

9 & 20 RIVERSIDE

245K SF LAB/OFFICE TRANSFORMATION



9 & 20 RIVERSIDE

THE OPPORTUNITY

THE MOST

ACCESSIBLE & VISIBLE

CLASS A LARGE BLOCK OF EXISTING
AVAILABILITY IN THE ENTIRETY OF
THE BOSTON SUBURBAN MARKET.

PERIOD.

9 & 20 RIVERSIDE THE HEART OF THE MARKET



**SITUATED AT THE
INTERSECTION OF
THE MASS PIKE
& ROUTE 128,
A LOCATION THAT IS A
MAGNET FOR TALENT
FROM ANY DIRECTION**

9 & 20 RIVERSIDE ACCESS



DRIVE TIMES

MBTA STATIONS

- WELLESLEY FARMS (1.4 MILES) — 4 MIN
- RIVERSIDE (1.9 MILES) — 5 MIN
- BRANDEIS/ROBERTS (2.1 MILES) — 6 MIN

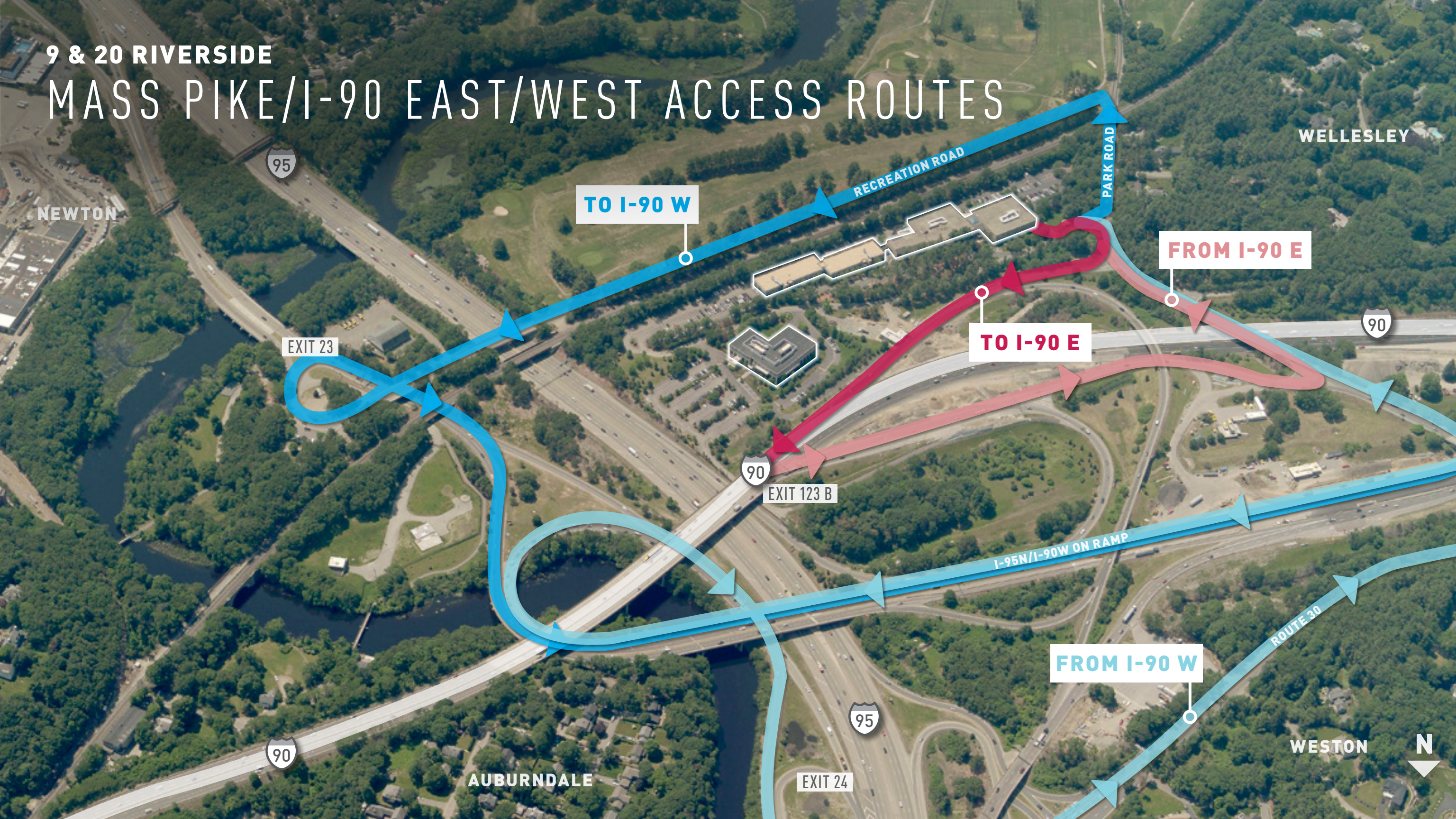


ACCESS

- ROUTE 20 (2.9 MILES) — 5 MIN
- ROUTE 9 (3.3 MILES) — 5 MIN
- DOWNTOWN BOSTON (12 MILES) — 12 MIN
- INTERSTATE 495 (18.5 MILES) — 19 MIN

