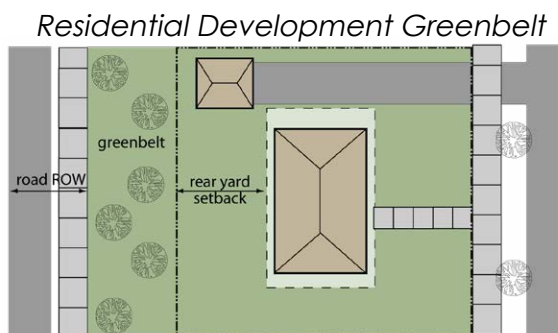
Elevation	Permitted elevation materials	
Front façade and other elevations facing a street, a parking lot or an adjacent residential zoning district	75% minimum brick, face brick or stone	Up to 25% may be split face block, scored block, metal, EIFS, wood, vinyl or fiber cement (hardy board) siding, stucco, or other similar quality material approved by the City
Side and rear facades that do not face a street, a parking lot or an adjacent residential zoning district	Any masonry material or other similar quality material approved by the City	

Table 13.02(c)
Frontage Greenbelt Requirements

Type	Application	Greenbelt Depth	Berm	Minimum Plantings per 100 Linear Feet ¹			
				Deciduous trees	Evergreen trees	Ornamental tree	Shrubs
A	Residential subdivision, condominium or multi-family development where units back towards a major road	25 ft. ²	3 ft.	2	3	1	20
B	Commercial, office and institutional uses ^{3,4}	15 ft.	3 ft. ⁵	2	1	1	20
C	Industrial	40 ft. 30 ft. in M-1	3 ft.	3	3	1	30
D	Industrial: Screening for outdoor storage of trucks and truck loading areas	50 ft.	4 ft.	3	6	1	40

(d) **Footnotes to Table 13.02(c).**

- (1) Calculations shall be based upon total frontage, including yards, buildings, driveways and parking lots.
- (2) Greenbelts around the perimeter of single-family residential developments shall be in addition to the rear yard setback requirement of the district.
- (3) Greenbelts shall not apply in the CBD overlay district.
- (4) In the C-1 and C-2 Districts, the City may reduce the greenbelt depth requirement to ten (10) feet where more than one half ($\frac{1}{2}$) of the parking spaces will be located in the side or rear yard and only one row of parking is located in the front yard or where the commercial building is less than ten thousand (10,000) square feet.
- (5) The berm shall not be required along a commercial frontage where a three (3) foot tall brick wall or a combination of a three (3) foot tall wrought iron fence with a continuous evergreen hedge row is provided along the entire frontage (except driveway and sidewalk access points). The hedge row plantings may be credited towards the shrub plantings of [Table 13.02\(c\)](#).



- (5) The light level along a non-residential property line may be increased to up to five (5) footcandles where there is shared access/vehicular connections with the adjacent use or the adjacent use is a similar use (e.g. commercial adjacent to commercial).
- (d) **Light Fixtures.** Outdoor lighting on all non-residential sites shall be directed downward and confined to the ground areas of lawns or parking lots except as noted elsewhere in this Section. Lighting shall utilize full cutoff fixtures that are recessed sufficiently such that the light source is not visible from off site. Bollard lights are permitted to light driveways and pedestrian areas. All lamps shall be LED lamped luminaires, unless otherwise approved by the City.
- (e) **Fixture Height.** Light fixtures shall not be higher than fourteen (14) feet within three hundred (300) feet of a residential district. Otherwise, fixtures shall be no higher than twenty five (25) feet. Height shall be measured from the parking lot grade.
- (f) **Ornamental/Decorative Lighting.** The requirement for downward directed lighting may be waived for ornamental and decorative lighting which is part of an overall architectural theme and street lighting.
- (g) **Floodlighting Prohibited.** Floodlight type fixtures shall be used only for building accent, landscaping, and sign lighting. Upward directed flood lighting that may distract air traffic or conflict with approach lighting for Detroit Metropolitan Wayne County International Airport shall be prohibited in accordance with FAA standards.
- (h) **Sign Lighting.** Illumination of signs shall comply with the requirements of the City of Romulus Sign Ordinance. Internally illuminated signs shall be permitted and light fixtures directed at a sign may be permitted where the fixtures are shielded so not to cause visible glare to persons on adjacent streets or adjacent property.
- (i) **Photometric Plan.** The evaluation of the photometric plan is intended to permit the City to determine potential adverse effects the site lighting may have on adjoining properties and motorists. Any site plan application for new or revised lighting shall include a photometric plan overlaid on the site plan illustrating the planned layout and footcandles of site lighting. The following are required for review:
- (1) Location of all site lights including pole lights, pedestrian lights, building mounted lights, canopy lights, sign lights, and landscape lights.
 - (2) The designation type for each luminaire.
 - (3) A Luminaire Schedule indicating type ("A", "B", "C", etc.), manufacturer, model number, lamp type, lumen output, wattage, number of heads and the I.E.S. luminaire photometric file number used for the calculations.
 - (4) Mounting height for each luminaire.
 - (5) A photometric grid indicating foot-candle levels over the entire site, including at all property lines, measured at grade level. Grid spacing shall not exceed 20 feet by 20 feet. ISO foot-candle lines may be included.
 - (6) A Photometric Summary and Statistics Table indicating the maximum, minimum and average foot-candle levels, maximum-to-minimum and average-to-minimum ratios.
 - (7) Lighting manufacturers' equipment specifications and data (cut) sheets must be copied on the photometric plan, and
 - (8) Any other presentations required to convey the intent of the design.

Section 13.06 Trash Receptacles and Enclosures

Trash receptacles and enclosures shall be required for all sites in the O-1, C-1, C-2, C-3, RC, O-R, M-1, M-2, and M-T Districts. Enclosures shall be in accordance with rules and regulations of the Wayne County Health Department and the City of Romulus. Enclosures for trash receptacles, dumpsters, and compactors shall be designed, constructed and maintained according to the requirements of this Section. Trash receptacle enclosure locations and details of construction shall be shown on site plans.

