



PROPERTY DESCRIPTION

The Shops at Bagdad Corner offers a premier retail destination in the rapidly expanding Leander, Texas market. This Class A neighborhood retail center showcases exceptional architectural design and meticulous craftsmanship—every element has been thoughtfully executed to create an inviting, high quality environment for both tenants and visitors. Positioned at a high growth corridor, it provides outstanding visibility, accessibility, and long term value.

PROPERTY HIGHLIGHTS

- Class A Retail Center in Leander, Texas
- Up to 4,400 sf Drive Thru available for Lease or Purchase
- Parking ratio: 4.5/1000
- Shops consist of 4 Retail Buildings between 1,192sf-2,538sf suites
- High traffic area with major mixed-use developments nearby

OFFERING SUMMARY

Sale Price:	Call Broker for Pricing
Lease Rate:	\$35.00 - 45.00 SF/yr (NNN)
Number of Units:	19
Available SF:	1,192 - 9,500 SF
Lot Size:	3.12 Acres

Building Size:	Currently Under Construction Delivering February 2026 Building A 9,184 sf Building B 9,760 sf Building C 8,165 sf (Drive Thru) Building D 4,433 sf
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FOR LEASE / FOR SALE

THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641



**FOR MORE
INFORMATION:**

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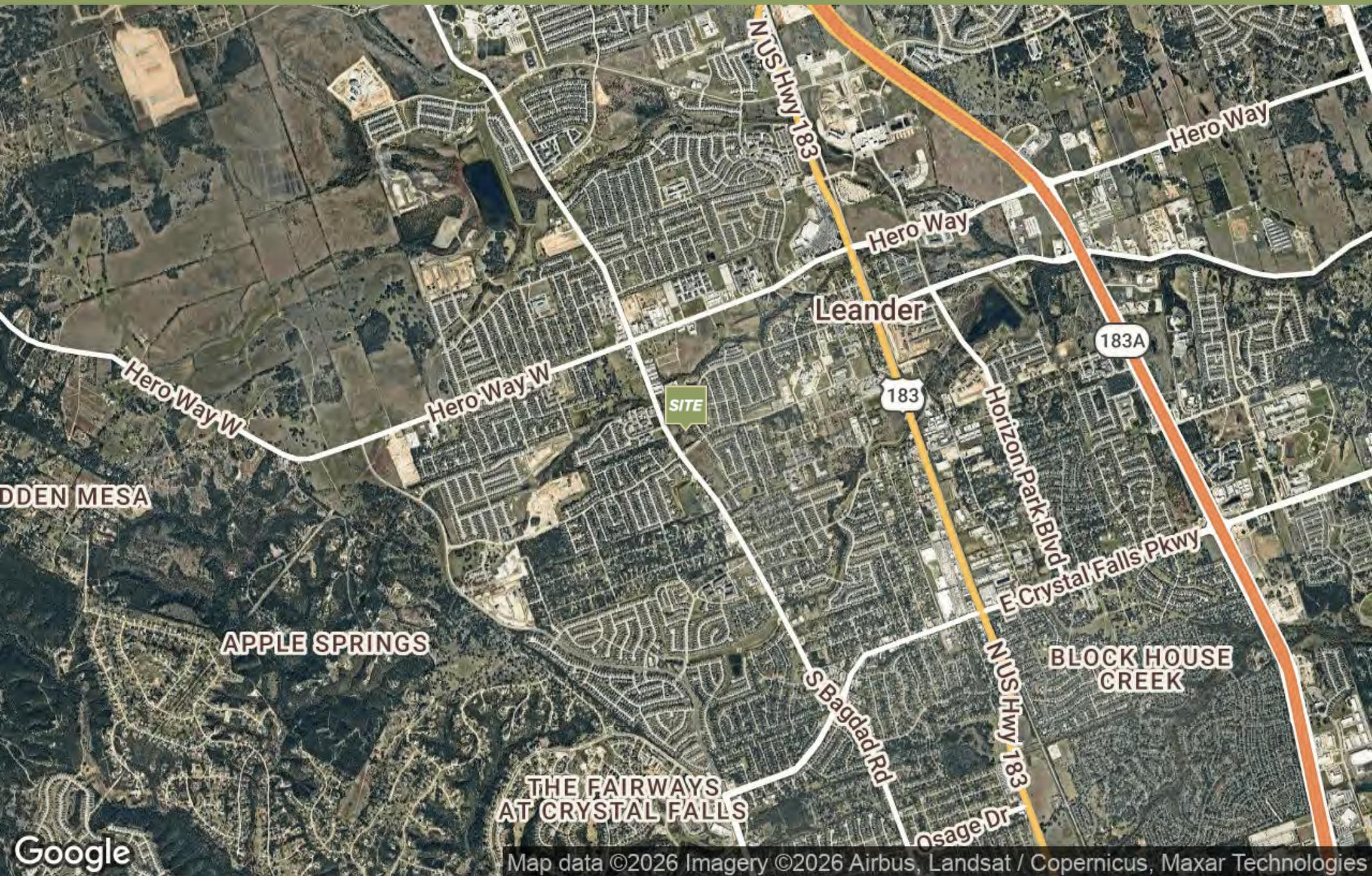
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Map data ©2026 Imagery ©2026 Airbus, Landsat / Copernicus, Maxar Technologies

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LEANDER, TX

Explosive Population Growth:

Leander is one of the fastest growing cities in the U.S., with population increases reported at 8.62% year over year, reflecting sustained demand for retail, services, and lifestyle amenities.

Affluent Consumer Base:

Leander households have exceptional buying power, with a median household income of approximately \$140,180, significantly higher than Texas and Austin metro averages. This positions retailers to tap into a strong, discretionary spending consumer market.

Highly Educated & Family Driven Community:

The area attracts families seeking high quality schools—Leander ISD is among the fastest growing districts in the U.S., serving nearly 40,000 students across 42 campuses. This drives demand for neighborhood services, dining, health, and family oriented retail.

Strong Commuter Patterns & Mobility:

Residents report an average 30 minute commute, with the overwhelming majority traveling by car. High car dependency supports inline retail, quick service tenants, and convenience driven shopping.

Established Economic Growth & Stability:

Leander has a diversified economic environment supported by technology, manufacturing, and healthcare, with excellent regional connectivity via US 183A and proximity to booming Austin area employment centers.

High Homeownership & Long Term Residency Patterns:

With a 75.6% homeownership rate, Leander attracts stable, long term residents—ideal for retailers seeking predictable foot traffic and repeat clientele.