9 & 20 RIVERSIDE

MASS PIKE/I-90 EAST/WEST ACCESS ROUTES



WELLESLEY

NEWTON

TO I-90 W

FROM I-90 E

TO I-90 E

EXIT 23

90
EXIT 123 B

I-95N/I-90W ON RAMP

FROM I-90 W

ROUTE 30

90

AUBURNDALE

EXIT 24

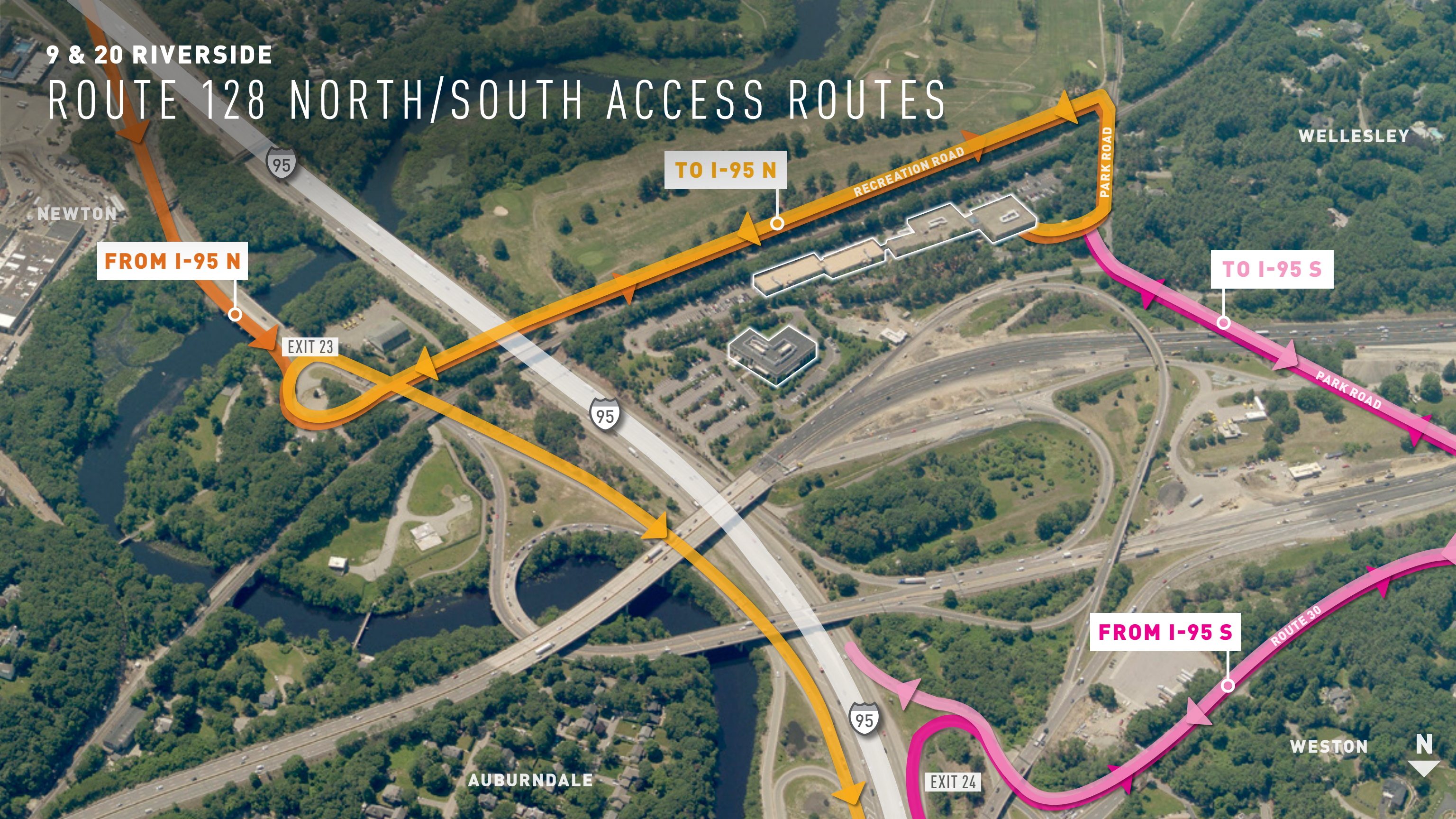
95

WESTON



9 & 20 RIVERSIDE

ROUTE 128 NORTH/SOUTH ACCESS ROUTES



NEWTON

WELLESLEY

FROM I-95 N

TO I-95 N

TO I-95 S

EXIT 23

95

FROM I-95 S

95

EXIT 24

WESTON



AUBURNDALE

ROUTE 30

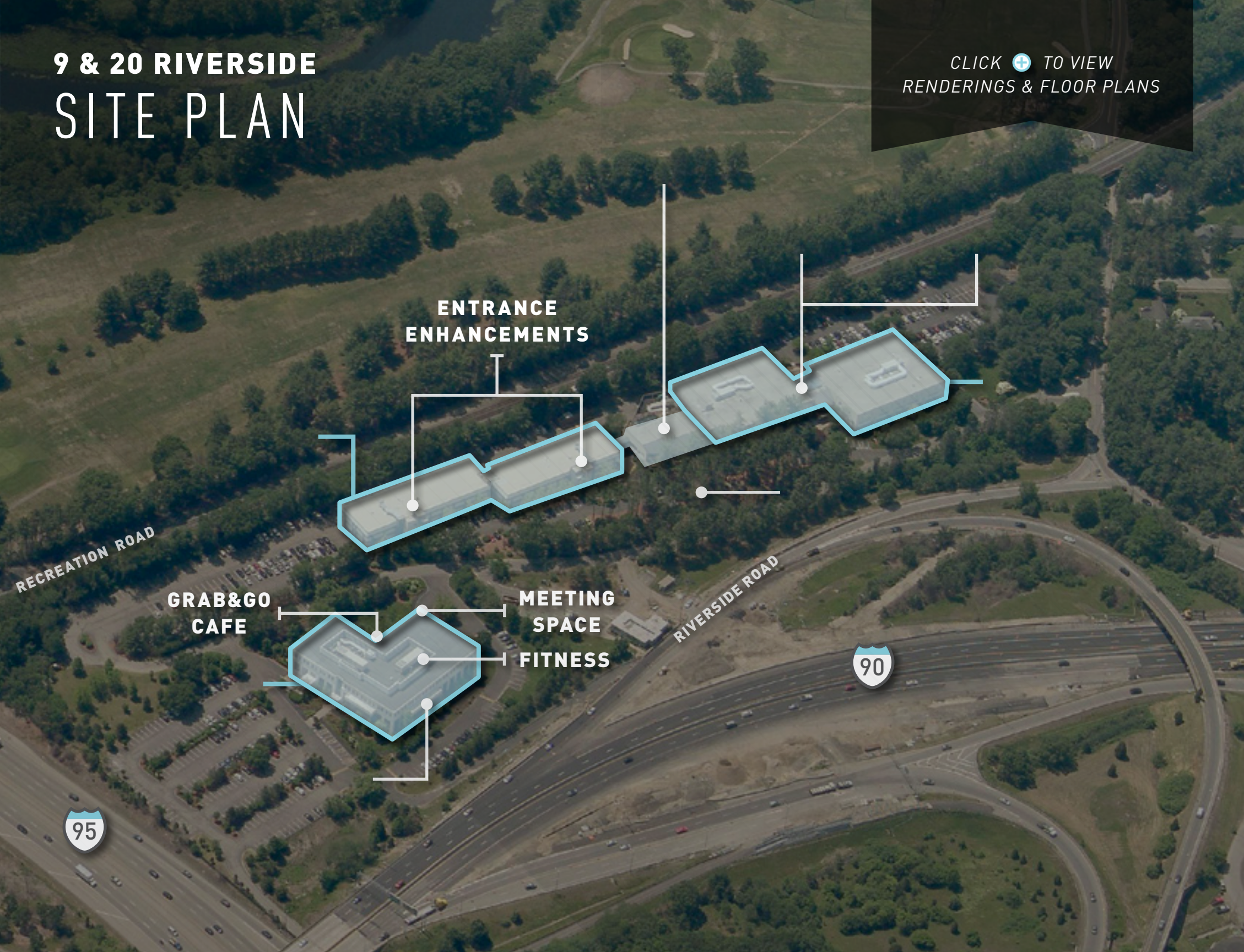
RECREATION ROAD

PARK ROAD

PARK ROAD

9 & 20 RIVERSIDE SITE PLAN

CLICK  TO VIEW
RENDERINGS & FLOOR PLANS



AREA SUMMARY

9 RIVERSIDE

±160,000 SF | TWO FLOORS

WEST — ±100,000 SF

EAST — ±60,000 SF

20 RIVERSIDE

83,583 SF | THREE FLOORS

1ST — 21,419 SF

2ND — 31,466 SF

3RD — 30,684 SF

PARKING — 3.3/1,000

(~20% COVERED)

EXCLUSIVE SIGNAGE ON RT. 90 AND RT. 128 UNRIVALED BRAND VISIBILITY

**HIGHWAY BRANDING OPPORTUNITY
VISIBLE TO 22,630 CARS PER DAY**



9 & 20 RIVERSIDE

LAB CONVERSION TIMELINE

NON-OFFICE (LAB, MANUFACTURING, ASSEMBLY, ETC.):