- (a) **Location.** Trash receptacle enclosures shall be located in the rear yard or non-required side yard, unless otherwise approved by the Planning Commission or ARC, at least five (5) feet from any principal building or as determined by the City of Romulus Fire Department. Trash receptacle enclosures for commercial and industrial sites shall be as far as practical from an adjoining residential district. Enclosures that are integrated into the principal building shall include concrete bollards placed at least five (5) feet from the exterior building wall, to minimize damage to the principal building from trucks or fire.
- (b) **Access.** Trash receptacles shall be accessible by refuse vehicles to prevent damage to automobiles in designated parking spaces; provided the enclosure doors shall not be highly visible from traffic entering the site from a public road.
- (c) **Base.** The trash receptacle base shall be at least nine (9) feet by nine (9) feet, constructed of six (6) inches of reinforced concrete pavement. The base shall extend six (6) feet beyond the dumpster pad or gate to support the front axle of a refuse vehicle. Where grease disposal receptacles are used, curbing shall be provided around the enclosure base to contain any spillage.
- (d) **Screening.** Trash receptacles shall have an enclosing lid or cover and be enclosed by a wall on three (3) sides with a wood gate on the fourth side. The enclosure shall be constructed of brick or split face block that matches the building color with a maximum height of six (6) feet or at least one (1) foot higher than the dumpster. Other decorative masonry material may be approved if it matches the material used on the principal building and landscape screening is provided in accordance with [Section 13.02\(h\)](#). Poured concrete with false brick design or plain concrete slag blocks are not permitted.
- (e) **Exceptions.** The Planning Commission or ARC may waive the requirement for a trash receptacle enclosure for businesses, such as banks, that store all waste material indoors or other uses that provide alternate means of handling waste disposal.

Section 13.07 Mechanical Equipment

Ground-, building-, and roof-mounted mechanical equipment and utility structures including, but not limited to, heating units, cooling units, air handling units, refrigeration units, blowers, ventilating fans, water and gas meters, elevator housing, tanks, generators, and utility transformers are subject to the following regulations:

(a) Ground- and Building-Mounted Equipment

- (1) Mechanical equipment and utilities located on or around any non residential building that are visible to the public shall be screened by decorative walls that are compatible with the material used on the building or by landscaping.
- (2) Screening materials for ground- and building-mounted mechanical equipment and utilities shall include a solid wall, fence or other decorative features compatible with the materials used on the main building or plantings or berms in accordance with [Section 13.02\(h\)](#).

Section 14.03 Off-Street Loading Requirements

- (a) **Uses Requiring Loading Area.** On the same premises with every building, structure or part thereof, erected and occupied for manufacturing, storage, warehouse, retail sales, consumer services or other uses similarly involving the receipt or distribution of vehicles, materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services in order to avoid undue interference with public use of the streets, alleys and parking spaces.
- (b) **Loading Area Requirements.** Loading and unloading spaces, unless otherwise adequately provided for, shall be ten (10) feet by fifty (50) feet, with fifteen (15) foot height clearance, according to the following schedule:

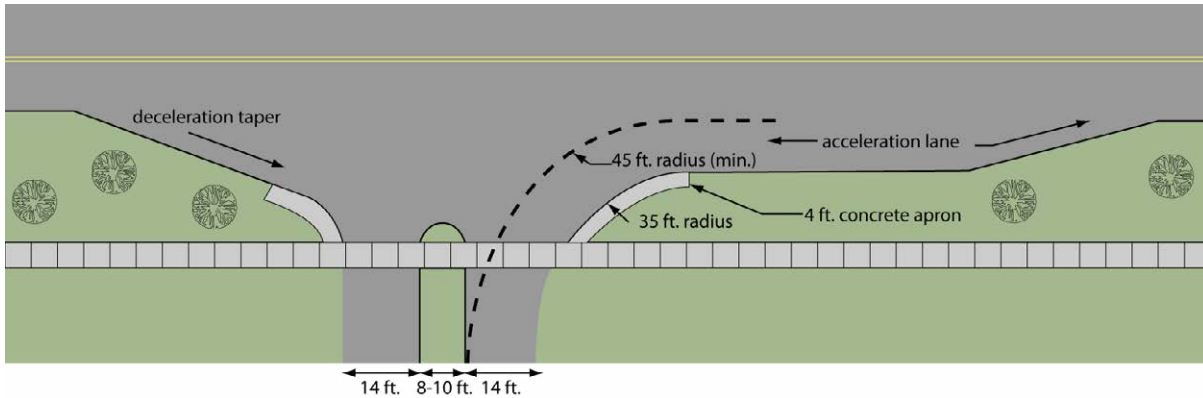
Building Net UFA	Minimum Truck Loading Spaces
0--1,400 sq. ft.	None
1,401--20,000 sq. ft.	1 space
20,001--100,000 sq. ft.	1 space plus 1 space for each 40,000 sq. ft. in excess of 100,000 sq. ft.
100,001--500,000 sq. ft.	5 spaces plus one 1 space for each 40,000 sq. ft. in excess of 100,000 sq. ft.
Over 500,000 sq. ft.	15 spaces plus 1 space for each 80,000 sq. ft. in excess of 500,000 square feet.

- (c) **Orientation of Overhead Doors:** Overhead doors for truck loading areas shall not face a public right-of-way and shall be screened to not be visible from a public street or an adjacent Residential District. This provision shall not apply to industrial uses located in the M-2 and M-T Districts if the building is setback at least two hundred (200) feet from the front lot line. Landscaping in accordance with the requirements for the particular use or a landscape greenbelt "D" that meets the requirements of [Section 13.02\(c\)](#) must also be provided.
- (d) **Limitation on Commercial Vehicle Parking:** In the CBD-1, CBD-2, CBD-3, O-1, C-1, C-2, C-3 and RC Districts the parking of trucks and other commercial vehicles shall be prohibited except for uses and locations approved for such storage. Parking or storage of trucks and other commercial vehicles for longer than twenty four (24) hours shall only be permitted where the vehicles are accessory to a permitted use and the location for parking and storage of vehicles is approved as part of the site plan by the Planning Commission.
- (e) **Limitations on Truck Staging and Storage:** Industrial uses shall be limited in the amount of truck storage and staging based upon the use and respective zoning district as provided for in [Article 8](#) and [Article 11](#).