BUILDING 1



**FOR MORE
INFORMATION:**

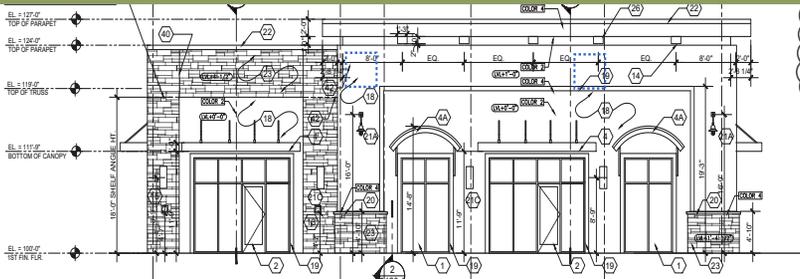
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BUILDING 1



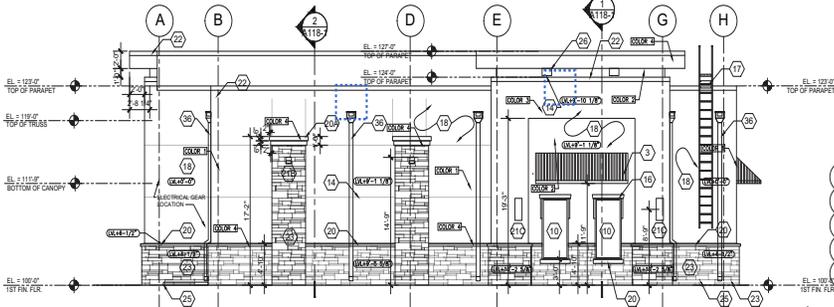
1 APPROACH-FRONT ELEVATION
SCALE = 1/8"=1'-0"

BUILDING 1

FUTURE TENANTS RTU

ELEVATION - 1
Exterior Wall Materials Calculations

Total Exterior Surface	2,262.17
Openings	428.17
Total Exterior Wall Surface	1,834.00
Exterior Stone	374.17
Stucco, 3 part finish	1,260.17
Subtotal Masonry	1,634.17
Wood Canopy Masonry	18.17
Total Exterior Wall Surface	1,652.17

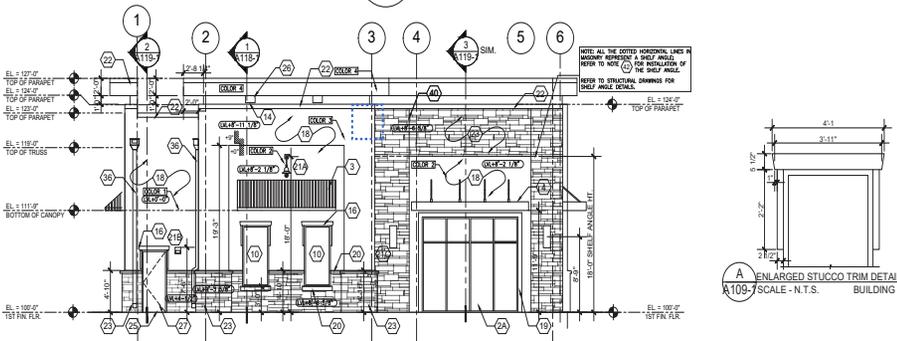


2 ROAD FACING ELEVATION
SCALE = 1/8"=1'-0"
MUNICIPAL DRIVE FACING ELEVATION

BUILDING 1

ELEVATION - 2
Exterior Wall Materials Calculations

Total Exterior Surface	2,779.17
Openings	467.17
Total Exterior Wall Surface	1,792.00
Exterior Stone	184.17
Stucco, 3 part finish	1,244.17
Wood Canopy Masonry	63.17
Subtotal Masonry	1,750.17

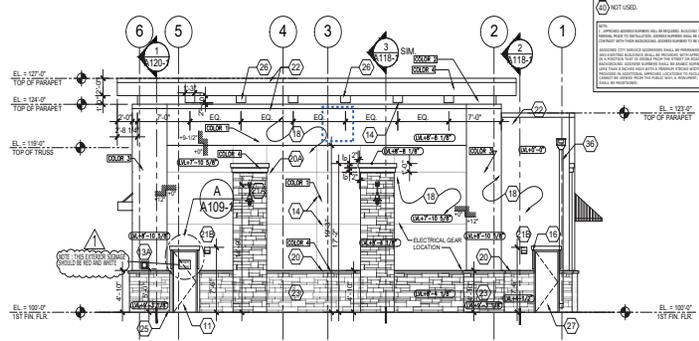


3 SIDE ELEVATION
SCALE = 1/8"=1'-0"
SOUTH-EAST ELEVATION

BUILDING 1

ELEVATION - 3
Exterior Wall Materials Calculations

Total Exterior Surface	1,539.17
Openings	233.17
Total Exterior Wall Surface	1,306.00
Exterior Stone	425.17
Stucco, 3 part finish	1,260.17
Subtotal Masonry	1,705.17
Wood Canopy Masonry	28.17
Total Exterior Wall Surface	1,333.17



4 SIDE ELEVATION
SCALE = 1/8"=1'-0"
SOUTH BAGDAD FACING ELEVATION

BUILDING 1

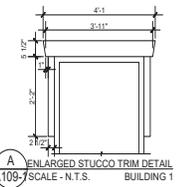
ELEVATION - 4
Exterior Wall Materials Calculations

Total Exterior Surface	1,545.17
Openings	188.17
Total Exterior Wall Surface	1,357.00
Exterior Stone	338.17
Stucco, 3 part finish	1,219.17
Subtotal Masonry	1,497.17
Wood Canopy Masonry	8.17
Total Exterior Wall Surface	1,545.17

NOTE:

- All permanent exterior lighting shall be non-flashing and shielded such that the light source is not visible from the public right-of-way or adjacent residential uses at the property line. Wall pack lighting and other lighting that directs the light in a horizontal direction without an adequate shield is not permitted if there are streets or residential uses in the direction of the light.
- All site utility lines are proposed to be located underground.
- Windows shall have a maximum exterior reflectivity of (20%) percent.

- KEYNOTE LEGEND**
- GLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - GLAZED ALUMINUM STOREFRONT PER DOOR SCHEDULE.
 - GLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - METAL BRACKET, EXTERIOR SHEATHING AND STANDING SEAM SLOPING CANOPY ON TOP, 4" DEEP WITH SUPPORT BRACKETS, REFER ELEVATIONS FOR HEIGHTS, CANOPY SCOPES WILL BE DESIGN-BUILD BY CANOPY SUBCONTRACTOR, PROVIDE TENSILE STRENGTH AND SEALED SHOP DRAWING FOR REVIEW.
 - 4" DEEP CANOPY DESIGN IN ALUMINUM DESIGN, REFER ELEVATION FOR HEIGHTS, CANOPY SCOPES TO BE DESIGN-BUILD BY THE CANOPY SUBCONTRACTOR, PROVIDE TENSILE STRENGTH AND SEALED SHOP DRAWING FOR REVIEW.
 - 4" DEEP ARCHED METAL CANOPY WITH METAL BRACKET, REFER ELEVATIONS FOR HEIGHTS.
 - FIBER GLAZED ALUMINUM WINDOW PER DOOR SCHEDULE.
 - FIBER RISER ROOF DOOR.
 - NOT USED.
 - IF DEPARTMENT APPROVED INDUSTRY (I) AND (M) GRIDS ARE ASSIGNED INTO THE WALL SYSTEM, MOUNT AT 16" ON 16" (INDUSTRY) CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL BEFORE INSTALLATION.
 - IF DEPARTMENT APPROVED INDUSTRY (I) AND (M) GRIDS ARE ASSIGNED INTO THE WALL SYSTEM, MOUNT AT 16" ON 16" (INDUSTRY) CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL BEFORE INSTALLATION.
 - STUCCO - GROOVE PER MANUF. SPECS.
 - INCLUDE AN APPROVED FIRE DEPARTMENT CONNECTION FOR FIRE STOP, COSE AND STRES. REFER TO CHAL. PLANS FOR EXACT LOCATION. ALL FIRE DEPARTMENT CONNECTIONS FOR AUTOMATIC FIRE SPRINKLER WILL REQUIRE LOCKING METAL ROD CAPS. CONTRACTOR TO COORDINATE THE ROD LOCATION WITH CIVIL PLANS. THE FIRE DEPARTMENT CONNECTION (FDC) NEEDS A SIGN TO ASSIST WITH IDENTIFYING ITS LOCATION, IT SHALL HAVE A RED BACKGROUND WITH WHITE LETTERS THAT READ "FDC". IT SHALL BE INSTALLED HIGH ABOVE THE CONNECTION AS TO NOT BE OBSTRUCTED BY VEHICLES, LANDSCAPE, ETC.
 - 1/2" STUCCO TOP TRIM W/ 1/2" SEE TRIM. (SEE ELEVATION)
 - WOOD ACCESS LUGGER PER BUILDERS SPECS. ALL 4" WOODEN BARBERS TO BE PROPERLY DETAILED AROUND LUGGER WALL ANCHORS PER AIR BARRIER MANUFACTURERS RECOMMENDATIONS AND DETAILS.
 - 1/2" STUCCO FLASHER MOUL. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
 - STAIR LIGHT FIXTURE PER ELECTRICAL, REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - WALL PACK LIGHT FIXTURE PER ELECTRICAL, REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - WALL PACK LIGHT FIXTURE PER ELECTRICAL, REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - NOT USED.
 - BREAK METAL CLADDING 1/8" GAUGE COPING CAP. CONTRACTOR TO PROVIDE ENOUGH ANCHORAGE TO CLADDING METAL TO REMOVAL OF CLADDING.
 - MANUFACTURED MASONRY, REFER ELEVATION AND ADD FOR SPECS.
 - DEEP SET A COLOR W/ COVER. PROVIDE W/ HOLE AT LUG PER CODE, PROVIDE VERT. & HOR. REIN. PER ENGINEER, MORTAR COLOR TO BE APPROVED BY DESIGN TEAM (REF. ELEV. FOR HTS.).
 - FOUNDATION PER ENGINEERS DRAWINGS.
 - CONCRETE STOPS.
 - WOODEN BRACKET EXPRESSO COLOR, REF. ELEV. FOR HTS.
 - BEAM/SIDE DOORS PER DOOR SCHEDULE.
 - GRADING PER SITE PLAN - ENSURE POSITIVE DRAINAGE AWAY FROM BLDG.
 - NOT USED.
 - FOUNDATION PLANTERS, REF CIVIL SITE PLAN AND LANDSCAPE PLAN FOR DETAILS.
 - IF A CONSTRUCTION HEAD AND CORNERPOST AND OVERFLOW SCOURER DISCHARGE AT GRADE - SEE PLUMBING DRAWING.
 - NOT USED.
 - NOT USED.
 - NOT USED.



