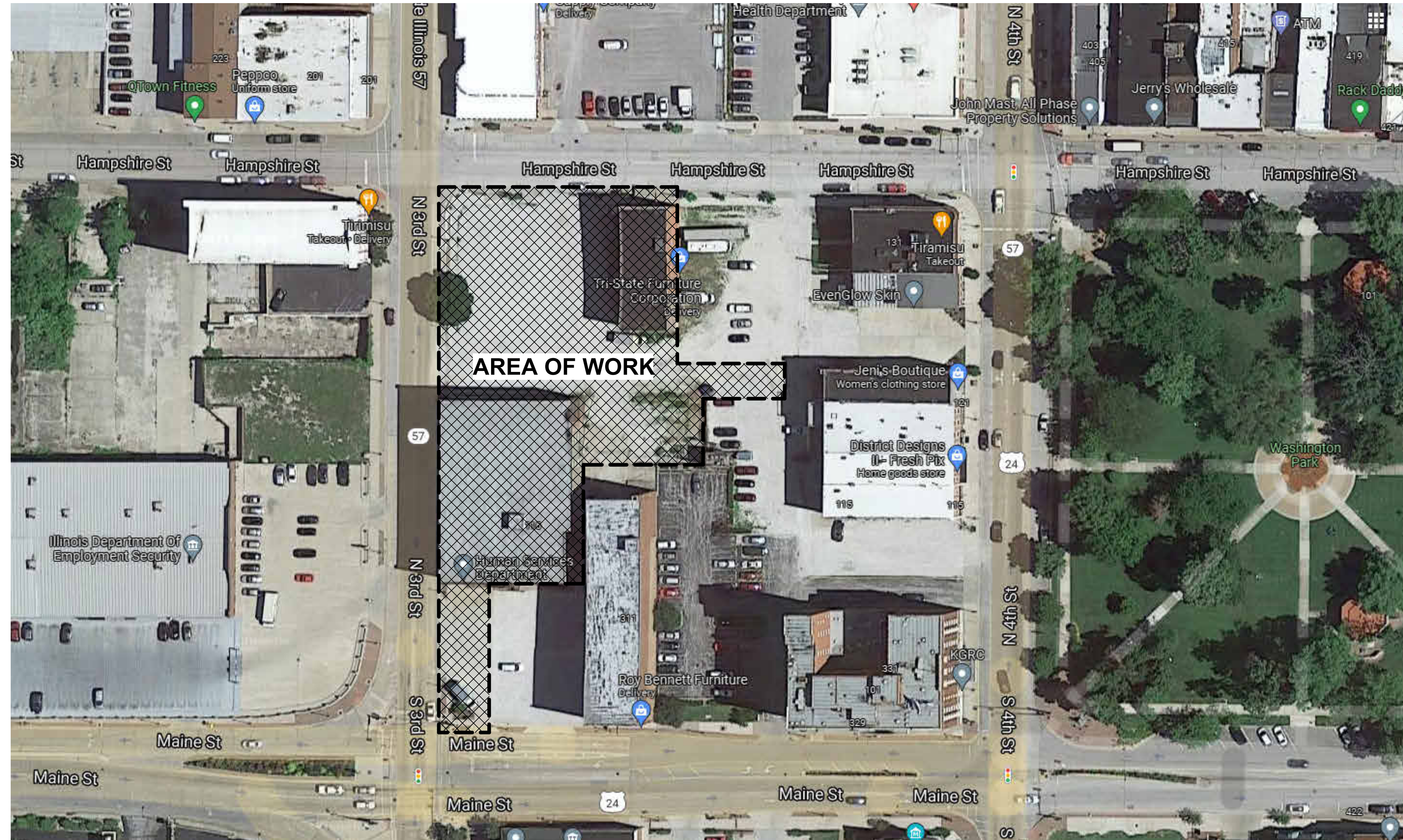


DP CONSTRUCTION VIEW 21 MIXED USE DEVELOPMENT

116 NORTH 3RD STREET
QUINCY, ILLINOIS 62301



INDEX OF DRAWINGS

- G000 COVER SHEET
- C101 OVERALL SITE PLAN
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- S401 WOOD FRAMING DETAILS
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- A101 LOWER FLOOR PLAN
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- A107 ROOF PLAN
- A201 BUILDING ELEVATIONS
- A301 WINDOW / DOOR / PARTITION SCHEDULE

BUILDING CODE REVIEW INFORMATION

AUTHORITY HAVING JURISDICTION (AHJ): CITY OF QUINCY, ILLINOIS
APPLICABLE CODES:
 2006 INTERNATIONAL BUILDING CODE
 2005 NATIONAL ELECTRICAL CODE
 IDPH MINIMUM CODE OF PLUMBING STANDARDS

TABLE 3410.7 - EXISTING STRUCTURES

SUMMARY SHEET - BUILDING CODE

EXISTING OCCUPANCY:	M / S-2	PROPOSED OCCUPANCY:	R-2 / B / M
YEAR BUILDING WAS CONSTRUCTED:	UNKNOWN	NUMBER OF STORIES:	4 (R-2 ALLOWABLE)
TYPE OF CONSTRUCTION:	IV	HEIGHT IN FEET:	65 (R-2 ALLOWABLE)
PERCENTAGE OF OPEN PERIMETER:	65%	AREA PER FLOOR:	20,500 (R-2 ALLOWABLE)
COMPLETELY SUPPRESSED:	YES	CORRIDOR WALL RATING:	2 HR (REQUIRED)
COMPARTMENTATION:	NO	REQUIRED DOOR CLOSERS:	YES
FIRE-RESISTANCE RATING OF VERTICAL OPENING ENCLOSURES:			
TYPE OF HVAC SYSTEM:		SERVING NO. OF FLOORS:	4
AUTOMATIC FIRE DETECTION:	YES	TYPE AND LOCATION:	EXISTING
FIRE ALARM SYSTEM:	YES	TYPE:	
SMOKE CONTROL:	YES	TYPE:	
ADEQUATE EXIT ROUTE:	YES	DEAD ENDS:	< 50' YES
MAXIMUM EXIT ACCESS TRAVEL DISTANCE:		ELEVATOR CONTROLS:	YES
MEANS OF EGRESS EMERGENCY LIGHTING:	YES	MIXED OCCUPANCIES:	YES

SAFETY PARAMETERS FIRE SAFETY(FS) MEANS OF EGRESS(ME) GENERAL SAFETY(GS)

3410.6.1 BUILDING HEIGHT	.8	.8	.8
3410.6.2 BUILDING AREA	5.79	5.79	5.79
3410.6.3 COMPARTMENTATION	15	15	15
3410.6.4 TENANT/DWELLING SEPARATION	-2	-2	-2
3410.6.5 CORRIDOR WALLS	-3	-3	-3
3410.6.6 VERTICAL OPENINGS	2.3	2.3	2.3
3410.6.7 HVAC SYSTEMS	0	0	0
3410.6.8 AUTOMATIC FIRE DETECTION	6	6	6
3410.6.9 FIRE ALARM SYSTEM	0	0	0
3410.6.10 SMOKE CONTROL	-	3	3
3410.6.11 MEANS OF EGRESS	-	0	0
3410.6.12 DEAD ENDS	-	0	0
3410.6.13 MAX EXIT ACCESS TRAVEL DIST	-	20	20
3410.6.14 ELEVATOR CONTROL	0	0	0
3410.6.15 MEANS OF EGRESS LIGHTING	-	0	0
3410.6.16 MIXED OCCUPANCIES	0	-	0
3410.6.17 AUTOMATIC SPRINKLERS	4	4/2+2	4
3410.6.18 INCIDENTAL USE	0	0	0
BUILDING SCORE - TOTAL VALUE	28.89	49.89	51.89

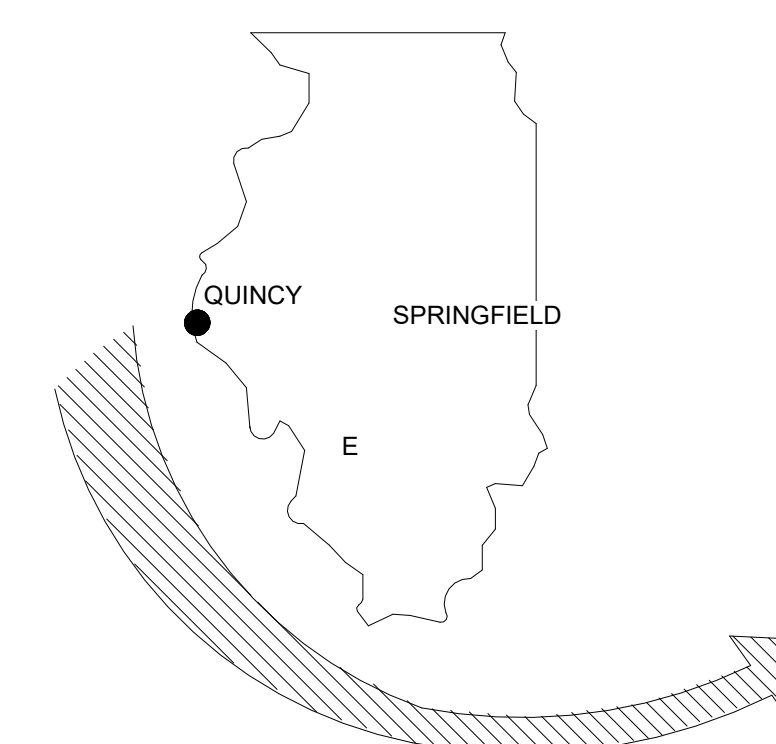
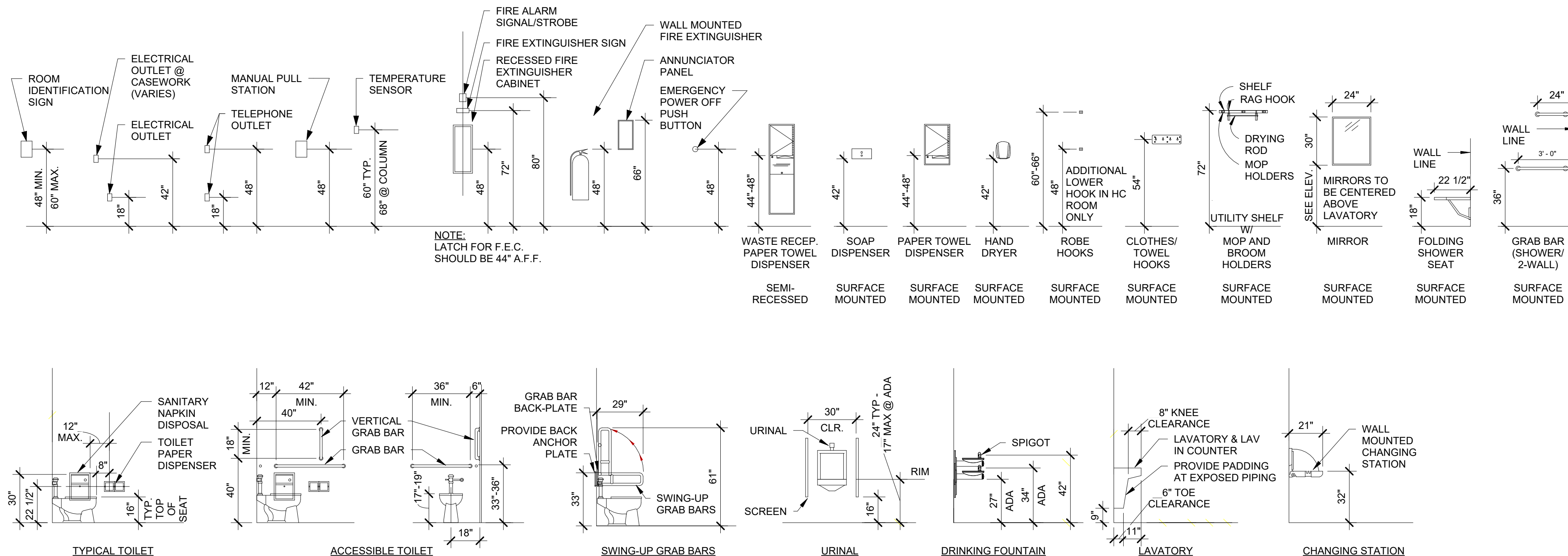
TABLE 3410.9 EVALUATION FORMULAS

FORMULA	T.3410.7	T.3410.8	SCORE	PASS	FAIL
FS - MFS ≥ 0	28.89 (FS)	- 17 (MFS)	= 11.89	X	
ME - MME ≥ 0	49.89 (ME)	- 34 (MME)	= 15.89	X	
GS - MGS ≥ 0	51.89 (GS)	- 34 (MGS)	= 17.89	X	

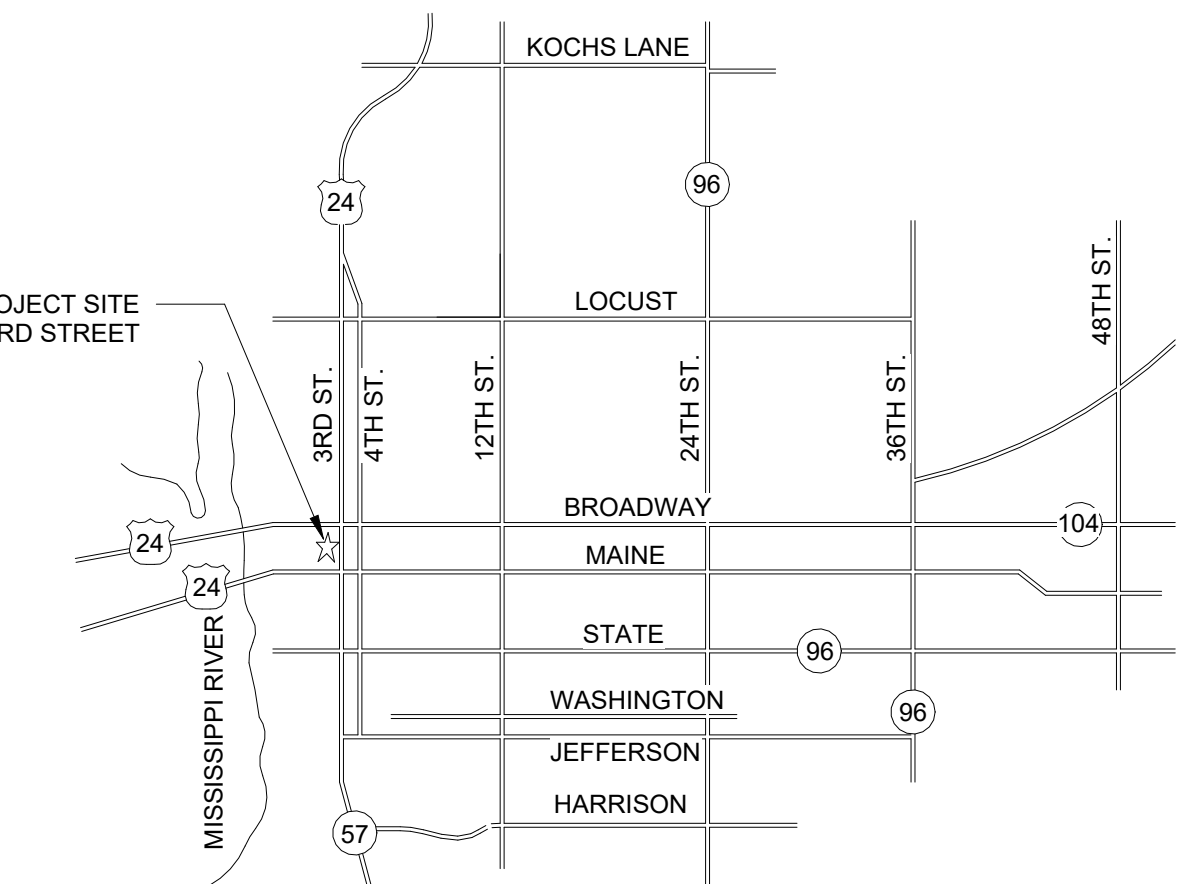
ADA COMPLIANCE
 THIS PROJECT SHALL BE IN COMPLIANCE WITH GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) ARCHITECTS, INC. TO THE BEST OF ITS ABILITY, HAS EXERCISED PROFESSIONAL EFFORTS TO INTERPRET THE INTENT OF THE "AMERICANS WITH DISABILITIES ACT", AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ARCHITECTS, INC. CANNOT GUARANTEE TOTAL COMPLIANCE WITH ANY WORK DIRECTLY RELATED TO THE A.D.A., WHEN THE OWNER PERFORMS AND/OR AUTHORIZES WORK USING THESE DOCUMENTS AND/OR DRAWINGS.

MISCELLANEOUS WALL MOUNTINGS

- NOTES:**
 - MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE IN RATED WALLS.
 - INSTALL ACCESSORIES WITH MANUFACTURER'S RECOMMENDED HARDWARE FOR APPLICABLE SUBSTRATE, TYPICAL.



STATE OF ILLINOIS



CITY OF QUINCY

OWNER:
 DP CONSTRUCTION
 116 NORTH 3RD STREET
 QUINCY, IL 62301

CURRENT DATE:



LICENSE EXPIRES: 11/30/22

CONSTRUCTION DOCUMENT PHASE

FOR CONSTRUCTION

ISSUE DATE: 6/22/22

REVISIONS

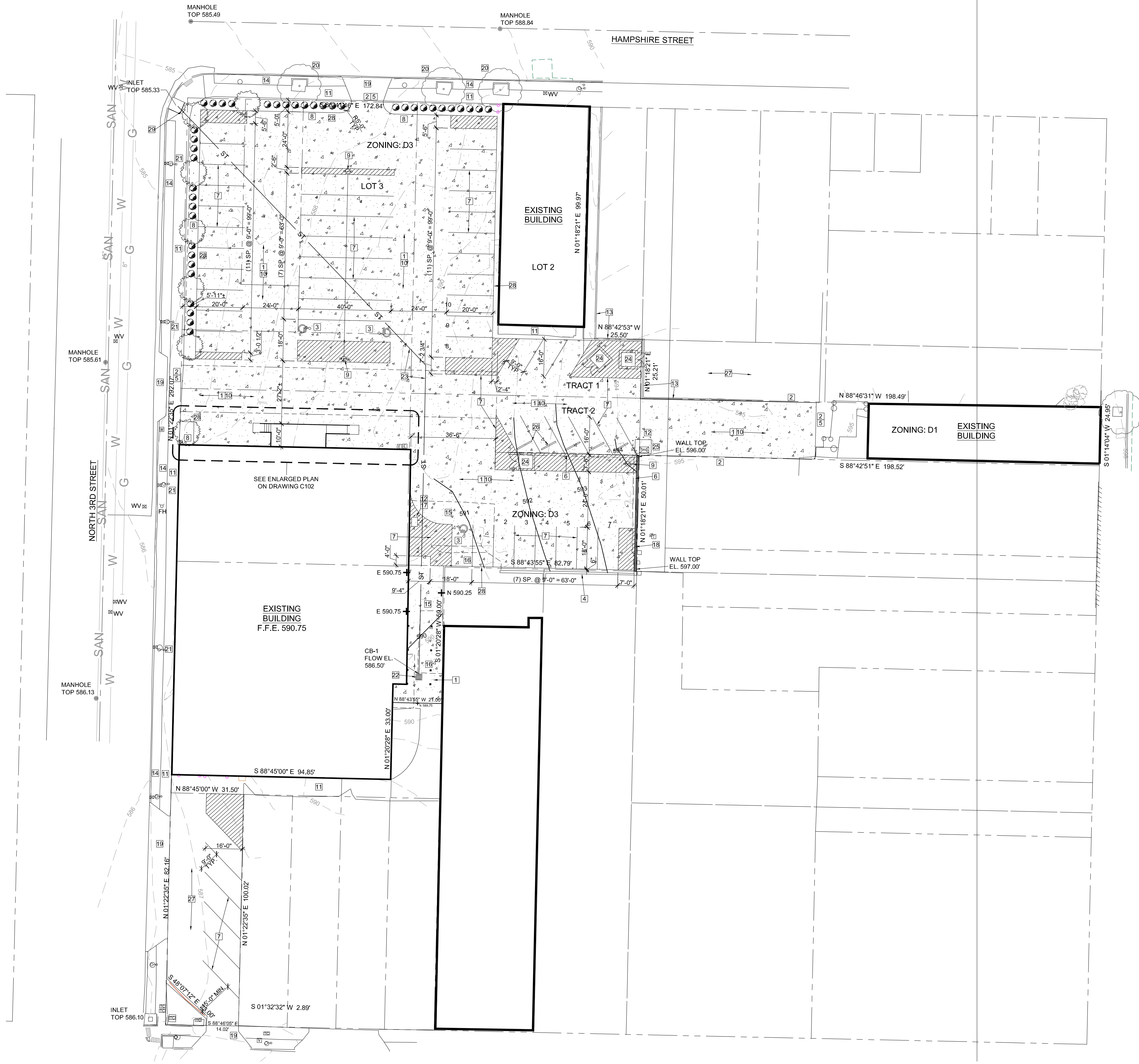
NO.	Date	Description

PROJECT NUMBER: 6097

COVER SHEET

DWG. NO.

G000



SITE PLAN NOTES: □

1. NEW CONCRETE PAVING, SEE DETAIL 1/C501
2. ALIGN NEW PAVEMENT WITH EXISTING CONCRETE PAVING (TYP.)
3. NEW ACCESSIBLE PARKING STALL AND SIGNAGE, SEE DETAIL 2/C501
4. EXISTING CONCRETE WALL TO REMAIN
5. DOWEL NEW CONCRETE PAVING TO EXISTING, SEE DETAIL 9/C501
6. EXISTING CONCRETE WALL AND FOOTING TO BE REMOVED
7. NEW PARKING LOT STRIPING, SEE DETAILS ON SHEET C501
8. SEE DRAWING C103 FOR LANDSCAPE PLAN
9. NEW LIGHT FIXTURE ATOP 20' POLE, EQUAL TO: LITHONIA "RSX1 LED P4 40K R5 MVOLT SPA PE DDBXD", SEE DETAIL 12/C501 - VERIFY POLE SHAPE, COLOR, CONTROL OPTIONS, ETC. WITH OWNER
10. EXISTING GRAVEL LOT TO BE REMOVED
11. EXISTING CONCRETE SIDEWALK TO REMAIN
12. NEW BOLLARDS, SEE DETAIL 10/C501
13. EXISTING CONCRETE CURB TO REMAIN
14. EXISTING BRICK WALKWAY TO REMAIN
15. EXISTING CONCRETE PAVING IN THIS AREA TO BE REMOVED
16. EXISTING ASPHALT PAVING IN THIS AREA TO BE REMOVED
17. NEW ELECTRICAL TRANSFORMER, COORDINATE SERVICE AND LOCATION WITH UTILITY COMPANY - SEE DETAIL 8/C501 FOR CONCRETE PAD
18. NEW CONCRETE RETAINING WALL, SEE DETAIL 14/C501
19. EXISTING CONCRETE ENTRY DRIVE TO REMAIN
20. EXISTING TREE TO REMAIN
21. EXISTING LIGHT POLE TO REMAIN
22. NEW STORM SEWER CATCH BASIN, SEE DETAIL 13/C501
23. NEW 12" SDR-35 STORM DRAIN PIPE, SEE PLAN FOR FLOW ELEVATIONS
24. NEW 6'-0" HIGH PLASTIC FENCING FOR DUMPSTER ENCLOSURE WITH (2) 3'-0" WIDE ACCESS GATES
25. NEW TRANSFORMER AND CONCRETE BASE TO REMAIN
26. NEW CONCRETE WHEEL STOPS, (5) TOTAL, SEE DETAIL 9/C501
27. EXISTING CONCRETE PAVING TO REMAIN
28. TURN DOWN NEW STORM PIPE AT EDGE, SEE DETAIL 6/C501
29. CONNECT NEW STORM PIPE INTO EXISTING INLET, FIELD VERIFY EXISTING FLOW ELEVATIONS

SITE PLAN GENERAL NOTES:

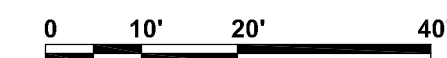
1. SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, AND THE PROJECT SITE SHALL BE KEPT CLEAN AT ALL TIMES.
2. CONTROL DUST IN AND AROUND ALL WORK AND STAGING AREAS. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
3. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER'S CONSTRUCTION MANAGER TO OBTAIN ALL REQUIRED I.D.O.T. PERMITS
5. OWNER SHALL PAY FOR CITY OF QUINCY SEWER FEE
6. INSTALL "KNOX BOX", COMPLY WITH CITY OF QUINCY FIRE DEPARTMENT REQUIREMENTS, VERIFY LOCATION WITH OWNER AND FIRE DEPARTMENT BEFORE CONSTRUCTION
7. INSTALL CONSTRUCTION FENCE AROUND PERIMETER OF CONSTRUCTION SITE AS PER CITY OF QUINCY REQUIREMENTS
8. ALL EXTERIOR LIGHT FIXTURES SHALL BE INDIRECT, DIFFUSED OR SHIELDED, AND SHALL BE INSTALLED TO REDUCE GLARE AND INTERFERENCE WITH BOUNDARY STREETS AND ADJACENT PROPERTIES, AS PER THE CITY OF QUINCY REQUIREMENTS

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. COORDINATE ALL WORK WITH ALL TRADES, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL.
3. ALL DEMOLITION SALVAGE SHALL BE THE PROPERTY OF THE OWNER. OWNER'S REPRESENTATIVE SHALL DECIDE WHETHER TO RETAIN OR HAVE THE DEMOLITION CONTRACTOR HAUL AWAY.
4. AFTER DEMOLITION, THE CONTRACTOR SHALL CLEAN AREA FOR INSTALLATION OF NEW MATERIAL.
5. ARCHITECTONICS SHALL NOT BE RESPONSIBLE FOR NOR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT, AND SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO CARRY OUT HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. ARCHITECTONICS SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OVER, THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, ANY OF THEIR AGENTS, OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. ALL SHORING AND BRACING MEMBERS AND CONNECTIONS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE IMPOSED LOADS. TEMPORARY MEMBERS AND CONNECTIONS SHALL NOT BE REMOVED UNTIL PERMANENT MEMBERS ARE IN PLACE AND FINAL CONNECTIONS ARE MADE.
8. CONTRACTOR SHALL VERIFY IN FIELD ALL DIMENSIONS, ELEVATIONS, AND MEMBER SIZES AS SHOWN ON THE CONTRACT DRAWINGS FOR THE EXISTING CONSTRUCTION. PRIOR TO THE DETAILING OR FABRICATION OF ANY NEW STRUCTURAL ELEMENT, CONTRACTOR SHALL DOCUMENT ANY CONSTRUCTION-RELATED DISCREPANCIES. CONTRACTOR SHALL FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE ARCHITECT/STRUCTURAL ENGINEER FOR REVIEW.
9. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE NOTED.
10. PROTECT EXISTING CONSTRUCTION FROM DAMAGE AS REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.