Section 14.04 Truck Maneuvering, Access, and Circulation Standards

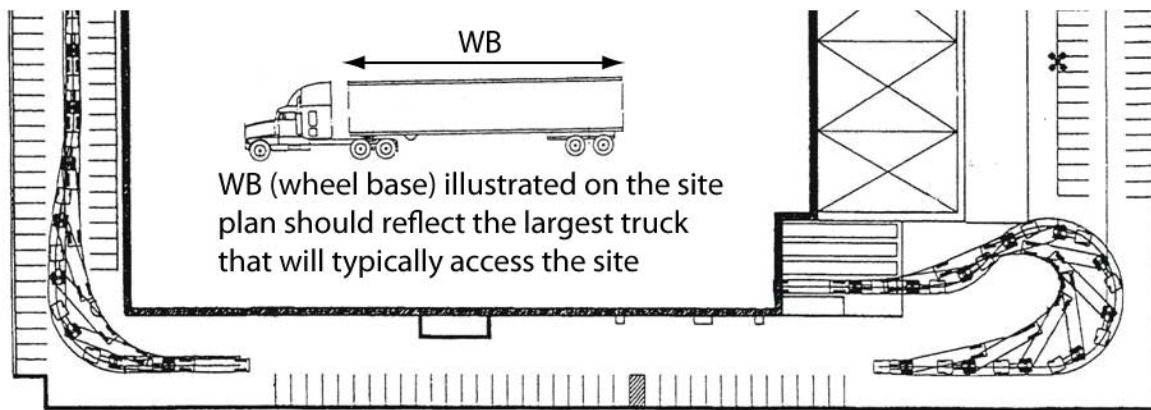
- (a) **Truck Access.** All site plans submitted under [Article 17](#) must indicate the type and volume of truck traffic anticipated at the site, including dimensions of all truck access and circulation lanes, and dimensions of all truck loading/unloading areas. Driveways and roads of commercial and industrial facilities anticipated to receive truck traffic must be designed to adequately accommodate that traffic (see Figure 14.04(a) and Wayne County driveway standards).
- (b) **Truck Circulation Plan.** Site plans must include a diagram with the dimensions of trucks anticipated at the site and show all existing and proposed truck circulation

Figure 14.04(a) Typical Driveway Standards for Truck Access



patterns, including the direction and flow of truck traffic on the site (see Figure 14.04(b)) and dimensions of all truck service drives, berths and dock approaches. Truck service drives, berths and dock approaches shall conform to the following minimum standards. Greater dimensions may be required based on the truck circulation patterns and conditions of each site.

Figure 14.04(b) Truck Circulation and Turning Templates to Illustrate on Site Plan



- (c) **Turning Radius.** Design features for trucking facilities shall include larger turning radii and added maneuvering space and pavement design to accommodate trucks. At a minimum these standards shall be those recommended by the American Association of State Highway and Transportation Officials or another standard specified by the City Engineer.
- (d) **Truck Dock Design:** Minimum truck dock design standards are provided in the following table and diagram (see Figure 14.04(d)):

- (5) Transition areas from adjacent land uses.
 - (6) Preservation of historical buildings or site features.
 - (7) Improvements to the public street system to mitigate traffic impacts or other public facility improvements to mitigate impacts of development.
 - (8) Coordinated development of multiple assembled small parcels.
 - (9) Removal or renovation of blighted buildings or sites or clean-up of site contamination.
- (d) **Consistency with the Master Plan.** The PDA shall be compatible with the overall goals and recommendations as proposed in the City of Romulus Master Plan.

Section 19.03 Use Requirements

- (a) **Uses Allowed.** Uses allowed as part of a PDA shall be based upon the underlying zoning district. Uses shall be permitted based upon the following table and a determination by the City Council that the uses will be suitable for the site and compatible with the surrounding area. All uses shall be required to comply with the specific use requirements contained in the district. Special land uses shall be required to comply with the special land use general standards of Section 18.05; however the PDA public hearing and review process shall satisfy the public hearing requirements for the special land use.

Underlying Zoning District	Uses Allowed in PDA	Uses Allowed Subject to Additional Requirements	
PDA located in a residential district: RE, R-1A, R-1B, R-2, RM or HRM	All uses listed as permitted and special land use in the RE, R-1A, R-1B, R-2, RM, C-1, CBD-1, CBD-2, CBD-3 and O-1 Districts	None	
PDA located in a business district: O-1, C-1, C-2, C-3, RC, CBD-1, CBD-2 or CBD-3	All uses listed as permitted and special land use in the O-1, C-1, C-2, C-3, RC, CBD-1, CBD-2 and CBD-3 Districts	Restaurants with drive-thru	19.03(b)(1)
		Vehicle service stations	19.03(b)(2)
		Outdoor display of goods for sale	19.03(b)(3)
PDA located in an industrial district: OR, M-1, M-2 or M-T	Uses listed as permitted and special land use in the O-1, M-1, M-2 and M-T Districts	Uses in a Foreign Trade Zone related to foreign and domestic merchandise	19.03(b)(4)
		Outdoor storage of trucks, trailers, materials, equipment, or products	19.03(b)(5)

- (b) **Use Requirements.** All uses shall be subject to the use requirements contained in the zoning district wherein the use is listed. The uses listed below shall comply with the following regulations in addition to the use regulations of the district.

Development: The construction of a new building or other structure, the relocation of an existing building, or a new use of open land.

Disposal: The final placement or destruction of either hazardous or non-hazardous substances or waste. Disposal includes placing the above substances in landfills, surface impoundments, land farms, deep wall injection or underground injection wells or incineration.