- ALUMINUM STOREFRONT**
OIL U.S. ALUMINUM SERIES
ROSE CENTER GLAZED STOREFRONT
OR APPROVED EQUAL
BRONZE FINISH
- METAL AWNING**
MILLEN GLASS OR APPROVED EQUAL
2X4 12X 1457
LAWRENCE FABRIC AND METAL
- METAL COPING**
COLOR: SLATE GRAY 22-18 GAUGE
UNL. CLAD OR APPROVED EQUAL
P. 800) 426-7737
- PAINT**
COLOR: 3 SHERWIN WILLIAMS SW
KILMER GREEN
COLOR: 3 SHERWIN WILLIAMS SW
COUNTRY COUNTRY LESTONE
COLOR: 3 SHERWIN WILLIAMS SW
- STUCCO WALL SYSTEM**
SOPHOMORE (1) (EASO SERIES) SYSTEM
OR APPROVED EQUAL
INTEGRATED STUCCO WALL SYSTEM
- MANUFACTURED MASONRY**
MANUFACTURER: CULTRADO STONE
PATTERN: COUNTRY LESTONE
COLOR: ECHO RIDGE

NOTE:

- Please ensure the address is visible on the exterior of the building. Please see Article 505.1 in the Leander Code of Ordinance for more information. Building numbers and unit addressing shall be visible from the Fire Lane. Illuminated and contrasting in color from the background. The following criteria shall be applied for proper sizing and is based on the distance from the fire lane: 4" MIN. Height; Up to 50' = 4" MIN. Height 51' - 100'. Inspector will verify addressing for the building upon inspection.
- Provide a minimum 36-inch horizontal and 72-inch vertical clearance around all

400 chahin plano, tx
10/14/2025
ST. CROIX CAPITAL REALTY ADVISORS & TITLE CO.
CREATIVE QUALITY DESIGN
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641
PH: 512.391.0718
WWW.STCROIXCA.COM

Original Date: 03/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 11/19/2024

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CHECKED BY: HARB
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SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 1
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

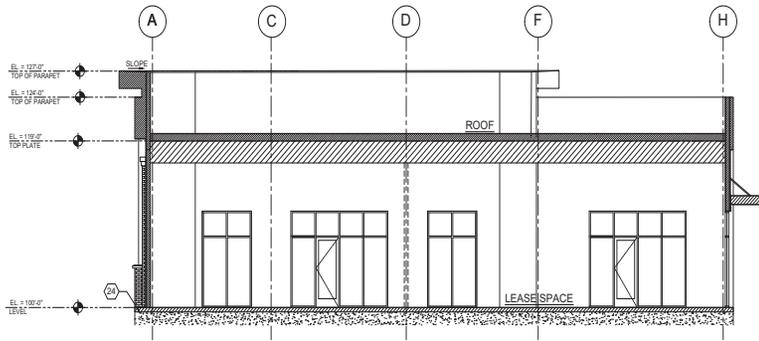
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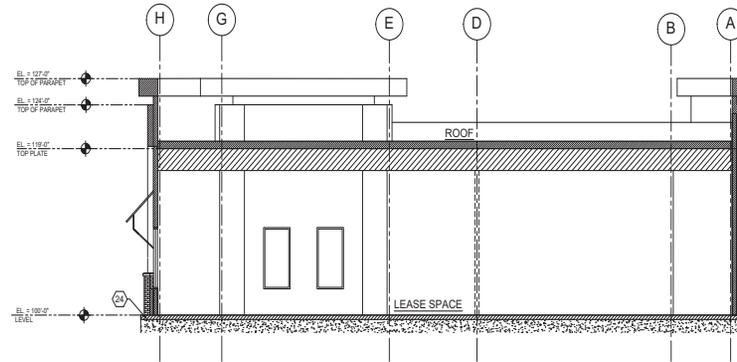
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ST. CROIX

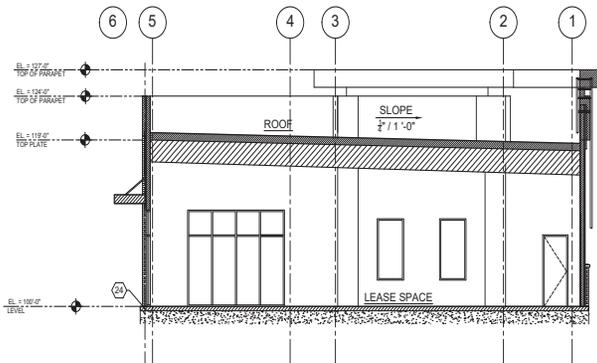
BUILDING 1



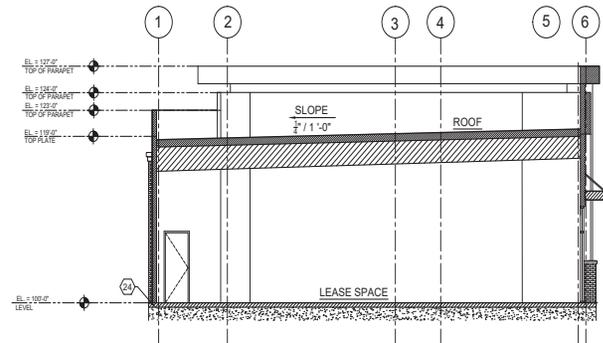
C LONGITUDINAL SECTION BUILDING 1
SCALE = 1/8"-1'-0"



