

I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM A LICENSED ARCHITECT IN THE STATE OF NEW YORK. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND AM SURE THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES. THIS IS A PROFESSIONAL SEAL AND NOT A SIGNATURE. IT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

BUILDING DEPARTMENT NOTES

1. NEW BUILDING APPLIC. FILED HEREWITH IN COMPLIANCE WITH THE 2014 BUILDING CODE.
2. ON SITE FILL IN EXCESS OF 300 CUBIC YARDS IS REQUIRED ON THIS PROJECT.
3. THE DESIGN, DETAILS AND NOTES INCL. HEREIN ARE IN COMPLIANCE WITH LOCAL LAW 177/95 EARTHQUAKE CODE.
4. CONTRACTOR IS TO NOTIFY THE DEPT. OF BUILDINGS VIA PHONE OR ELECTRONICALLY (PROPERTLY FILED AT LEAST 24 HRS. BUT NO MORE THAN 48 HRS. PRIOR TO THE COMMENCEMENT OF SUCH WORK, UNLESS EXEMPT AS PER SEC. 3504.5.1).
5. WHEN AN EXCAVATION TO A DEPTH OF 5 TO ADJACENT BUILDING, OR WHEN ANY EXCAVATION OVER 10 FT IS TO BE MADE ANYWHERE ON THE SITE, THE PERSON CAUSING THE EXCAVATION SHALL NOTIFY THE DEPT. OF BUILDINGS IN WRITING TO BE PROVIDED WITH A WRITTEN NOTICE TO BE FORWARDED TO ADJACENT BUILDING OR BUILDINGS NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION PER BC 3504.5.2.
6. ZONING LOT DECLARATIONS- 70,689.6 S.F. PAD A (FIRST FLOOR) 5,016.4 S.F. (0.043 F.A.R.) PAD B (FIRST FLOOR) 5,949.1 S.F. (0.21 F.A.R.) PAD C (FIRST FLOOR) 5,020.1 S.F. (0.20 F.A.R.) TOTAL ACTUAL F.A.: 15,168.6 S.F. (0.219 F.A.R.) 70,689.6 S.F.
7. NOTE: THIS PROJECT DOES NOT INCLUDE MODULAR CONSTRUCTION.
8. CURB CUT (307) ALONG VETERANS ROAD WEST WAS FILED AND APPROVED UNDER 2865 VETERANS ROAD WEST, DOB APPLIC. # 320184343
9. CONSTRUCTION FINISHED UNDER DOB REQUIRED SIDE YARDS PROVIDED: 23'-2" FOR PORTION OF PAD B 16'-0" FOR PAD C REQUIRED REAR YARDS NONE REQUIRED FOR PAD A REQUIRED REAR YARDS FOR PAD C AND PORTION OF PAD B, WHICH COINCIDES WITH REAR LOT LINE OF ADJACENT ZONING LOT: 20'-0" ACTUAL REAR YARDS PROVIDED: 23'-2" FOR PAD B 23'-0" FOR PAD C
10. BUILDERS PAVING PLAN (BPP) FILED AND APPROVED UNDER APPLICATION #220141748
11. REFER TO DOB APPLIC. #220181570 (2865 VETERANS ROAD WEST) FILED BY CIVIL ENGINEERS WOHL & OVARA FOR EXTERIOR STORM AND SANITARY PIPING, DRYWELLS, AND SEPTIC APPROVALS FROM DEP.
12. SEPARATE DIS APPLICATIONS TO BE FILED FOR ALL STRUCTURAL, MECHANICAL, PLUMBING & GAS, INTERIOR SANITARY AND STAIR PLANS, SEPARATE TR-B AND ENERGY COMPUTATIONS FOR ALL MECHANICAL, EQUIPMENT, LIGHTING, DUCTWORK, AND CONTROLS.

SITE DATA

BLOCK 7469
 TAX LOTS (EXISTING) 1901,193,196
 HOUSE #S 2865 VETERANS ROAD WEST- PAD B
 2865 VETERANS ROAD WEST- PAD C
 ZONE # M-1-1
 MAP # 320
 OCCUP. GROUP B.M (2014 BUILDING CODE)
 USE GROUPS 6A, 6C
 CONSTRUCTION CLASS 2A (UNSPRINKLERED)
 - INSIDE SPECIAL SOUTH RICHMOND DIST.-OUTSIDE FLOOD ZONE
 - OUTSIDE FIRE DISTRICT - OUTSIDE FRESHWATER FLOODLANDS

ZONING CRITERIA

ZONE: M-1-1 (SSRD) MAP NO. 320 (ZR 43-12)
 MAX. FAR PERMITTED (COMMERCIAL USE): 1.0 (ZR 43-25)
 SIDE YARDS 0 OR 6', IF OPEN AREA IS PROVIDED (ZR 43-26)
 MIN. REQUIRED REAR YARD: 20'-0" (ZR 43-26)
 FOR ZONING LOTS BOUNDED BY TWO STREETS, PORTION OF SIDE LOT LINE BEYOND 100' OF THE STREET LINE SHALL BE CONSIDERED A REAR LOT LINE IF IT COINCIDES WITH THE STREET LINE.
 (ONLY APPLICABLE TO PAD C AND PORTION OF PAD B)
 MIN. PARKING = 1 PARKING SPACE REQUIRED FOR 300 S.F. OF FLOOR AREA FOR COMMERCIAL USES IN USE OF 6 PARKING CATEGORY B & B1 (ZR 44-21)
 LOADING BERTHS (SEE COMPUTATIONS BELOW) (ZR 44-52)

ZONING COMPUTATIONS

APPLICABLE TO PAD B- 2865 VETERANS ROAD WEST
 LOT AREA 70,689.6 S.F.
 SINGLE ZONING LOT CONSISTING OF 3 TAX LOTS (PADS A, B & C)
 MAX. ALLOW. COMMERCIAL F.A. = 70,689.6 x 1.0
 ACTUAL F.A.:
 PAD A (FIRST FLOOR) 5,016.4 S.F. (0.043 F.A.R.)
 PAD B (FIRST FLOOR) 5,949.1 S.F. (0.21 F.A.R.)
 PAD C (FIRST FLOOR) 5,020.1 S.F. (0.20 F.A.R.)
 TOTAL ACTUAL F.A.: 15,168.6 S.F. (0.219 F.A.R.) 70,689.6 S.F.

YARD REQUIREMENTS

REQUIRED SIDE YARDS: 0 OR 6'
 ACTUAL SIDE YARDS PROVIDED: 23'-2" FOR PORTION OF PAD B 16'-0" FOR PAD C
 REQUIRED REAR YARDS NONE REQUIRED FOR PAD A
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MAXIMUM BUILDING HEIGHT (ZR 44-21) & APPENDIX A

HEIGHT OF SIX EXPOSURE PLANE ABOVE STREET LINE: 30'-0" THEN A SLOPE 1:4 TO 1 AS A RATIO OF VERTICAL DISTANCE TO HORIZONTAL DISTANCE
 ACTUAL BUILDING HEIGHT ABOVE STREET LINE: 20'-2 1/2" (PAD B)
 20'-2 1/2" (PAD C)

REQUIRED OFF-STREET PARKING (ZR 44-21) & APPENDIX A

PARKING CATEGORY B (USE GROUP 6B)
 1 SPACE REQUIRED PER 300 S.F. OF FLOOR AREA REQUIRED 15,168.6 / 300 = 51 SPACES
 ACTUAL PARKING SPACES PROVIDED: 85 SPACES (INCL. 5 H.C. SPACES)
 REQUIRED PARKING SPACES OFF-STREET LOADING BERTHS (ZR 44-52)
 1 LOADING BERTHS REQUIRED FOR NEXT 17,000 S.F. ACTUAL FLOOR AREA (ZL): 15,168.6 S.F.; THEREFORE 1 REQUIRED LOADING BERTHS PROVIDED: 3

OPEN PARKING SPACE TREES (REFER TO GPC APPROVAL)

ONE TREE PER 500 S.F. OF FLOOR AREA. PRE-EXISTING OR NEWLY PLANTED. SHALL BE PROVIDED FOR EACH FOUR PARKING SPACES.
 85 SPACES / 4 = 21 TREES REQUIRED (ZONING LOT)
 21 TREES ARE BEING PROVIDED IN THE PARKING AREA
 21x 50K = 11 TREES REQUIRED TO BE PLANTED WITHIN ISLANDS
 NEW TREES AT LEAST 3" CALIPER PROVIDED IN PLANTING ISLANDS 13

ARTERIAL TREES (REFER TO GPC APPROVAL (ZR 102-28)(10))

ONE TREE PER 1,000 SQUARE FEET OF SIDEWALK OPEN AREA. TREES SHALL BE 3/8 65" x 30" SETBACK = 11,299.5 SQ.FT.
 11,299.5 SQ.FT. / 400 = 28 TREES REQUIRED
 EXISTING TREES TO REMAIN: 8
 NEW TREES OF AT LEAST 3" CALIPER PROVIDED: 20
 TOTAL PRE-EXISTING TREES AND NEW TREES OF AT LEAST 3" CALIPER PROVIDED: 27

STREET TREE REQUIREMENTS: (ZR 43-02, 26-41)

1 TREE FOR EVERY 25'-0" OF FRONTAGE
 VETERANS ROAD WEST TREES REQUIRED
 EXISTING TREES TO REMAIN: 26
 NO NEW SIDEWALK TREES TO BE PLANTED
 TIRELLAN AVENUE 19178' x 2500'
 EXISTING TREES TO REMAIN: 7
 PROPOSED TREES TO BE PLANTED ON-SITE: 1

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 21 TREES ARE BEING PROVIDED IN THE PARKING AREA
 21x 50K = 11 TREES REQUIRED TO BE PLANTED WITHIN ISLANDS
 NEW TREES AT LEAST 3" CALIPER PROVIDED IN PLANTING ISLANDS 13

ARTERIAL TREES (REFER TO GPC APPROVAL (ZR 102-28)(10))

ONE TREE PER 1,000 SQUARE FEET OF SIDEWALK OPEN AREA. TREES SHALL BE 3/8 65" x 30" SETBACK = 11,299.5 SQ.FT.
 11,299.5 SQ.FT. / 400 = 28 TREES REQUIRED
 EXISTING TREES TO REMAIN: 8
 NEW TREES OF AT LEAST 3" CALIPER PROVIDED: 20
 TOTAL PRE-EXISTING TREES AND NEW TREES OF AT LEAST 3" CALIPER PROVIDED: 27

STREET TREE REQUIREMENTS: (ZR 43-02, 26-41)

1 TREE FOR EVERY 25'-0" OF FRONTAGE
 VETERANS ROAD WEST TREES REQUIRED
 EXISTING TREES TO REMAIN: 26
 NO NEW SIDEWALK TREES TO BE PLANTED
 TIRELLAN AVENUE 19178' x 2500'
 EXISTING TREES TO REMAIN: 7
 PROPOSED TREES TO BE PLANTED ON-SITE: 1

ARCHITECTURAL

TRADE	SHEET NO.	DRAWING TITLE
A-001.00		SITE PLAN-ZONING- NOTES
A-002.00		GRADED SITE PLAN
A-003.00		FIRST FLOOR PLAN
A-004.00		ROOF PLAN
A-005.00		BUILDING ELEVATIONS
A-006.00		BUILDING SECTIONS
A-007.00		WALL SECTIONS
A-008.00		DOOR SCHEDULE, STOREFRONT TREES AND DETAILS
A-009.00		CONSTRUCTION DETAILS- ENERGY CODE COMPLIANCE
A-010.00		CONSTRUCTION DETAILS- ENERGY CODE COMPLIANCE
A-011.00		HANDICAP ACCESSIBLE DETAILS
GN-001.00		GENERAL CONSTRUCTION NOTES
GN-002.00		GENERAL CONSTRUCTION NOTES-ENERGY CODE CRITERIA
EN-001.00		ENERGY CODE ANALYSIS, COMPLIANCE, SPECIFICATIONS
EN-002.00		ENERGY CONSERVATION CODE TABULATIONS-INSPECTIONS
EN-003.00		TABULAR ANALYSIS

DRAMAING LIST

1. NEW BUILDING APPLIC. FILED HEREWITH IN COMPLIANCE WITH THE 2014 BUILDING CODE.

2. ON SITE FILL IN EXCESS OF 300 CUBIC YARDS IS REQUIRED ON THIS PROJECT.

3. THE DESIGN, DETAILS AND NOTES INCL. HEREIN ARE IN COMPLIANCE WITH LOCAL LAW 177/95 EARTHQUAKE CODE.

4. CONTRACTOR IS TO NOTIFY THE DEPT. OF BUILDINGS VIA PHONE OR ELECTRONICALLY (PROPERTLY FILED AT LEAST 24 HRS. BUT NO MORE THAN 48 HRS. PRIOR TO THE COMMENCEMENT OF SUCH WORK, UNLESS EXEMPT AS PER SEC. 3504.5.1).