Distribution Center: A use which typically involves both warehouse and office/administration functions, where short and/or long term storage takes place in connection with the distribution operations of a wholesale or retail supply business.

District: A portion of the City within which, on a uniform basis, certain uses of land and buildings are permitted and within which certain regulations and requirements apply under the provisions of the Ordinance. Districts in the City of Romulus include:

- (a) **Commercial District:** A zoning district with one (1) of the following zoning designations on the City of Romulus Zoning Map: CBD-1, CBD-2, CBD-3, O-1, C-1, C-2, C-3, RC, and O-R.
- (b) **Non-residential District:** A zoning district with one (1) of the following zoning designations on the City of Romulus Zoning Map: CBD-1, CBD-2, CBD-3, O-1, C-1, C-2, C-3, RC, O-R, M-1, M-2, M-T, and AP.
- (c) **Industrial District:** A zoning district with one (1) of the following zoning designations on the City of Romulus Zoning Map: M-1, M-2 and M-T.
- (d) **Residential District:** A zoning district with one (1) of the following zoning designations on the City of Romulus Zoning Map: RE, R-1A, R-1B, RCO, R2, RM, HRM and RMH.
- (e) **Zoning District or District:** A portion of the City of Romulus where certain uses of land and buildings are permitted and certain yards, open spaces, lot areas, and other requirements are established.

Domestic Animal: See "[Animal/Domestic.](#)"

Double Frontage Lot: See "[Lot Type.](#)"

Drive-in Establishment: A business establishment developed so that its principal retail or service character is dependent on providing a driveway approach or parking spaces for motor vehicles so as to serve patrons while in the motor vehicle rather than within a building or structure, including customer communication facilities for banks or other uses. A drive-in restaurant is distinct from a drive-through restaurant in that the majority of drive-in patrons consume food and beverages while in the vehicle and while parked on the premises.

Drive-In Restaurant: See "[Restaurant.](#)"

Drive-thru Facilities: A business establishment in which all or at least ten percent (10%) of the business consists of providing goods and services from a drive-thru window to patrons in motor vehicles.

Drive-Thru Restaurant: See "[Restaurant.](#)"

Dumpster or Waste Receptacle: Any accessory exterior container used for the temporary storage of rubbish, pending collection, having the capacity of at least one cubic yard. Recycling stations and exterior compactors shall be considered to be dumpsters or waste receptacles for the purposes of screening regulations.

Dwelling:

- (a) **Apartment Dwelling:** An apartment is an attached dwelling unit with party or

The purpose of this combined use table is to provide a snapshot of uses allowed by district. It is not intended to replace the specific use tables in each chapter. Please refer to the specific article in which that district is found.

Table A.1 Table of Uses by District																				
Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Residential																				
Single-family detached dwellings	P	P	P	P	P	P		P	P	P										
Two-family dwellings (duplexes)	SLU	SLU	SLU	P	P	P	SLU	P	P	P										
Attached single-family dwellings				P	P	P		P	P	P										
Multiple-family dwellings					P	P		P	P	P					P					
Residential apartments on upper floor above a retail, personal service or office use on the ground floor								P	P	P										
Boarding homes								P	P	P			SLU	SLU						
Senior apartments and senior independent living				SLU	P	P		P	P	P										
Senior assisted living		SLU	SLU	SLU	P	P		P	P	P										
Manufactured home parks, and trailer coach parks							P													
Institutional and Educational																				
Business schools								P	P	P	P	P	P	P	P					
Cemeteries	SLU	SLU	SLU		SLU	SLU	SLU													
Colleges, universities and other institutions of higher learning, public and private, offering courses in general, technical, or religious education	SLU	SLU	SLU		SLU	SLU	SLU	P	P	P	P		P	P	P					
Municipal buildings and uses	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Offices and facilities for law enforcement, customs, homeland security and emergency services including fire stations, and medical care units																P	P	P	P	P
Performing and fine art schools								P	P	P	P	P	P	P	P					
Places of worship	SLU	SLU	SLU		SLU	SLU	SLU	P	P	P	P	P	P	P	P		P			
Schools, elementary, middle and high schools, parochial and private	SLU	SLU	SLU		SLU	SLU	SLU													
Trade, technical and vocational schools, not including truck driving schools								p	p	p	P	P	P	P	P	P	P	P	P	
Human Care and Medical																				
Adult Day Care				SLU	SLU	SLU		P	P	P										
Adult foster care family home (6 or fewer adults)	P	P	P	P	P	P	P	P	P	P	P	P	P	P						
Adult foster care large group home (13 to 20 adults)				SLU	SLU	SLU		SLU	SLU	SLU	P	P	P	P						
Adult foster congregate care facility (more than 20 adults 24 hours per day)								SLU	SLU	SLU										
Adult foster care small group home (7 to 12 adults)	SLU	SLU	SLU	P	P	P	SLU	P	P	P	P	P	P	P						
Child day care centers, nursery schools and day nurseries (more than 12 children less than 24 hours per day)	SLU	SLU	SLU	SLU	SLU	SLU	SLU	P	P	P	P	P	P	P	P	P	SLU	SLU	SLU	P
Child day care, family home (6 or fewer children less than 24 hours per day)	P	P	P	P	P	P	P	P	P	P										
Child day care, group home (7 to 12 children less than 24 hours per day)	SLU	SLU	SLU	P	P	P	SLU	P	P	P										
Foster family group home (5-6 children 24 hours per day)	P	P	P	P	P	P		P	P	P										
Foster family home (1-4 children 24 hours per day)	P	P	P	P	P	P	P	P	P	P										
Hospitals and 24-hour urgent care centers								P		P	P	P	P	P	P		P			
Therapy and rehabilitation centers					SLU	SLU		P		P	P		P	P	P		P			
Medical or dental clinics								P	P	P	P	P	P	P	P	P	P	P	P	P
Nursing and convalescence homes	SLU	SLU	SLU		SLU	SLU		P	P	P										
Shelters and social assistance centers					SLU	SLU					SLU		SLU	SLU			SLU			
Substance abuse rehabilitation centers					SLU	SLU					SLU		SLU	SLU			SLU			