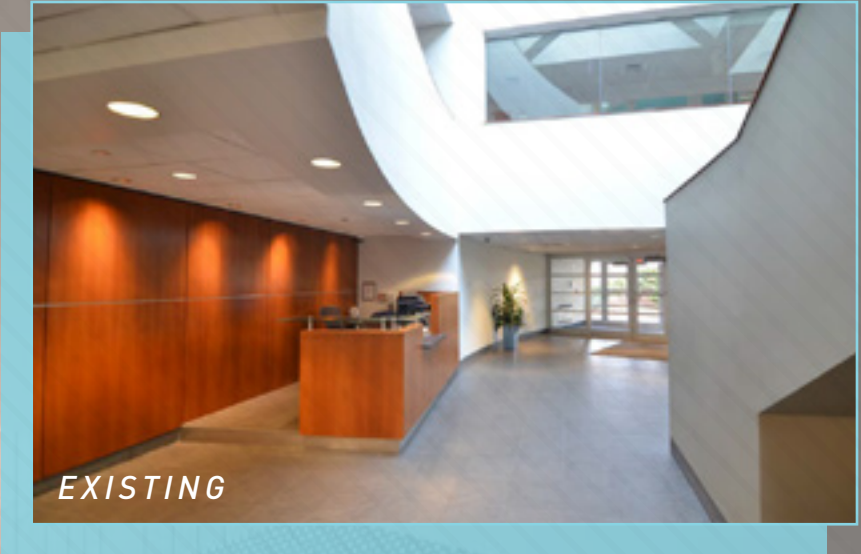


9 RIVERSIDE WEST ENTRY



EXISTING

9 RIVERSIDE WEST LOBBY



EXISTING

9 RIVERSIDE WEST WORKSPACE



9 RIVERSIDE
EAST WORKSPACE



9 & 20 RIVERSIDE AMENITIES HUB



EXISTING

9 & 20 RIVERSIDE
PROGRAMMED OUTDOOR SPACE