5. WHEN AN EXCAVATION TO A DEPTH OF 5 TO ADJACENT BUILDING, OR WHEN ANY EXCAVATION OVER 10 FT IS TO BE MADE ANYWHERE ON THE SITE, THE PERSON CAUSING THE EXCAVATION SHALL NOTIFY THE DEPT. OF BUILDINGS IN WRITING TO BE PROVIDED WITH A WRITTEN NOTICE TO BE FORWARDED TO ADJACENT BUILDING OR BUILDINGS NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION PER BC 3504.5.2.

6. ZONING LOT DECLARATIONS- 70,689.6 S.F. PAD A (FIRST FLOOR) 5,016.4 S.F. (0.043 F.A.R.) PAD B (FIRST FLOOR) 5,949.1 S.F. (0.21 F.A.R.) PAD C (FIRST FLOOR) 5,020.1 S.F. (0.20 F.A.R.) TOTAL ACTUAL F.A.: 15,168.6 S.F. (0.219 F.A.R.) 70,689.6 S.F.

7. NOTE: THIS PROJECT DOES NOT INCLUDE MODULAR CONSTRUCTION.

8. CURB CUT (307) ALONG VETERANS ROAD WEST WAS FILED AND APPROVED UNDER 2865 VETERANS ROAD WEST, DOB APPLIC. # 320184343

9. CONSTRUCTION FINISHED UNDER DOB REQUIRED SIDE YARDS PROVIDED: 23'-2" FOR PORTION OF PAD B 16'-0" FOR PAD C REQUIRED REAR YARDS NONE REQUIRED FOR PAD A REQUIRED REAR YARDS FOR PAD C AND PORTION OF PAD B, WHICH COINCIDES WITH REAR LOT LINE OF ADJACENT ZONING LOT: 20'-0" ACTUAL REAR YARDS PROVIDED: 23'-2" FOR PAD B 23'-0" FOR PAD C

10. BUILDERS PAVING PLAN (BPP) FILED AND APPROVED UNDER APPLICATION #220141748

11. REFER TO DOB APPLIC. #220181570 (2865 VETERANS ROAD WEST) FILED BY CIVIL ENGINEERS WOHL & OVARA FOR EXTERIOR STORM AND SANITARY PIPING, DRYWELLS, AND SEPTIC APPROVALS FROM DEP.

12. SEPARATE DIS APPLICATIONS TO BE FILED FOR ALL STRUCTURAL, MECHANICAL, PLUMBING & GAS, INTERIOR SANITARY AND STAIR PLANS, SEPARATE TR-B AND ENERGY COMPUTATIONS FOR ALL MECHANICAL, EQUIPMENT, LIGHTING, DUCTWORK, AND CONTROLS.

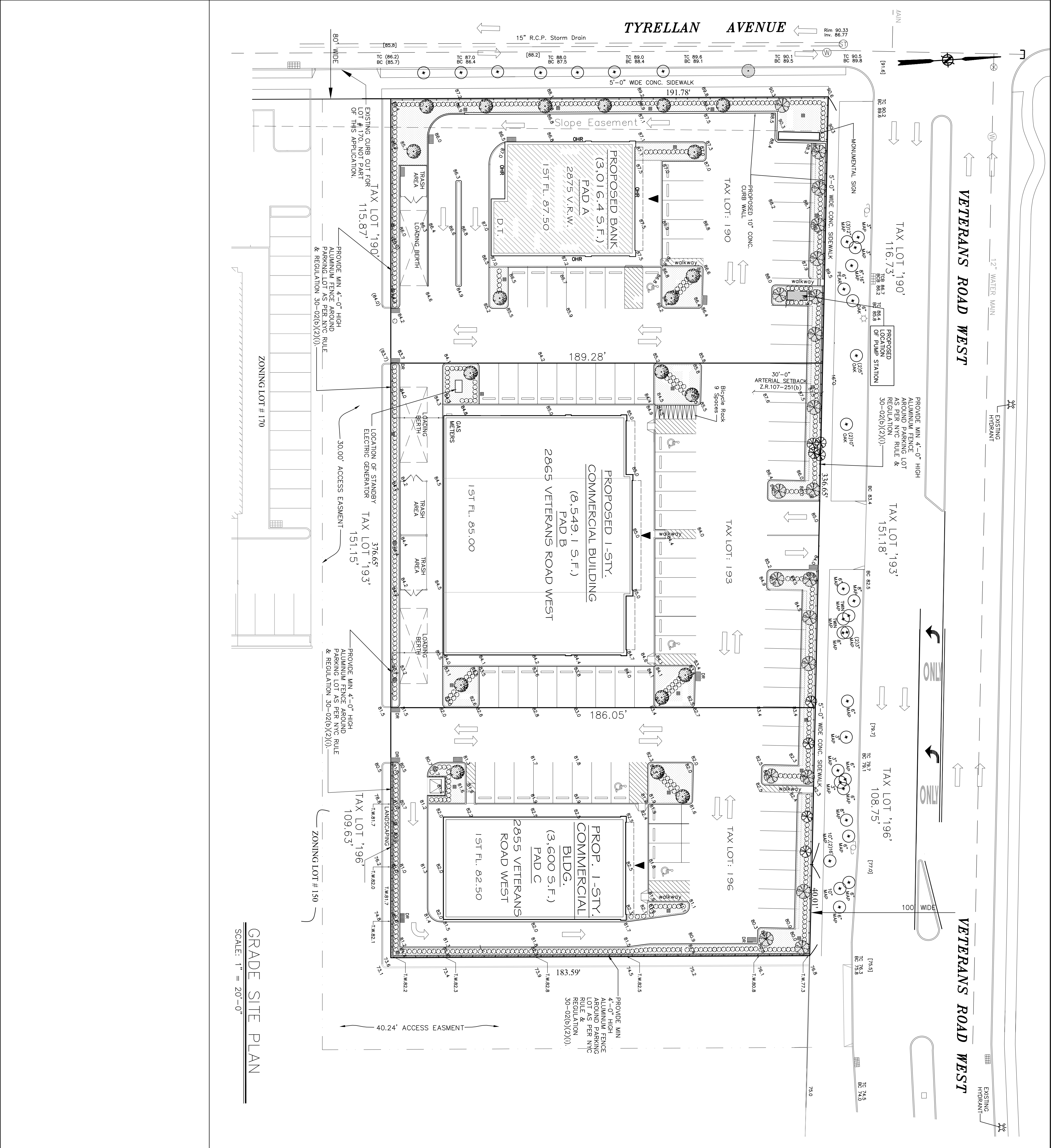
SITE DATA

BLOCK 7469
 TAX LOTS (EXISTING) 1901,193,196
 HOUSE #S 2865 VETERANS ROAD WEST- PAD B
 2865 VETERANS ROAD WEST- PAD C
 ZONE # M-1-1
 MAP # 320
 OCCUP. GROUP B.M (2014 BUILDING CODE)
 USE GROUPS 6A, 6C
 CONSTRUCTION CLASS 2A (UNSPRINKLERED)
 - INSIDE SPECIAL SOUTH RICHMOND DIST.-OUTSIDE FLOOD ZONE
 - OUTSIDE FIRE DISTRICT - OUTSIDE FRESHWATER FLOODLANDS

ZONING CRITERIA

ZONE: M-1-1 (SSRD) MAP NO. 320 (ZR 43-12)
 MAX. FAR PERMITTED (COMMERCIAL USE): 1.0 (ZR 43-25)
 SIDE YARDS 0 OR 6', IF OPEN AREA IS PROVIDED (ZR 43-26)
 MIN. REQUIRED REAR YARD: 20'-0" (ZR 43-26)
 FOR ZONING LOTS BOUNDED BY TWO STREETS, PORTION OF SIDE LOT LINE BEYOND 100' OF THE STREET LINE SHALL BE CONSIDERED A REAR LOT LINE IF IT COINCIDES WITH THE STREET LINE.
 (ONLY APPLICABLE TO PAD C AND PORTION OF PAD B)
 MIN. PARKING = 1 PARKING SPACE REQUIRED FOR 300 S.F. OF FLOOR AREA FOR COMMERCIAL USES IN USE OF 6 PARKING CATEGORY B & B1 (ZR 44-21)
 LOADING BERTHS (SEE COMPUTATIONS BELOW) (ZR 44-52)

ZONING COMPUTATIONS</



GRADED SITE PLAN
SCALE: 1" = 20'-0"

SPECIAL INSPECTIONS

BEFORE ANY WORK IS COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING CONTROLLED INSPECTION, SHALL BE NOTIFIED IN WRITING AT LEAST SEVENTY-TWO HOURS BEFORE TO SUCH COMPLETION.

ALL MATERIALS DESIGNATED FOR CONTROLLED INSPECTION SHALL BE INSPECTED AND FOUND TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS AND TESTS OF MATERIAL SHALL BE MADE AND/OR WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY OR ON BEHALF OF THE OWNER.