Table A.1 Table of Uses by District

Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Animal/Agricultural																				
Bee keeping																	P	P	P	
Farms or farm operations	P	P	P													P	P	P	P	
Fowl and small animal pens	P	P	P																	
Greenhouses and nurseries, including retail sales																	P	P	P	
Kennels, commercial	SLU	SLU	SLU											SLU	SLU	SLU		P	P	P
Kennels and long-term parking (park and bark)															SLU					
Kennels, commercial, including boarding	SLU	SLU	SLU																	
Kennels, private	P	P	P														P	P	P	
Pet daycare								P	P	P		SLU	SLU	SLU	SLU		P	P	P	
Pet grooming and obedience training with no boarding								P	P	P		P	P	P						
Stables, livestock barns and boarding stables	SLU	SLU	SLU																	
Agricultural activity																	SLU	SLU	SLU	
Keeping of animals																	SLU	SLU	SLU	
Processing and refining of animal products																		SLU	SLU	
Boarding stables																	SLU	SLU	SLU	
Veterinary hospitals and clinics								P	P	P	P	P	P	P	P	P	P	P	P	
Retail																				
Retail businesses of no more than 20,000 square feet gross floor area								P	P	P										
Retail businesses whose principal activity is the sale or rental of merchandise within a completely enclosed building												P	P	P	P					
Accessory service or retail uses customarily incidental to a permitted principal medical office or hospital use, such as but not limited to: a pharmacy, barbershop, health salon, stores limited to corrective garments or bandages, optical shops											SLU	P	P	P	P					
Convenience food store or party store								P	P	P		P	P	P	P	P	SLU	SLU	SLU	
Drive-through uses accessory to a principal permitted use (except restaurants)								SLU	SLU	SLU		SLU	SLU	P	P					
Flea markets and retail shops within a completely enclosed building												P	P	P			P	P		
Nurseries and similar outdoor retail sale of trees, fruits, vegetables, shrubbery, plants, seed, topsoil, humus, fertilizer, trellises, lawn furniture, other home garden supplies, and equipment and similar uses													SLU	SLU			P	P	P	
Open air retail sales as accessory uses								P		P			SLU	SLU			SLU	SLU	SLU	
Pharmacies with drive-through prescription windows								SLU	SLU	SLU		SLU	SLU	P	P					
Pharmacies without drive-through prescription windows								P	P	P	P	P	P	P	P					
Retail and service business located at or within the airport intended to serve airport travelers																				P
Retail sales of home improvement supplies													P	P			P			
Resale and consignment shops								P	P	P										
Pawn shops													SLU	SLU						
Services																				

Table A.1 Table of Uses by District

Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Personal service establishments which perform services on the premises, such as barber and beauty shops; watch, radio, television, clothing and shoe repair shops; tailors; photographic studios; locksmiths; and similar establishments requiring a retail adjunct								P	P	P	P	P	P	P	P	P	P	P		
Barber and beauty shops, tanning salons and health spas								P	P	P	P	P	P	P	P					
Central dry-cleaning plants and laundries																P	P	P		
Funeral homes and mortuaries								P	P	P	P	P	P	P						
Groundsheet advertisements																SLU	SLU	SLU		
Hotel, motel, bed and breakfast inns								P	P	P			P	P	P					P
Laundry or dry-cleaning customer outlets, coin operated laundromats, self-serve dry-cleaning centers, and the like. Dry cleaning or laundry plants serving more than one retail outlet are prohibited								P	P	P		P	P	P						
Tattoo and piercing parlors								P	P	P		P	P	P						
Tool and equipment rental without outdoor storage													P	P						
Equipment sales, rental and repair without outdoor storage																P	P	P		
Contractor establishment of an office, showroom, or workshop nature, without outdoor storage, of an electrician, plumber, heating, and air-conditioning contractor, decorator, building contractor, painter, upholsterer or similar contractor which requires a retail adjunct, providing such use is within a completely enclosed building and excludes outside storage yards								P		P										
Tool and equipment rental with outdoor storage, but excluding vehicles													SLU	SLU						
Restaurants and Bars																				
Carryout restaurants								P	P	P		P	P	P	P		P	P	P	P
Cocktail lounge/night club								P	P	P		SLU	P	P	P					
Drive- in restaurants								SLU					SLU	SLU	P					
Drive-thru restaurants								SLU					SLU	SLU	SLU					
Restaurants, taverns, brewpubs, and microbreweries								P	P	P	SLU	P	P	P	P	P	P	P	P	P
Restaurants and taverns with outdoor seating								P	P	P	SLU	SLU	P	P	P	P	P	P	P	
Restaurants with open front windows								P	P	P		SLU	P	P	P					
Vehicle and Truck Repair, Service and Parking																				
Cell phone parking lots for airport pickup																	P	P	P	P
Long-term parking facilities (park-and-fly, vehicle storage)															SLU				SLU	P
Recreation vehicle outdoor storage																	P	P	P	
Truck (small – under 10,000 pounds), utility trailer and small equipment sales, rental or leasing																	P	P	P	
Truck, trailer and construction vehicle and equipment dealership (new or used) including sales, rentals or leasing																		P	P	
Truck repair (minor) facility																	P	P	P	
Truck and trailer repair (major) facility																		P	P	
Truck dismantling, wrecking, recycling and sale of used truck parts																			P	
Truck stops																			SLU	
Truck washes as principal use																			P	
Vehicle and truck auction facilities																			SLU	