1 OVERALL SITE PLAN

SCALE: 1" = 20'-0"



LEGEND

- — — — — PROPERTY LINE
- + E 100.0 EXISTING SPOT ELEVATION
- + N 100.0 NEW SPOT ELEVATION
- DS DOWNSPOUT
- PP POWER POLE
- 590 --- EXISTING CONTOUR LINE
- 590 NEW CONTOUR LINE
- ST STORM SEWER LINE
- E ELECTRICAL LINE
- G GAS LINE
- W WATER LINE
- SAN SANITARY SEWER LINE

DP CONSTRUCTION
VIEW 21 MIXED USE DEVELOPMENT
 116 NORTH 3RD STREET
 QUINCY, IL 62301

CONSTRUCTION DOCUMENT PHASE

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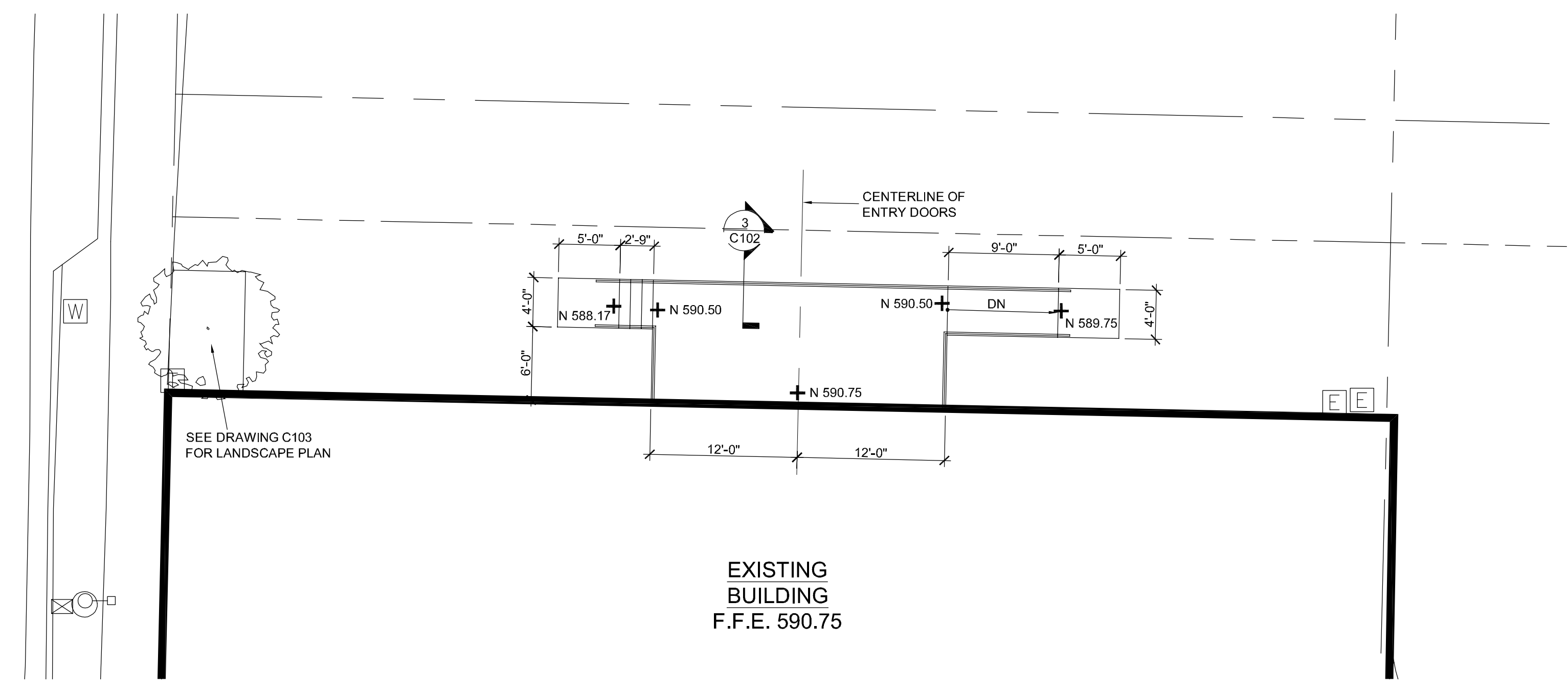
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NO.	Date Description

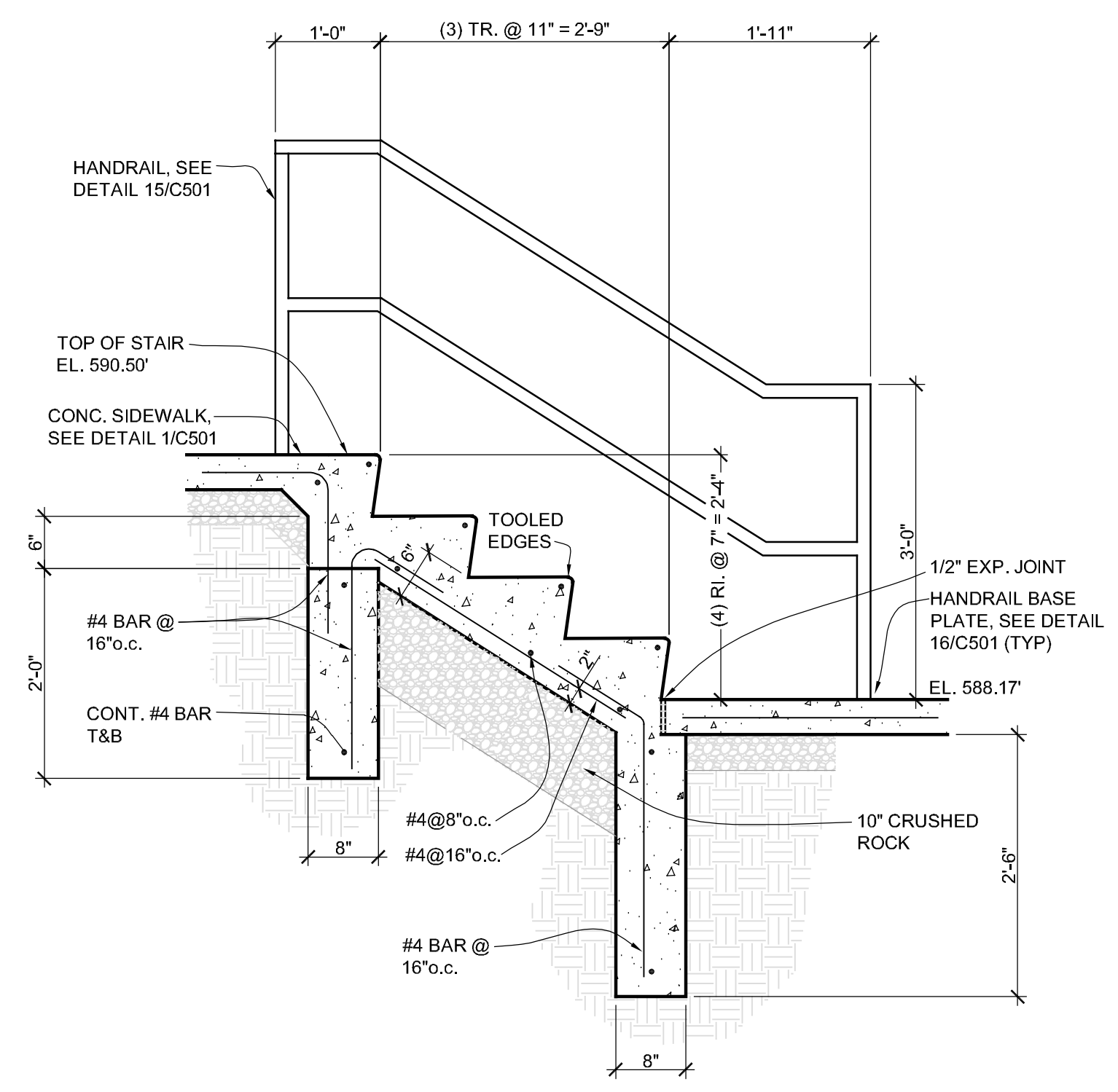
PROJECT NUMBER: 6097

OVERALL SITE PLAN

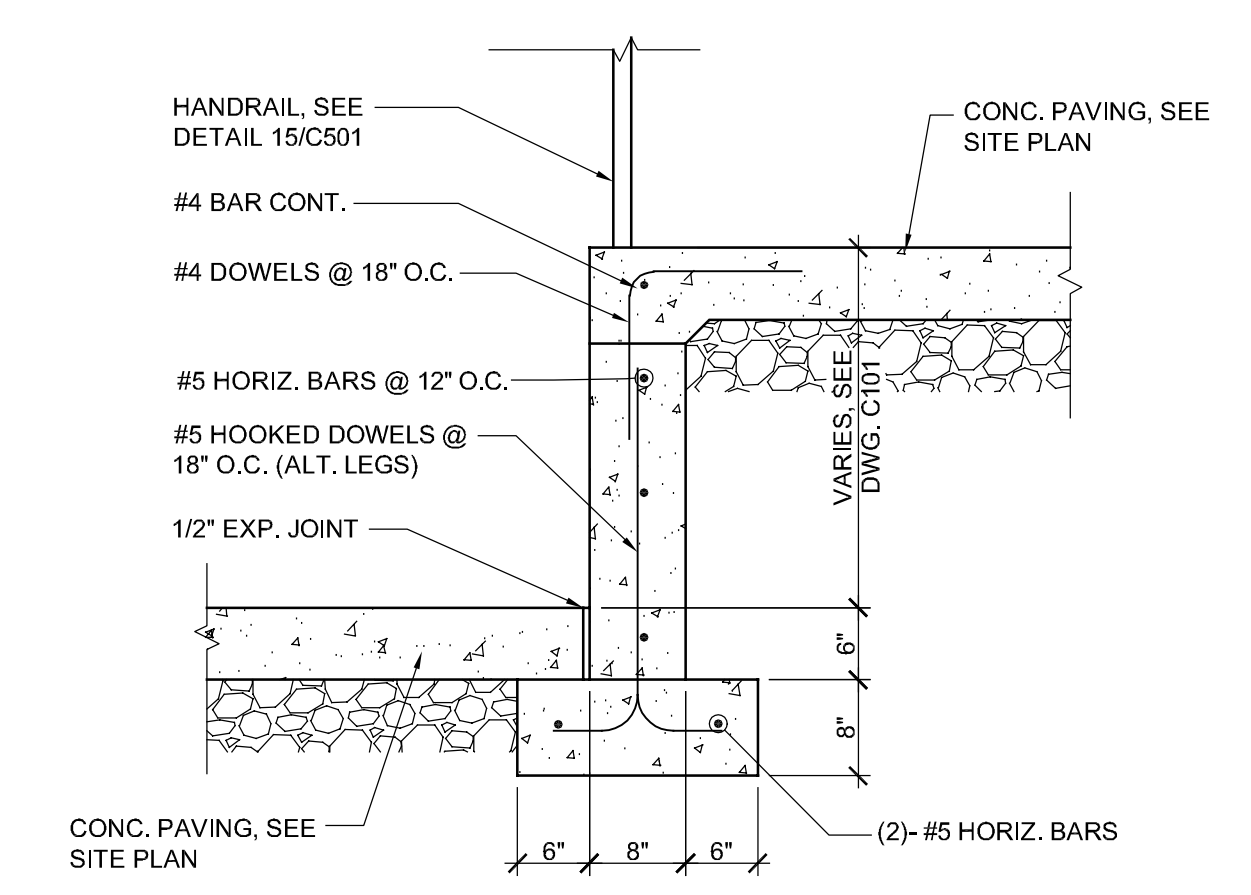
DWG. NO.
C101



1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



2 STAIR DETAILS
 SCALE: 3/4" = 1'-0"



3 WALL DETAIL
 SCALE: 3/4" = 1'-0"

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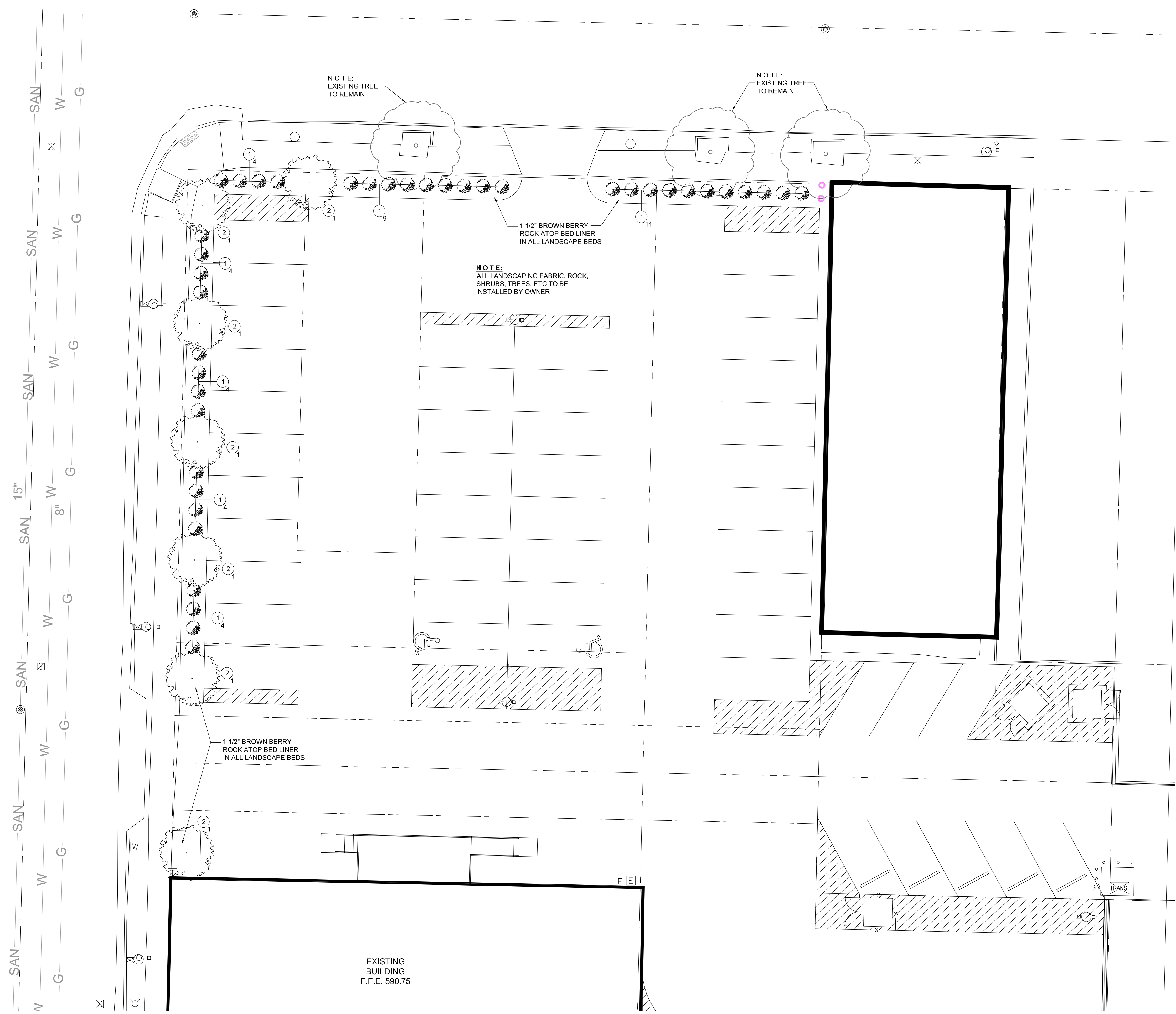
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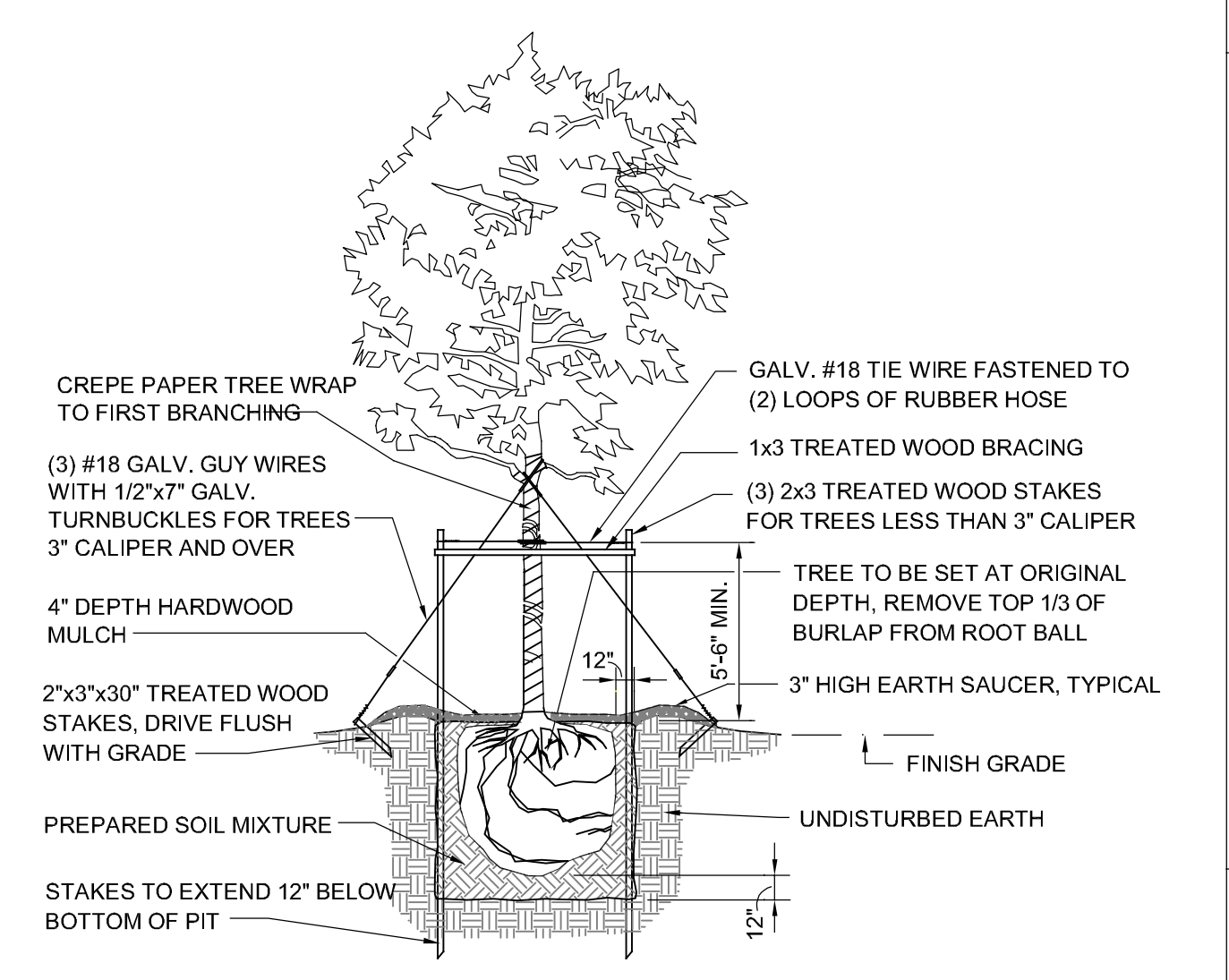
ENLARGED SITE PLAN

DWG. NO.
C102

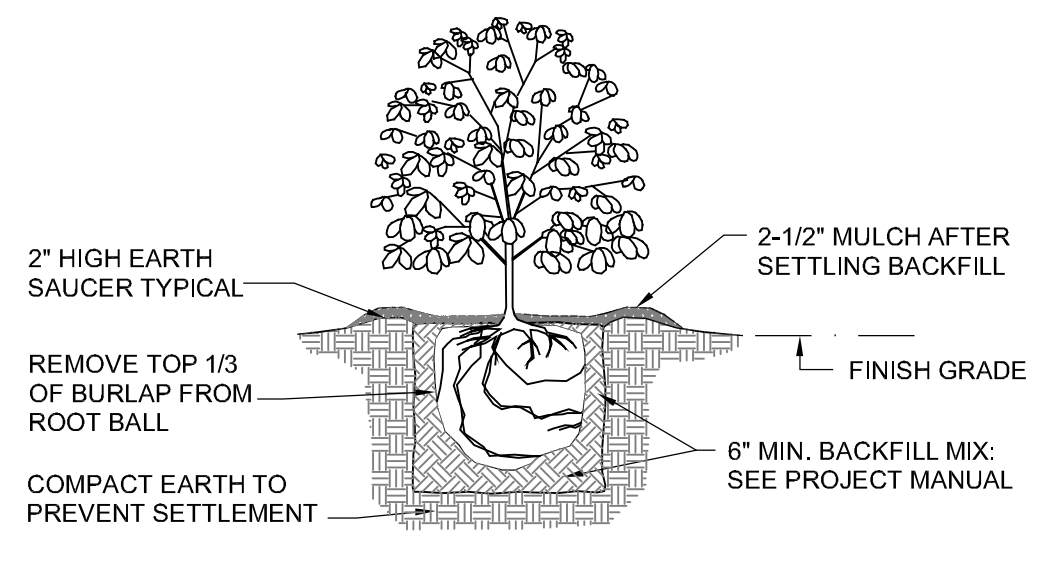


1 LANDSCAPE PLAN
 SCALE: 3/32" = 1'-0"
 0 4' 8' 16'

PLANT SCHEDULE							
NO.	QUANTITY	COMMON	BOTANICAL	PLANTING SIZE	MATURE HEIGHT	MATURE SPREAD	REMARKS
1	40	BROWN YEW	TAXIS MEDIA 'BROWN'	18" - 24"	MAINTAIN 3'-5'	MAINTAIN 3'-5'	COMPACT EVERGREEN
2	7	CRIMSON POINTE PLUM	PRUNUS CERASIFERA 'CRIPZOZAM	3" CALIPER	20' - 25'	5' - 6'	



2 TYPICAL TREE PLANTING DETAIL
 SCALE: N.T.S.



3 TYPICAL SHRUB PLANTING DETAIL
 SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

- ALL DISTURBED AREAS ON THE SITE, OTHER LANDSCAPING AND UNLESS OTHERWISE NOTED SHALL BE SEEDED.
- TREES AND SHRUBS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED UNLESS OTHERWISE APPROVED.
- THE TOPSOIL PROVIDED SHALL BE FREE FROM HARD CLODS, STIFF CLAY, SOD, STONES, ROOTS, STICKS AND OTHER DEBRIS OVER 2" IN SIZE. TOPSOIL SHALL BE FREE OF TOXIC MATERIALS AND SHALL HAVE A PH RANGE BETWEEN 6.5 AND 7.0.
- THE BACKFILL MIXTURE SHALL CONTAIN 1/3 PEAT MOSS AND 2/3 TOPSOIL. TOPSOIL COLLECTED FROM THE SITE MEETING THE REQUIREMENTS ABOVE MAY BE UTILIZED.
- SHREDDED CYPRESS MULCH SHALL BE INSTALLED TO A SETTLED DEPTH OF 4" AROUND TREES. TREES SHALL BE MULCHED A MINIMUM OF 10'-0" DIAMETER AROUND TREES PLANTED WITHIN GRASSSED AREAS.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. PLANTS SHALL HAVE A NORMAL, WELL DEVELOPED BRANCH SYSTEM AND VIGOROUS ROOT SYSTEMS.
- POLYPROPYLENE WEED BARRIER SHALL BE INSTALLED IN LANDSCAPED BEDS DEFINED BY PLASTIC EDGING OR SIDEWALKS. THE LANDSCAPE FABRIC SHALL BE A POLYPROPYLENE FABRIC HAVING A MINIMUM WEIGHT OF 4 OUNCES PER SQUARE YARD. ALL LANDSCAPING SHALL BE GUARANTEED BY THE CONTRACTOR FOR MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE GROWING SEASON.
- AT THE END OF ONE GROWING SEASON, ANY DEAD OR UNACCEPTABLE MATERIAL SHALL BE REMOVED FROM SITE AND REPLACED.
- TOPSOIL SHALL BE INSTALLED TO A DEPTH OF 6" IN PLANTING AREAS.
- ALL DISTURBED AREAS NOT WITHIN PAVEMENT OR LANDSCAPED AREAS SHALL BE SEEDED.