SPECIAL INSPECTION ITEMS

1. STRUCTURAL STEEL-DETAILS BC 1704.3.2
2. STRUCTURAL STEEL-HIGH STRENGTH BOLTING BC 1704.3.3
3. CONCRETE-CAST IN PLACE BC 1704.4
4. SUBGRADE INSPECTION BC 1704.7.1
5. SUBSURFACE INVESTIGATIONS-BORINGS/TEST PIT BC 1704.7.4
6. EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) BC 1704.13
7. FIRE RESISTANT PENETRATIONS AND JOINTS BC 1905.3
8. CONCRETE DESIGN MIX (TR3) BC 1905.5
9. CONCRETE SAMPLING AND TESTING (TR2) BC 1905.6
10. CONCRETE SAMPLING AND TESTING (TR2) BC 1913.10

PROGRESS INSPECTION ITEMS

1. FOOTING AND FOUNDATION BC 110.3.1
 2. ENERGY CODE COMPLIANCE INSPECTIONS (SEE LIST BELOW FOR PROGRESS INSPECTIONS) BC 110.3.5
 3. FIRE-RESISTANCE RATED CONSTRUCTION BC 110.3.4
- ENERGY CODE PROGRESS INSPECTIONS**
1. PROTECTION OF EXPOSED FOUNDATION INSULATION (I1A1)
 2. INSULATION PLACEMENT AND R VALUES (I1A2)
 3. PENETRATION U-FACTOR AND PRODUCT RATING (I1A3)
 4. FENESTRATION AIR LEAKAGE (I1A4)
 5. FENESTRATION AREAS (I1A5)
 6. AIR SEALING AND INSULATION-VISUAL (I1A6)

FIRE RESISTANCE RATING REQUIREMENTS

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS AND EXTERIOR WALLS AS PER TABLES 601 & 602

CONSTRUCTION CLASSIF. FOR PROPOSED BUILDING:
2A (NON-COMB. CONST.)

TABLE 601

STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, RAISERS:	1 HR
BEARING WALLS	1 HR
BEARING INTERIOR	1 HR
NONBEARING WALLS AND PARTITIONS	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS	0 HR
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS:	1 HR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS:	1 HR

TABLE 602

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

Distance	Rating
< 5'-0"	2 HR
5'-0" < 10'-0"	1 HR
10'-0" < 30'-0"	1 HR
≥ 30'-0"	0 HR

TONY SAYAD ARCHITECT
2409 RICHMOND ROAD
STATEN ISLAND NY 10306
PHONE 718 4423112 FAX 718 442-9595

CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT IMMEDIATELY UPON RECEIVING NOTICE OF ANY DEFICIENCIES OR NON-COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY REVISIONS REQUIRED TO CORRECT SUCH DEFICIENCIES OR NON-COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY REVISIONS REQUIRED TO CORRECT SUCH DEFICIENCIES OR NON-COMPLIANCE.

PROJECT:
PROPOSED COMMERCIAL DEVELOPMENT
2865 VETERANS ROAD WEST, S.I., NY
OWNER: CHARLESTON PLACE, LLC

DRAWING TITLE:
GRADED SITE PLAN & NOTES

NO.	DATE	DESCRIPTION

DATE:	12-11-2018
JOB NO.:	18-05
DRAWN BY:	TS
CHECKED BY:	TS
DRAWING NO.:	A-002.00
	2 OF 16

CONTRACTOR SHALL NOTIFY ENGINEER/ ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES WITHIN THESE CONTRACT DOCUMENTS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

FLOOR PLAN NOTES

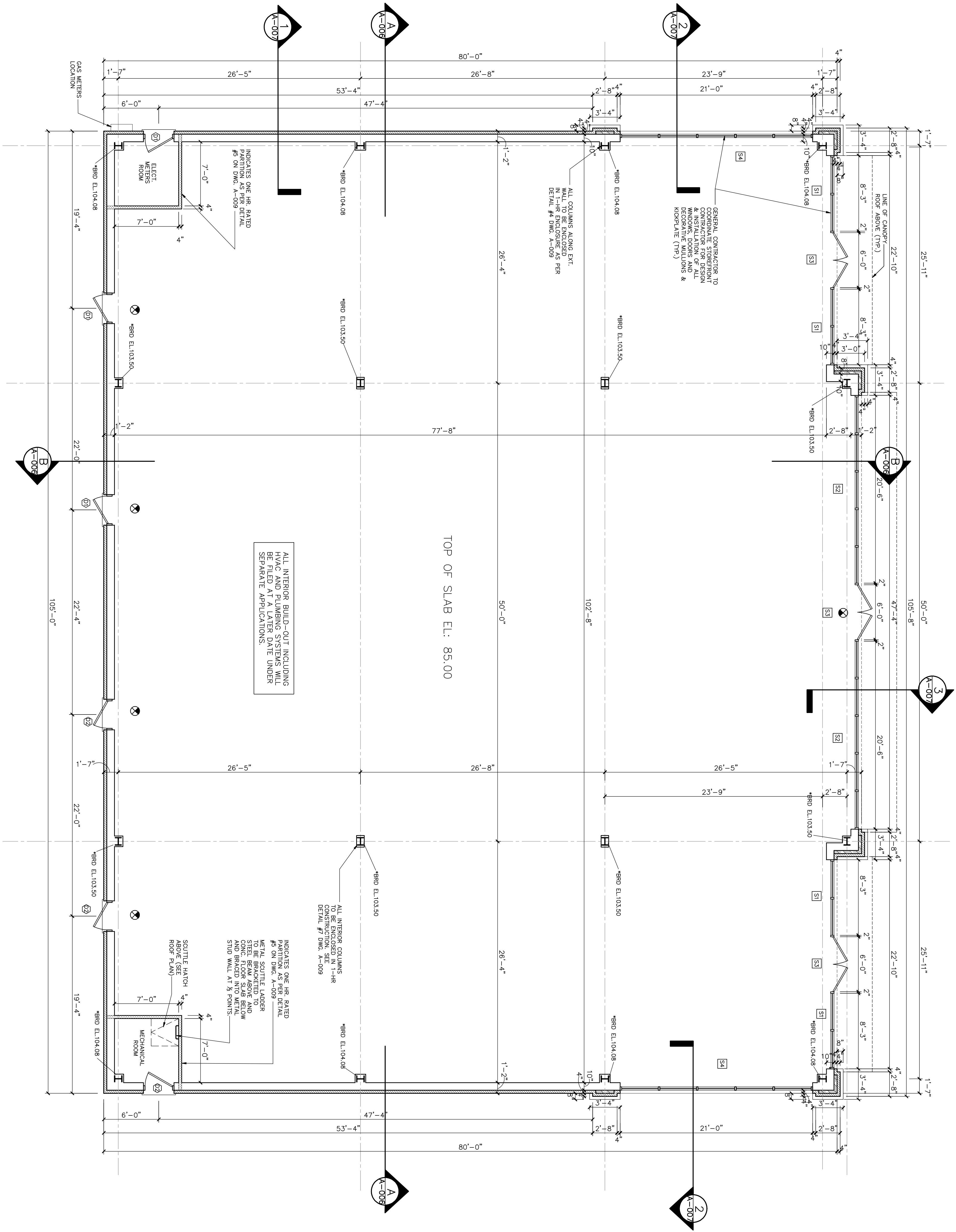
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS IN THE FIELD AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF PROPOSED WORK.
- REFER TO STRUCTURAL PLANS FOR FOUNDATION WORK.
- FLOOR SLAB TO BE REINFORCED CONCRETE (REFER TO STRUCTURAL PLANS). SMOOTH FINISH OVER 5 MIL POLYETHYLENE VAPOR BARRIER OR 6" GRAVEL BASE.
- WATER METERS ARE TO BE INSTALLED IN MECHANICAL ROOM BY PLUMBING TRADES.
- CARRY ALL RATED PARTITIONS UP TO UNDER SIDE OF FLOOR DECKING.
- REMOVE FLOOR DAMPERS AT ALL PLACES WHERE FLOOR DECKING IS TO BE INSTALLED. DAMPERS SHALL BE REMOVED AND FLOOR SHALL BE REFINISHED WITHIN A FIVE (5) FOOT DIAMETER AREA NOT LOCATED WITHIN A FIVE (5) FOOT DIAMETER AREA. SECTION 91.10.1.3-1 OF THE N.Y.C. BUILDING CODE.

EXTERIOR INSULATION FINISH SYSTEM NOTES (E.I.F.S.)

- SYSTEM BY DRY-VIT SYSTEMS, INC. OR APPROVED EQUAL.
- EXTERIOR GRADE GYPSUM SHEATHING SHALL MEET CORE OR TYPE "X" CORE.
- EXPANSION JOINTS SHALL BE LOCATED:
 - A) WHERE EXPANSION JOINTS OCCUR IN THE SUBSTRATE SYSTEM.
 - B) WHERE EXPANSION JOINTS OCCUR IN THE CONCRETE.
 - C) IN CONTINUOUS ELEVATIONS AT INTERVALS NOT EXCEEDING 75' MEASURE HORIZONTAL.
- APPLICATION AND CONSTRUCTION METHODS AND REQUIREMENTS.

LEGEND & SYMBOLS

	CONCRETE FOUNDATION WALL
	APPROVED TYPE LOAD BEARING CONCRETE BLOCK WALL
	BRICK VENEER
	METAL STUDS WALL
	SECTION AND DETAIL TAG
	DOOR SYMBOL - SEE DOOR TYPES & SCHEDULE ON DWG A-007
	STOREROOM SYMBOL - SEE STOREROOM TYPES & DETAILS ON DWG. A-009



ALL INTERIOR BUILD-OUT INCLUDING PARTITION AND FINISH SYSTEMS SHALL BE FILED AT A LATER DATE UNDER SEPARATE APPLICATIONS.

INDICATES ONE HR. RATED PARTITION AS PER DETAIL #5 ON DWG. A-009
 METAL SCUTTLE LADDER TO BE BRACKETED TO CONCRETE FLOOR SLAB BELOW AND BRACED INTO METAL STUD WALL AT 1/2 POINTS.

ALL INTERIOR COLUMNS TO BE CONSTRUCTED PER DETAIL #7 DWG. A-009

ALL COLUMNS ALONG EXT. WALL TO BE ENCLOSED IN 1-HR ENCLOSURE AS PER DETAIL #4 DWG. A-009

GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND MEASUREMENTS IN THE FIELD AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF PROPOSED WORK.