Table A.1 Table of Uses by District

Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Vehicle dealerships (used) including automobile, motorcycle, boat and recreational vehicle sales										SLU										
Vehicle dealerships (new) including automobile, motorcycle, boat and recreational vehicle sales, may include up to 25% used vehicle sales										SLU										
Vehicle dealerships (new and used) including automobile, motorcycle, boat and recreational vehicle sales, rental or lease														P	P		P	P	P	
Vehicle impound facilities and towing storage yards																			SLU	
Vehicle maintenance and repair (minor) establishments								SLU		SLU				P	P		P	P	P	
Vehicle engine and body repair (major) establishments														SLU	P		P	P	P	
Vehicle rental establishments										SLU				SLU	SLU		P	P	P	P
Vehicle service centers/fueling stations								SLU		SLU				SLU	SLU					SLU
Vehicle or truck parts (new) sales as an accessory use																	P	P	P	
Vehicle and truck dismantling, wrecking, recycling and sale of used vehicle and truck parts																			P	
Vehicle fueling (gas) station																	P			
Truck fueling (gas) stations																	P		P	
Vehicle wash, automatic, self serve or auto-detailing								SLU		SLU				P	SLU		P	P	P	SLU
Recreation\leisure\entertainment																				
Accessory outdoor recreation facilities such as golf courses, tennis courts and swimming pools when such uses are intended primarily for the guests or tenants of a principal permitted use of the site														P	P	P				
Adult uses														SLU	SLU					
Arcades														SLU	SLU	SLU				
Bath houses, saunas or businesses providing whirlpool baths, or mineral baths														SLU	SLU	SLU				
Bowling alleys								P	P	P				P	P	P				
Casinos and racetracks																SLU				
Golf courses	SLU	SLU	SLU	SLU	SLU	SLU	SLU									SLU				
Indoor commercial recreation uses such as tennis courts, ice-skating rinks, court sports facilities and similar uses								SLU	SLU	SLU		P	P	P	P		P	P	P	
Indoor shooting ranges																	P	P	P	
Outdoor drive-in theaters																		SLU	SLU	
Outdoor recreation uses, including batting cages, driving ranges, riding stables, gun clubs, parks, camper and/or tent parks, hay rides, snowmobile and mini-bike trails, picnic grounds, swimming facilities, children's rides and race tracks																	SLU	SLU	SLU	
Comedy clubs								P	P	P										
Pool and billiard halls								P	P	P			P	P	P					
Private noncommercial recreational areas and buildings, institutional recreation centers, neighborhood recreational clubhouses, non-profit swimming pool clubs	SLU	SLU	SLU	SLU	SLU	SLU	SLU													
Private open space and neighborhood parks	P	P	P	P	P	P		P	P	P										
Private service clubs, fraternal organizations, lodge and union halls								P	P	P	P	P	P	P			P			
Publicly owned and operated parks and recreational facilities	P	P	P	P	P	P		P	P	P	P	P	P	P	P					