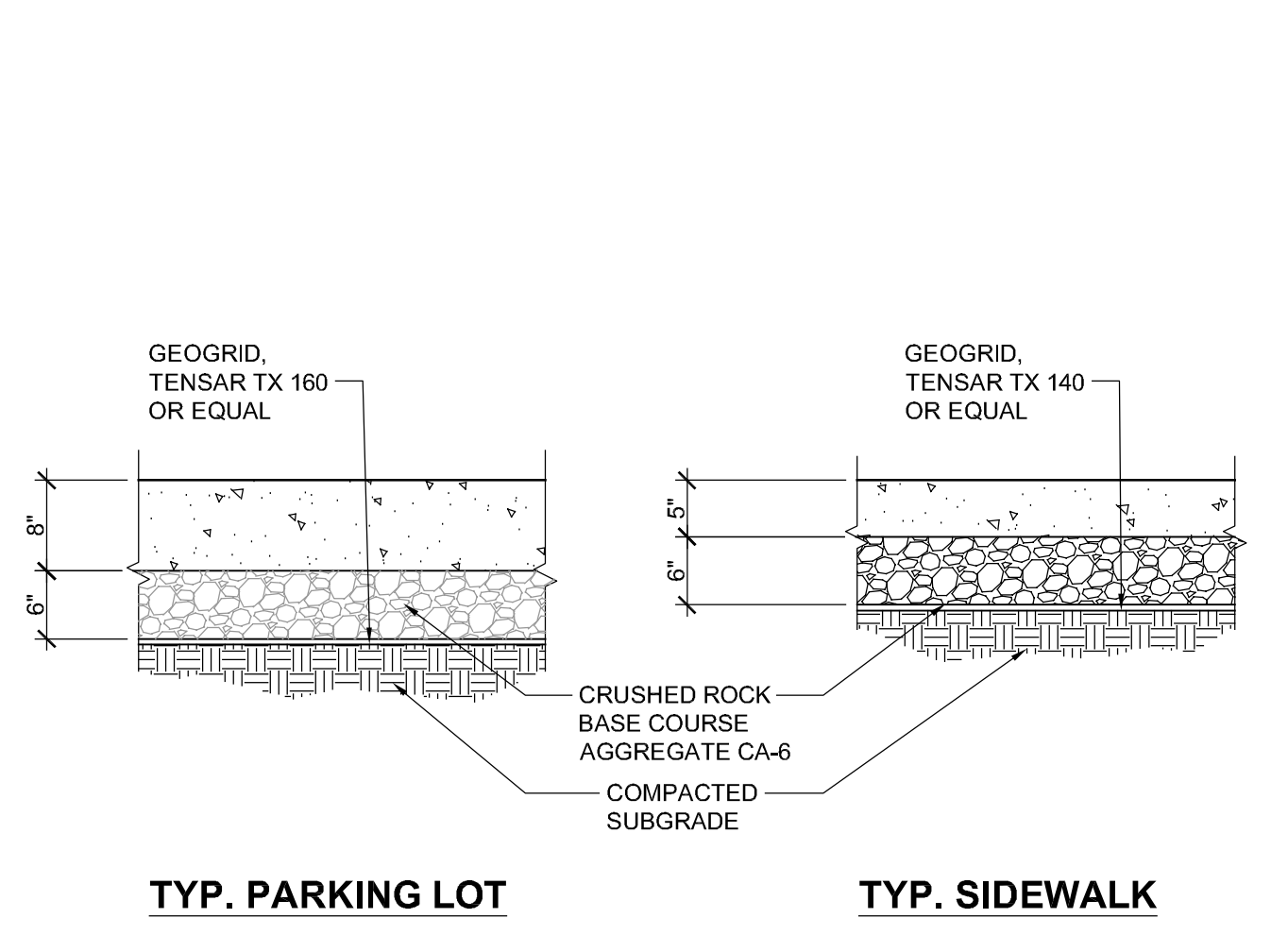
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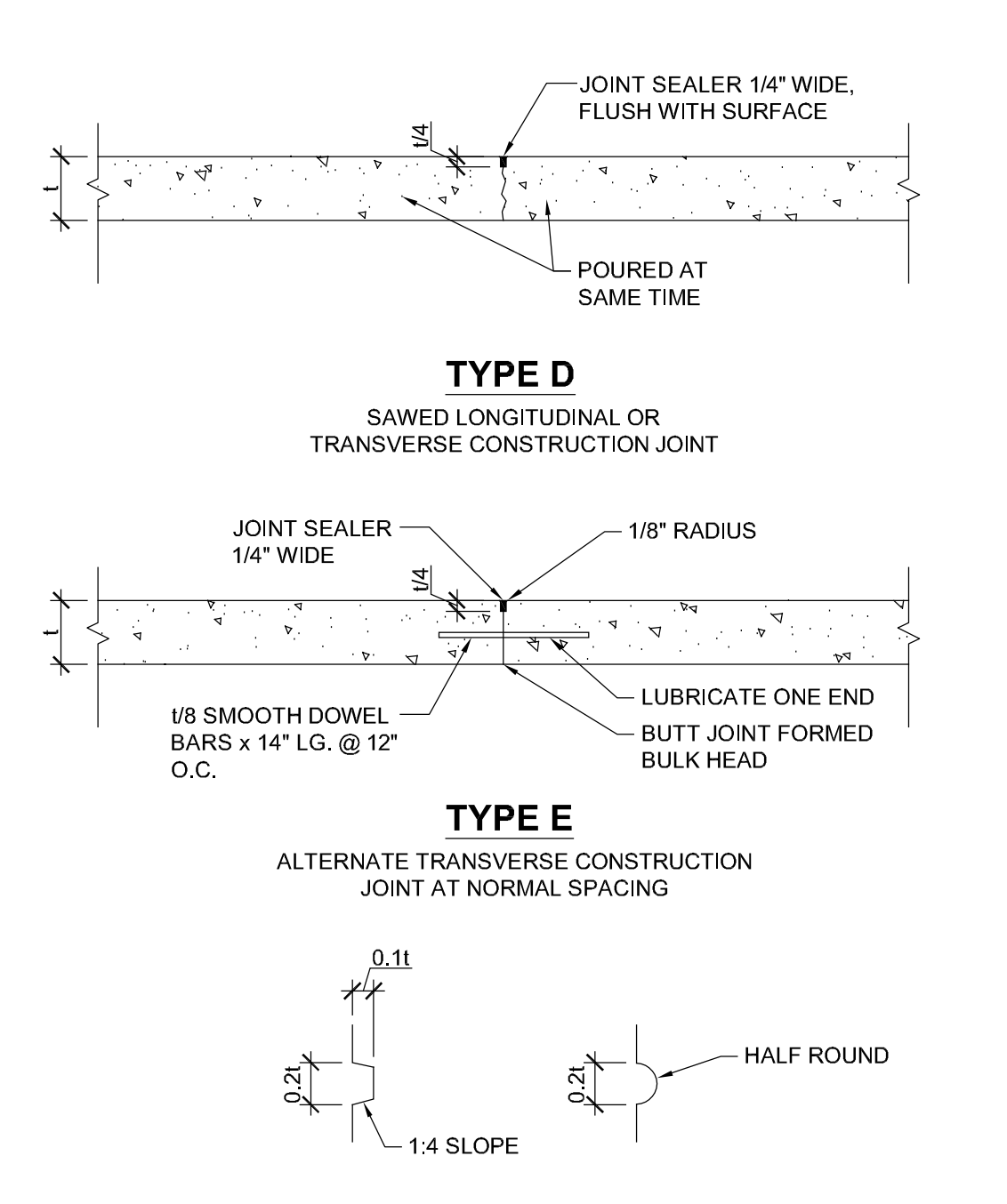
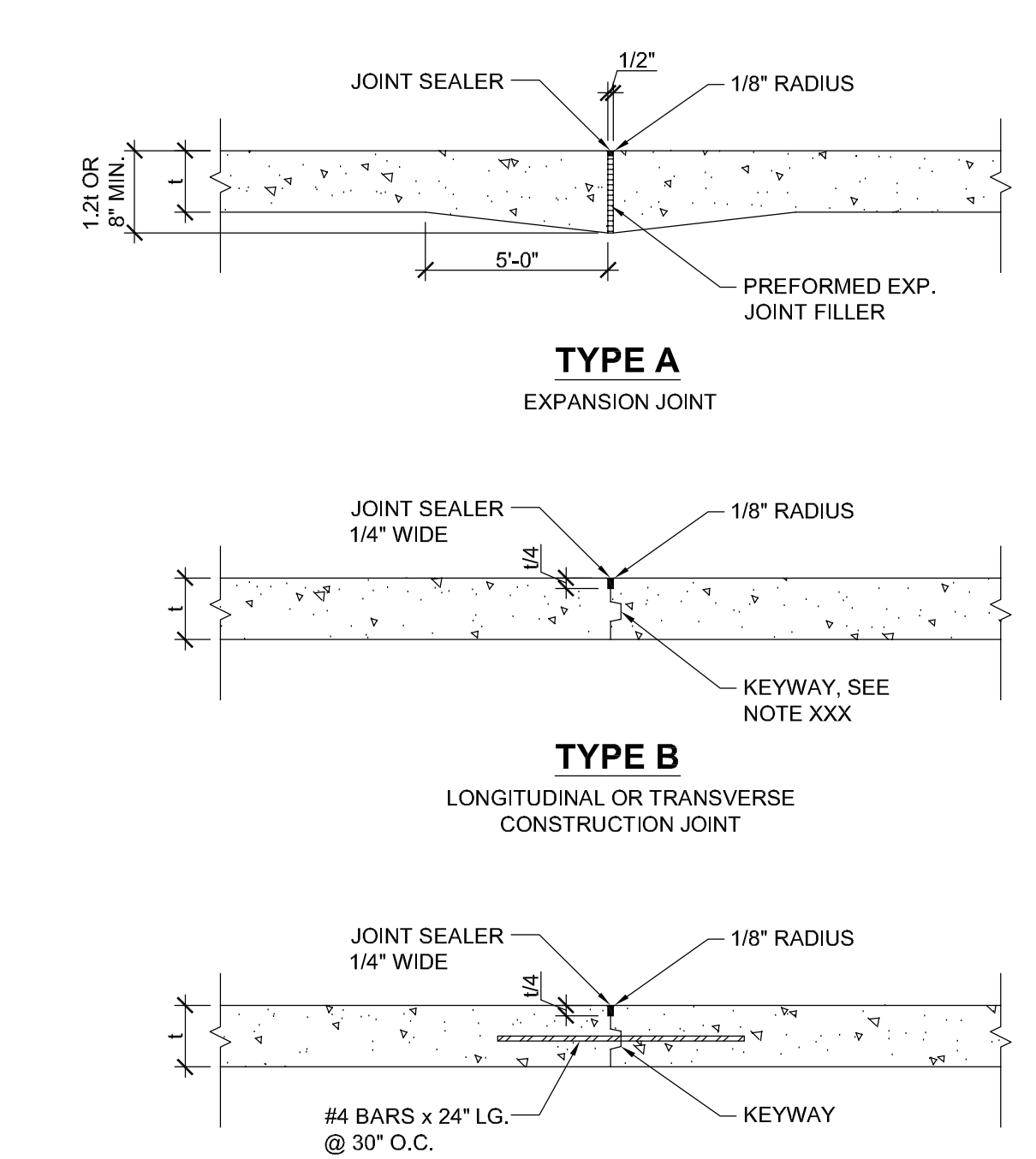
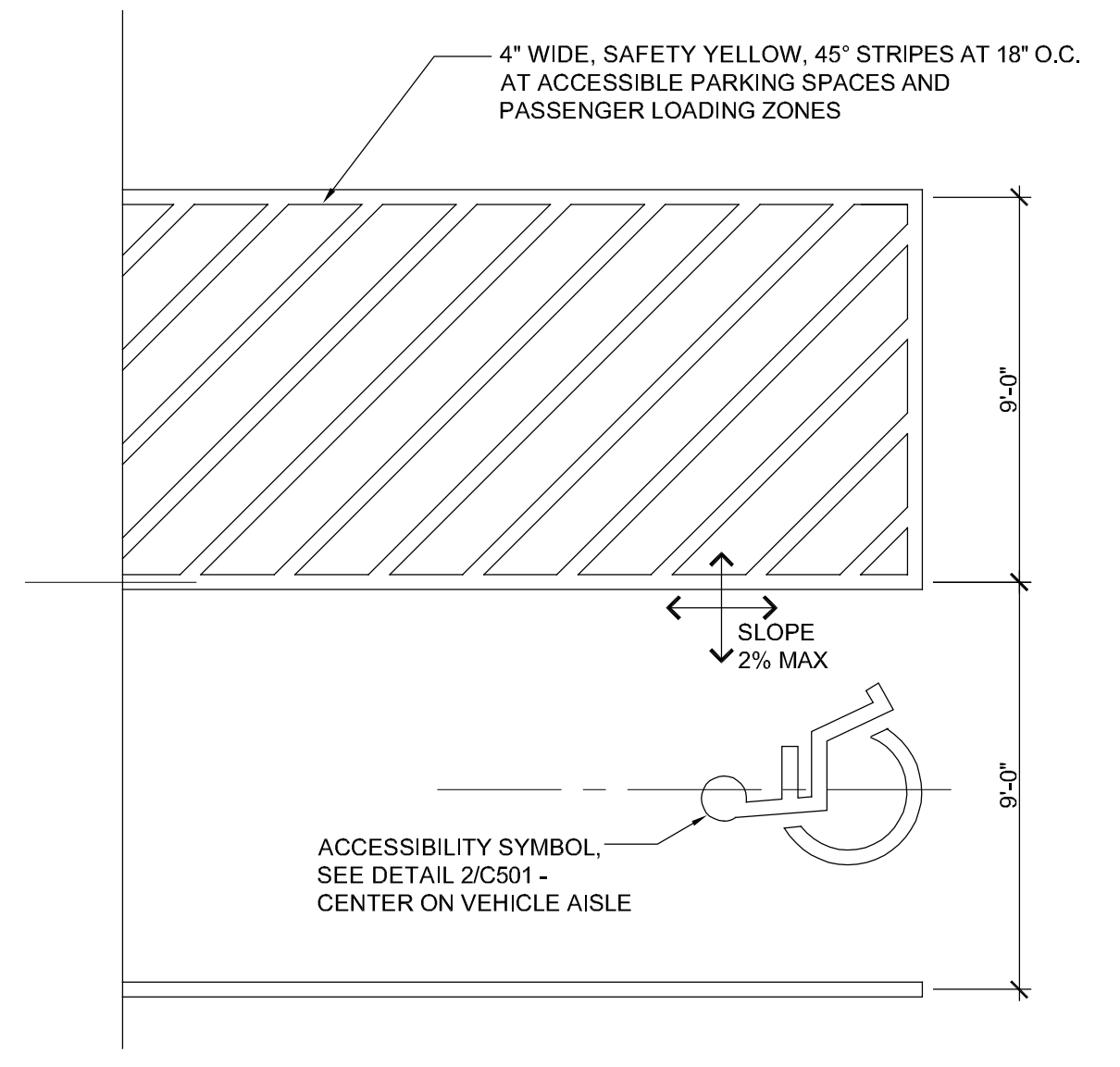
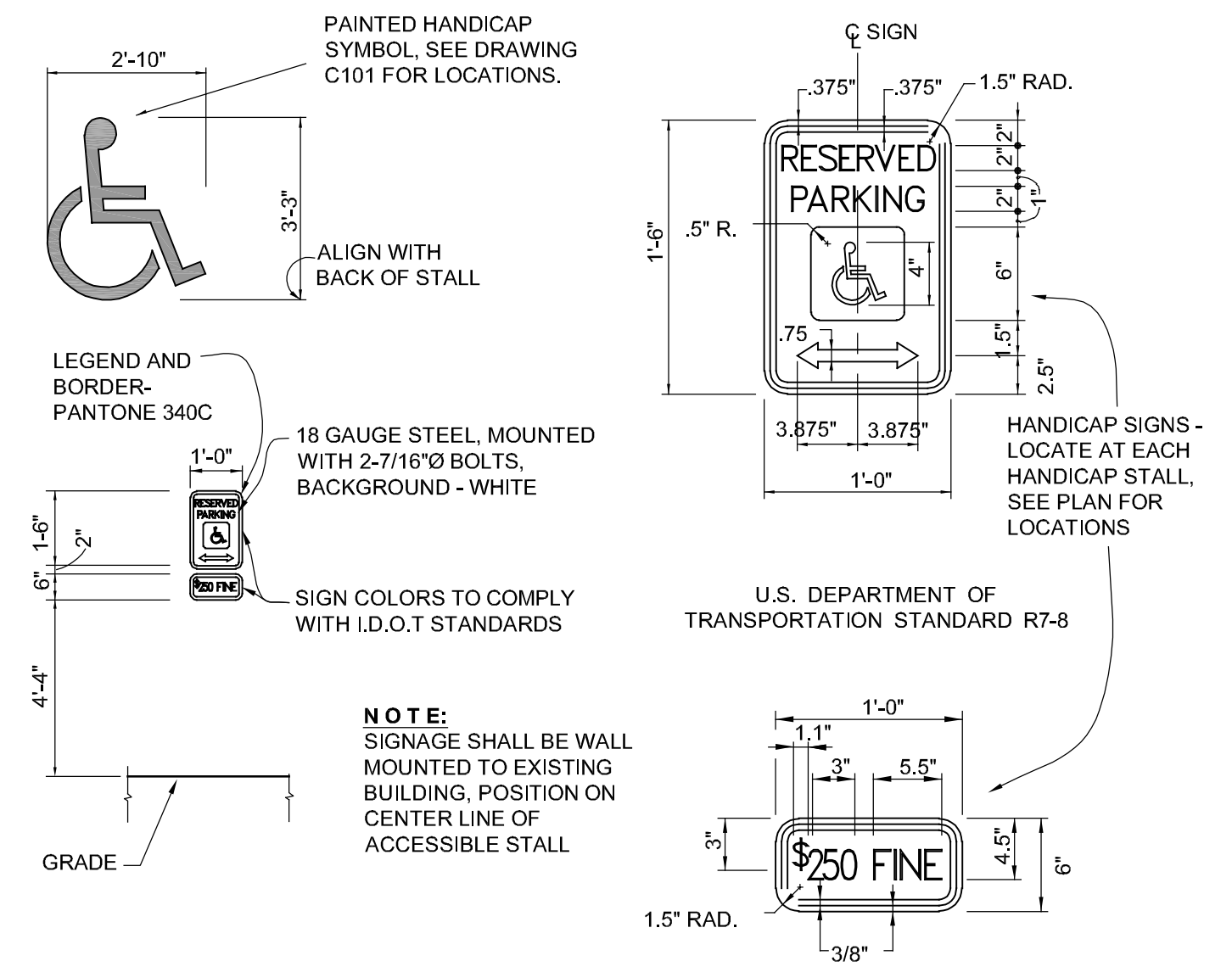
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NO.	Date	Description