FIRST FLOOR PLAN

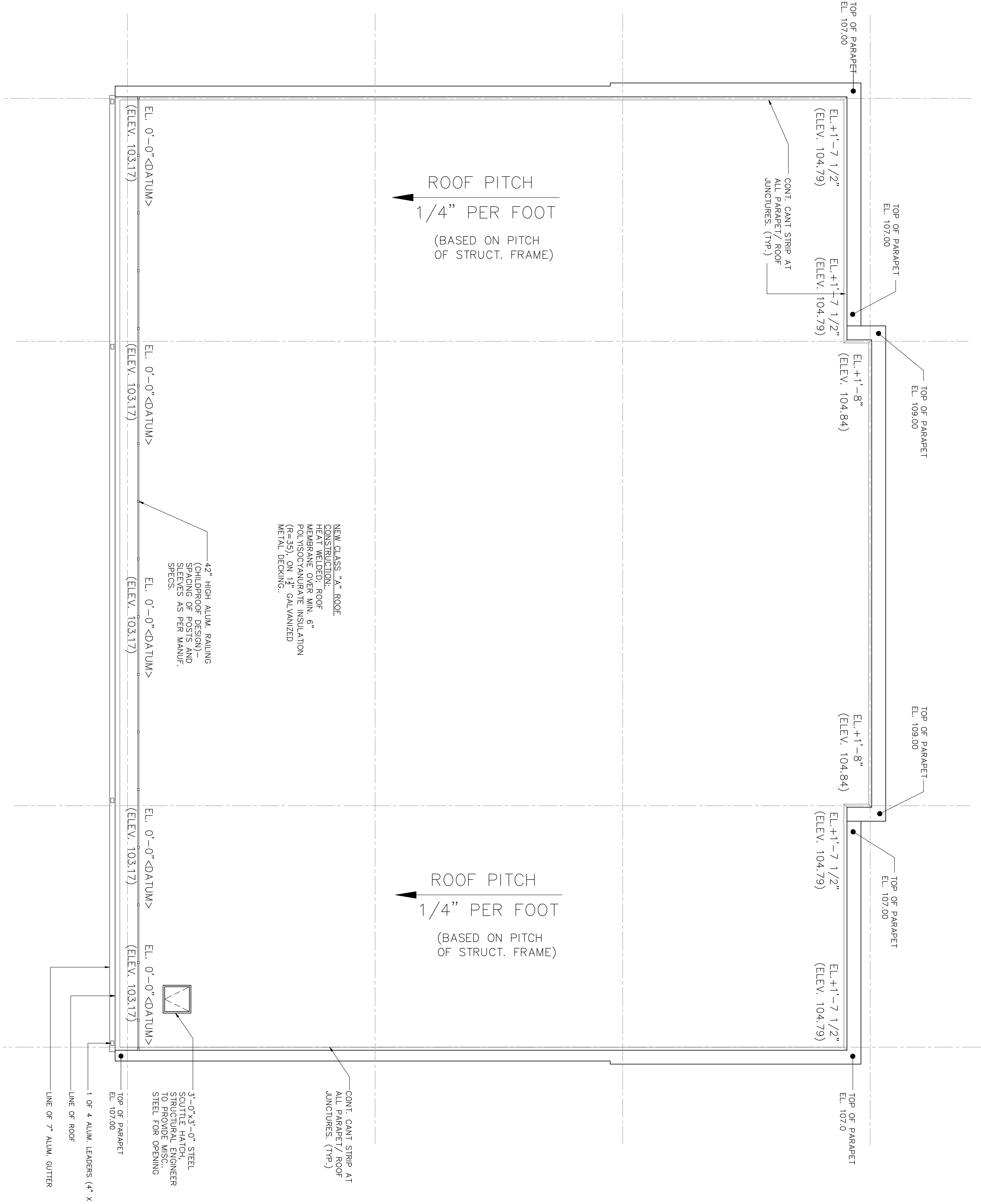
SCALE: 3/16" = 1'-0"

PROJECT:	
PROPOSED COMMERCIAL DEVELOPMENT	
2865 VETERANS ROAD WEST, S.I., NY	
OWNER: CHARLESTON PLACE, LLC	
DRAWING TITLE:	
FIRST FLOOR PLAN	
PAD B - 2865 VETERANS RD. WEST	
DATE:	12-11-2018
JOB NO.:	18-05
DRAWN BY:	TS
CHECKED BY:	TS
DRAWING NO.:	A-003.00

NO.	DATE	DESCRIPTION

CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT IMMEDIATELY UPON RECEIVING ANY INFORMATION THAT MAY AFFECT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

- ROOF CONSTRUCTION NOTES**
- IT SHALL BE THE RESPONSIBILITY OF THE ROOFING CONTRACTOR TO PROVIDE A WATER-TIGHT CONDITION AND INSTALLATION.
 - INSTALLATION OF ROOFING SHALL BE IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS (LATEST EDITION).
 - DECK AND ROOFING SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND MUST BE DRY AT THE TIME OF ROOFING INSTALLATION.
 - CANT STRIPS SHALL BE FINELY ATTACHED AT AN ANGLE AT THE JUNCTION BETWEEN THE ROOF AND DECK AND VERTICAL SURFACES.
 - SUITABLE GUTTER FLASHING SHALL BE PROVIDED TO COVER THE TOP EDGE OF COMPOSITION FASB FLASHING BY A MINIMUM OF 4".
 - PROVIDE TAPERED INSULATION (MIN. 4") AT ROOF TO PROPER RUN-OFF TO DRAINS.
 - SEE DETAIL OF ROOF CONSTRUCTION ON DRAWING A-008
 - CONTRACTOR TO COORDINATE ALL OPENINGS & PENETRATIONS TO BE MADE IN ROOF.



ROOF PLAN
SCALE: 3/16" = 1'-0"

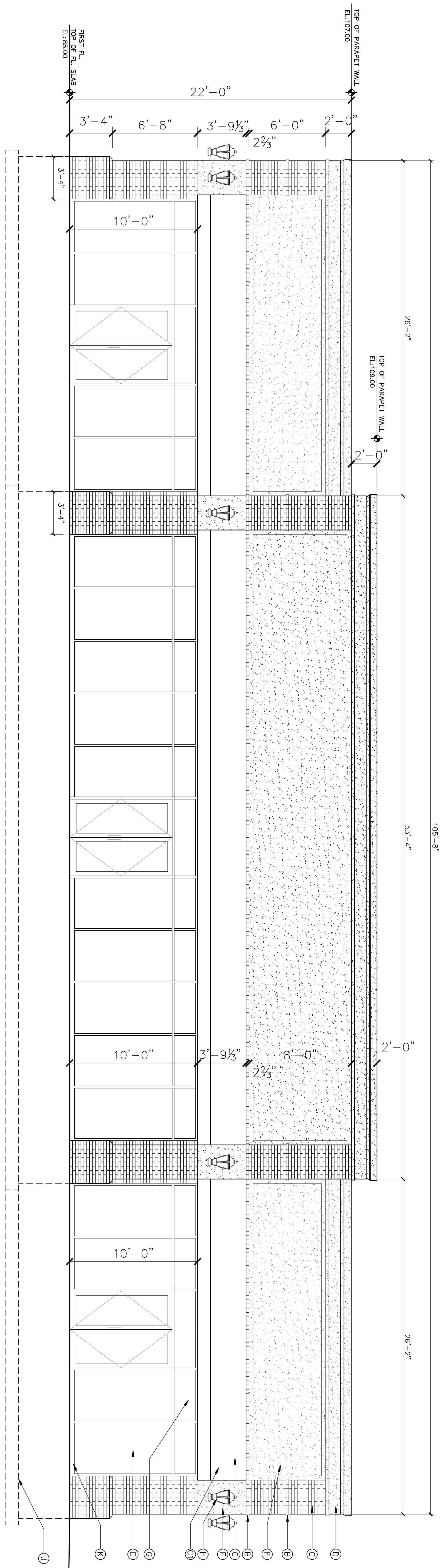
NO.	DATE	DESCRIPTION

PROJECT:
PROPOSED COMMERCIAL DEVELOPMENT
2865 VETERANS ROAD WEST, S.I., NY
OWNER: CHARLESTON PLACE, LLC

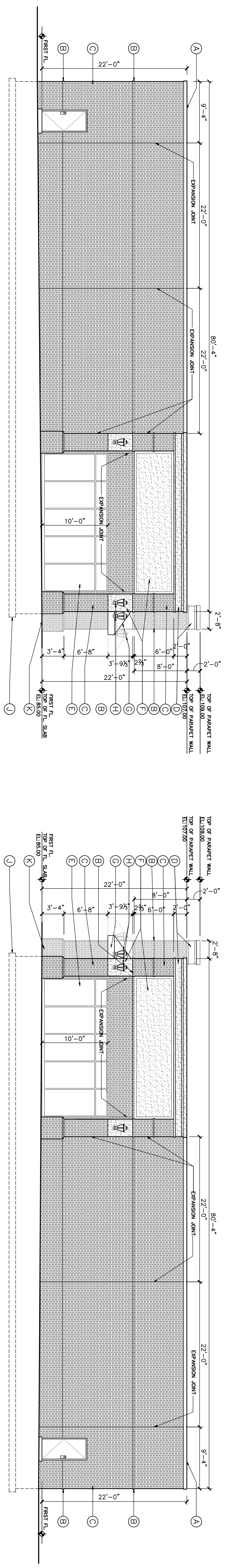
DRAWING TITLE:
ROOF PLAN
PAD B - 2865 VETERANS RD, WEST

DATE: 12-11-2018
JOB NO.: 18-05
DRAWN BY:
CHECKED BY: TS
DRAWING NO.:

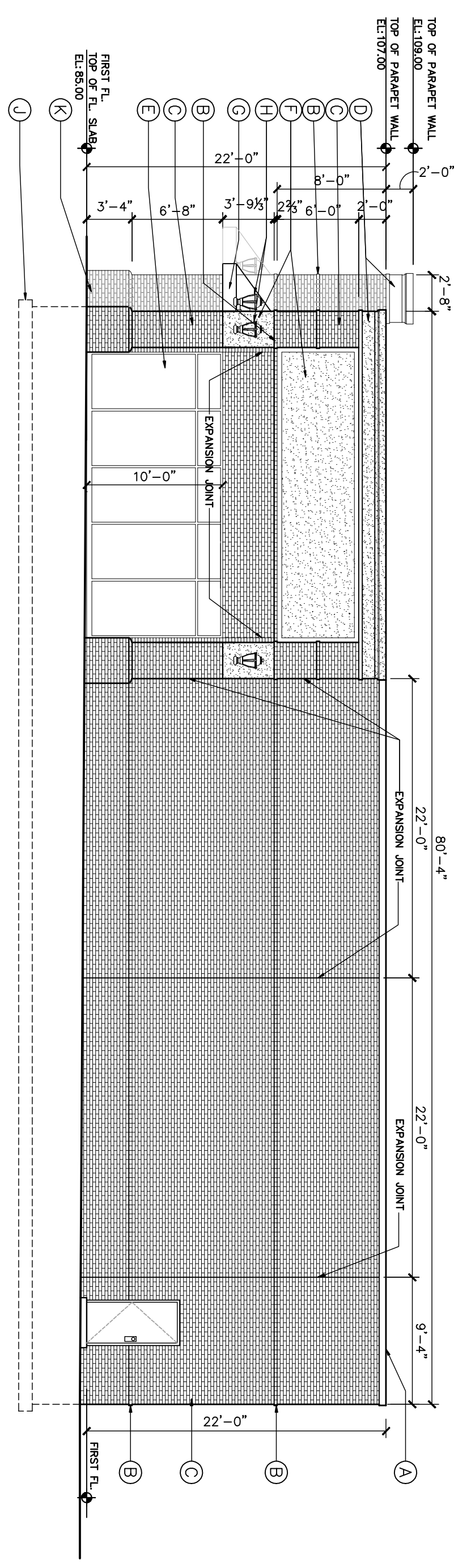
CONTRACTOR SHALL NOTIFY ENGINEER/ ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS WITHIN THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.