D LONGITUDINAL SECTION BUILDING 1
SCALE = 1/8"-1'-0"



B CROSS SECTION BUILDING 1
SCALE = 1/8"-1'-0"



A CROSS SECTION BUILDING 1
SCALE = 1/8"-1'-0"

400 dlm
plano, t

09/27/2024



Original Date: 03/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 09/24/2024

DRAWN BY: CHECKED BY:
NA NA

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SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 1
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

Sheet Number:
A110-1

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BUILDING 2



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BUILDING 3



**FOR MORE
INFORMATION:**

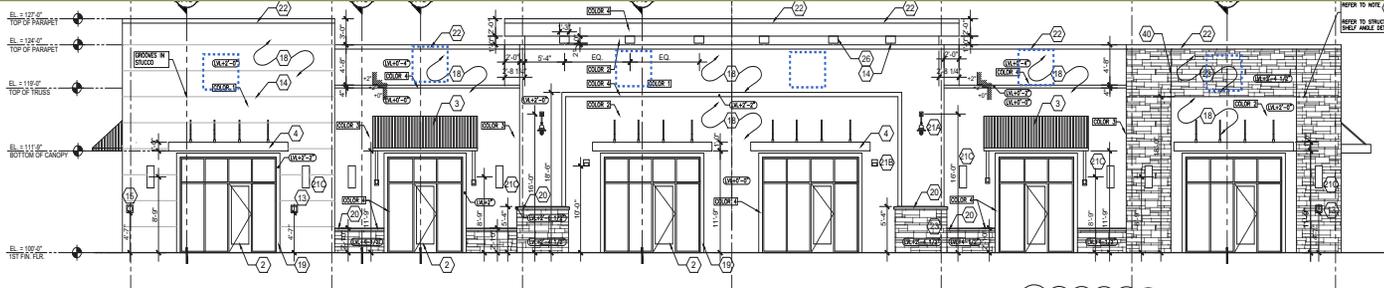
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BUILDING 3



1 ROAD FACING ELEVATION
 SCALE = 1/8"=1'-0"
BUILDING 3
 MUNICIPAL DRIVE FACING ELEVATION

ELEVATION -1

Exterior Wall Materials Calculations	
Total Exterior Surface	4,176.17 17%
Exterior Stone	2,028.17 48%
Stucco, 3 part finish	61.47 1%
Metal Canopy Facade	61.47 1%
Subtotal Masonry	3,394.17 100%

FUTURE TENANT RTU

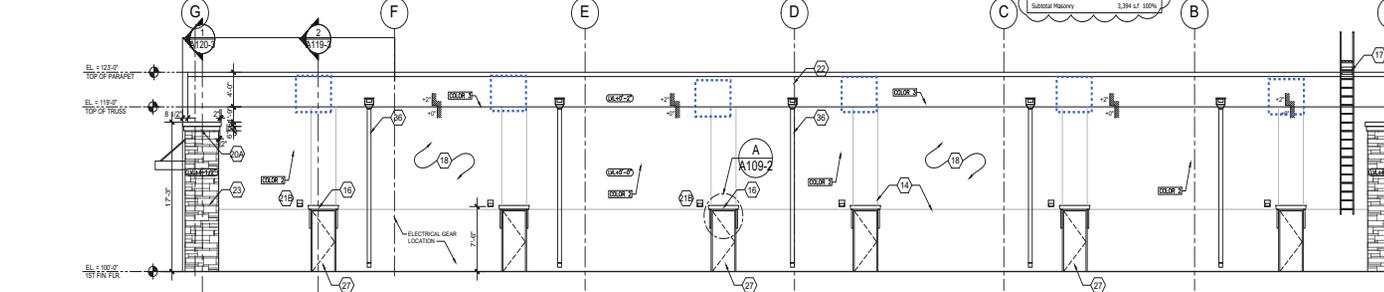
NOTE:

- All permanent exterior lighting shall be non-flashing and shielded such that the light source is not visible from the public right-of-way or adjacent residential uses at the property line. Wall pack lighting and other lighting that directs the light in a horizontal direction without an adequate shield is not permitted if there are streets or residential uses in the direction of the light.
- All site utility lines are proposed to be located underground.
- Windows shall have a maximum exterior reflectivity of (20%) percent.

REFERENCE: FOR CITY OF LEANDER, PER TABLE C601.1 (2015 IBC) THE EXTERIOR FINISHES A MINIMUM OF 5% CONTRAST INSULATION EXTERIOR INSULATION. THIS CAN BE ACHIEVED WITH SUPPLYMAN'S G (5300 SERIES SYSTEM OR APPROVED EQUAL.

KEYNOTE LEGEND

- NOT USED.
- GLAZED ALUMINUM STOREFRONT PER DOOR SCHEDULE.
- GLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
- METAL BRACKET, EXTERIOR SHEATHING AND STANDING SEAM SCOPING CANOPY ON TOP, 4" DEEP WITH SUPPORT BRACKET. REFER ELEVATION FOR HEIGHTS. CANOPY SLOPE WILL BE DESIGN BUILT BY CANOPY SUBCONTRACTOR. PROVIDE TENSILE WIRE BRACING AND SEALED SHOP DRAWING FOR REVIEW.
- 4" DEEP CANOPY DESIGN IN ALUMINUM DESIGN. REFER ELEVATION FOR HEIGHTS. CANOPY SCOPE TO BE DESIGN BUILT BY THE CANOPY SUBCONTRACTOR. PROVIDE TENSILE WIRE BRACING AND SEALED SHOP DRAWING FOR REVIEW.
- NOT USED.
- PIER RISER ROOM DOOR.
- PIERED GLAZED ALUMINUM WINDOW PER DOOR SCHEDULE.
- NOT USED.
- PIER RISER ROOM DOOR.
- NOT USED.
- PIER DEPARTMENT APPROVED INDOOR KEY BOX (4860 SERIES) RECESSED INTO THE WALL SYSTEM. MOUNT AT 48" TO 60" HIGHER. CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL BEFORE INSTALLATION.
- PIER DEPARTMENT APPROVED INDOOR KEY BOX (4860 SERIES) RECESSED INTO THE WALL SYSTEM. MOUNT AT 48" TO 60" HIGHER. CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL BEFORE INSTALLATION.
- STUCCO - GROOVE PER MANUF. SPECS.
- PROVIDE APPROVED FIRE DEPARTMENT CONNECTION PER FIRE DEPT. CODES AND SPECS. REFER TO CH21 FOR EXACT LOCATION. ALL FIRE DEPARTMENT CONNECTIONS FOR AUTOMATIC FIRE SPRINKLER WILL REQUIRE LOCKING AND/OR FOC CAPS. CONTRACTOR TO COORDINATE THE FC CONNECTION WITH CIVIL PLANS. THE FIRE DEPARTMENT CONNECTION (FDC) NEEDS A SIGN TO ASSIST WITH IDENTIFYING ITS LOCATION. IT SHALL HAVE A RED BACKGROUND WITH "F" WHITE LETTERS THAT READ "FDC". IT SHALL BE MOUNTED HIGH ABOVE THE CONNECTION AS TO NOT BE OBSCURED BY VEHICLES, LANDSCAPING, ETC.
- 3/4" STUCCO TOP TRIM W/ 1/2" SEE TRIM AS PER ELEVATION.
- 1/2" STUCCO BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
- 3/4" STUCCO PLASTER BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
- WOOD LIGHT FIXTURE REFER ELEVATION. REFER HORIZONTAL CEILING PLAN FOR FINISH HEIGHTS.
- WALL LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN.
- WOOD LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FINISH HEIGHTS.
- WOOD LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FINISH HEIGHTS.
- BRICK METAL CLADDING IS GAUGE COPING CAP. CONTRACTOR TO PROVIDE ENOUGH ANCHORING TO GAUGE THE TO PREVENT COIL SWINGING.
- MANUFACTURED MASONRY. REFER ELEVATION AND ADO FOR SPECS.
- WOOD FTR & COLOR W/ NUMBER. PROVIDE 1/2" LUGS. COLOR: PROVIDE (SEE: A HOR. REND. PER ENGINEER. MOUNTING COLOR TO BE APPROVED BY DESIGN TEAM (SEE: FOR HTS.).
- FOUNDATION PER ENGINEER'S DRAWINGS.
- CONCRETE CURB.
- WOODEN BRACKET EXPRESSED. COLOR: REF. ELEV. FOR HTS.
- WALK-IN DOORS PER DOOR SCHEDULE.
- GRADING PER SITE PLAN. ENSURE POSITIVE DRAINAGE AWAY FROM BLDG.
- 8 GA CONDUCTOR HEAD AND DOWNPOUT AND OVERFLOW SCUPPER DISCHARGE AT GRADE - SEE PLUMBING DRAWINGS.
- NOT USED.
- 1/4" VERTICAL CONTROL JOINT IN MASONRY WALL.
- NOT USED.
- PROVIDE A SHELF ANGLE. REFER TO ELEV. FOR HTS. (REF. STRUCTURAL).