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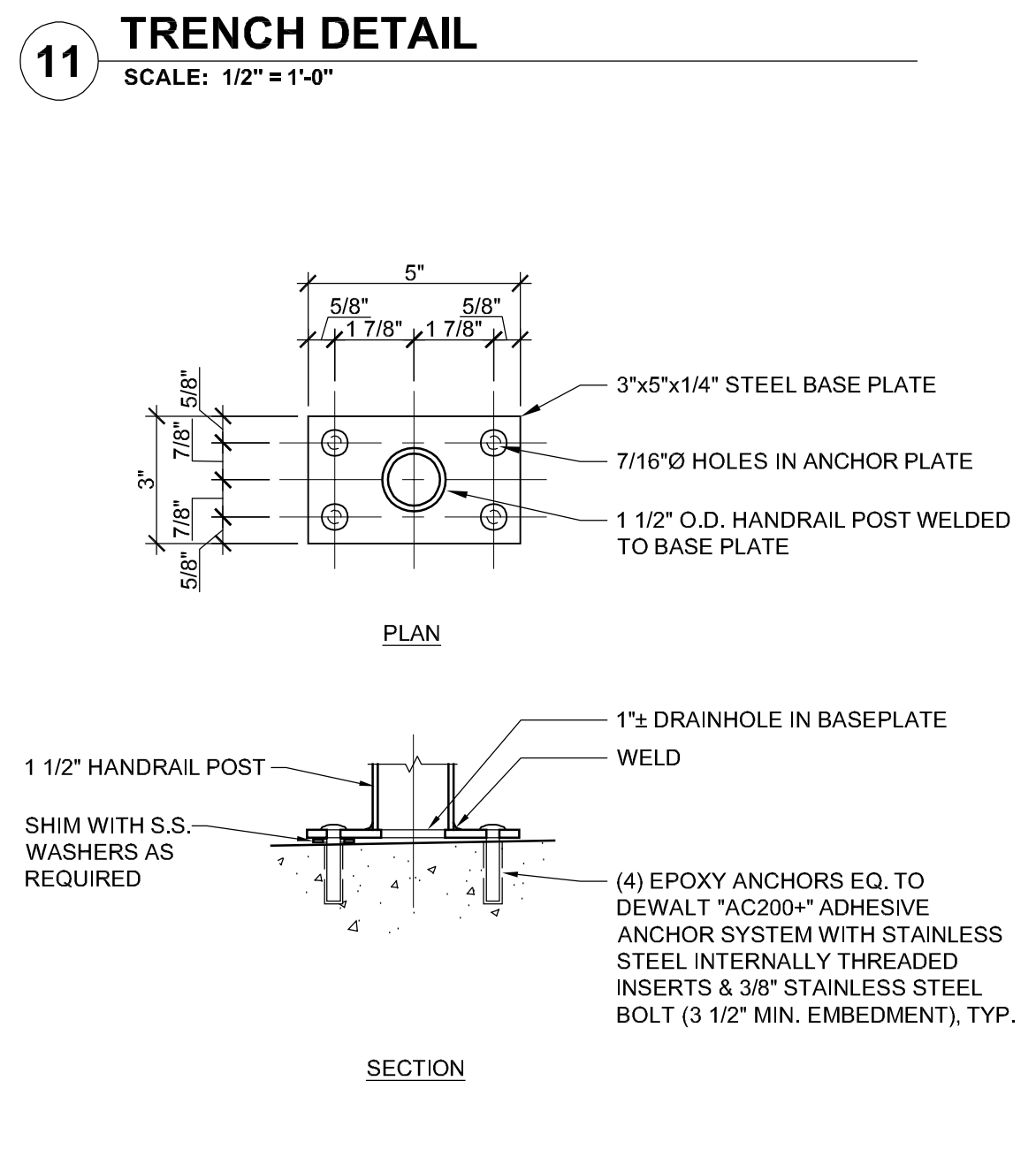
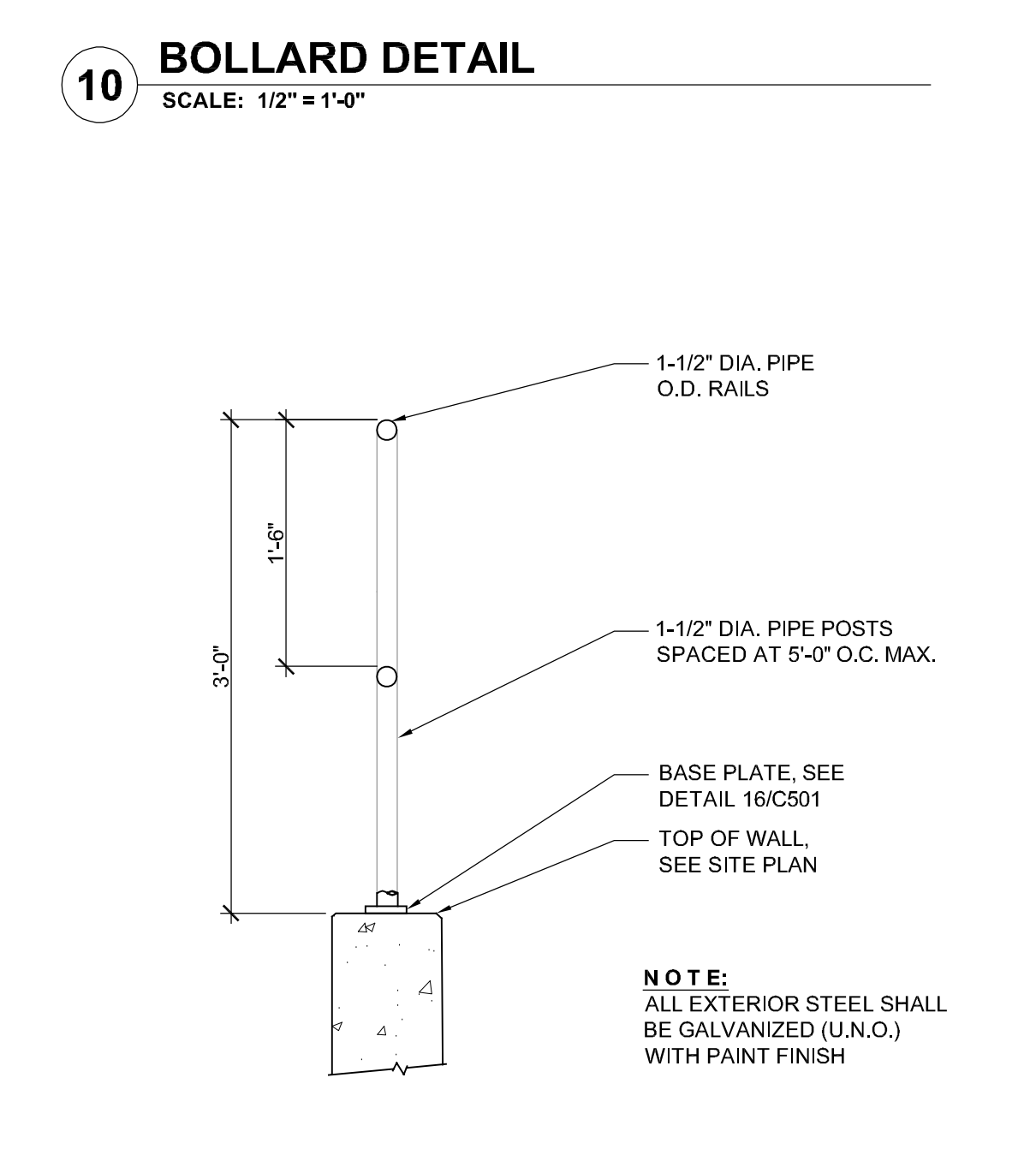
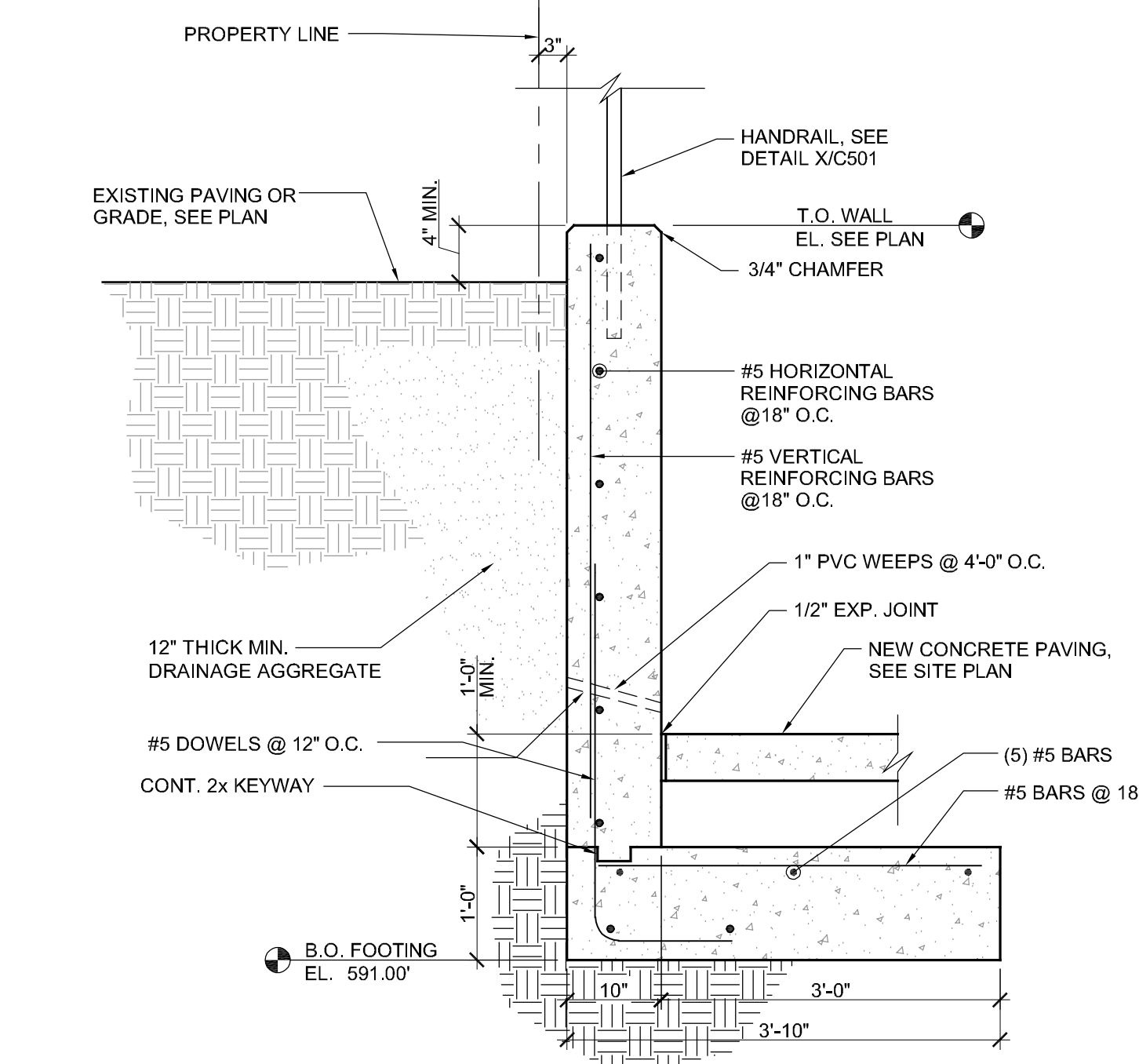
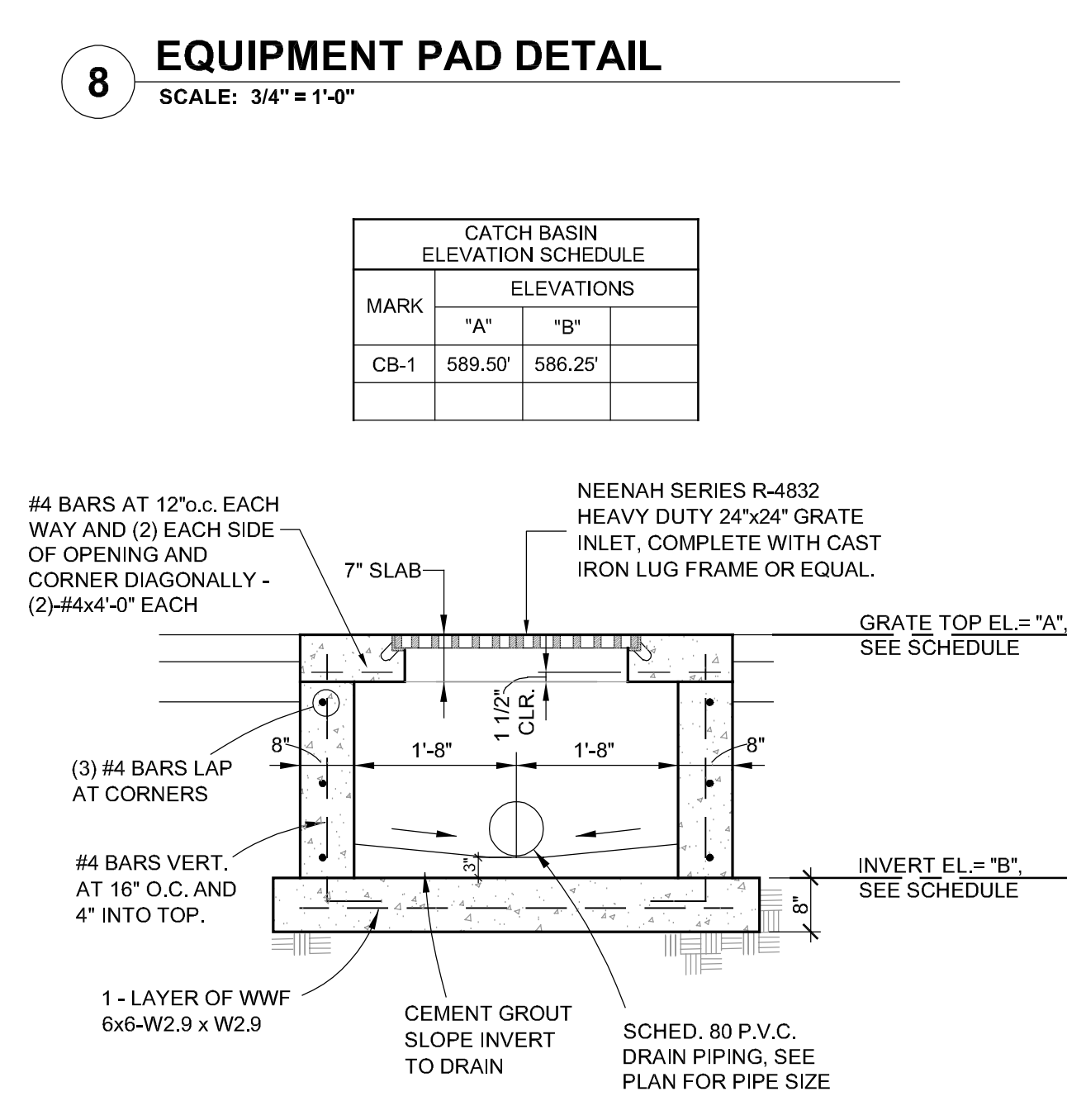
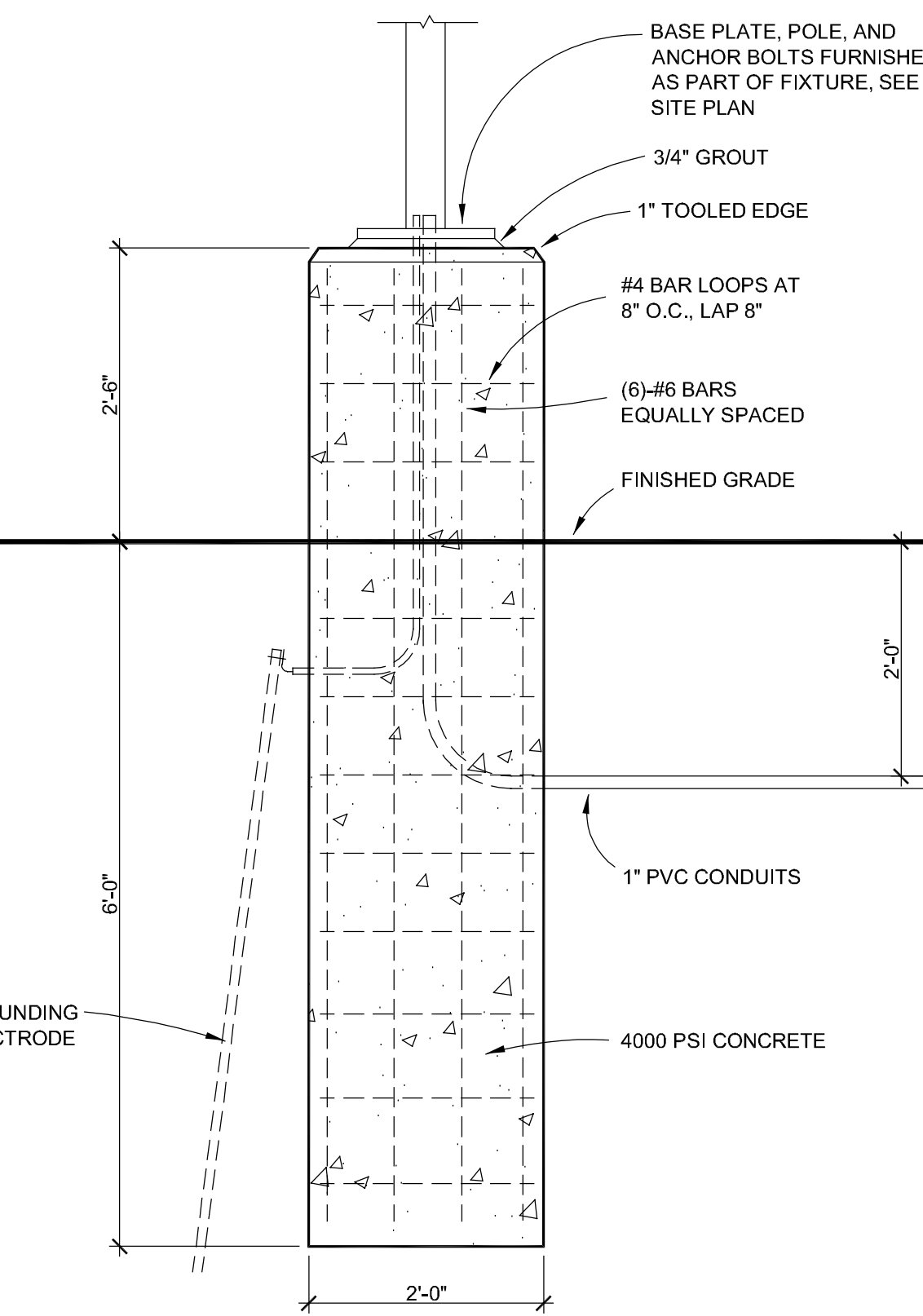
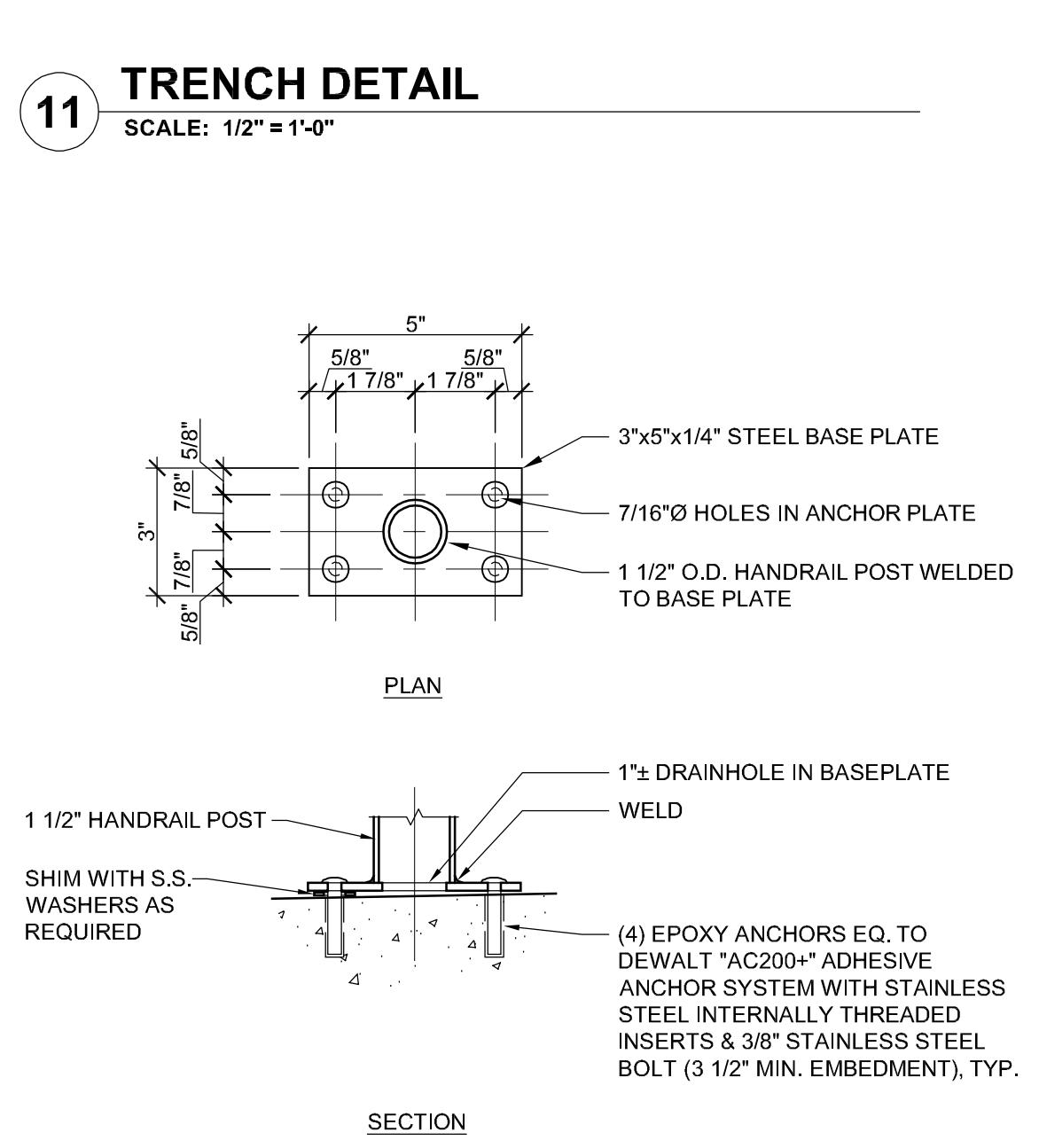
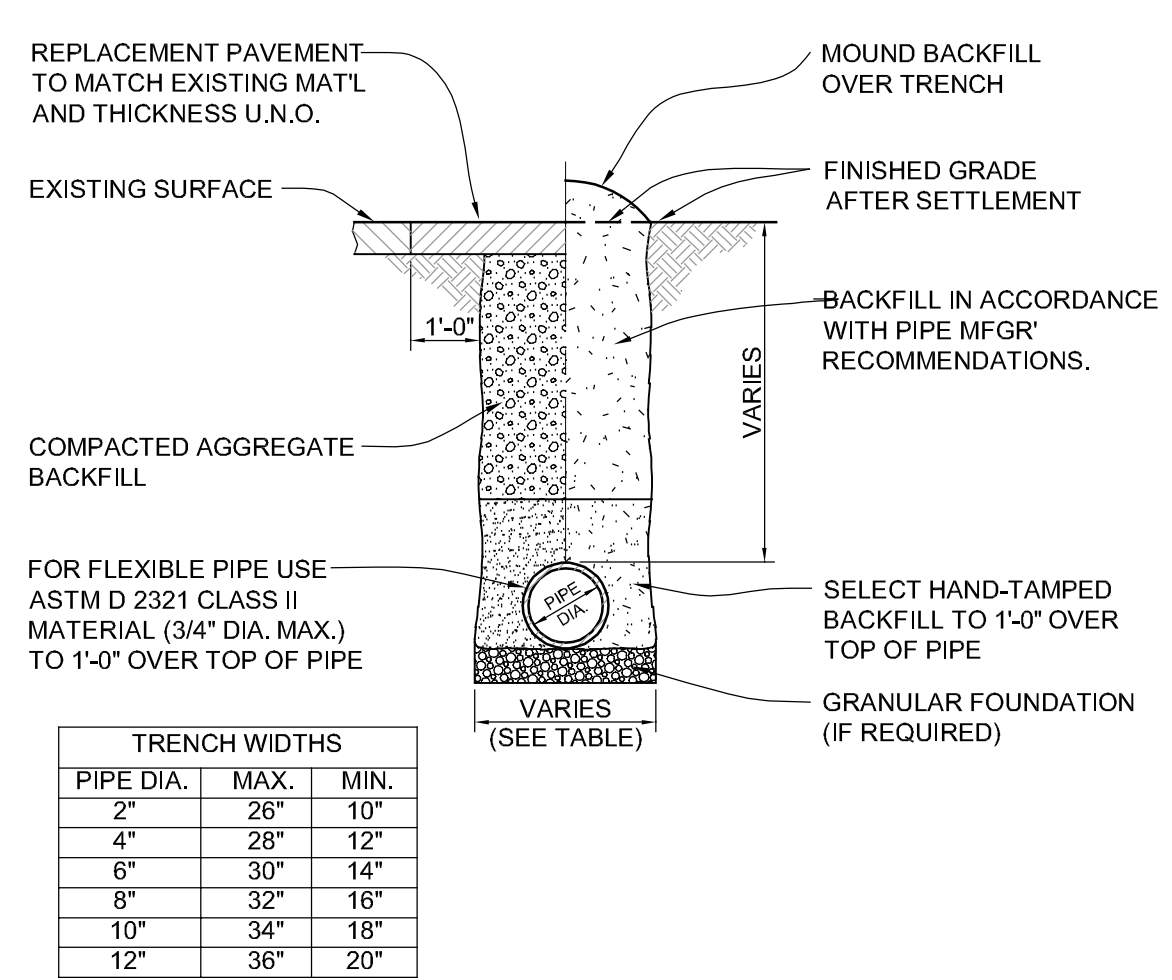
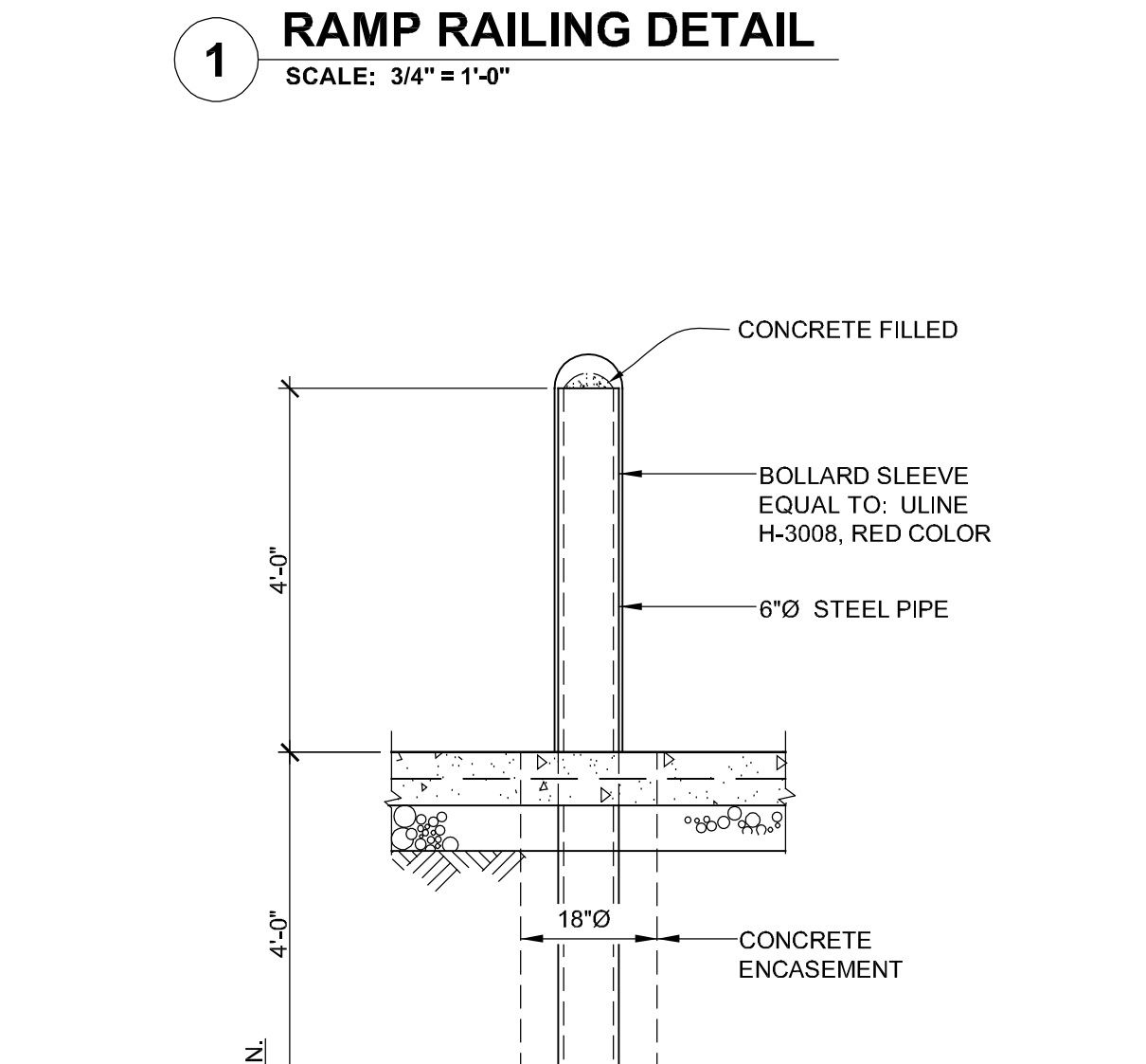
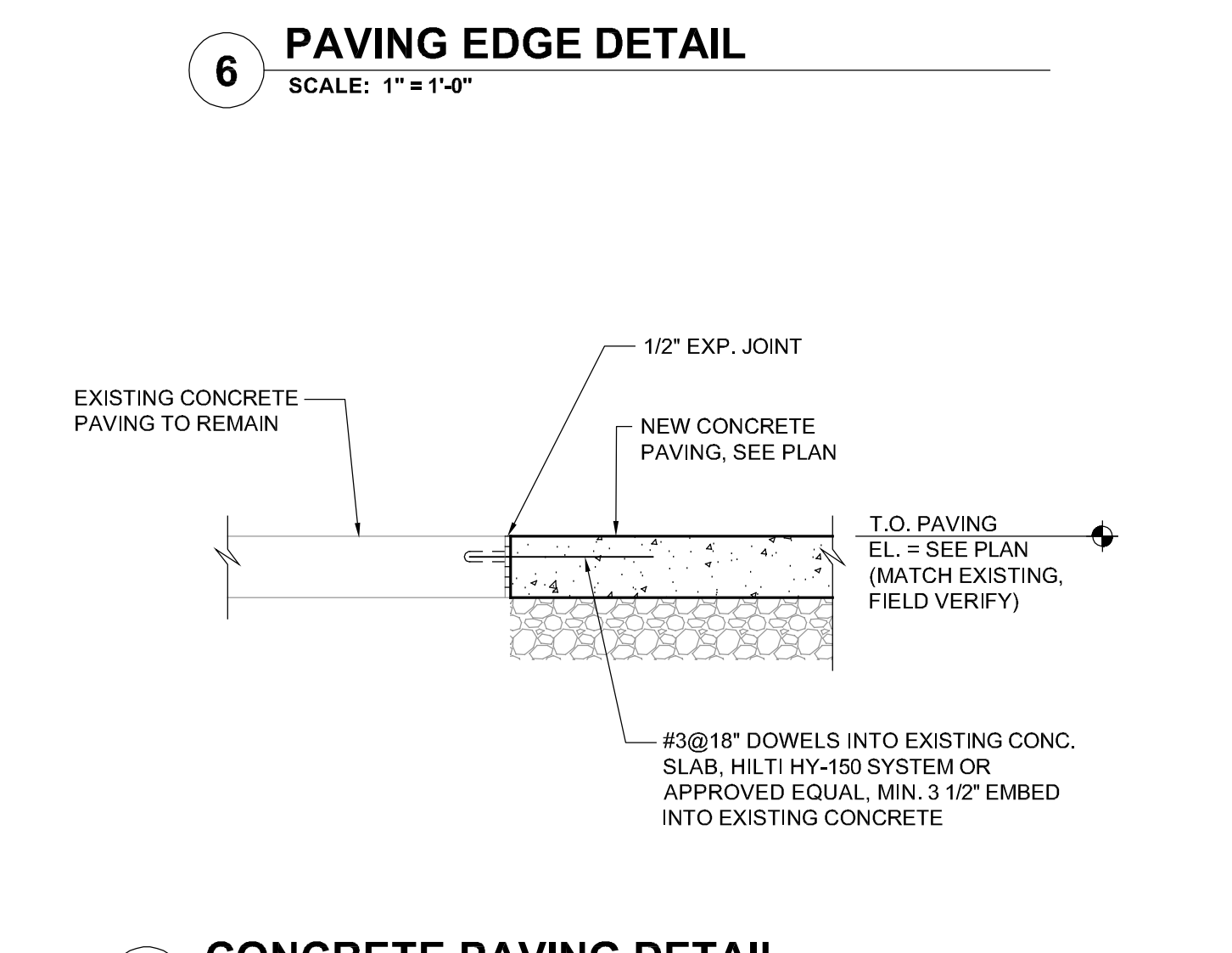
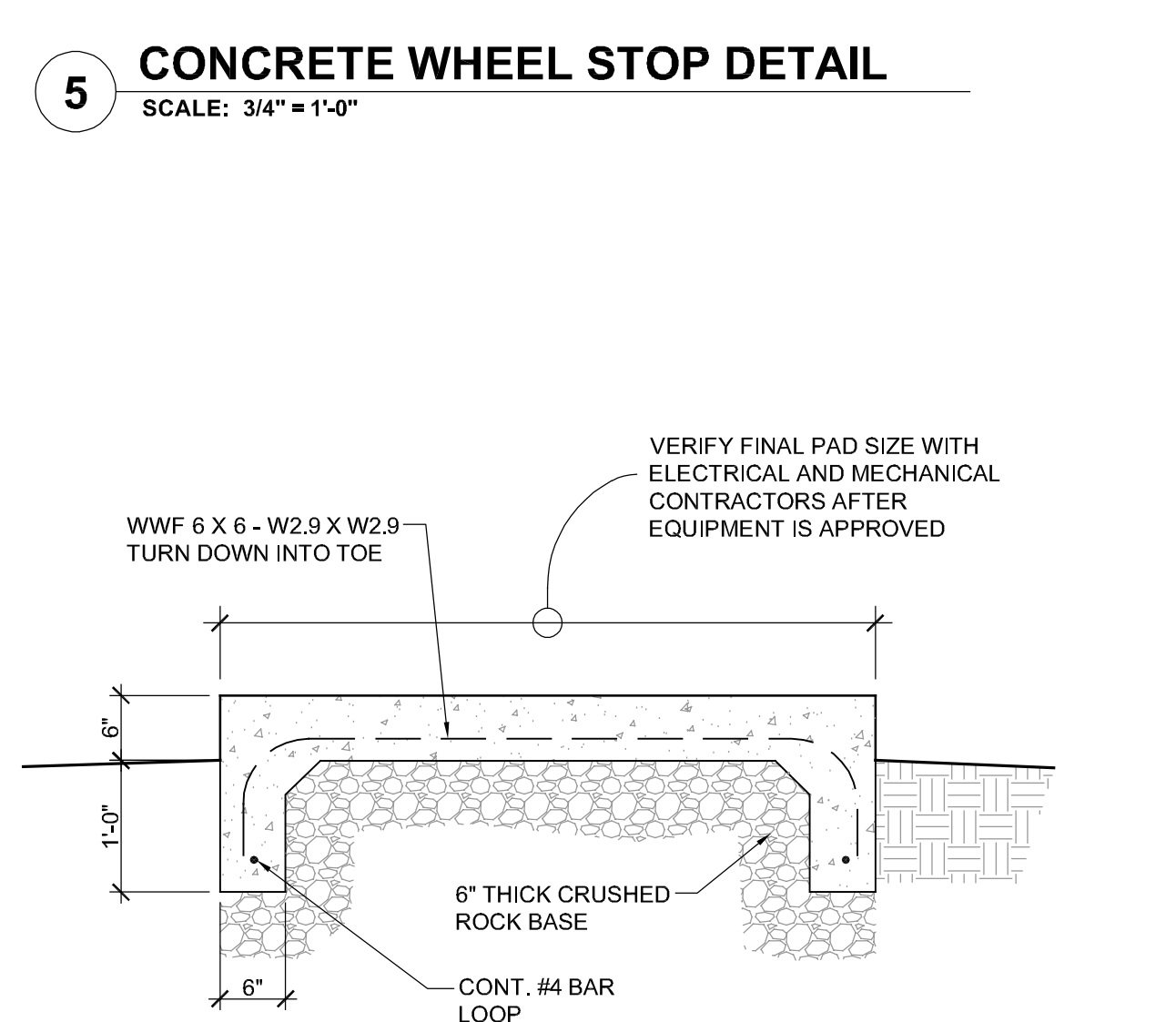
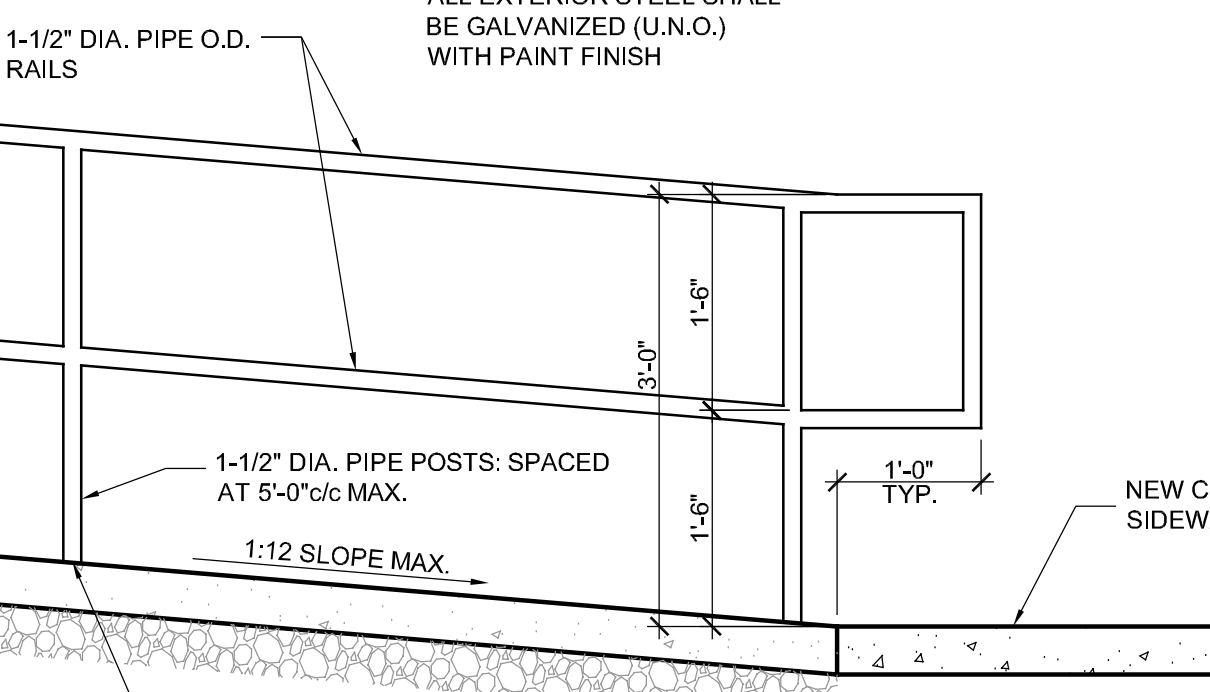
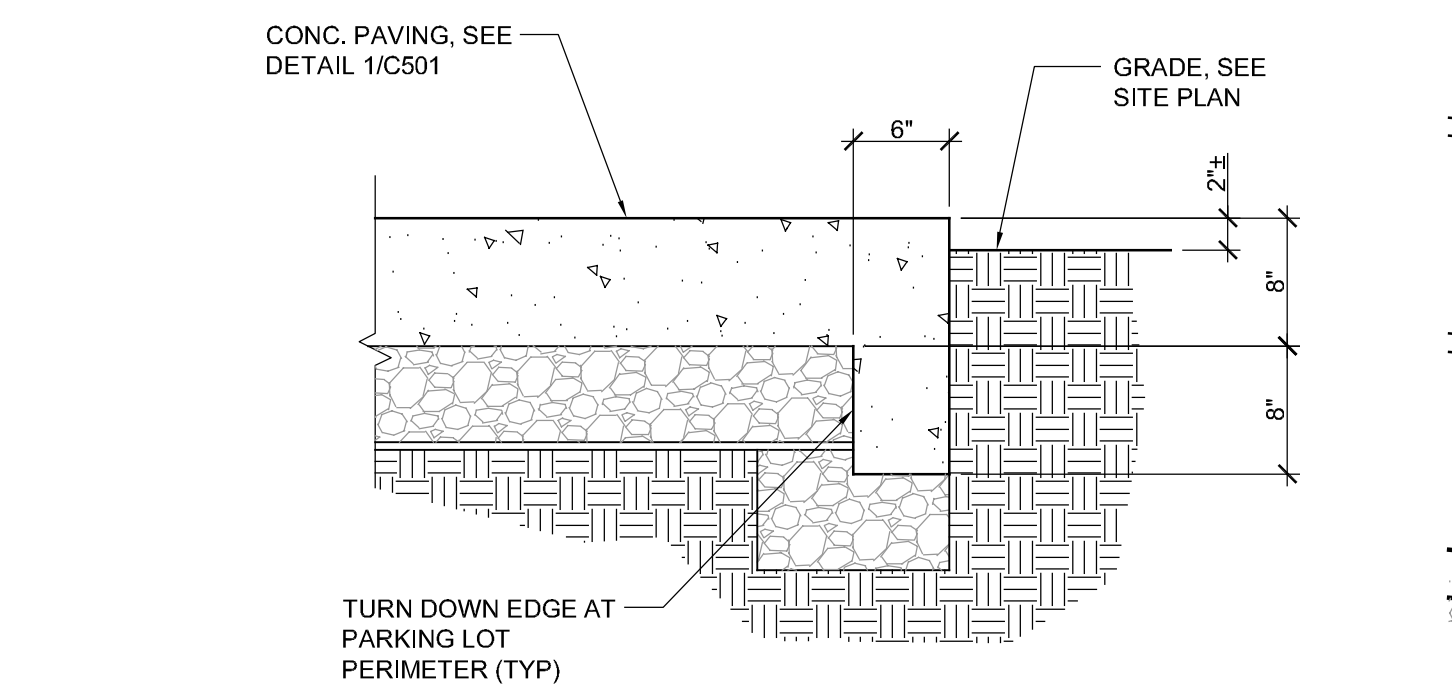
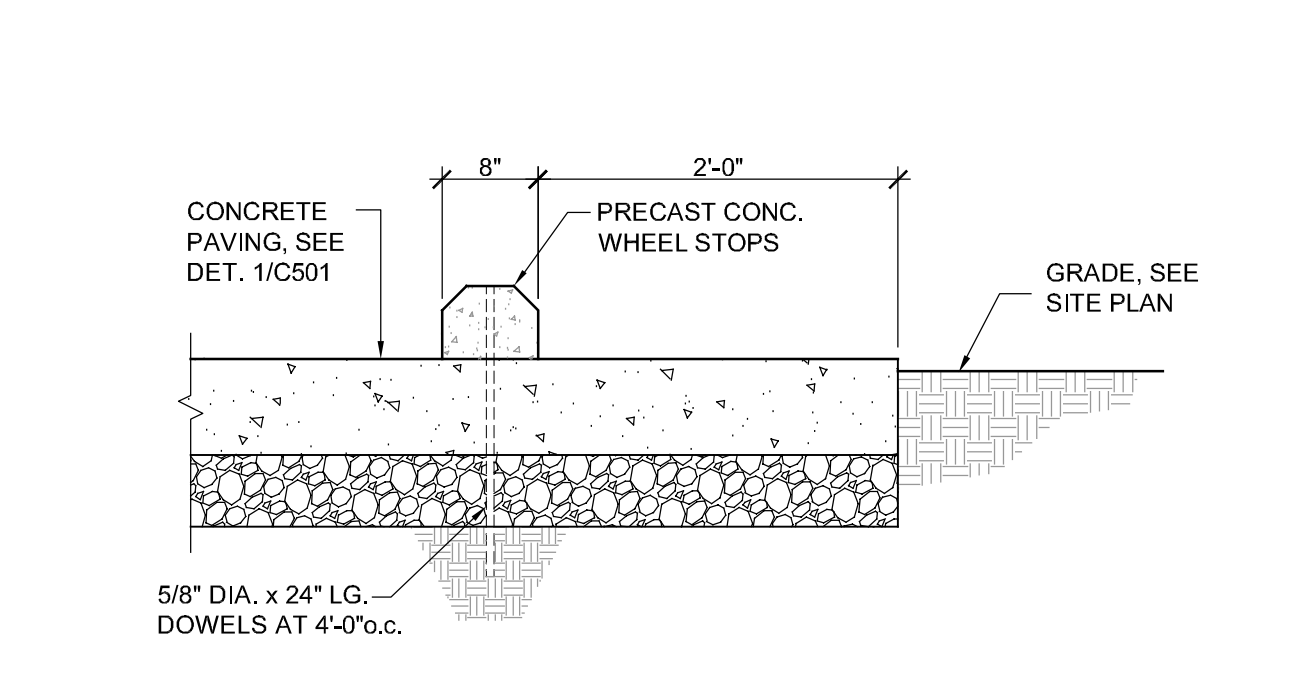
LANDSCAPE PLAN