Table A.1 Table of Uses by District

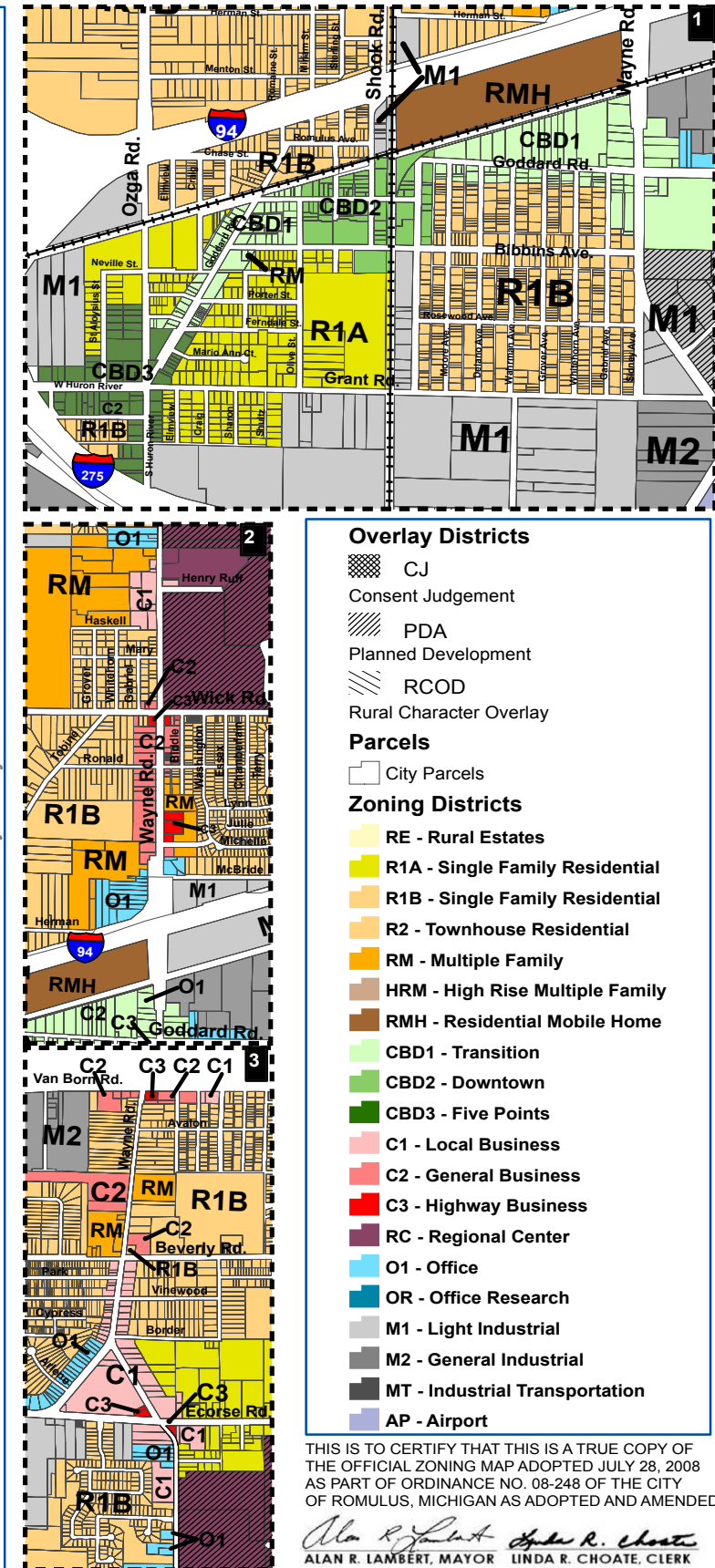
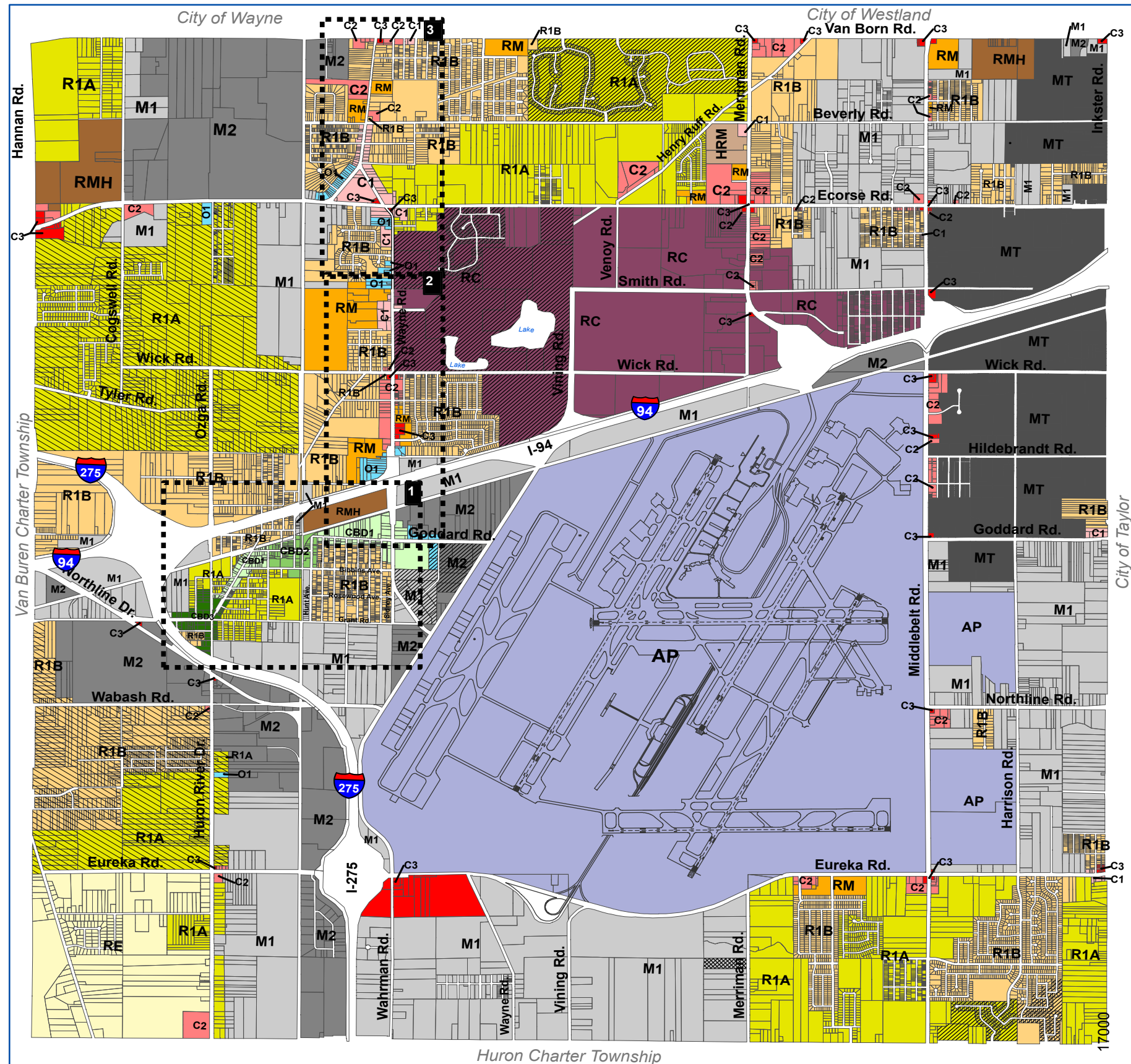
Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Recreational, health services and related uses including but not limited to: health clubs or gyms; martial arts, instruction or practice; gymnasiums; tanning salons								P	P	P			P	P	P					
Tennis courts, archery courts, shuffleboard, horseshoe courts, miniature golf, golf driving range, children's amusement park or similar outdoor recreation uses								SLU	SLU	SLU				P	P					
Banquet halls, entertainment establishments and poker rooms								P	P	P										
Banquet halls and entertainment establishments																	P			
Theaters, motion picture and live (not including adult)								P	P	P			P	P	P					
Office/Professional/Financial																				
Office buildings								P	P	P	P	P	P	P	P	P	P	P	P	P
Business services such as mailing, copying, data processing and retail office supplies								P	P	P	P	P	P	P	P	P	P	P	P	
Corporate headquarter offices, administrative, professional, and/or business offices of permitted principal uses, legal, engineering, surveying, accounting, architectural, and similar professional offices								P	P	P	P	P	P	P	P	P	P	P	P	P
Data processing and computer centers, including incidental service and maintenance of electronic data processing											P	P	P	P	P	P	P	P	P	P
Design and educational facilities whose principal function is the research and development of new products and processes and technical training																P	P	P	P	P
Financial establishments such as banks, credit unions, savings and loan associations								P	P	P	P	P	P	P	P	P	P	P	P	P
Financial establishments with drive-through tellers								P	P	P	P	P	P	P	P	P	P	P	P	P
Free standing automated teller machine kiosks not located on a bank site.											SLU	SLU	SLU	SLU	SLU					
Insurance offices and brokerage houses								P	P	P	P	P	P	P	P					
Management and conference centers, convention facilities, corporate education and training facilities											P		P	P	P	P	P	P	P	P
Planned office research parks																P	P	P	P	P
Research, experimental or testing laboratories								P	P	P										
Research, development, and testing facilities for technological, scientific and business establishments, including the development of prototypes																P	P	P	P	P
Specialized or customized photographic or graphic design services											P		P	P		P	P	P	P	P
Upper floor office, or warehouse uses, above a retail, personal service uses, cultural uses, offices and medical office/clinic uses on the ground floor								P	P	P										
Medical, optical, pharmaceutical laboratories											P		P	P	P	P	P	P	P	P
Industrial Manufacturing																				
Assembling and/or manufacture of automobiles and automobile bodies, trucks, engines, batteries, corrosive acid or alkali, cement, lime, gypsum, or plaster of Paris																		P	P	
Blast furnace, steel furnace, blooming or rolling mill; smelting of copper, iron or zinc ore																		P	P	
Breweries and distilleries																		P	P	