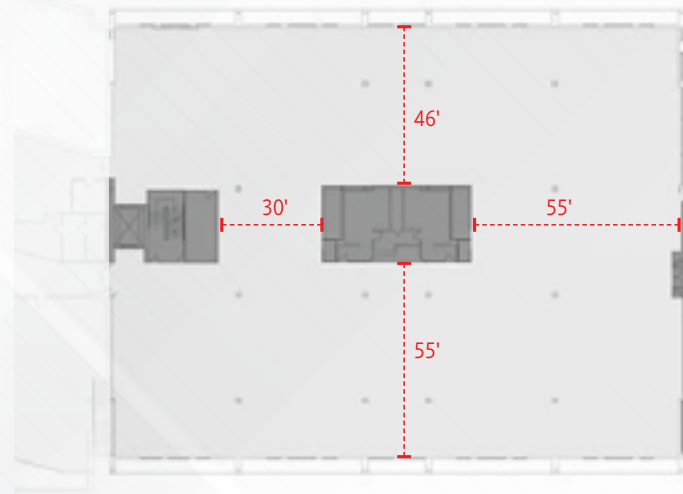


FLOOR PLANS

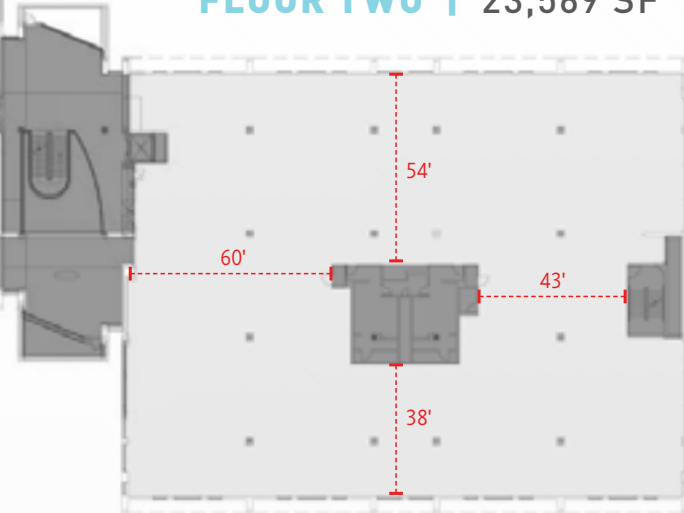
9 RIVERSIDE - WEST



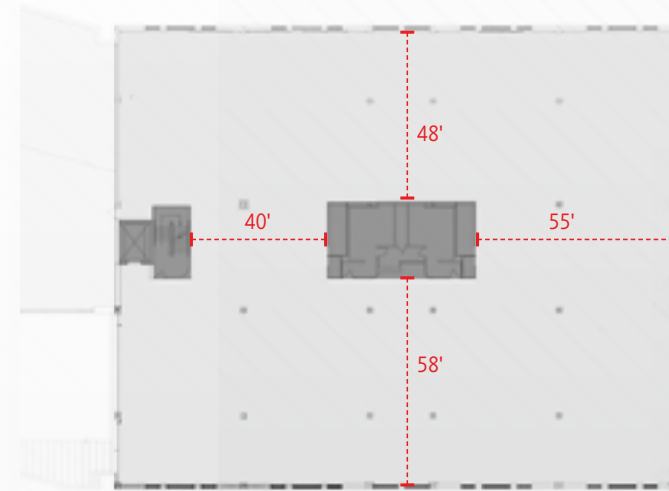
FLOOR TWO | 23,972 SF



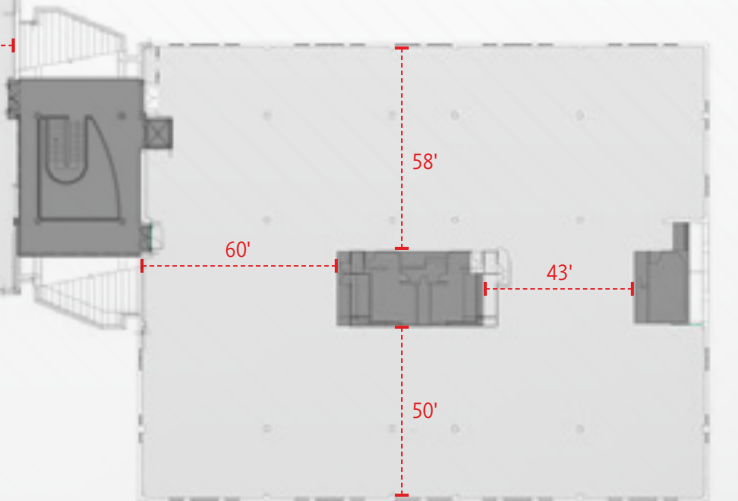
FLOOR TWO | 23,569 SF



FLOOR THREE | 25,454 SF



FLOOR THREE | 25,273 SF