1 CONCRETE PAVING DETAILS
SCALE: 3/4" = 1'-0"



- CONCRETE PAVING JOINT NOTES:**
1. AT INLETS, MANHOLES AND OTHER STRUCTURES, TRANSVERSE JOINTS SHALL BE SHORTENED ONE OR MORE PANELS EITHER SIDE OF THE STRUCTURE TO PERMIT JOINTS TO FALL AT THE CORNERS OF THE BOX-OUT. ONE OR BOTH "L" DIMENSIONS OF THE BOX-OUT MAY BE ADJUSTED TO PROVIDE FOR INTERSECTION OF LONGITUDINAL JOINTS AT BOX-OUT CORNERS.
 2. ALL TRANSVERSE JOINTS MUST EXTEND THROUGH CURBS AND MUST BE CONTINUOUS ACROSS PAVEMENT, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE REQUIRED AS SHOWN ON PLANS.
 3. MAXIMUM TRANSVERSE JOINT SPACING SHALL BE 15 FEET, UNLESS OTHERWISE SPECIFIED.
 4. PAVEMENT JOINTS SHALL BE SEALED WITH HOT POUR MATERIAL MEETING THE REQUIREMENTS OF ASTM D3405.
 5. DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF AASHTO M-31 OR M-53 GRADE 40 SHALL BE USED FOR THE TIE BARS.
 6. TYPE B JOINTS WHICH ARE TO BE COATED SHALL RECEIVE TWO COATS OF ASPHALTIC EMULSION PRIOR TO PLACEMENT OF THE ADJACENT PAVEMENT.
 7. TYPE D JOINTS MAY BE USED IN LIEU OF TYPES B OR C JOINTS WHEN SLABS ON BOTH SIDES OF THE JOINT ARE POURED INTEGRALLY.
 8. SUPPORT PINS FOR THE TIE BARS, WHEN REQUIRED, SHALL BE OF SIZE AND STRENGTH SUFFICIENT TO FIRMLY HOLD THE BAR IN PLACE.
 9. THE ALTERNATE CONSTRUCTION OF INTEGRAL OR SEPARATE COMBINATION CURB AND GUTTER IS AT THE CONTRACTOR'S OPTION.