Table A.1 Table of Uses by District

Use		RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Manufacture, assembling, compounding, fabrication or packaging of products from previously prepared materials such as: electronics, food goods, candy, pharmaceuticals, cosmetics, toiletries, musical instruments, optical goods, toys, electrical equipment and appliances, pottery, hardware and cutlery and small automobile parts and accessories, including tool and dye machine shops	Up to 80,000 sq. ft. GFA																	P	P	P	P
	Over 80,000 sq. ft. GFA																	SLU	P	P	SLU
Painting and sheet metal and welding shops; metal and plastic injection and blow molding and extrusion shops																			P	P	
Production, refining, storage of petroleum and other flammable, or combustible materials																				P	
Publishing and printing establishments																	P	P	P	P	P
Tool and dye machine shops	Up to 80,000 sq. ft GFA																	P	P	P	
	Over 80,000 sq. ft GFA																	SLU	P	P	
Powercoating, painting in a paint booth																		P	P	P	
Construction Contractors/Supplies																					
Contractor establishment including an office, showroom, warehouse or workshop of an electrician, plumber, heating, and air-conditioning contractor, decorator, building contractor, painter, upholsterer or similar contractor which requires a retail adjunct, providing such use is within a completely enclosed building and excludes outside storage yards														P	P	P	P	P	P	P	
Landscape contractor supply yard																		P	P		
Asphalt, concrete or mixing batch plants and crushing operations																				SLU	
Contractor and equipment outdoor storage yards																		SLU	P	P	
Wholesale lumber yards and building supply establishments and planning mills																		P	P	P	P
Transportation and Warehousing																					
Bus, railroad, and passenger transit terminals									P	P	P	P	P	P	P	P	P	P	P	P	P
Railroad transfer and storage tracks and railroad terminals																			P	P	
Taxi dispatching, limousine and shuttle establishments																		P	P	P	P
Self-storage or mini-warehouse facilities																		P	P	P	
Truck driving schools																				P	
Truck facilities and truck storage																		P	P	P	
Truck terminals																				P	
Distribution facilities, air freight forwarders expediting and delivery services, and warehousing establishments providing storage for a single company - may include multiple warehouses in multi-tenant buildings	Up to 80,000 sq. ft. GFA																	P	P	P	P
	Over 80,000 sq. ft. GFA																	SLU	P	P	SLU
Utilities and Oil and Gas Wells																					
Public sewage treatment plants, public water plants, power plants, public works garages, storage yards and similar uses																		SLU	SLU	SLU	
Oil and gas wells																		SLU	SLU	SLU	
Hydraulic fracking wells																		SLU	SLU	SLU	

Table A.1 Table of Uses by District

Use	RE	R1-A	R-1B	R2	RM	HRM	RMH	CBD1	CBD2	CBD3	O-1	C-1	C-2	C-3	RC	O-R	M-1	M-2	M-T	AP
Utility buildings, substations, including pump stations and transformer substations that are necessary to serve the immediate vicinity	SLU	SLU	SLU	SLU	SLU	SLU	SLU	P	P	P	P	P	P	P	P	P	P	P	P	P
Utility distribution facilities such as water mains, sewer mains, electrical, gas, distribution lines, and associated structures that are designed to serve the immediate vicinity	P	P	P	P	P	P		P	P	P	P	P	P	P	P	P	P	P	P	P
Waste Handling and Disposal																				
Deep well injection of hazardous or non-hazardous waste																			SLU	
Incineration of garbage or refuse, when constructed within an approved incinerator plant																			SLU	
Junk yards, salvage yards																			SLU	
Hazardous waste recycling, incineration, treatment, transfer, storage or disposal																			SLU	
Non-hazardous materials outdoor recycling																		SLU	P	
Non-hazardous materials recycling within an enclosed building																		P	P	
Non-hazardous waste transfer stations, treatment, storage or disposal facilities																		SLU	SLU	
Sludge composting																		SLU	SLU	
Yard waste composting																	SLU	P	P	
Airports																				
Airport equipment storage yards																		P	P	P
Accessory																				
Accessory buildings and uses customarily incidental to any of the above permitted uses	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Accessory above ground storage tanks																	P	P	P	
Accessory above ground fuel storage and dispensing tanks for on-site vehicles and equipment																P	P	P	P	P
Accessory maintenance and repair of trucks and equipment used by the business where it is located																	P	P	P	
Accessory buildings or structures for manufactured home park management							P													
Accessory outdoor storage of raw materials, supplies, equipment and products - except for outdoor uses listed above																SLU	P	P	P	
Accessory parking, staging and storage of semi truck tractors or trailers - For a period exceeding 24 hours																	P	P	P	SLU
Accessory parking, staging and storage of semi truck tractors or trailers - For a period not exceeding 24 hours																P	P	P	P	P
Accessory retail uses																	P	P	P	
Commercial outdoor display, sales, and storage														P	P					
Charitable donation drop boxes											P	P	P	P	P					
Home occupations	P	P	P	P	P	P	P	P	P	P										



Official Zoning Map

The parcel lines of this map are representative of the actual parcel lines and are not intended to be substituted for an official survey or used to resolve boundary or area issues.

Consult official City of Romulus records for dimensions and areas of parcels and boundaries.

Basemap Source: Wade-Trim, Updated by LSL Planning (2008) Data Source: City of Romulus