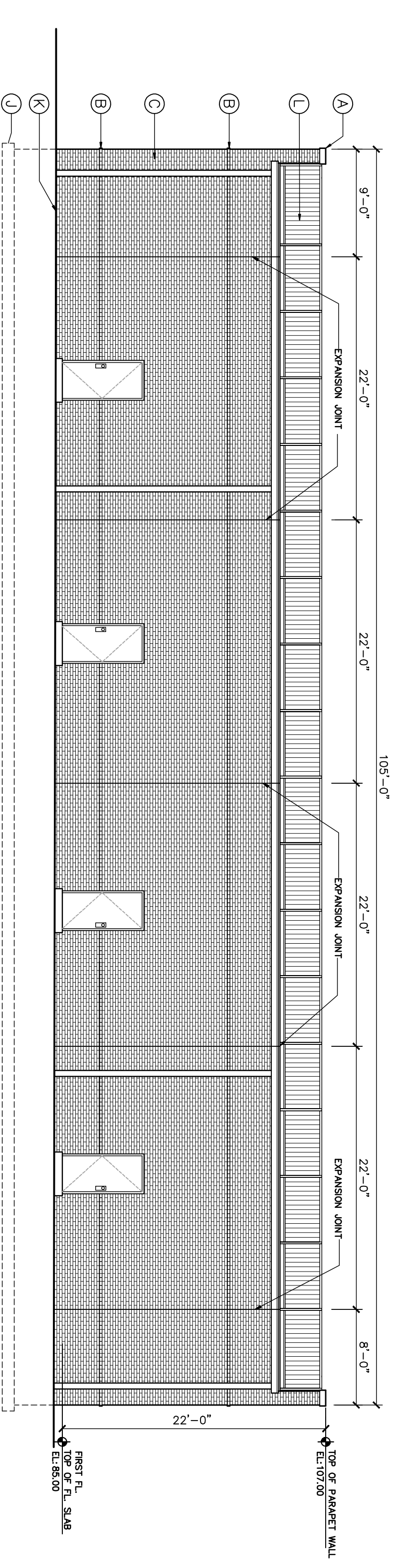
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

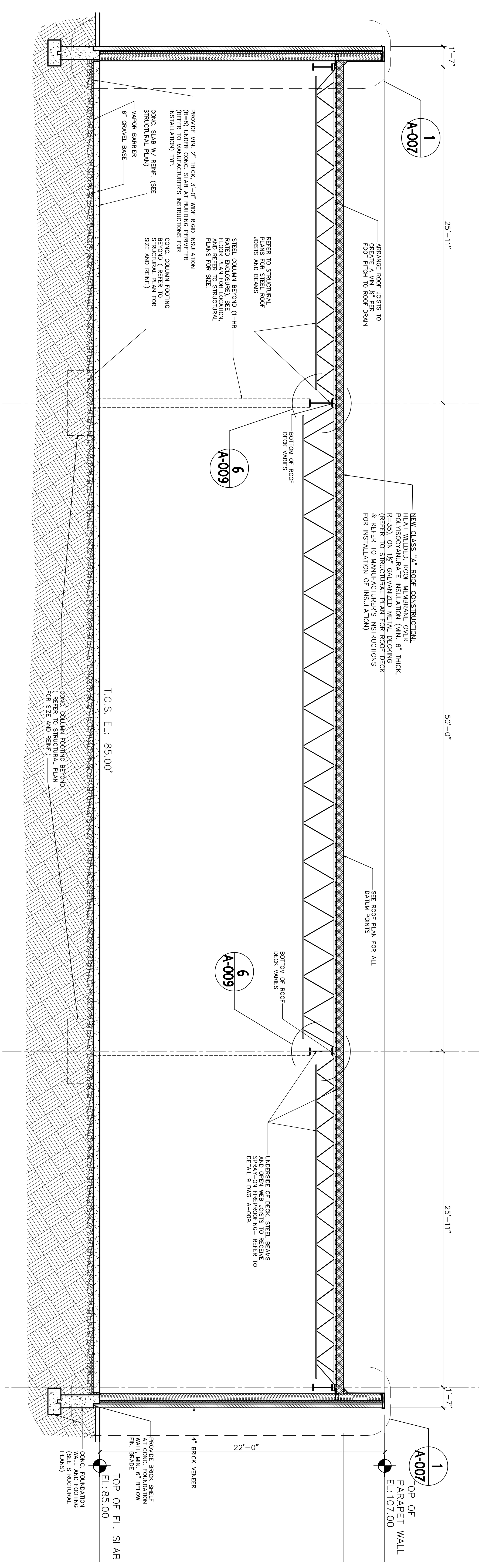
- ELEVATION LEGEND**
- (A) METAL PARAPET COPING
 - (B) BRICK HEADER COURSE
 - (C) BRICK VENEER
 - (D) BRICK VENEER BEHIND CANOPY
 - (E) DECORATIVE DRYVIT (E.I.F.S.) GROWN
 - (F) STOREFRONT (SEE DETAILS ON DWG. A-008)
 - (G) DRYVIT (E.I.F.S.) FINISH
 - (H) FABRIC CANOPY
 - (I) EXTERIOR LAMP BY OTHER
 - (J) ALUM. GUTTER
 - (K) LINE OF CONC. FOUNDATION WALL BELOW FIN. GRADE (MIN. 4'-0")
 - (L) FINISH GRADE (REFER TO SITE PLAN FOR ELEVATIONS)
 - (M) 42" HIGH ALUM. RAILING (CHILDPROOF DESIGN) POST SPACING AND SLEEVES AS PER MANUF. SPECS

REVISED 2-8-2003

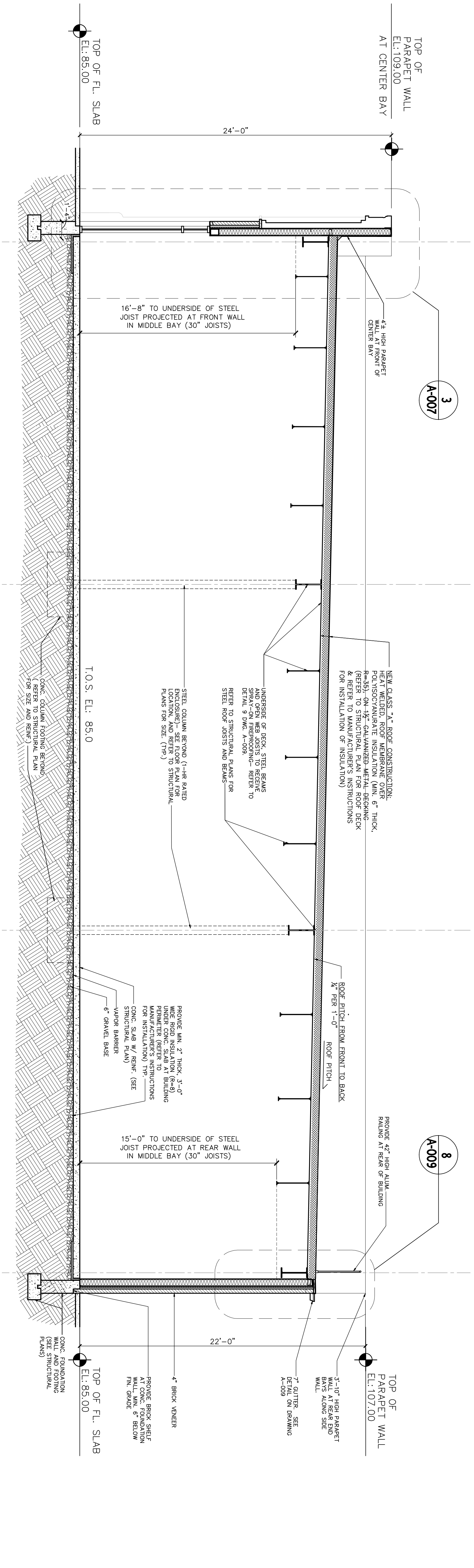
PROJECT:	
PROPOSED COMMERCIAL DEVELOPMENT	
2865 VETERANS ROAD WEST, S.I., NY	
OWNER: CHARLESTON PLACE, LLC	
DRAWING TITLE:	
BUILDING ELEVATIONS	
PAD B - 2865 VETERANS RD. WEST	
DATE:	12-11-2018
JOB NO.:	18-05
DRAWN BY:	TS
CHECKED BY:	TS
DRAWING NO.:	A-005.00
5 OF 16	

NO.	DATE	DESCRIPTION

CONTRACTOR SHALL NOTIFY ENGINEER/ ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES WITHIN THESE CONTRACT DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.



BUILDING SECTION A-A
 SCALE: 1/4" = 1'-0"



BUILDING SECTION B-B
 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION

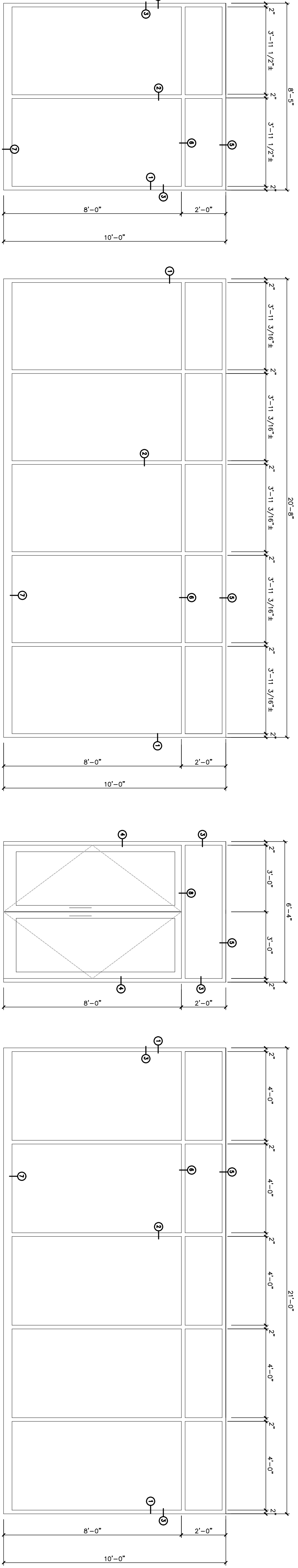
PROJECT:
PROPOSED COMMERCIAL DEVELOPMENT
 2865 VETERANS ROAD WEST, S.I., NY
 OWNER: CHARLESTON PLACE, LLC

DRAWING TITLE:
BUILDING SECTIONS
PAD B - 2865 VETERANS RD. WEST

DATE: 12-11-2018
 JOB NO.: 18-05
 DRAWN BY: [Signature]
 CHECKED BY: TS
 DRAWING NO. A-006.00

CONTRACTOR SHALL VERIFY EXISTING ARCHITECT AT ALL TIMES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.