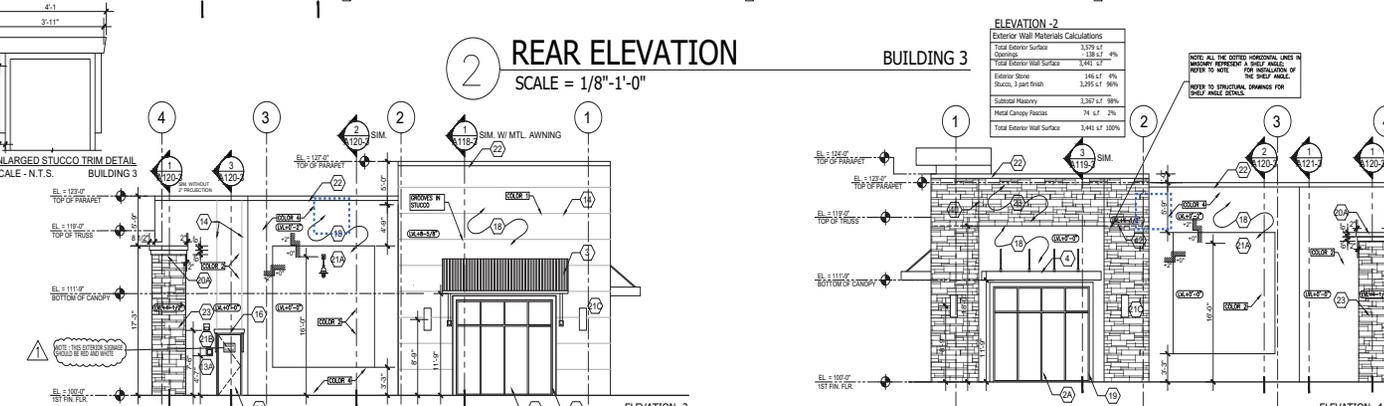


2 REAR ELEVATION
 SCALE = 1/8"=1'-0"
BUILDING 3

ELEVATION -2

Exterior Wall Materials Calculations	
Total Exterior Surface	3,579.17 4%
Exterior Stone	1,841.17 5%
Exterior Stone	146.17 4%
Stucco, 3 part finish	3,029.17 86%
Subtotal Masonry	3,347.17 94%
Metal Canopy Facade	74.17 2%
Total Exterior Wall Surface	3,441.17 100%

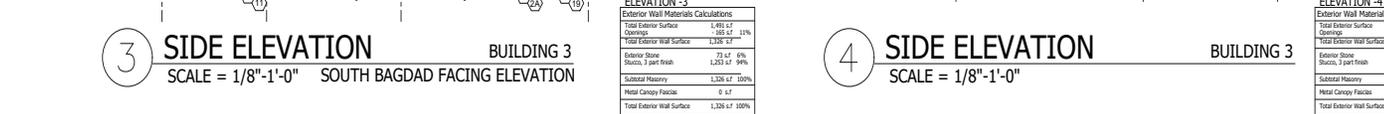
NOTE: ALL THE EXTERIOR MASONRY SHALL BE MASONRY. PROVIDE A SHELF ANGLE. REFER TO ELEV. FOR HEIGHTS OF THE SHELF ANGLE.



3 SIDE ELEVATION
 SCALE = 1/8"=1'-0"
BUILDING 3
 SOUTH BAGDAD FACING ELEVATION

ELEVATION -3

Exterior Wall Materials Calculations	
Total Exterior Surface	1,461.17 14%
Exterior Stone	1,236.17 8%
Exterior Stone	71.17 4%
Stucco, 3 part finish	1,230.17 84%
Subtotal Masonry	1,326.17 91%
Metal Canopy Facade	0 0%
Total Exterior Wall Surface	1,326.17 100%



4 SIDE ELEVATION
 SCALE = 1/8"=1'-0"
BUILDING 3

ELEVATION -4

Exterior Wall Materials Calculations	
Total Exterior Surface	1,499 14%
Exterior Stone	1,230.17 8%
Exterior Stone	409.17 27%
Stucco, 3 part finish	1,289.17 86%
Subtotal Masonry	1,339.17 89%
Metal Canopy Facade	61.47 4%
Total Exterior Wall Surface	1,550.17 100%

NOTE:

- Please ensure the address is visible on the exterior of the building. Please see Article 505.1 in the Leander Code of Ordinance for more information. Building numbers and unit addressing shall be visible from the Fire Lane. Illuminated and contrasting in color from the background. The following criteria shall be applied for proper sizing and is based on the distance from the fire lane: 4" MIN. Height; Up to 50' = 4" MIN. Height 51' - 100'. Inspector will verify addressing for the building upon inspection.
- Provide a minimum 36-inch horizontal and 72-inch vertical clearance around all

- ALUMINUM STOREFRONT**
 OIL L5 ALUMINUM SERIES
 ROSE ENTER GLAZED STOREFRONT OR APPROVED EQUAL
 BRONZE FINISH
GLASS
 MILLEN GLASS OR APPROVED EQUAL
 1/2" TO 1/4"
- METAL AWNING**
 LAWRENCE FABRIC AND METAL
- METAL COPING**
 COLOR: SLATE GRAY 22-18 GAUGE
 UNL. CLAD OR APPROVED EQUAL
 P: 8000 106-7737
- PAINT**
 COLOR: 3 SHERWIN WILLIAMS SW
 COLOR: 3 SHERWIN WILLIAMS SW
 COLOR: 3 SHERWIN WILLIAMS SW
- STUCCO WALL SYSTEM**
 SUPPLYMAN'S (TEARD SERIES) SYSTEM OR APPROVED EQUAL
 INTEGRATED STUCCO WALL SYSTEM
- MANUFACTURED MASONRY**
 MANUFACTURER: COUNTRYSTONE
 PATTERN: COUNTRY LEDGESTONE
 COLOR: ECHO RIDGE

400 chhab plano, le
 01/14/2025

CREATIVE QUALITY DESIGN
 1501 W. HUNTSVILLE BLVD. SUITE 110
 LEANDER, TX 78641
 (512) 391-0718
 www.cqdesign.com