ARCHITECTURE
ARCHITECTS • ENGINEERS • INTERIOR DESIGNERS
510 Marine Street • Quincy, Illinois 62301 • 217.272.0554

OWNER:
DP CONSTRUCTION
116 NORTH 3RD STREET
QUINCY, IL 62301

DP CONSTRUCTION
VIEW 21 MIXED USE DEVELOPMENT
116 NORTH 3RD STREET
QUINCY, IL 62301

CONSTRUCTION DOCUMENT PHASE

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REVISIONS

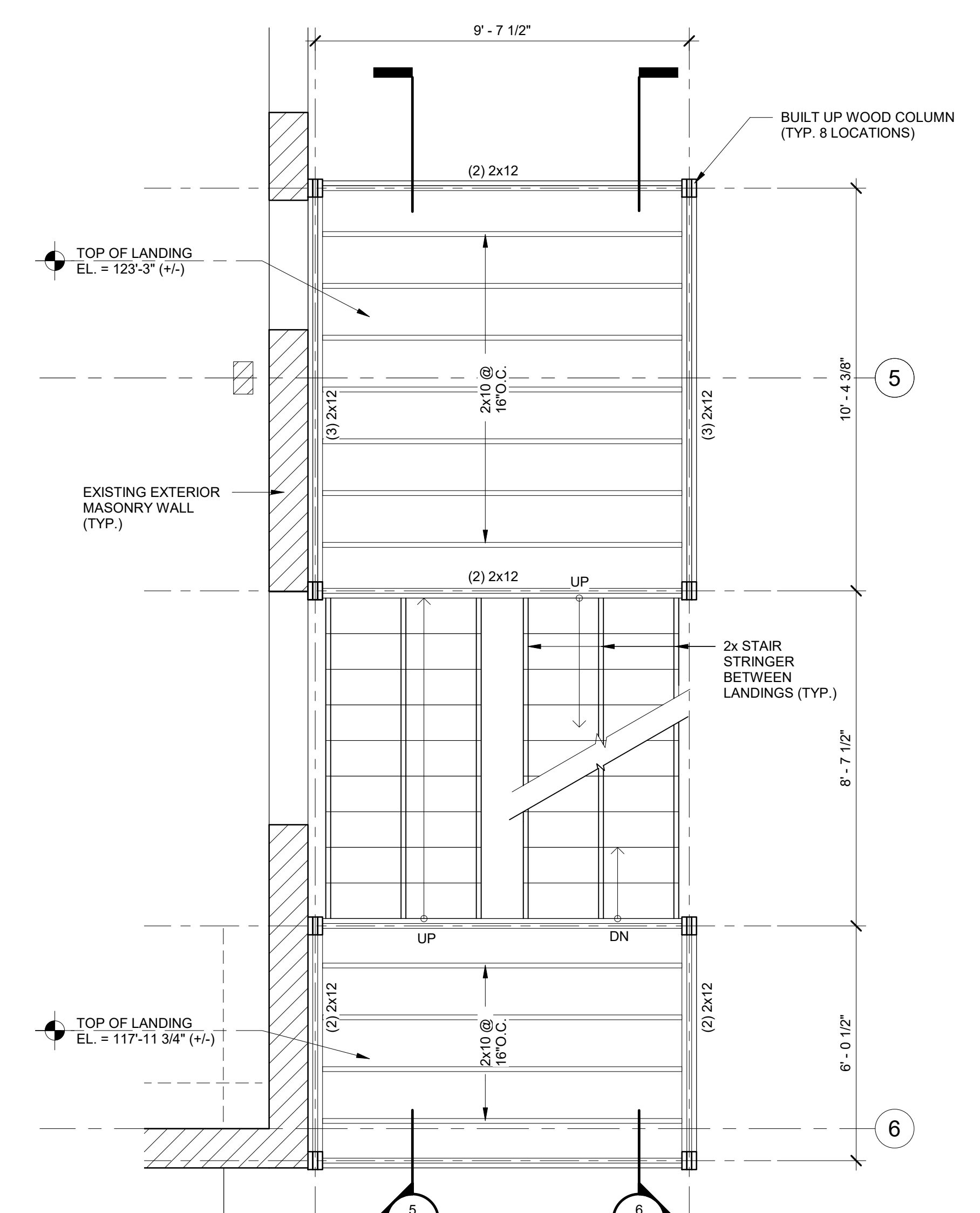
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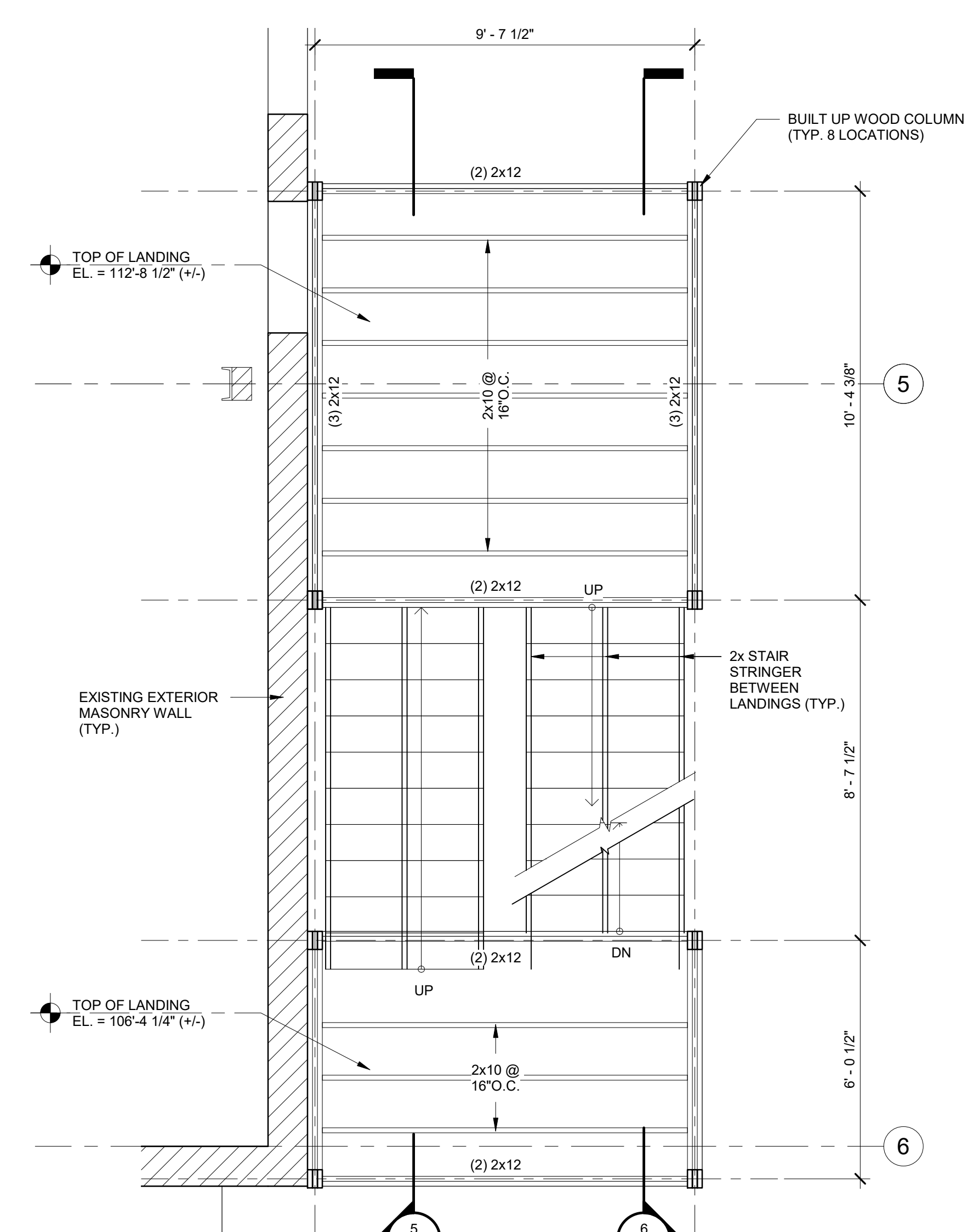
SITE DETAILS

DWG. NO.
C501

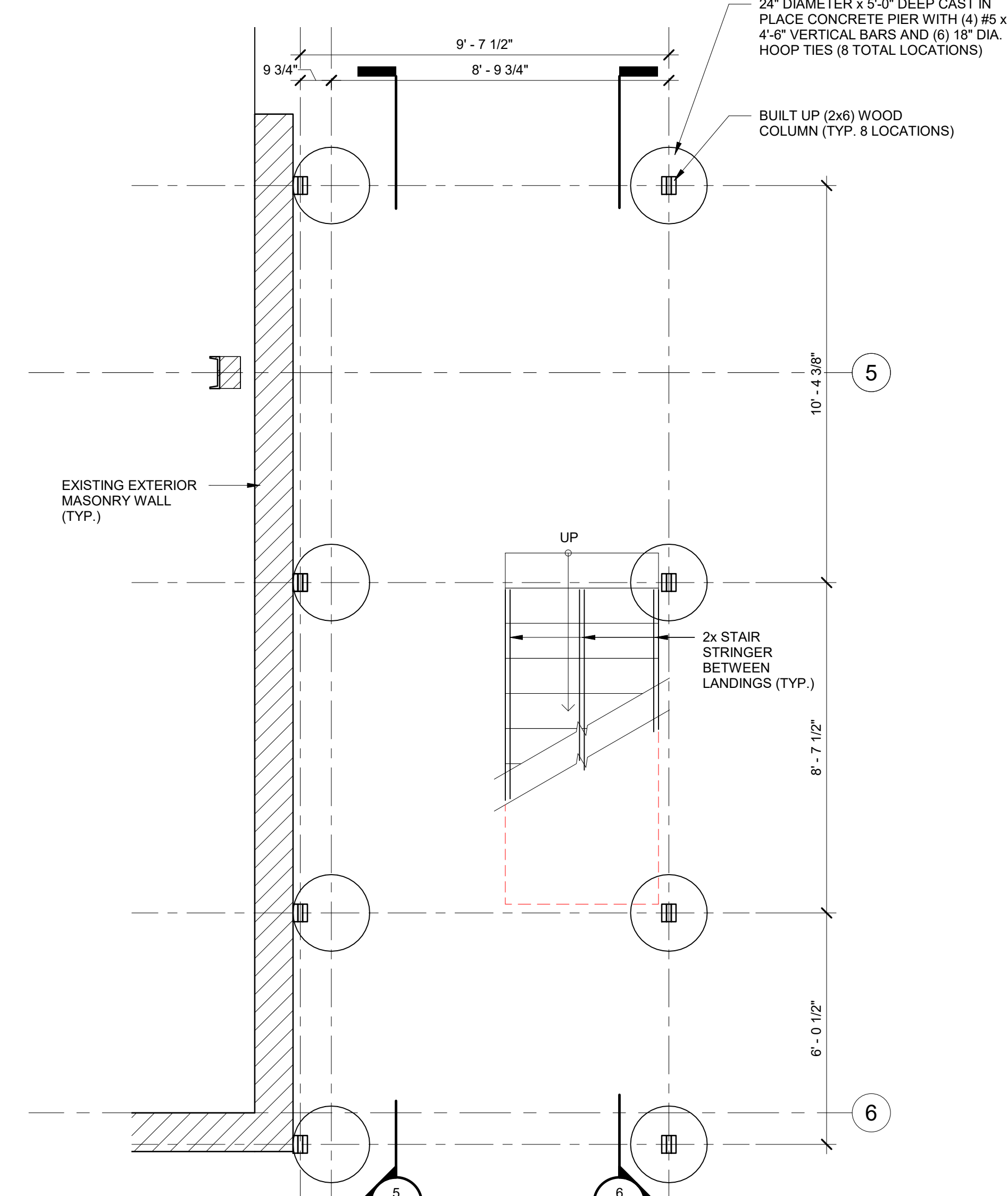
REVISIONS		
NO.	Date	Description



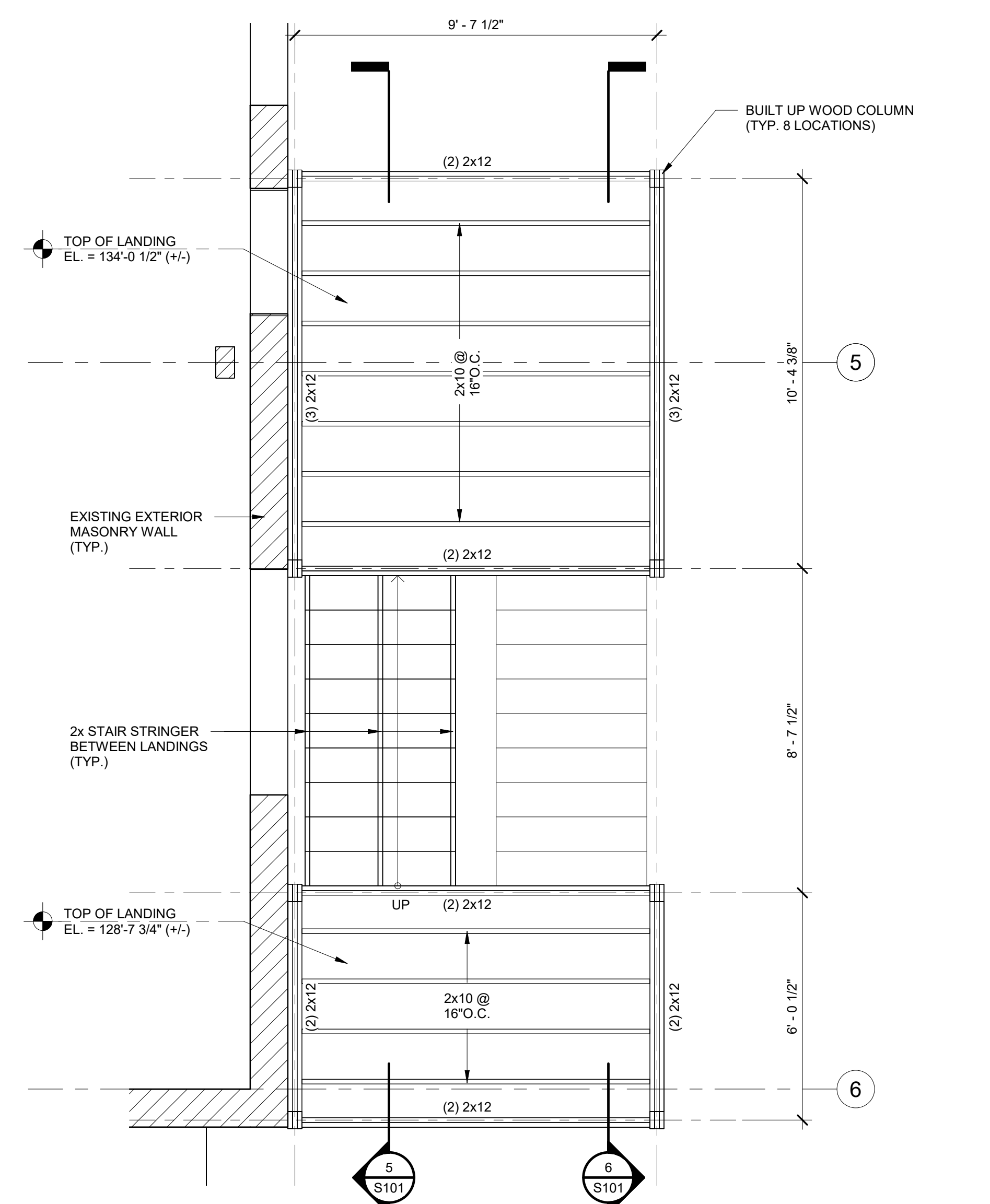
3 THIRD FLOOR STAIR TOWER FRAMING PLAN
SCALE: 3/8" = 1'-0"



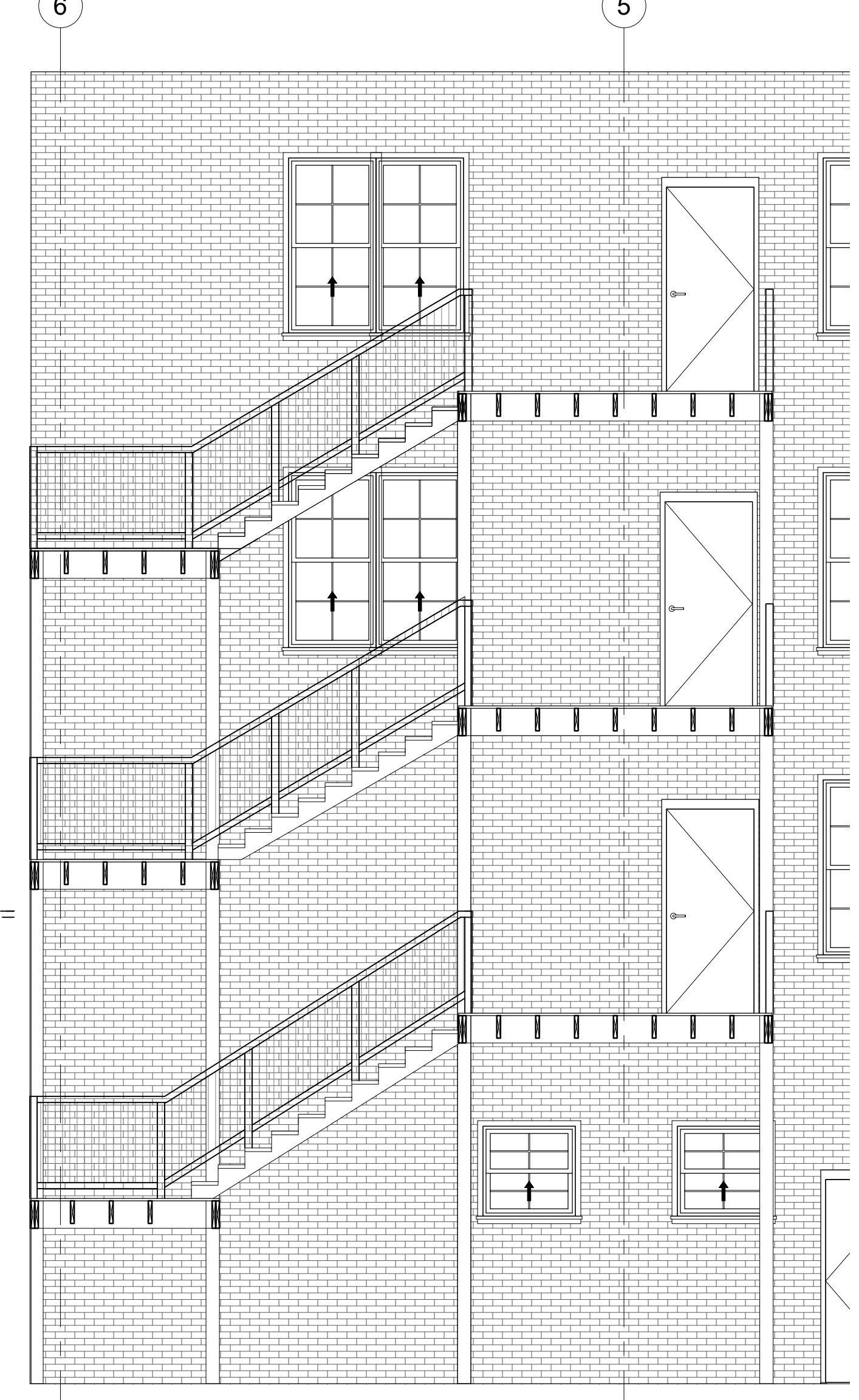
2 SECOND FLOOR STAIR TOWER FRAMING PLAN
SCALE: 3/8" = 1'-0"



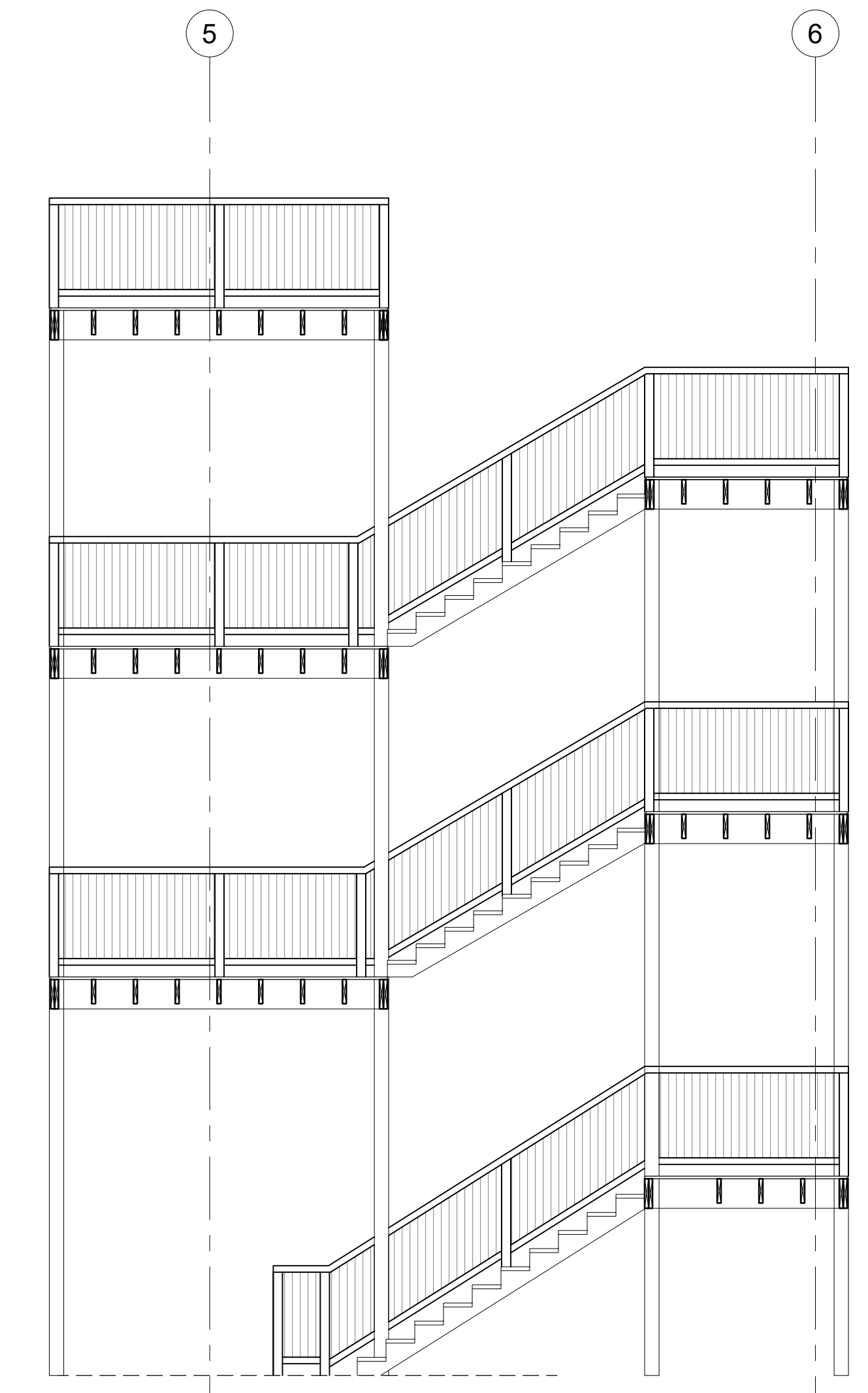
1 MAIN LEVEL STAIR TOWER FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



4 FOURTH FLOOR STAIR TOWER FRAMING PLAN
SCALE: 3/8" = 1'-0"



5 STAIR SECTION
SCALE: 1/4" = 1'-0"



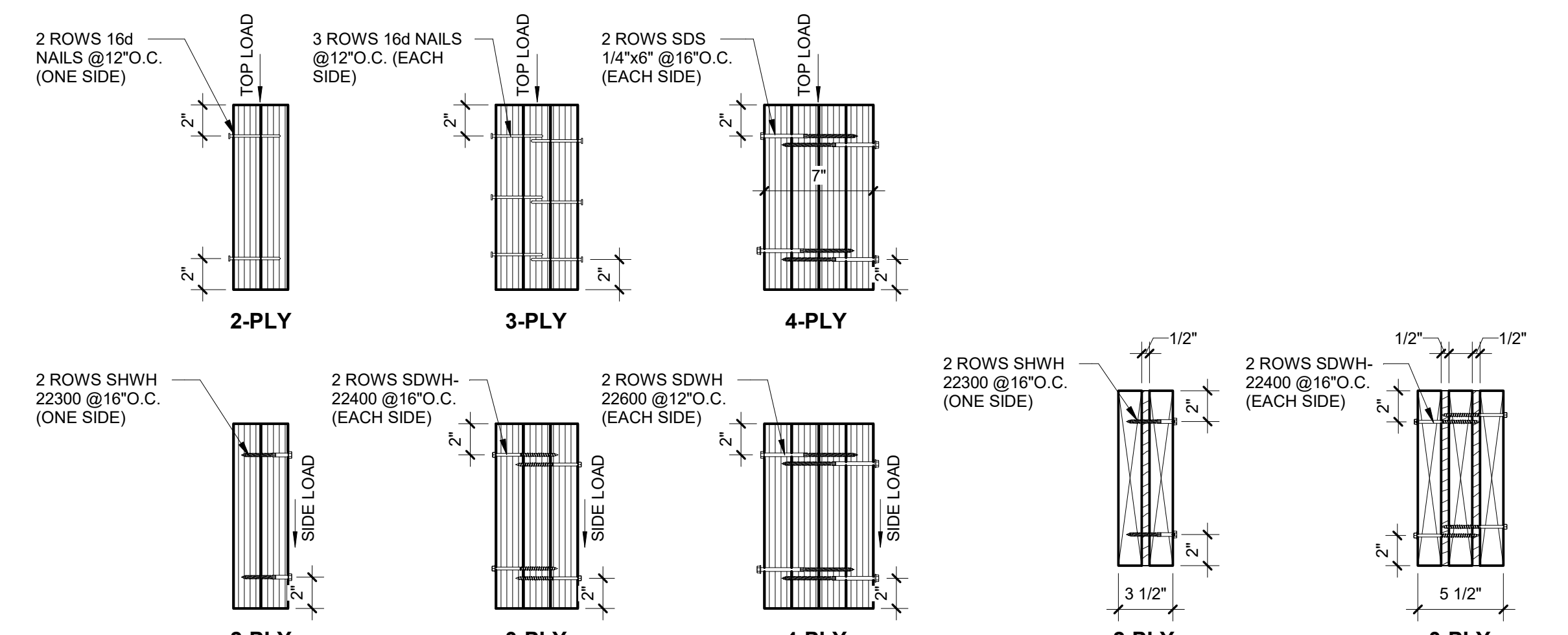
6 STAIR SECTION
SCALE: 1/4" = 1'-0"

MARK	MATERIAL	BEAM SIZE	LEFT SUPPORT (*)	MIDDLE SUPPORT (*)	RIGHT SUPPORT (*)	T.O. BEAM ELEVATION	REMARKS
WB-1	SP NO.2	2x12 LEDGER	-	CMU WALL	-	VARIES	* SEE DETAIL 3/S401

NOTES:
1. BASIS OF DESIGN FOR ENGINEERED LUMBER: WEYERHAEUSER MICROLAM LVL 2.0E
2. * INDICATES LUMBER TO BE PRESERVATIVE TREATED FOR EXTERIOR USE.