STOREFRONT TYPES & DETAILS



TYPE S1'
 SCALE: 1/4"=1'-0"

MANUFACTURER: YKK AP
 MODEL: YES 45 XT- DUAL THERMAL BARRIERS
 TYPE: 2"x4 1/2" FLUSH GLAZE THERMALLY BROKEN STOREFRONT
 FRAME: ALUMINIUM
 GLAZING: SOLARBAN 60
 U-VALUE (OVERALL SYSTEM): 0.35 (GLASS 0.29)
 S.H.G.C. (OVERALL SYSTEM): 0.36 (GLASS 0.39)
 V.I.: (OVERALL SYSTEM) 0.63 (GLASS 0.70)
 TESTING STANDARDS: NFRC 100

TYPE S2'
 SCALE: 1/4"=1'-0"

MANUFACTURER: YKK AP
 MODEL: YES 45 XT- DUAL THERMAL BARRIERS
 TYPE: 2"x4 1/2" FLUSH GLAZE THERMALLY BROKEN STOREFRONT
 FRAME: ALUMINIUM
 GLAZING: SOLARBAN 60
 U-VALUE (OVERALL SYSTEM): 0.35 (GLASS 0.29)
 S.H.G.C. (OVERALL SYSTEM): 0.36 (GLASS 0.39)
 V.I.: (OVERALL SYSTEM) 0.63 (GLASS 0.70)
 TESTING STANDARDS: NFRC 100

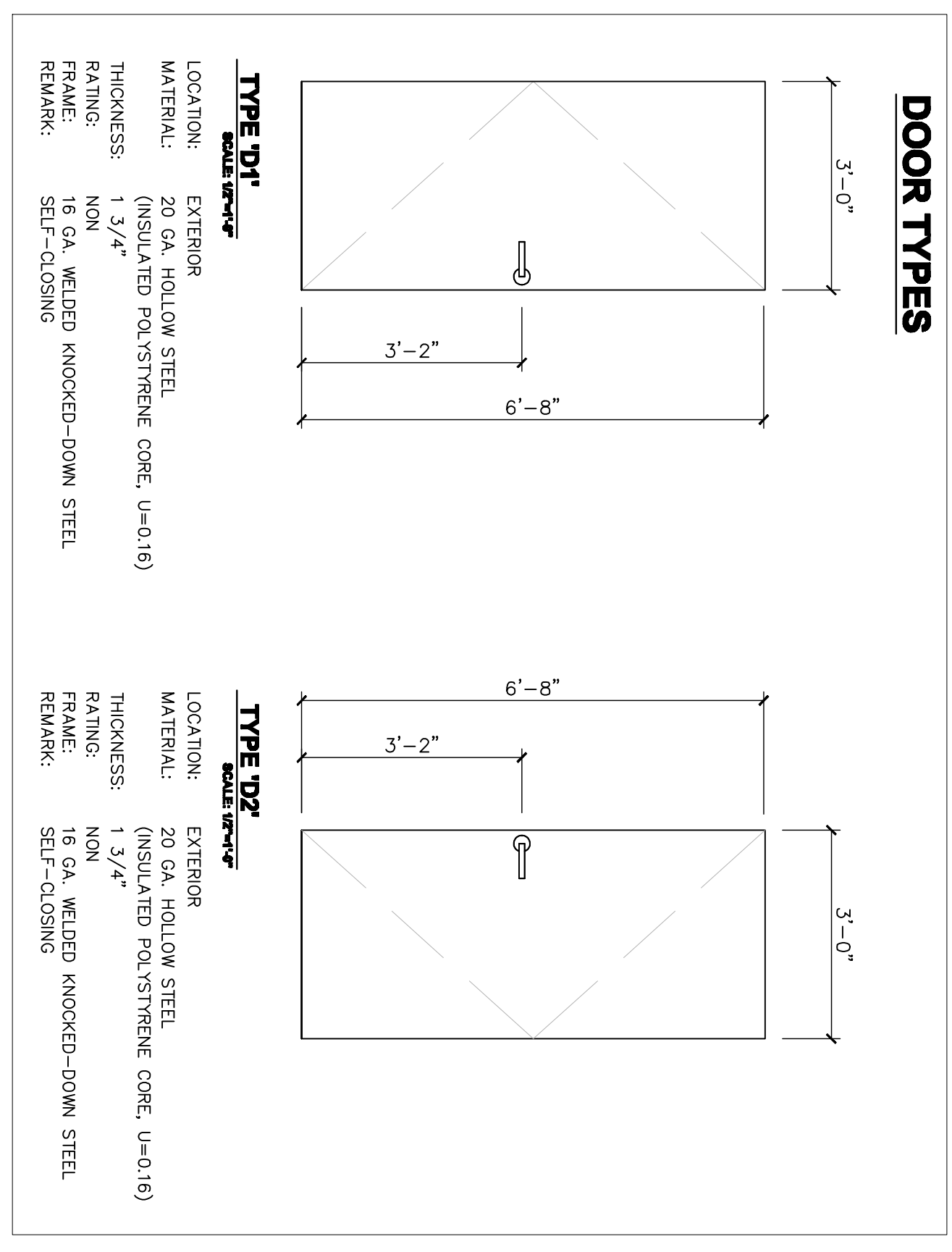
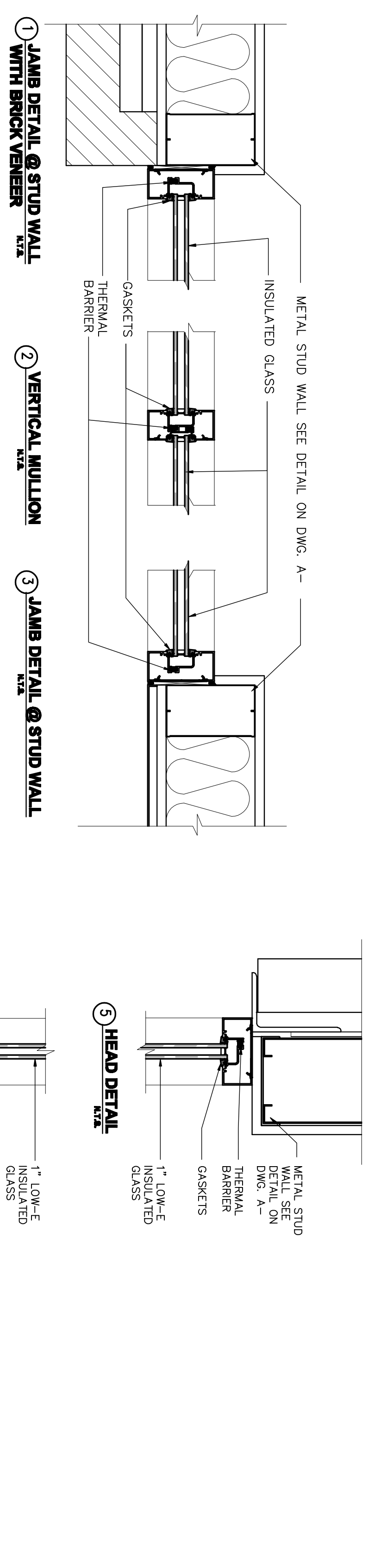
TYPE S3'
 SCALE: 1/4"=1'-0"

MANUFACTURER: REBECO INCORPORATED
 MODEL: MEDIUM STYLE DOORS- SERIES M ENTRANCE DOORS
 TYPE: ALUMINIUM
 FRAME: SOLARBAN 60
 GLAZING: 1" LOW-E INSULATED GLASS
 U-VALUE: 0.29
 S.H.G.C.: 0.39
 V.I.: 0.70
 MANUFACTURER: YKK AP
 MODEL: YES 45 XT- DUAL THERMAL BARRIERS
 TYPE: 2"x4 1/2" FLUSH GLAZE THERMALLY BROKEN STOREFRONT
 FRAME: ALUMINIUM
 GLAZING: SOLARBAN 60
 U-VALUE (OVERALL SYSTEM): 0.35 (GLASS 0.29)
 S.H.G.C. (OVERALL SYSTEM): 0.36 (GLASS 0.39)
 V.I.: (OVERALL SYSTEM) 0.63 (GLASS 0.70)
 TESTING STANDARDS: NFRC 100

TYPE S4'
 SCALE: 1/4"=1'-0"

MANUFACTURER: YKK AP
 MODEL: YES 45 XT- DUAL THERMAL BARRIERS
 TYPE: 2"x4 1/2" FLUSH GLAZE THERMALLY BROKEN STOREFRONT
 FRAME: ALUMINIUM
 GLAZING: SOLARBAN 60
 U-VALUE (OVERALL SYSTEM): 0.35 (GLASS 0.29)
 S.H.G.C. (OVERALL SYSTEM): 0.36 (GLASS 0.39)
 V.I.: (OVERALL SYSTEM) 0.63 (GLASS 0.70)
 TESTING STANDARDS: NFRC 100

ENERGY CODE COMPLIANCE NOTE
 1. ALL MANUFACTURED STOREFRONT DOORS AND WINDOWS ASSEMBLIES MUST MEET REQUIREMENTS FOR AIR LEAKAGE AS PERTAINING TO TABLE C602.5.2 AND TESTED IN ACCORDANCE WITH THE APPLICABLE REFERENCE STANDARD IN TABLE C602.5.2 BY AN ACCREDITED, INDEPENDENT TESTING LABORATORY AND LABELED BY THE MANUFACTURER.



PROJECT:
 PROPOSED COMMERCIAL DEVELOPMENT
 2865 VETERANS ROAD WEST, S.I., NY
 OWNER: CHARLESTON PLACE, LLC

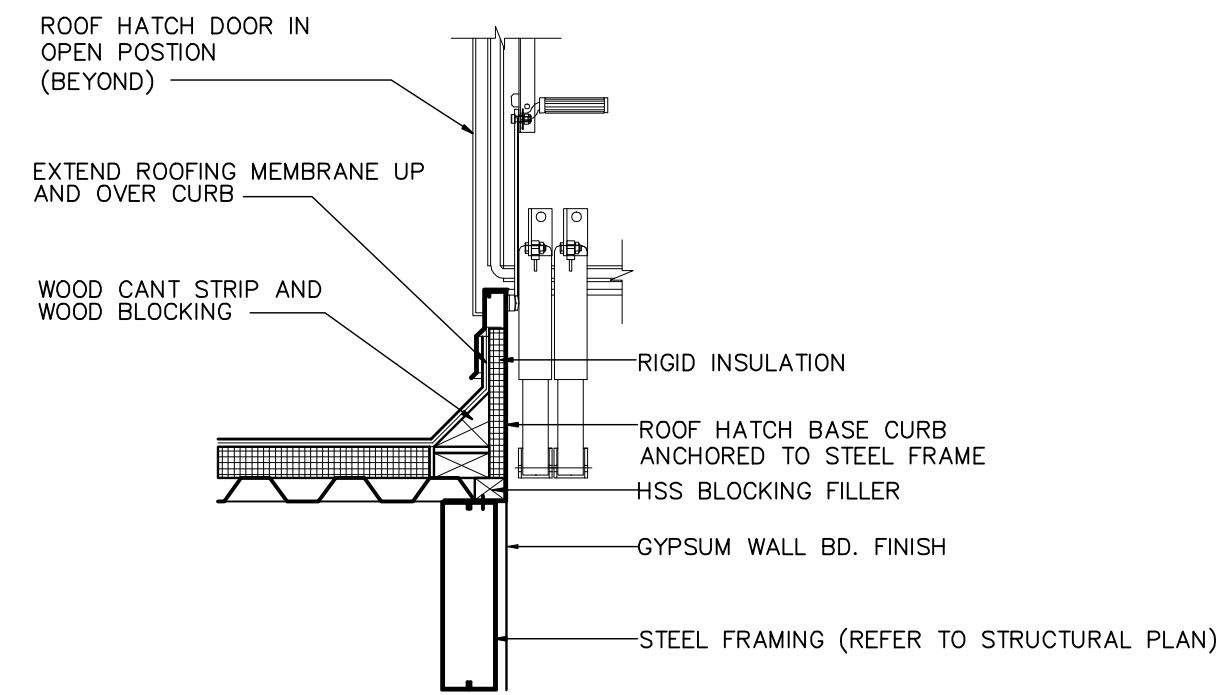
DRAWING TITLE:
 STOREFRONT & DOOR SCHEDULE
 PAD B - 2865 VETERANS RD. WEST

DATE: 12-11-2018
JOB NO.: 19-05
DRAWN BY:
CHECKED BY: TS
DRAWING NO.:
A-008.00

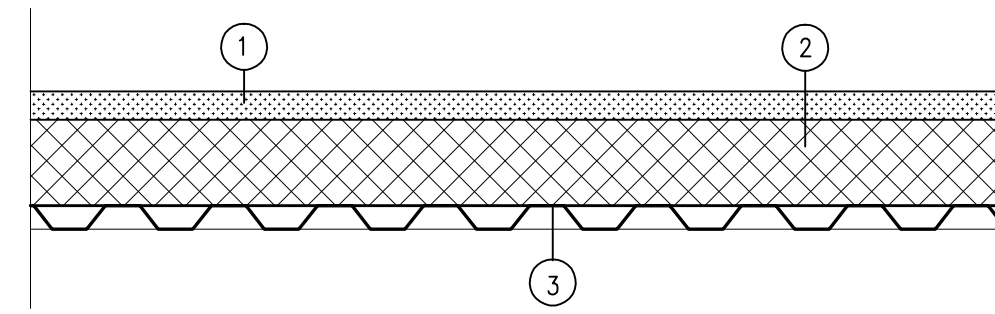
NO.	DATE	DESCRIPTION

CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT AT ONCE OF ANY DISCREPANCIES NOTED IN THESE CONTRACT DOCUMENTS AS THEY RELATE TO ACTUAL FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. VERIFY ALL DIMENSIONS IN FIELD. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. ALL DIMENSIONS ARE FINISH TO FINISH, UNLESS NOTED OTHERWISE.