Original Date: 03/01/2023
 Issue Log
 ISSUED FOR PERMIT: 09/24/2024
 ISSUED FOR CONSTRUCTION: 09/24/2024
 CITY COMMENTS: 11/19/2024

DRAWN BY: HARB
 CHECKED BY: RA

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SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 3
 1012 MUNICIPAL DRIVE
 LEANDER, TEXAS 78641

Sheet Number:
A109-3

FOR MORE INFORMATION:

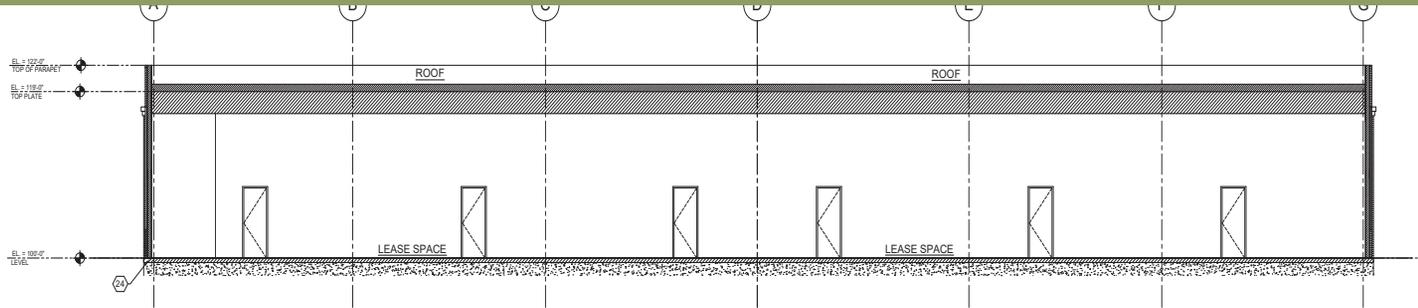
JARED VINCENT
 512.391.0718 x146
 jvincent@stcroixca.com

JOHN W. COLLINS IV
 512.645.6353
 jcollins@stcroixca.com

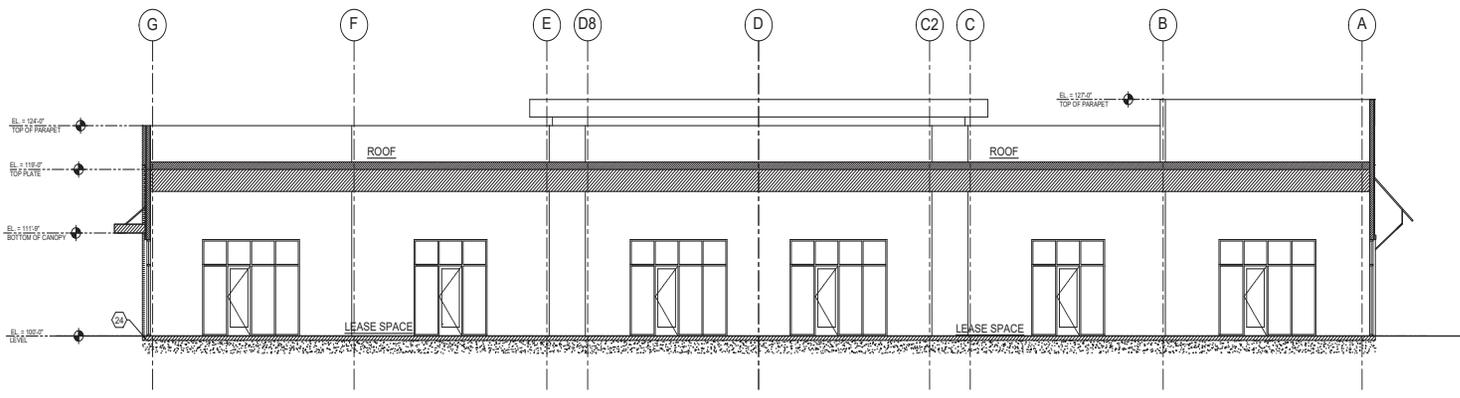
St. Croix Capital Realty Advisors
 Office: 512.391.0718
 www.stcroixca.com



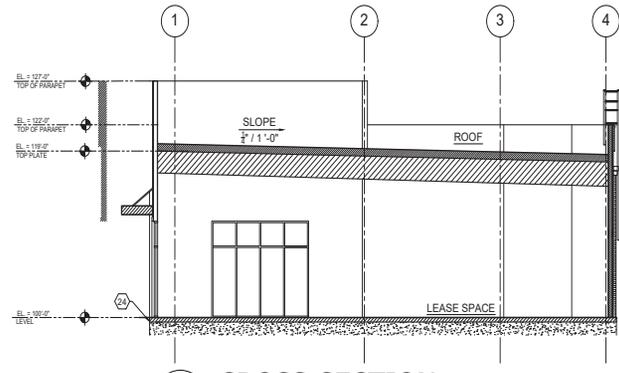
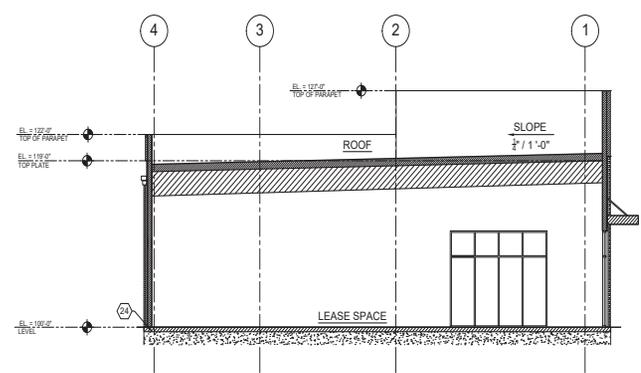
BUILDING 3



C LONGITUDINAL SECTION BUILDING 3
SCALE = 1/8"=1'-0"



D LONGITUDINAL SECTION BUILDING 3
SCALE = 1/8"=1'-0"



CROSS SECTION

FLK DESIGN
400 Blue
plans

09/27/2024

Original Date: 03/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 09/24/2024

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SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 3
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

Sheet Number:
A110-3

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BUILDING 4



**FOR MORE
INFORMATION:**

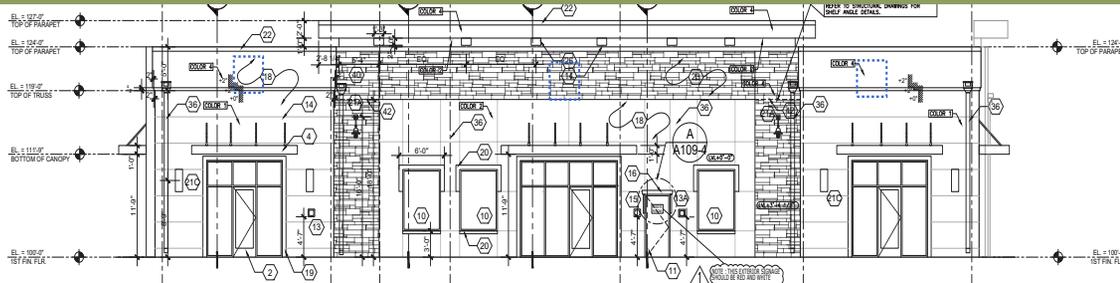
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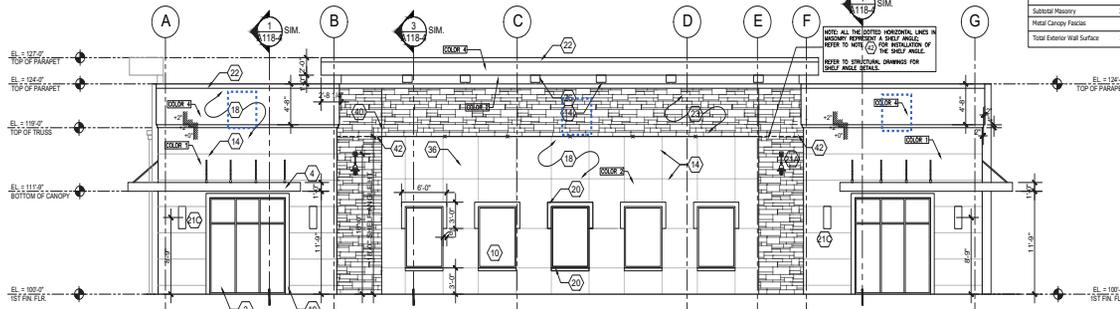
BUILDING 4