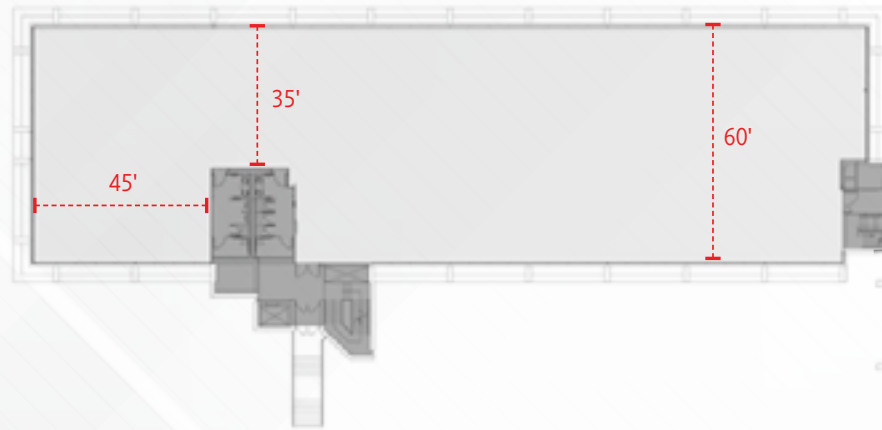


FLOOR PLANS

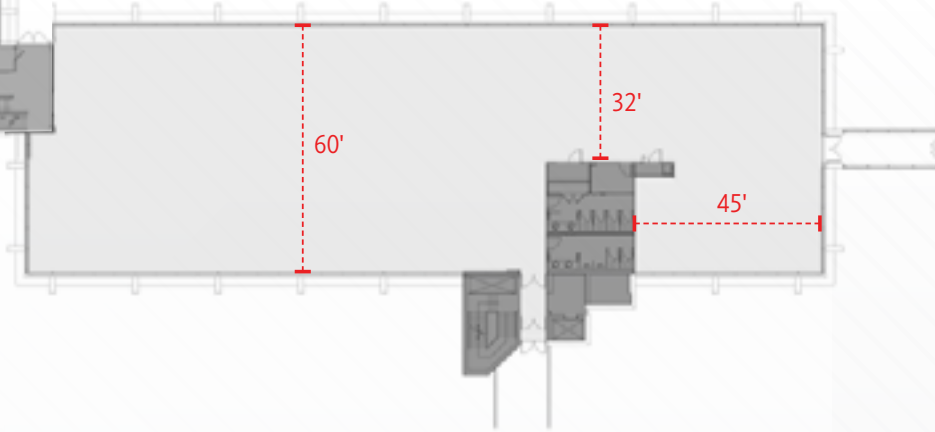
9 RIVERSIDE - EAST



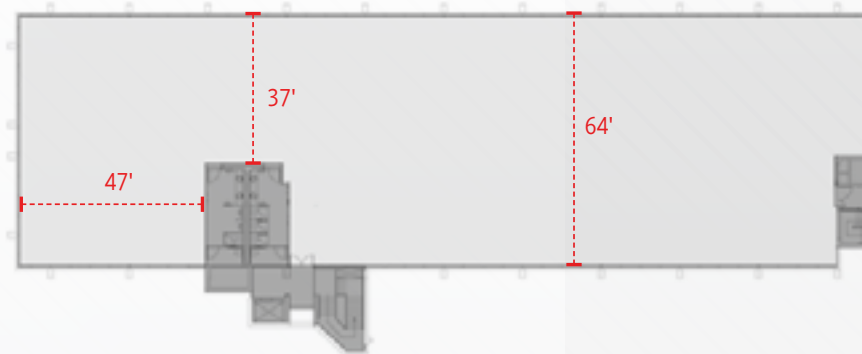
FLOOR TWO | 16,133 SF



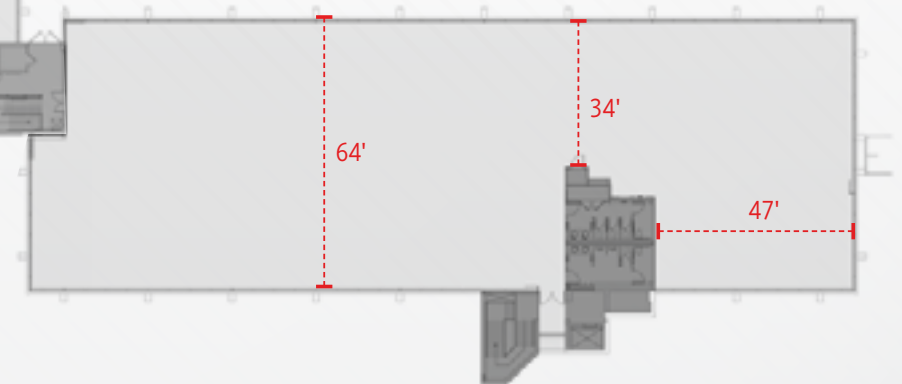
FLOOR TWO | 14,635 SF



FLOOR THREE | 16,967 SF