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NEW YORK AS SIGNED BY MY HAND AND SEAL.

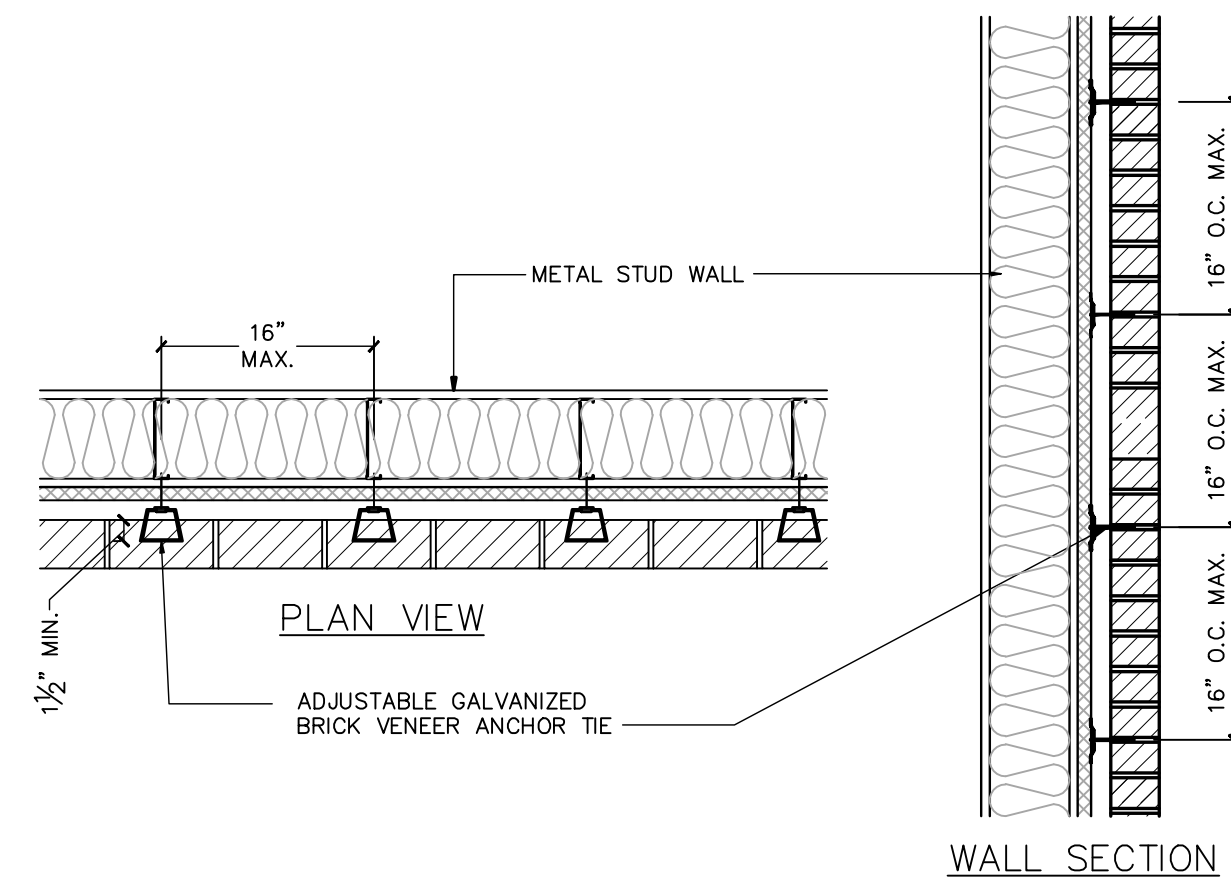


1 ROOF HATCH CURB DETAIL

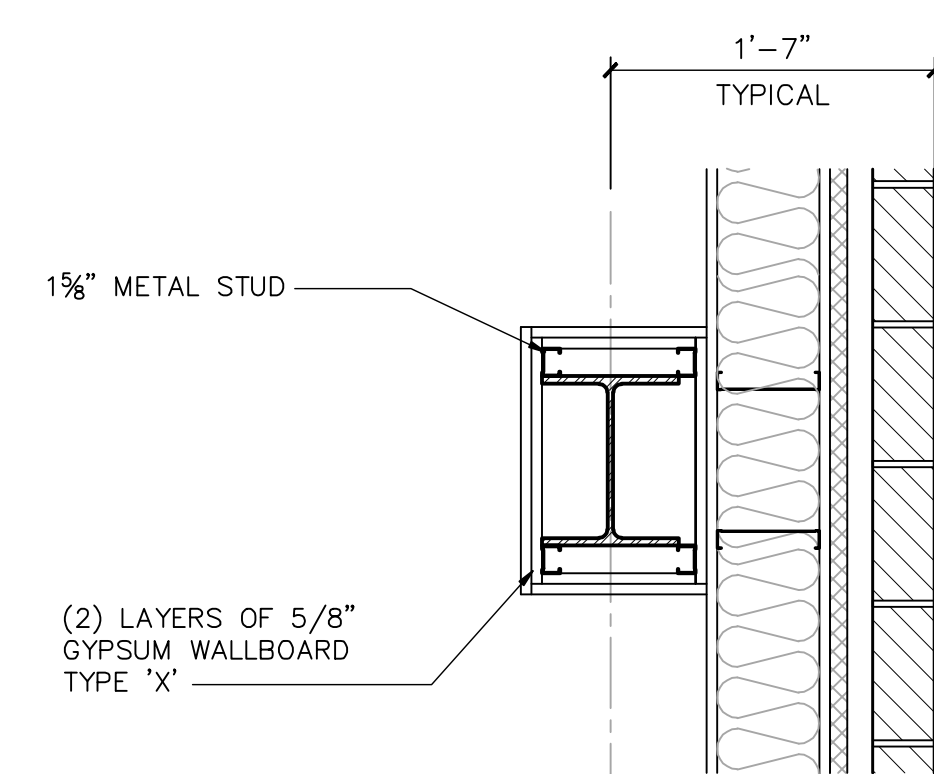


- 1 HEAT WELDED; ROOF MEMBRANE
- 2 RIGID INSULATION OVER VAPOR BARRIER, INSULATION TO BE BUILT-UP (MIN. 6" THICKNESS, R=35) IN AREAS ON ROOF TO PROVIDE ADEQUATE ROOF PITCH TO DRAINS (MIN. 1/4" PER FOOT)
- 3 STEEL DECK SEE STRUCTURAL PLANS FOR DETAIL