1 APPROACH-FRONT ELEVATION
SCALE = 1/8"-1'-0"
BUILDING 4

ELEVATION -1
Exterior Wall Materials Calculations

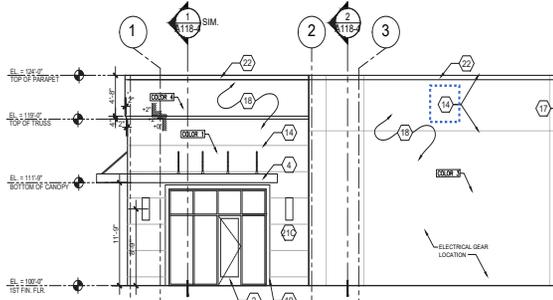
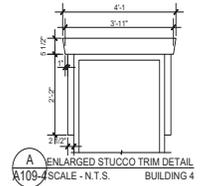
Total Exterior Surface	2,212.47
Overhang	-499.47
NET Exterior Wall Surface	1,712.99
Exterior Stone	584.47
Stucco, 3 part finish	1,128.52
Subtotal Masonry	1,712.99
Metal Canopy Facades	63.47
Total Exterior Wall Surface	1,776.46



2 ROAD FACING ELEVATION
SCALE = 1/8"-1'-0"
MUNICIPAL DRIVE FACING ELEVATION
BUILDING 4

ELEVATION -2
Exterior Wall Materials Calculations

Total Exterior Surface	2,835.47
Overhang	-799.97
NET Exterior Wall Surface	2,035.50
Exterior Stone	584.47
Stucco, 3 part finish	1,451.03
Metal Canopy Facades	48.47
Subtotal Masonry	2,083.97



3 SIDE ELEVATION
SCALE = 1/8"-1'-0"
BUILDING 4

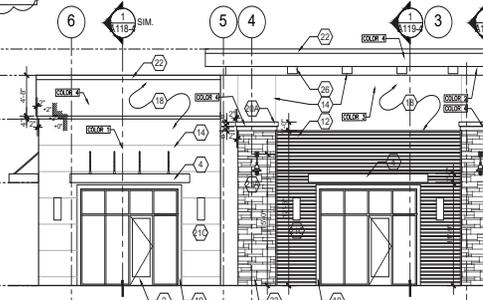
ELEVATION -3
Exterior Wall Materials Calculations

Total Exterior Surface	2,212.47
Overhang	-282.47
NET Exterior Wall Surface	1,930.00
Exterior Stone	126.47
Stucco, 3 part finish	1,803.53
Subtotal Masonry	1,930.00
Metal Canopy Facades	48.47
Total Exterior Wall Surface	1,978.47

ALUMINUM STOREFRONT
COLOR: SLATE GRAY 22-18 GAUGE
W/SP CENTER GLASS STOREFRONT
OR APPROVED EQUAL.
FINISH: BRONZE
GLASS:
SILVER GLASS OR APPROVED EQUAL
(294) 528-4537
METAL AWNING

METAL COPING
COLOR: SLATE GRAY 22-18 GAUGE
W/SP CENTER GLASS OR APPROVED EQUAL.
P. (800) 459-7777
PAINT
COLOR: 3 SHERWIN WILLIAMS SW
COLOR: 3 SHERWIN WILLIAMS SW

STUCCO WALL SYSTEM
S&P (www.sps.com) or (6300 SERIES) SYSTEM
OR APPROVED EQUAL.
INTEGRATED STUCCO WALL SYSTEM
MANUFACTURED MASONRY
MANUFACTURER: CULTURED STONE
PATTERN: COUNTY LEXENSTONE
COLOR: ECHO RIDGE



4 SIDE ELEVATION
SCALE = 1/8"-1'-0"
BUILDING 4

ELEVATION -4
Exterior Wall Materials Calculations

Total Exterior Surface	2,212.47
Overhang	-423.47
NET Exterior Wall Surface	1,788.99
Exterior Stone	126.47
Stucco, 3 part finish	1,662.52
Metal Canopy Facades	64.47
Subtotal Masonry	1,799.46

NOTE:
1 Please ensure the address is visible on the exterior of the building. Please see Article 505.1 in the Leander Code of Ordinance for more information. Building numbers and unit addressing shall be visible from the Fire Lane. Illuminated and contrasting in color from the background. The following criteria shall be applied for proper sizing and is based on the distance from the fire lane: 4' MIN. height; Up to 50' = 4' MIN. height 51' - 100'. Inspector will verify addressing for the building upon inspection.

- or residential uses in the direction of the light.
- All site utility lines are proposed to be located underground.
- Windows shall have a maximum exterior reflectivity of (20%) percent.