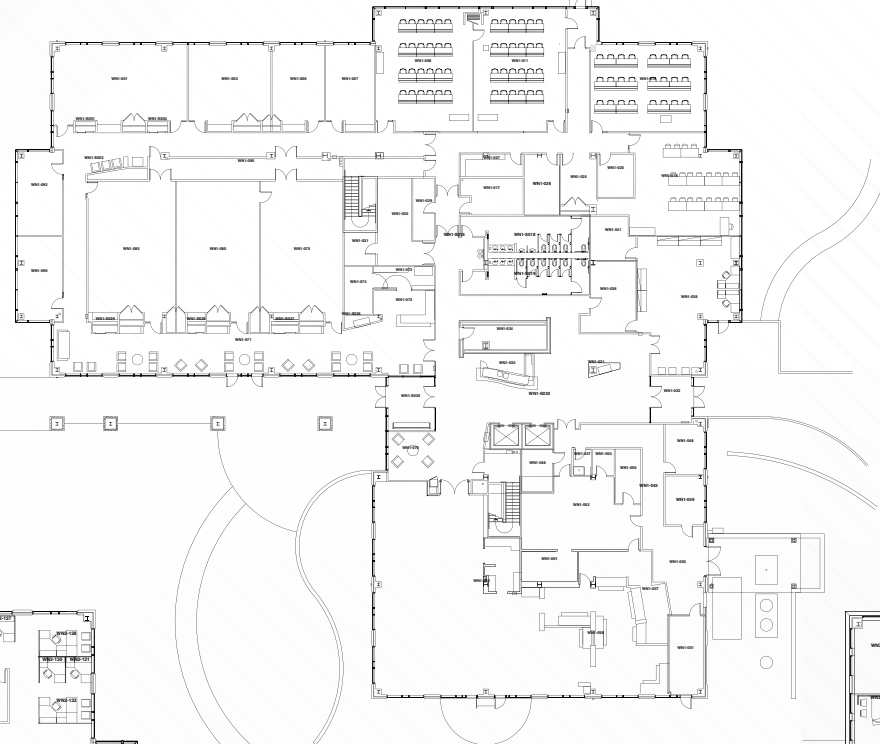


FLOOR THREE | 15,157 SF



TYPICAL FLOOR PLANS 20 RIVERSIDE

FLOOR ONE | 21,419 SF



FLOOR TWO | 31,466 SF



FLOOR THREE | 30,698 SF



GREATLAND REALTY PARTNERS RECENT PROJECTS



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