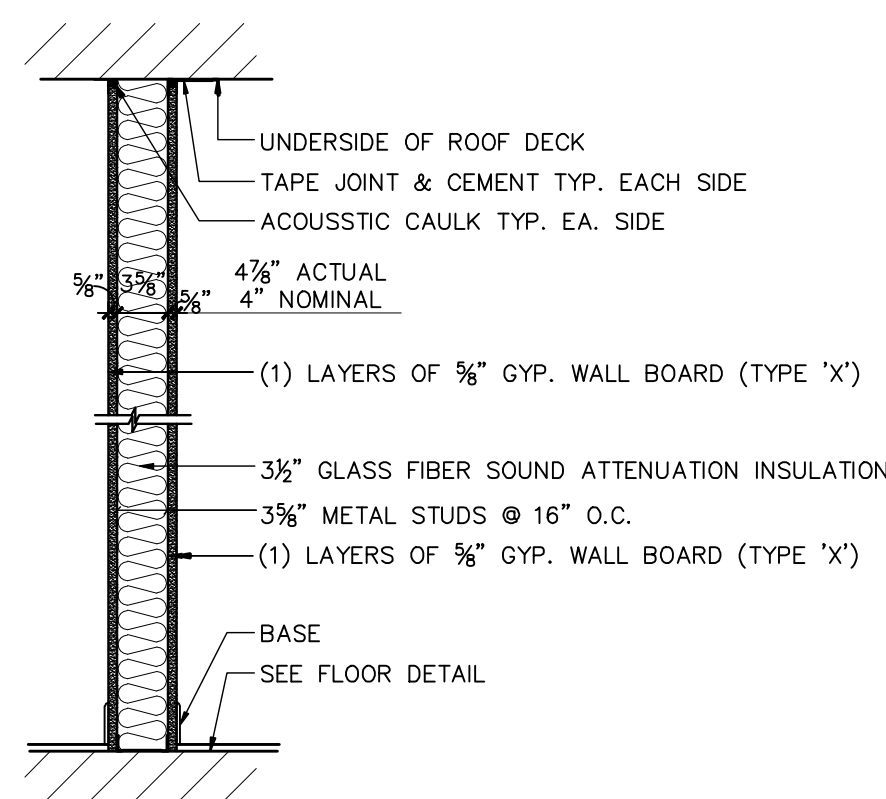
2 DETAIL @ TYP. ROOF



3 BRICK VENEER ANCHOR TIE DETAILS

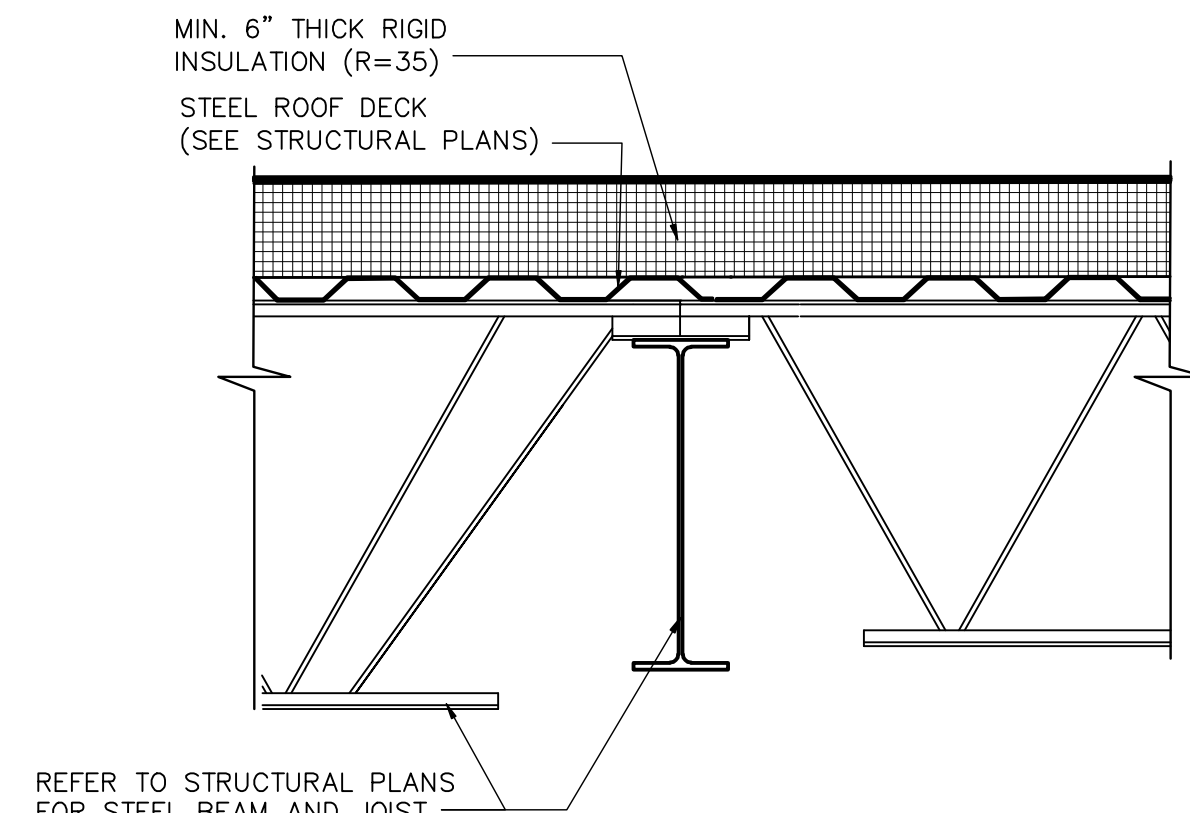


4 (1)HR. RATED COLUMN ENCLOSURE @ EXTERIOR WALL

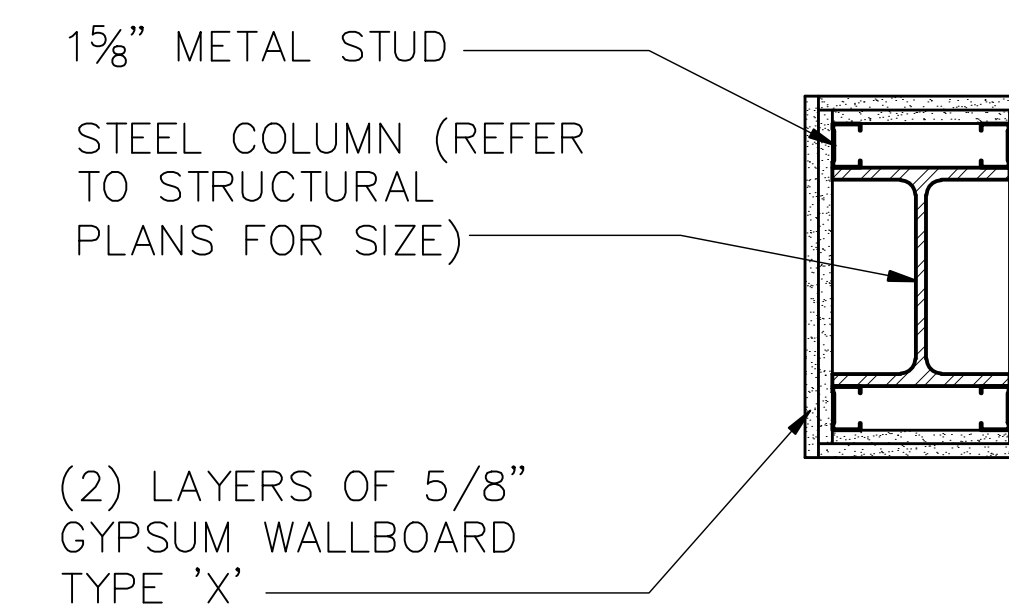


5 (1)HR. RATED INTERIOR PARTITION

STC RATING = 45-49
G.A. FILE NO.: WP 1072

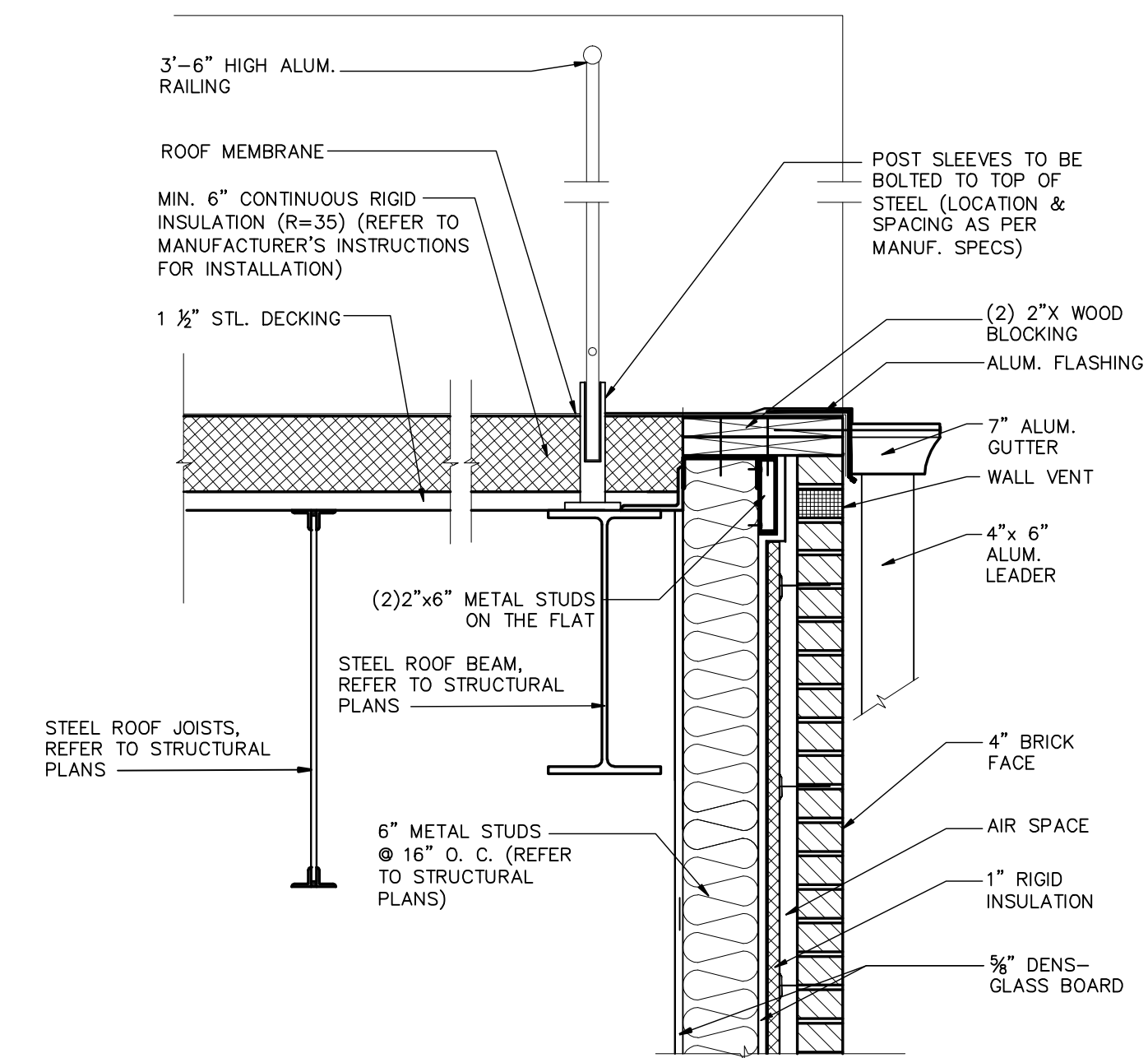


6 ROOF DECK & RIGID INSULATION

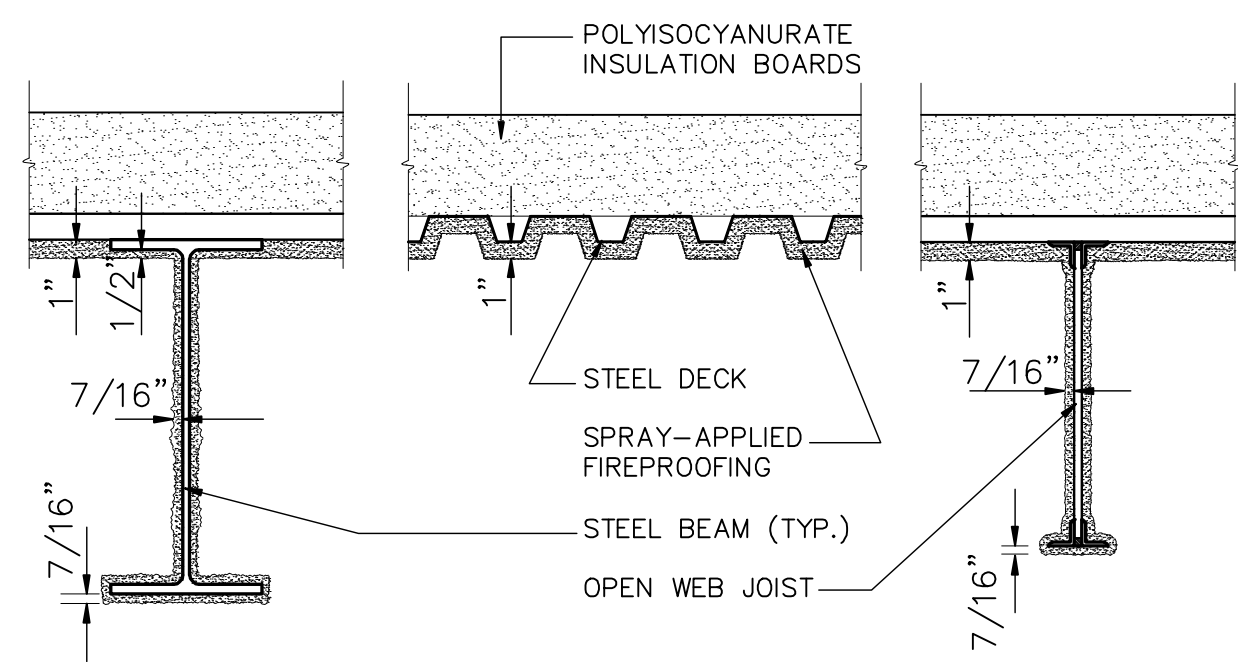


7 1-HR RATED COLUMN ENCLOSURE

GA FILE NO. CM 1602
UL DESIGN NO. X528



8 WALL/ROOF JUNCTION @ REAR



9 SPRAY-APPLIED FIREPROOFING DETAILS

FIRE RESISTANCE RATING 1- HR
UL DESIGN NO. P732 (MEA 57-08-M)
SPRAY-APPLIED FIREPROOFING BY WR GRACE, MONOKOTE MK-6/SK-3 OR APPROVED TYPE EQUAL AS PER UL P732.

NO.	DATE	DESCRIPTION
REVISIONS		

PROJECT:
PROPOSED COMMERCIAL DEVELOPMENT
2865 VETERANS ROAD WEST, S.I., NY
OWNER: CHARLESTON PLACE, LLC

DRAWING TITLE:
CONSTRUCTION DETAILS

DATE:	12-11-2019
JOB NO.:	19-05
DRAWN BY:	
CHECKED BY:	TS
DRAWING NO.:	A-009.00
	9 OF 16