1 BEAM / HEADER SCHEDULE

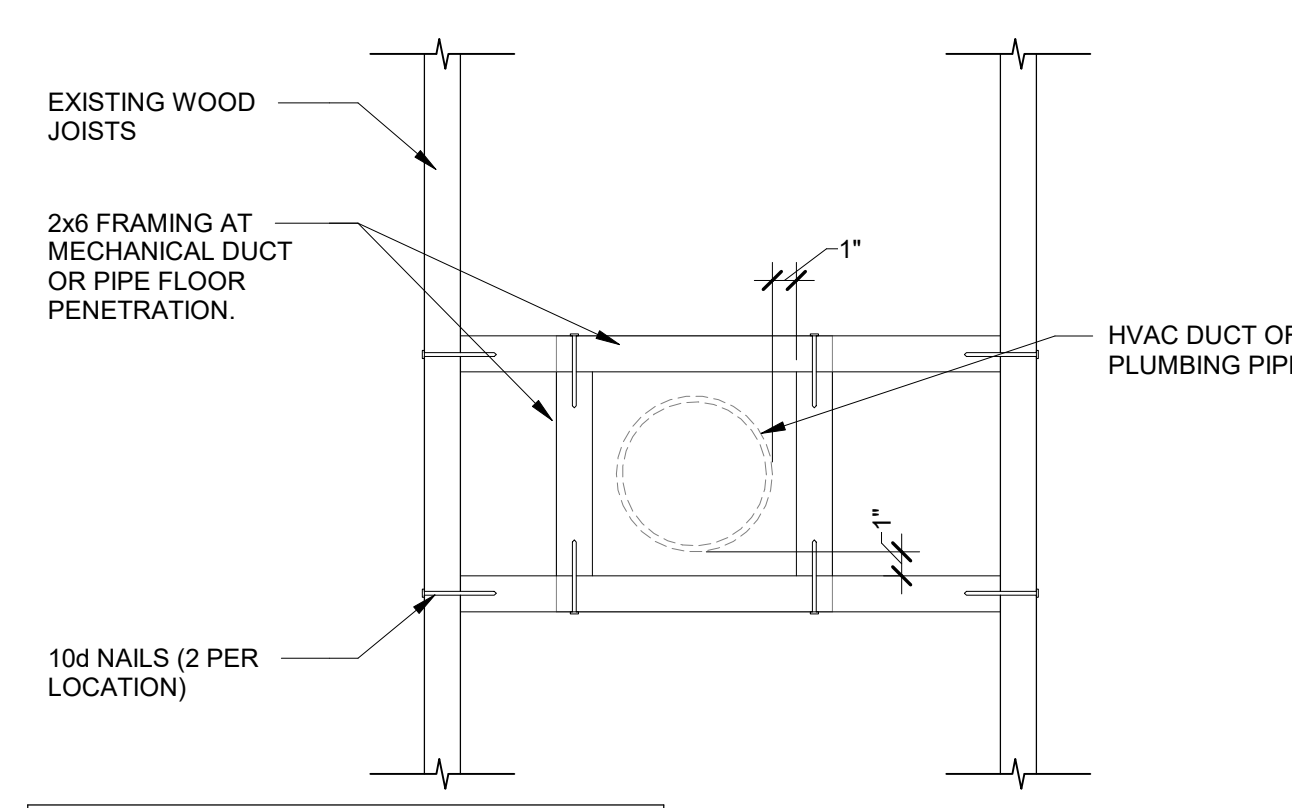
SCALE: 3/4" = 1'-0"



TYPICAL MULTI-PLY BEAM CONNECTION
TYPICAL MULTI-PLY HEADER CONNECTION

2 BUILT-UP BEAM AND HEADER DETAILS

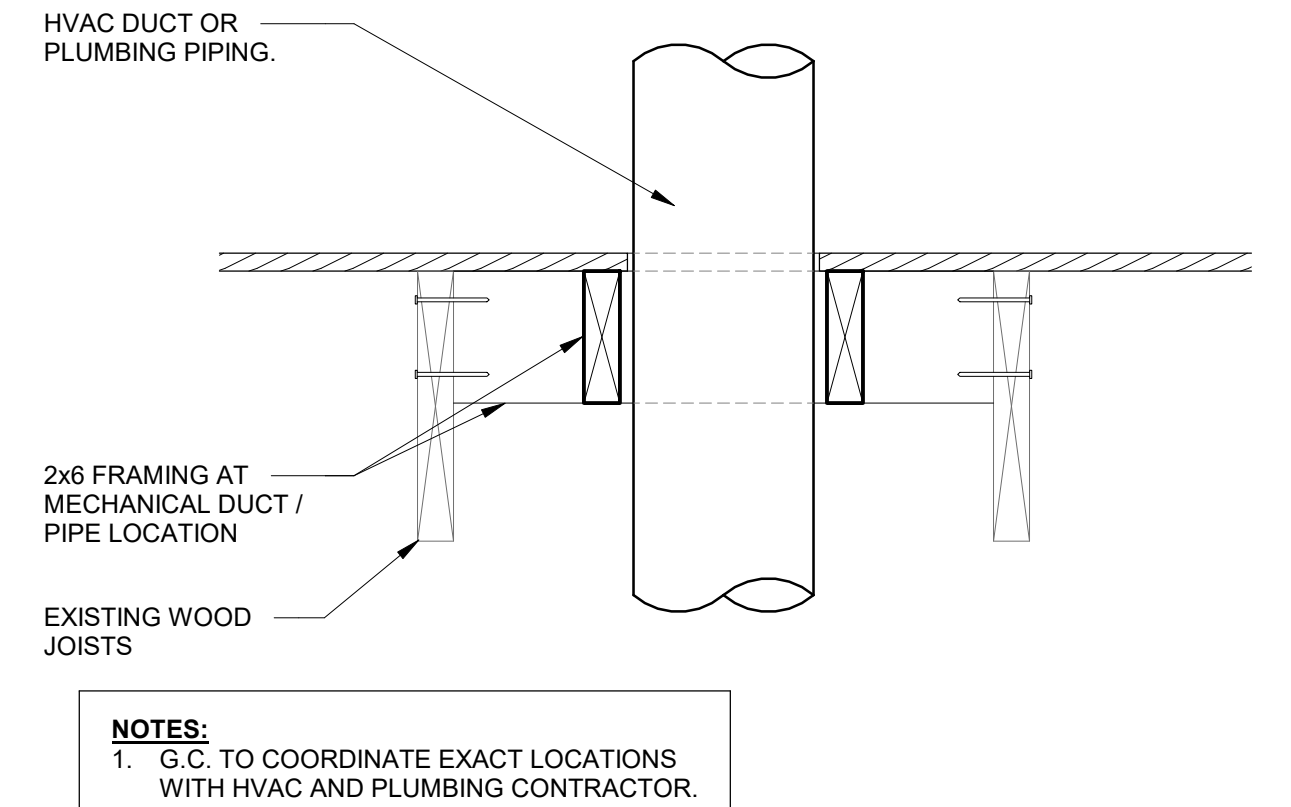
SCALE: 1 1/2" = 1'-0"



NOTES:
1. C.C. TO COORDINATE EXACT LOCATIONS WITH HVAC OR PLUMBING CONTRACTOR.

3 FRAMING DETAIL AT HVAC DUCT OR PLUMBING PIPE

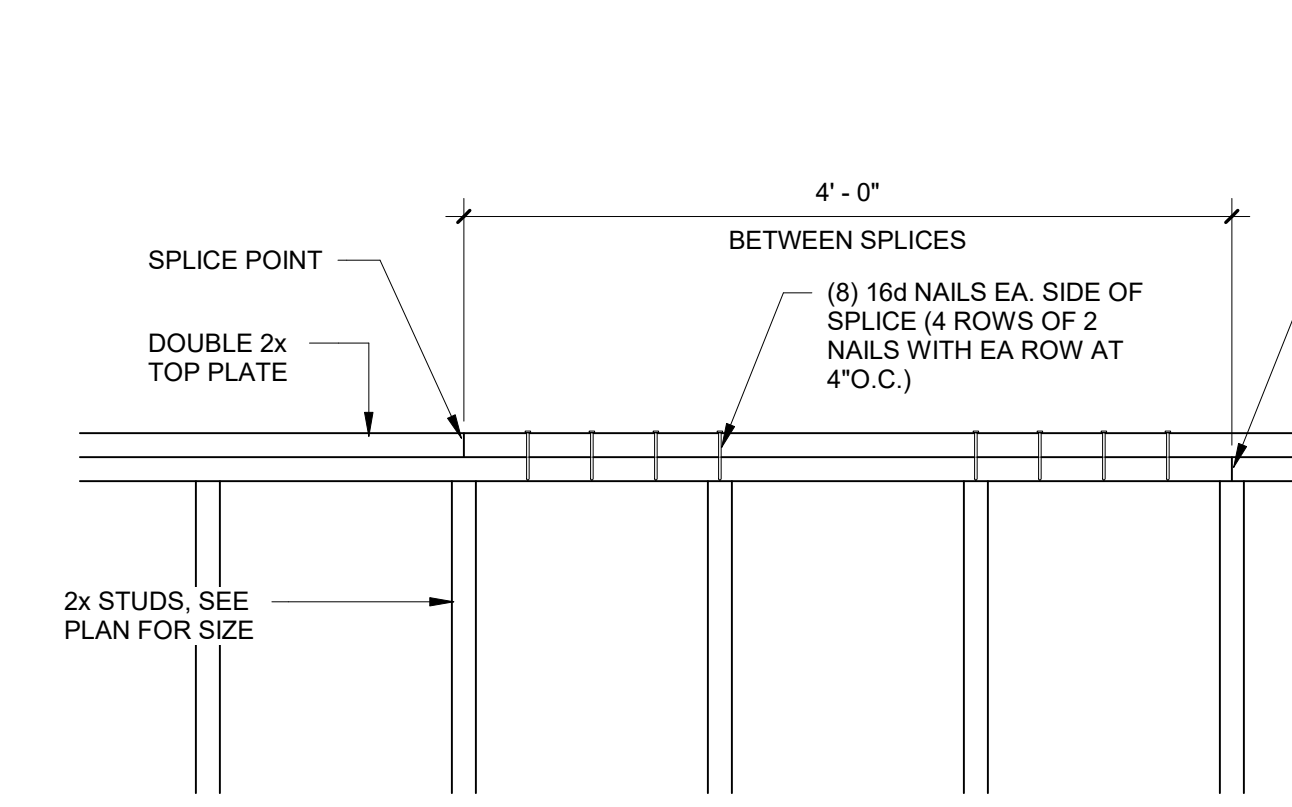
SCALE: 1 1/2" = 1'-0"



NOTES:
1. C.C. TO COORDINATE EXACT LOCATIONS WITH HVAC AND PLUMBING CONTRACTOR.

4 FRAMING DETAIL AT HVAC DUCT OR PLUMBING PIPE

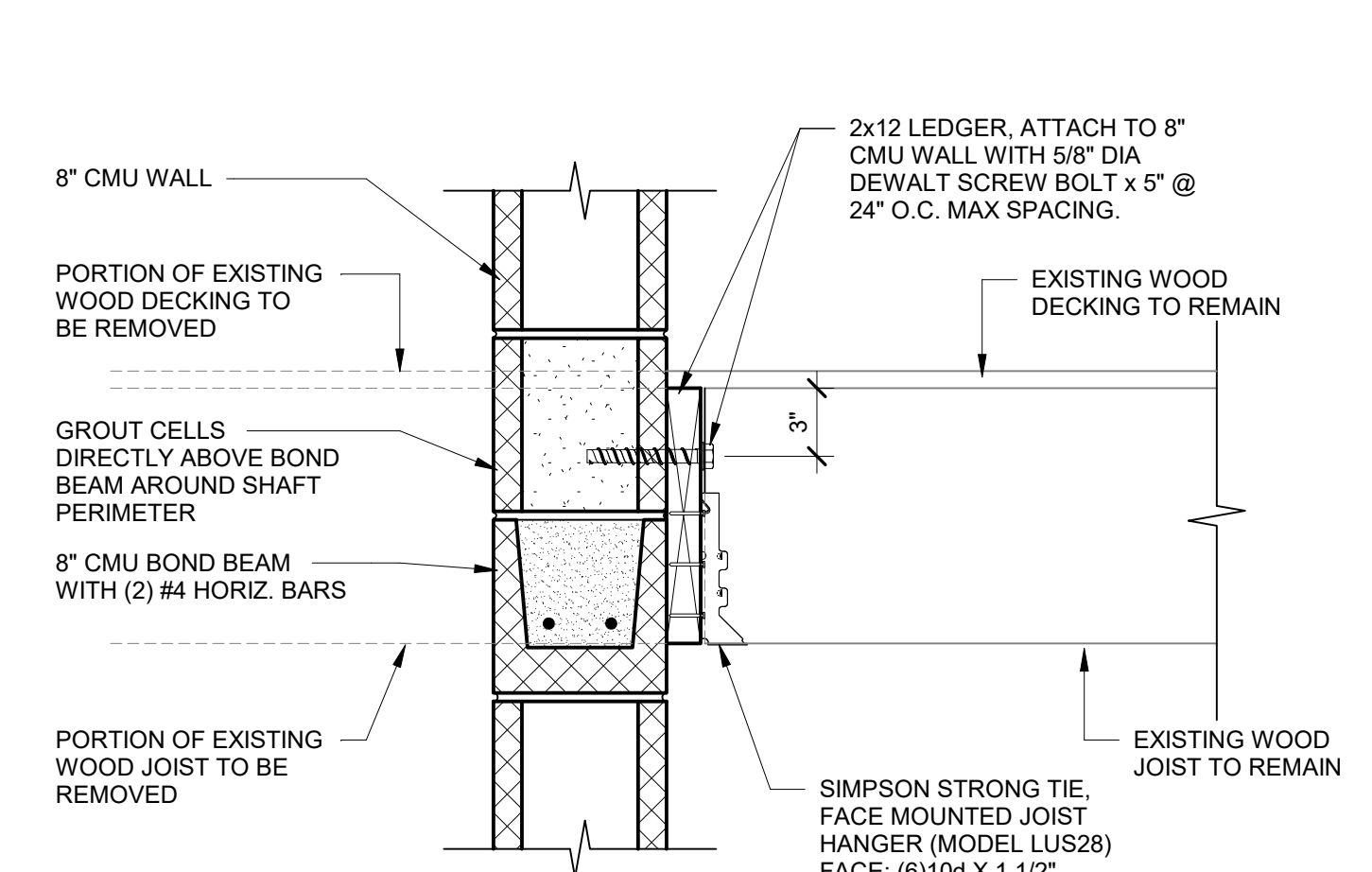
SCALE: 1 1/2" = 1'-0"



NOTES:
1. INSTALL ALL ENDS OF TOP PLATES TIGHT FOR COMPRESSION CHORD AXIAL FORCE.

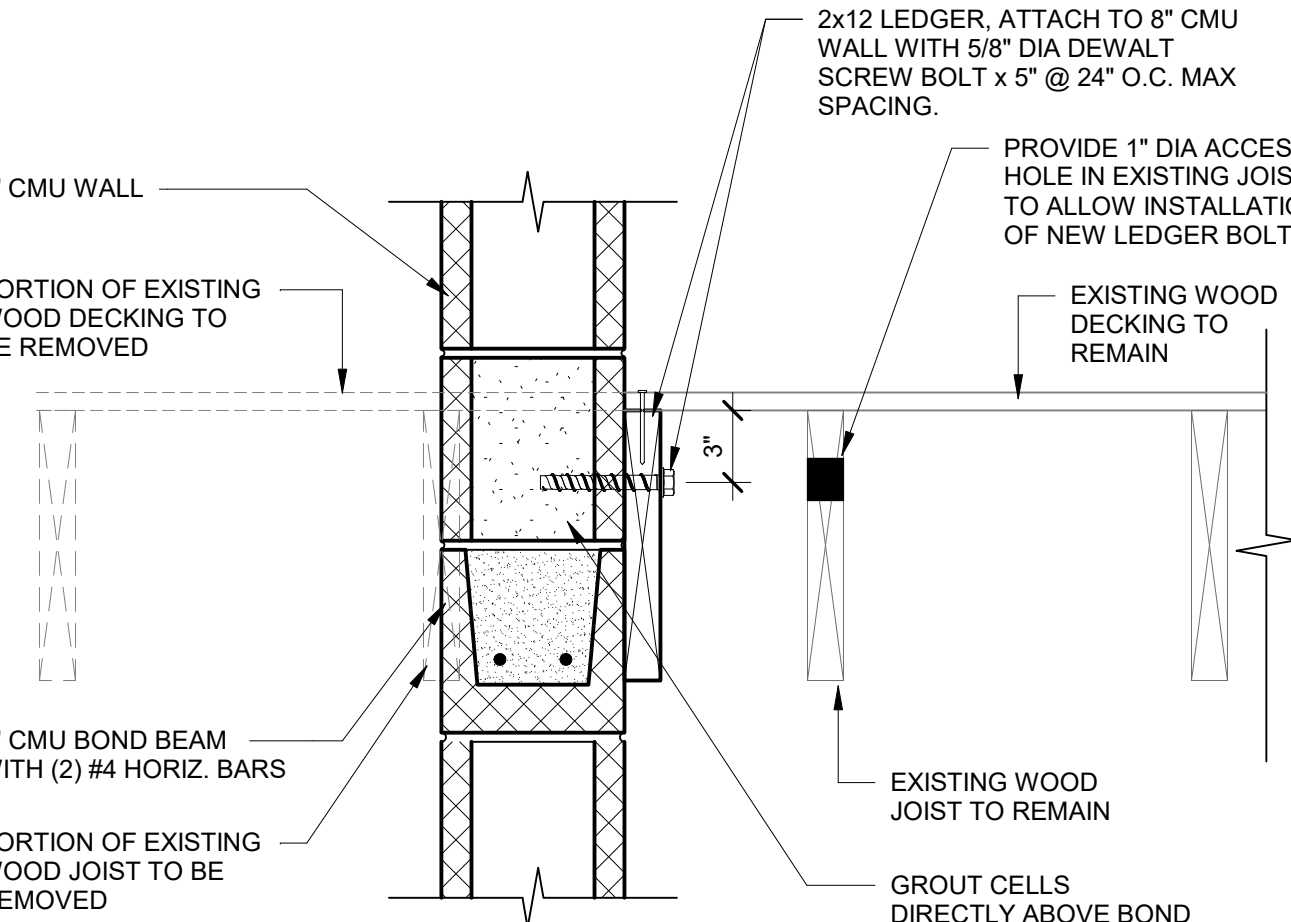
5 TOP PLATE SPLICE DETAIL - LOAD BEARING STUD WALL

SCALE: 1" = 1'-0"



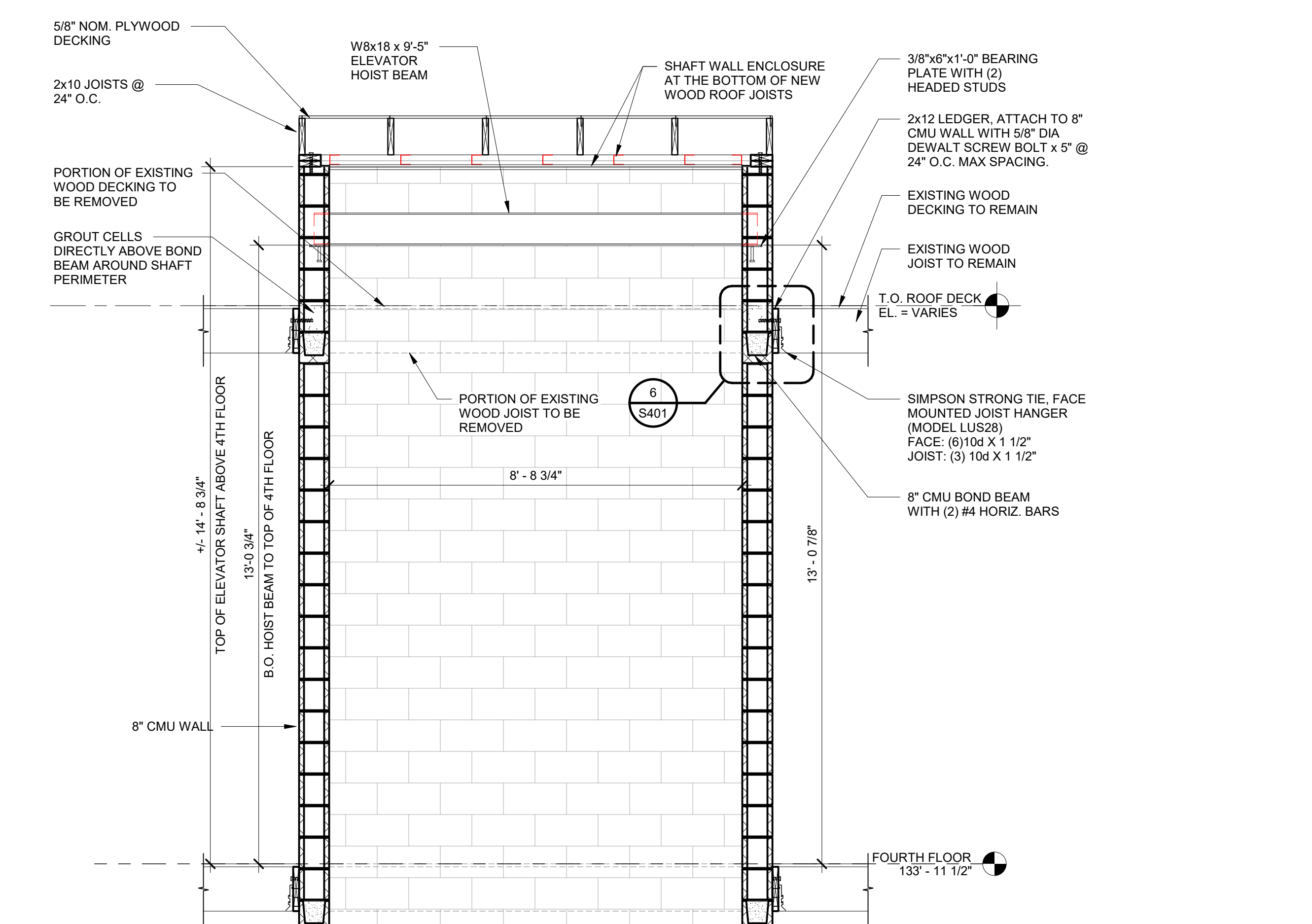
6 TYPICAL MASONRY LEDGER DETAIL

SCALE: 1 1/2" = 1'-0"



7 TYPICAL MASONRY LEDGER DETAIL

SCALE: 1 1/2" = 1'-0"