- KEYNOTE LEGEND**
- HAZARD ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - HAZARD ALUMINUM STOREFRONT PER DOOR SCHEDULE.
 - HAZARD ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - NOT USED.
 - DEEP CANOPY DESIGN IN ALUMINUM DESIGN. REFER ELEVATION FOR HEIGHTS. CANOPY SCOPE TO BE DRAWING FOR REVIEW.
 - WINDSHIELD BY THE CANOPY SUBCONTRACTOR. PROVIDE TOWNSHIP AND ISSUED SHOP DRAWING FOR REVIEW.
 - FINISH GLAZED ALUMINUM WINDOW PER DOOR SCHEDULE.
 - FIRE RISER ROOM DOOR.
 - FIRE RISER ROOM DOOR.
 - BERNARDI HIRSH 16 WALL PANEL SYSTEM. REFER EXTERIOR MATERIAL LIST FOR DETAILS.
 - THE DEPARTMENT APPROVED ANCHOR BOLT (400 #) SERIES ACCESSIBLE INTO THE WALL SYSTEM. MOUNT AT 24" P.C. PERMANENTLY. CONTRACTOR SHALL FIELD LOCATE WITH THE CODE OFFICIAL BEFORE INSTALLATION.
 - THE DEPARTMENT APPROVED ANCHOR BOLT (200 #) SERIES. ACCESSIBLE INTO THE WALL SYSTEM. MOUNT AT 24" P.C. PERMANENTLY. CONTRACTOR SHALL FIELD LOCATE WITH THE CODE OFFICIAL BEFORE INSTALLATION.
 - STUCCO V-GROOVE PER MANUF. SPECS.
 - PROVIDE AN APPROVED FIRE DEPARTMENT CONNECTION PER FIRE DEPT. CODES AND SPECS. REFER TO CIVIL PLANS FOR EXACT LOCATION. ALL FIRE DEPARTMENT CONNECTIONS FOR AUTOMATIC FIRE PROTECTORS WILL REQUIRE LOCKING AND FC CAPS. CONTRACTOR TO COORDINATE THE FC LOCATION WITH CIVIL PLANS.
 - THE DEPARTMENT CONNECTION FOR FC WILL BE DONE TO ASSIST WITH IDENTIFYING ITS LOCATION. IT SHALL HAVE A RED BACKGROUND WITH 'W' WHITE LETTERS THAT READ 'FC'. IT SHALL BE MOUNTED HIGH ABOVE THE CONNECTION AS TO NOT BE OBSTRUCTED BY SPECIFIC LANDSCAPING, ETC.
 - 1/2" STUCCO TOP TRIM W/ 2" SIDE TRIM (SEE ELEVATION)
 - ROOF ACCESS LADDER PER BUILDERS SPECS. A6 & WEATHER BANDER TO BE PROPERLY DETAILLED.
 - INSULATED LADDER WALL ANCHORS PER ANCHOR MANUFACTURER'S RECOMMENDATIONS AND DETAILS.
 - LOCATE 1/4" STUCCO FINISH OVER METAL LATH ON FELT PAPER. STUCCO ON WALLS WITH JOINTS.
 - 1/2" STUCCO TOP TRIM W/ 2" SIDE TRIM AS PER ELEVATION.
 - STUCCO BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
 - STUCCO PLASTER BOOT. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
 - SPERM LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - WALL MOUNT LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - ROOF LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - REFER TO MANUF. SPECS.
 - BRUSH METAL GLAZING IS GAUGE COPING CAP. CONTRACTOR TO PROVIDE ENOUGH UNDERCUTMENT TO GLAZE METAL TO PREVENT OIL DRAINING.
 - MANUFACTURED MASONRY. REFER ELEVATION FOR COLOR FOR SPECS.
 - VERIFY STILES & COLOR W/ OWNERS. PROVIDE WEEP HOLES AT LUGS PER PROVIDE WRET. & HOR. REIN. BY ENGINEER. PORTAL COLOR TO BE APPROVED BY DESIGN TEAM (W/ BLUE FOR HITS).
 - FOUNDATION PLANTERS. REF CIVIL SITE PLAN AND LANDSCAPE PLAN FOR DETAILS.
 - 1/4" CONCRETE HEAD AND DOWNSPOT AND OVERFLOW SCUMPER DISCHARGE AT GRADE.
 - 1/4" VERTICAL CONTROL JOINT IN MASONRY WALL.
 - PROVIDE A SHELF ANGLE; REFER TO ELEVATION FOR HITS. (REF. STRUCTURAL)

SHOP AT BAGDAD CORNER
RETAIL CENTER, BUILDING 4
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

Sheet Number:
A109-4

ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 11/19/2024
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CHECKED BY: HR
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Original Date: 03/01/2023
Issue Log

10/14/2025

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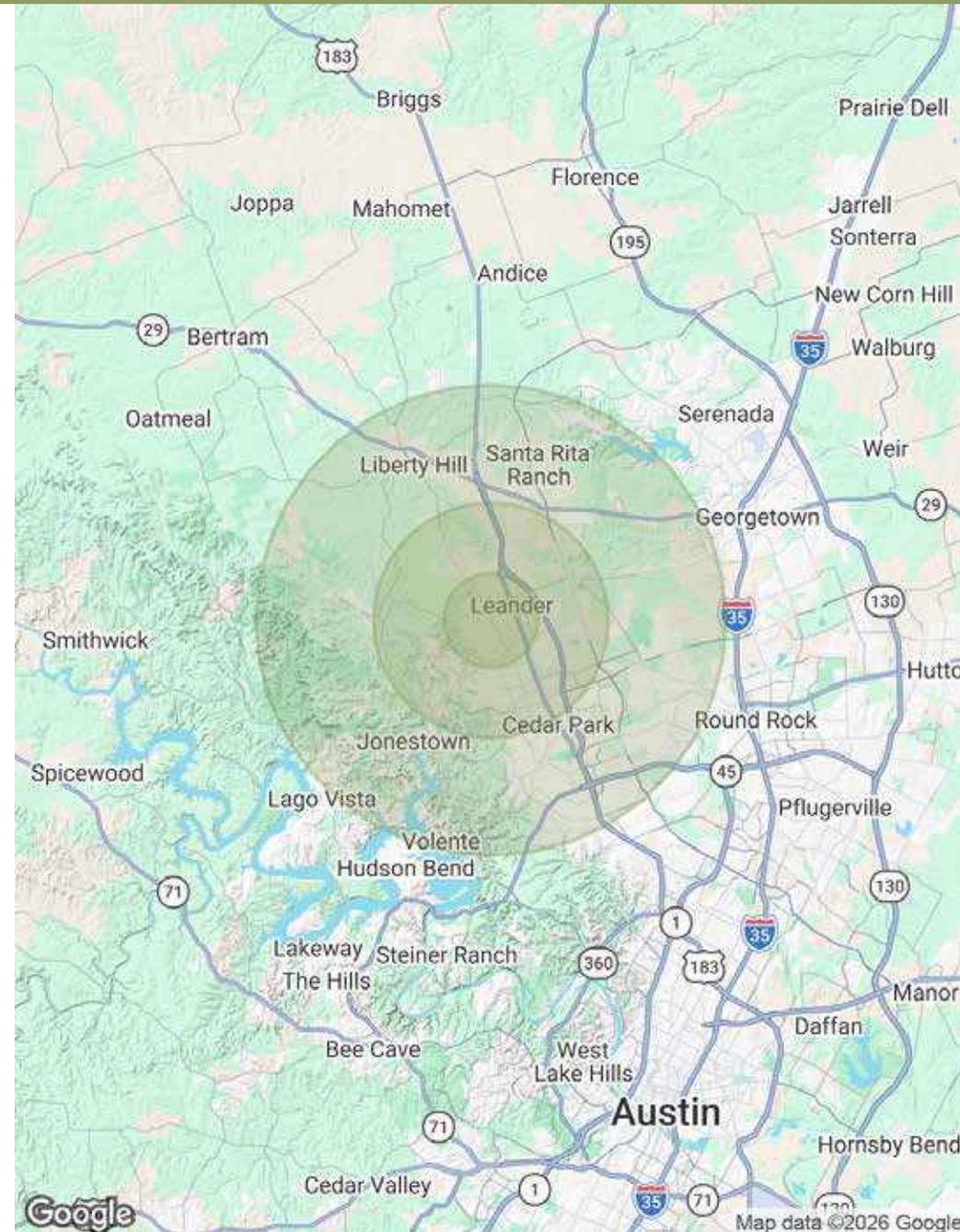
FOR LEASE / FOR SALE

THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641

POPULATION	2 MILES	5 MILES	10 MILES
Total Population	36,085	127,081	363,064
Average Age	36	37	37
Average Age (Male)	35	36	37
Average Age (Female)	37	38	38

HOUSEHOLDS & INCOME	2 MILES	5 MILES	10 MILES
Total Households	12,392	44,113	131,707
# of Persons per HH	2.9	2.9	2.8
Average HH Income	\$136,561	\$144,579	\$161,732
Average House Value	\$470,894	\$522,614	\$576,739



FOR MORE
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Office: 512.391.0718
www.stcroixcra.com





Information About Brokerage Services

Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

St. Croix Capital Realty Advisors, LLC	9003153	jcollins@stcroica.com	(512)391-0718
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
John W. Collins IV	561707	jcollins@stcroixca.com	(512)391-0718
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
Jared Vincent	758362	jvincent@stcroixca.com	(512)391-0718
Sales Agent/Associate's Name	License No.	Email	Phone

Buyer/Tenant/Seller/Landlord Initials

Date

Regulated by the Texas Real Estate Commission
TXR-2501

Information available at www.trec.texas.gov
IABS 1-0 Date