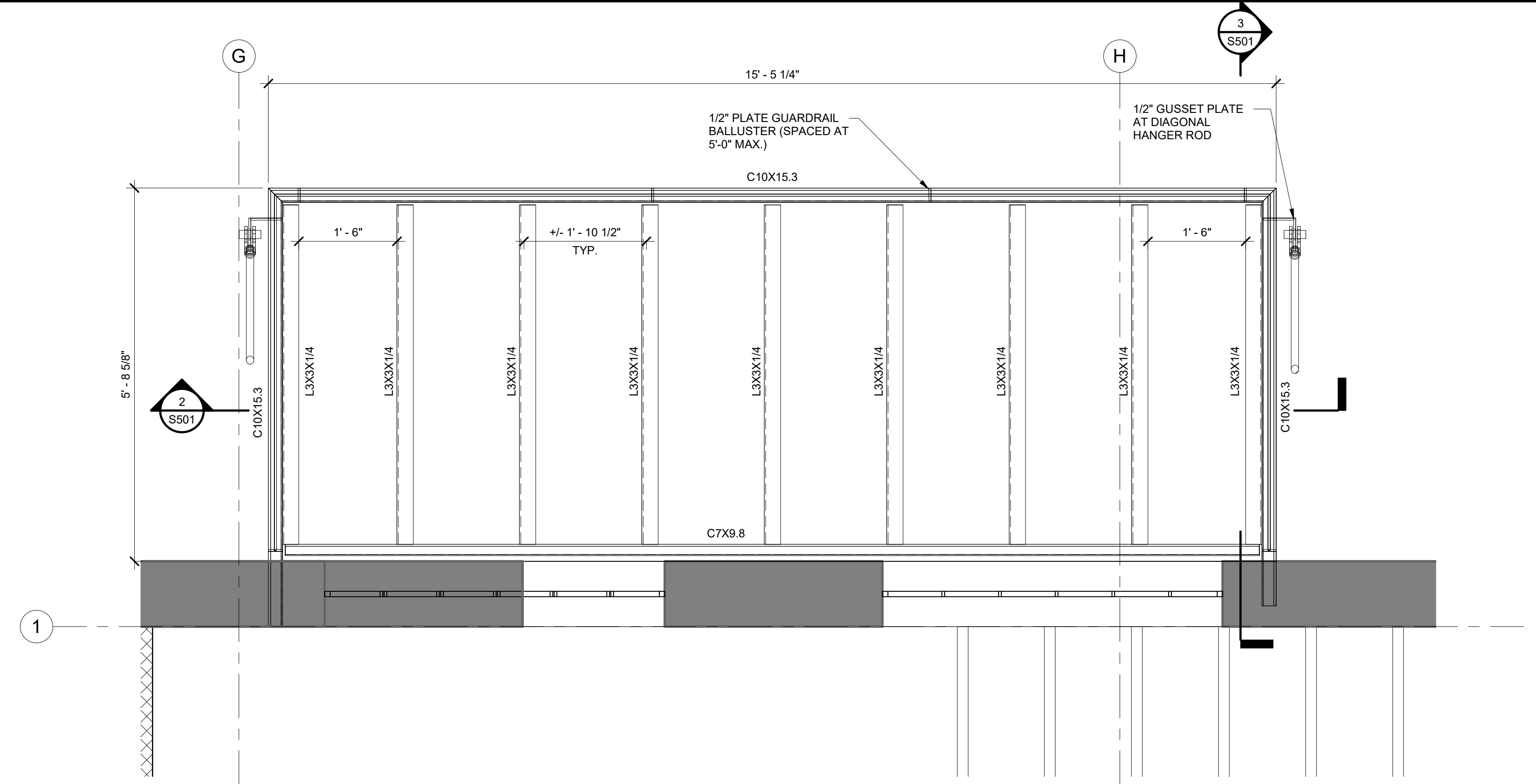
8 SECTION THROUGH ELEVATOR OVERRUN

SCALE: 1/2" = 1'-0"

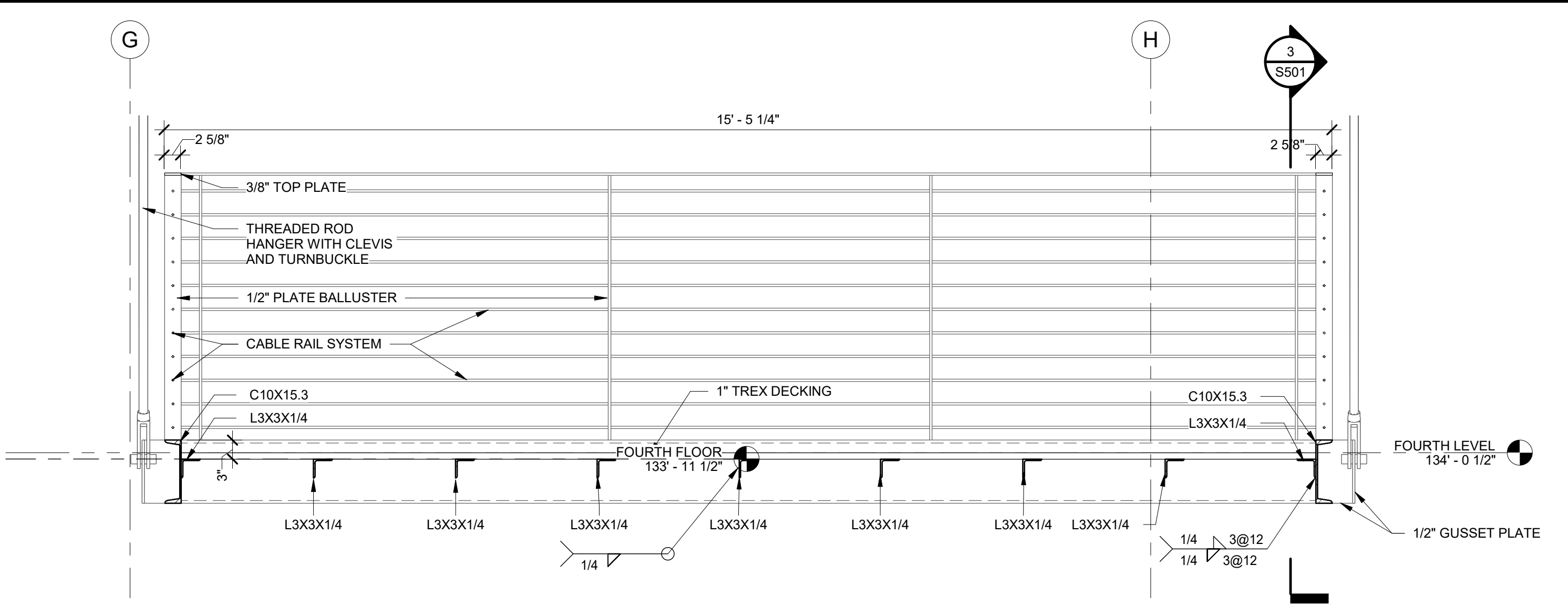
NO.	Date	Description

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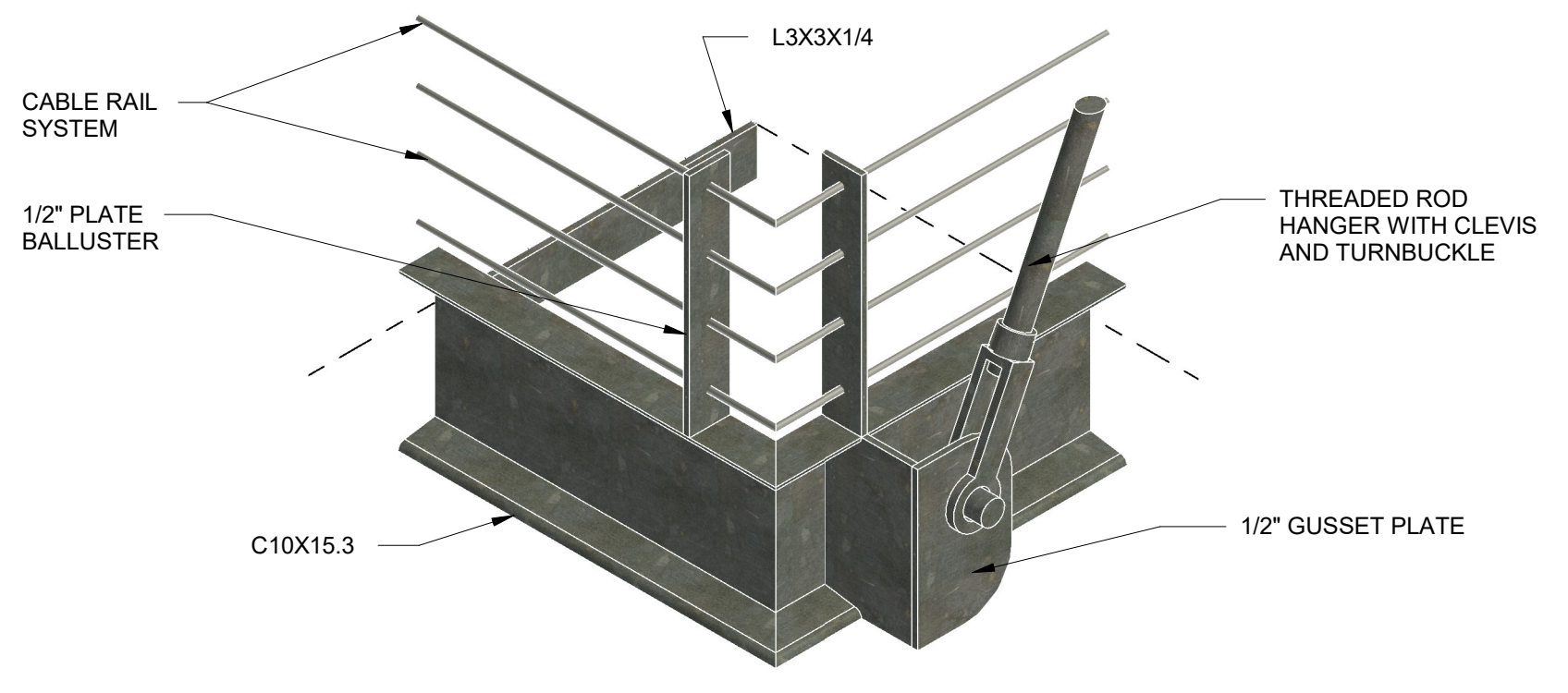
REVISIONS		
NO.	Date	Description



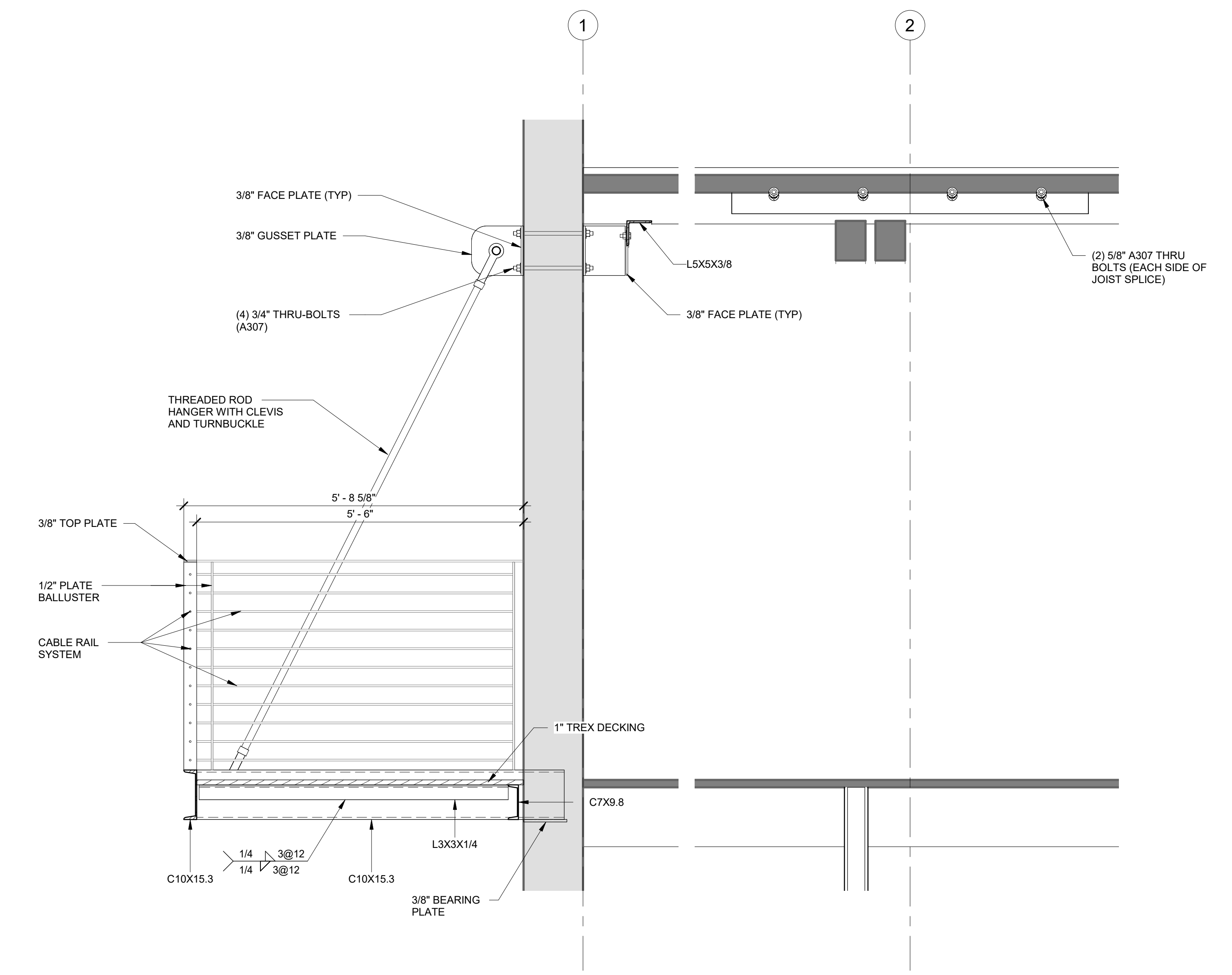
1 TYPICAL EXTERIOR BALCONY FRAMING PLAN
SCALE: 3/4" = 1'-0"



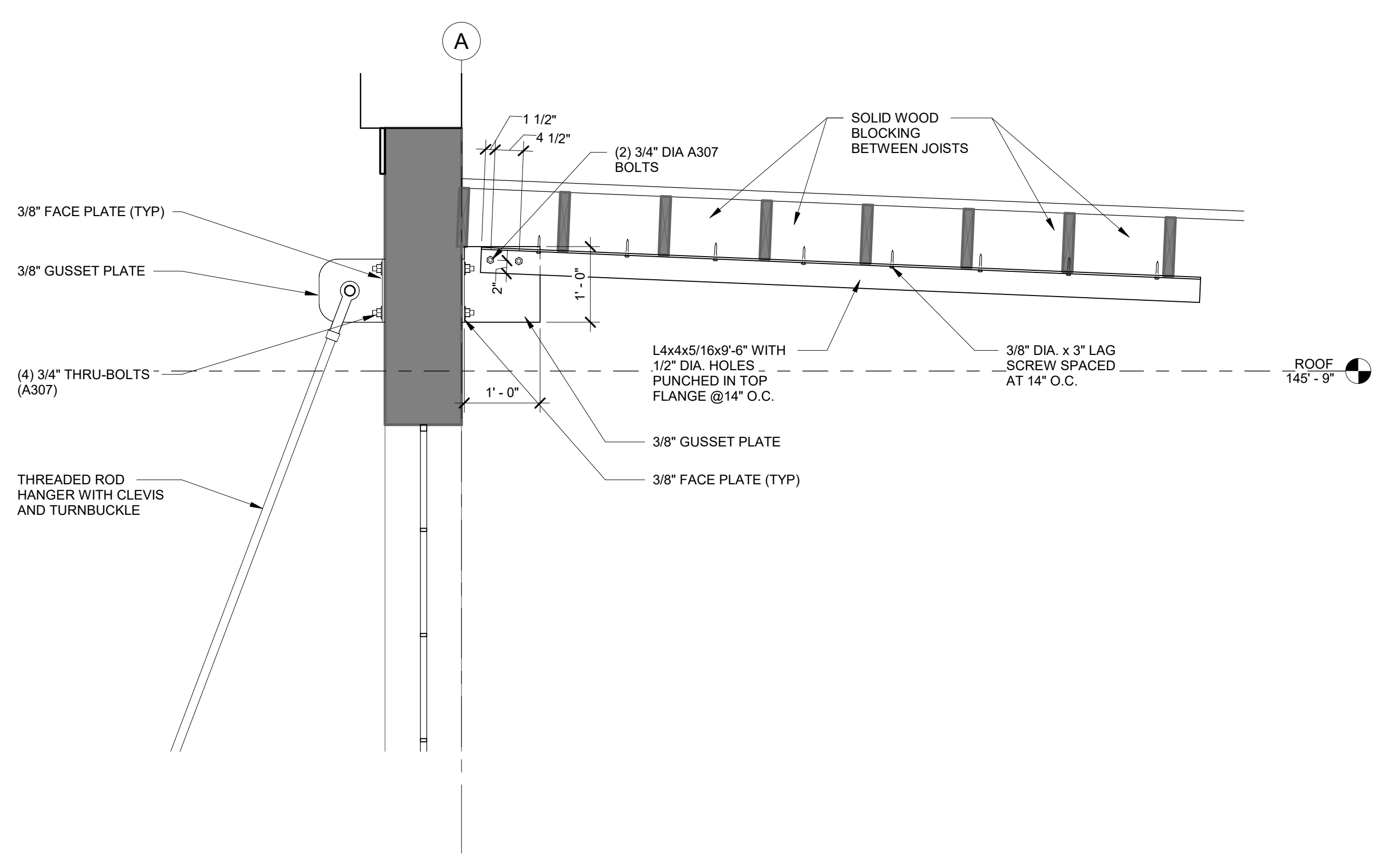
2 SECTION THROUGH BALCONY
SCALE: 3/4" = 1'-0"



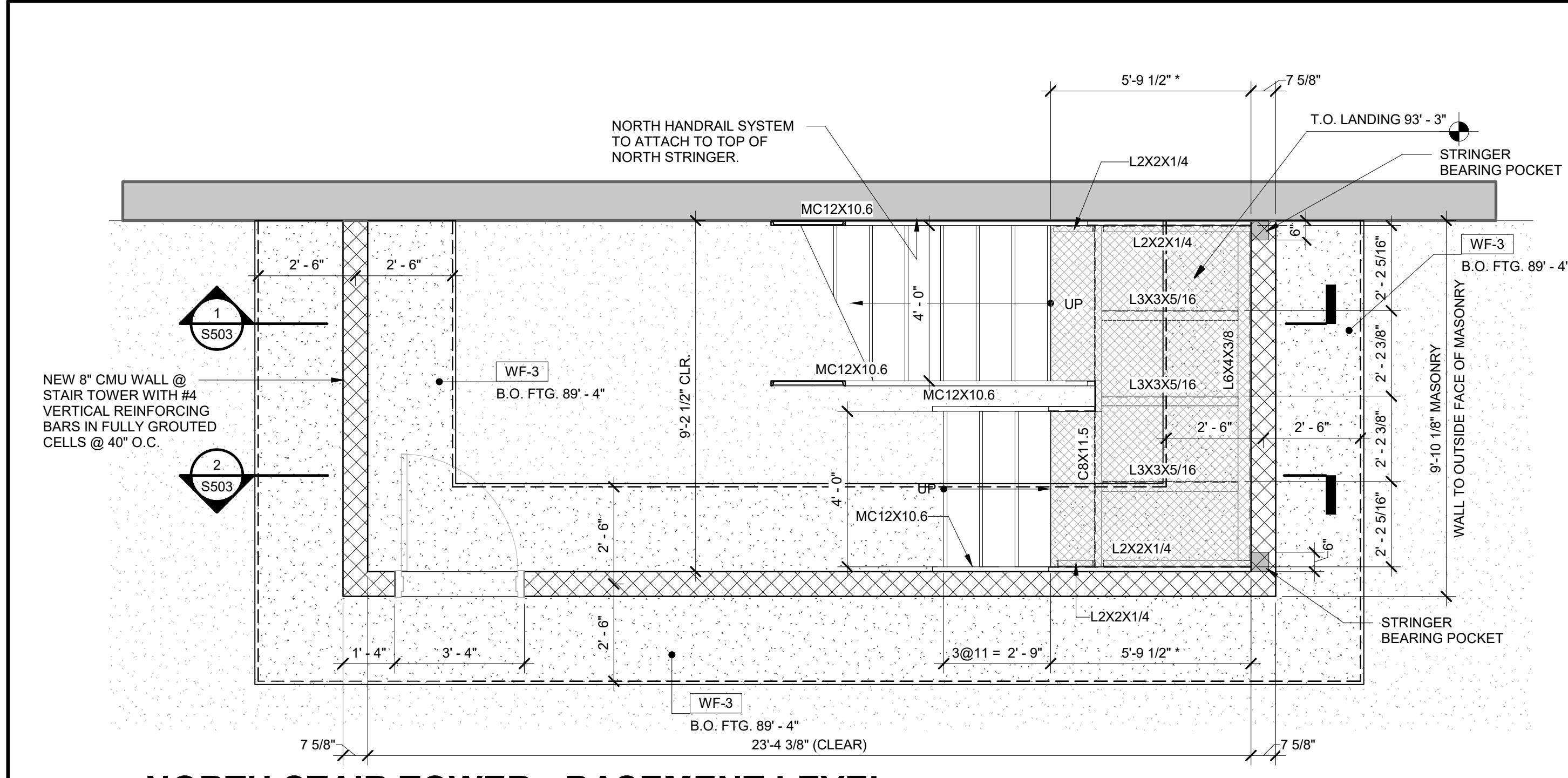
4 GUSSET PLATE ISOMETRIC
SCALE: 3/4" = 1'-0"



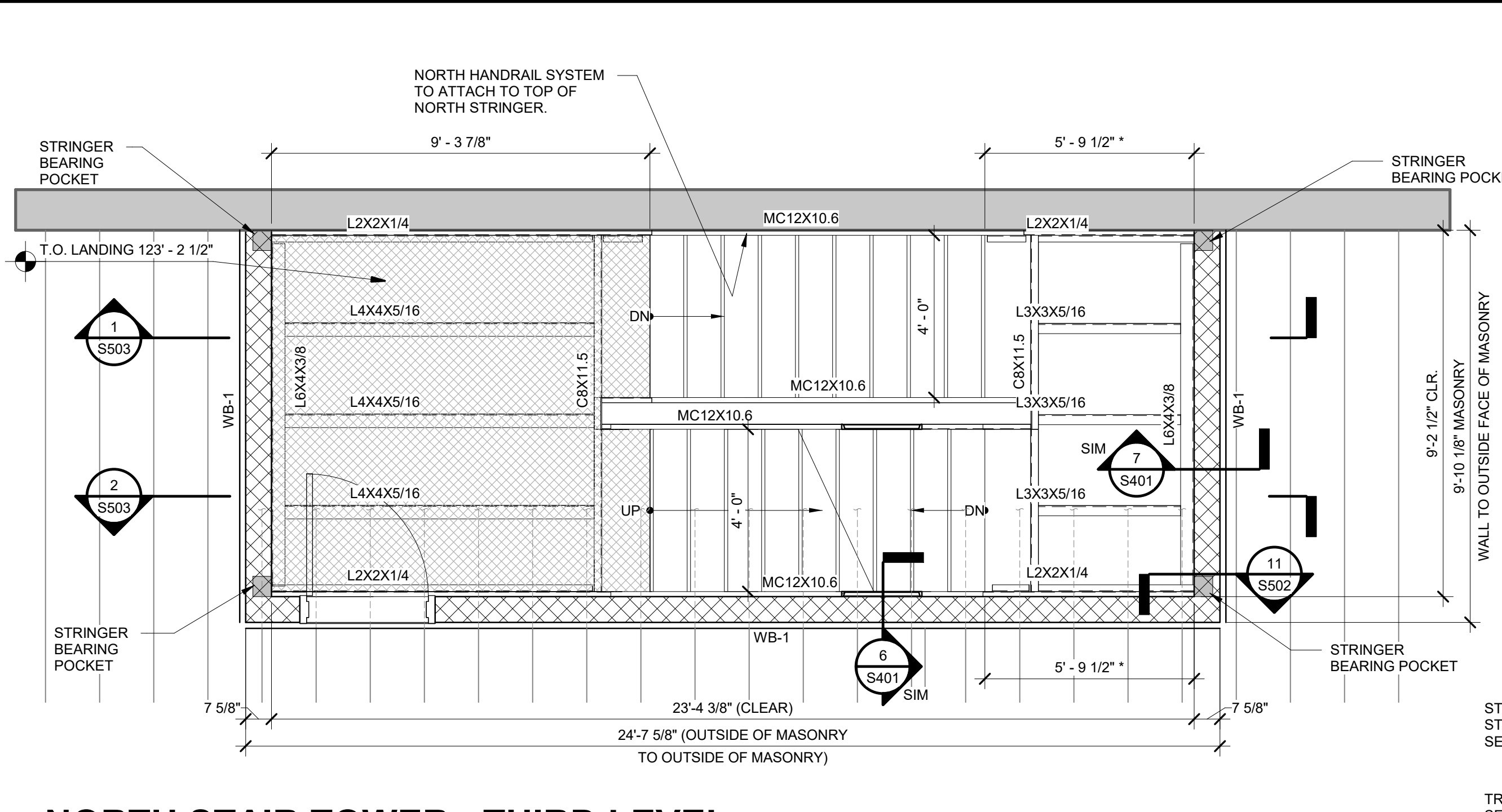
3 SECTION THROUGH BALCONY
SCALE: 3/4" = 1'-0"



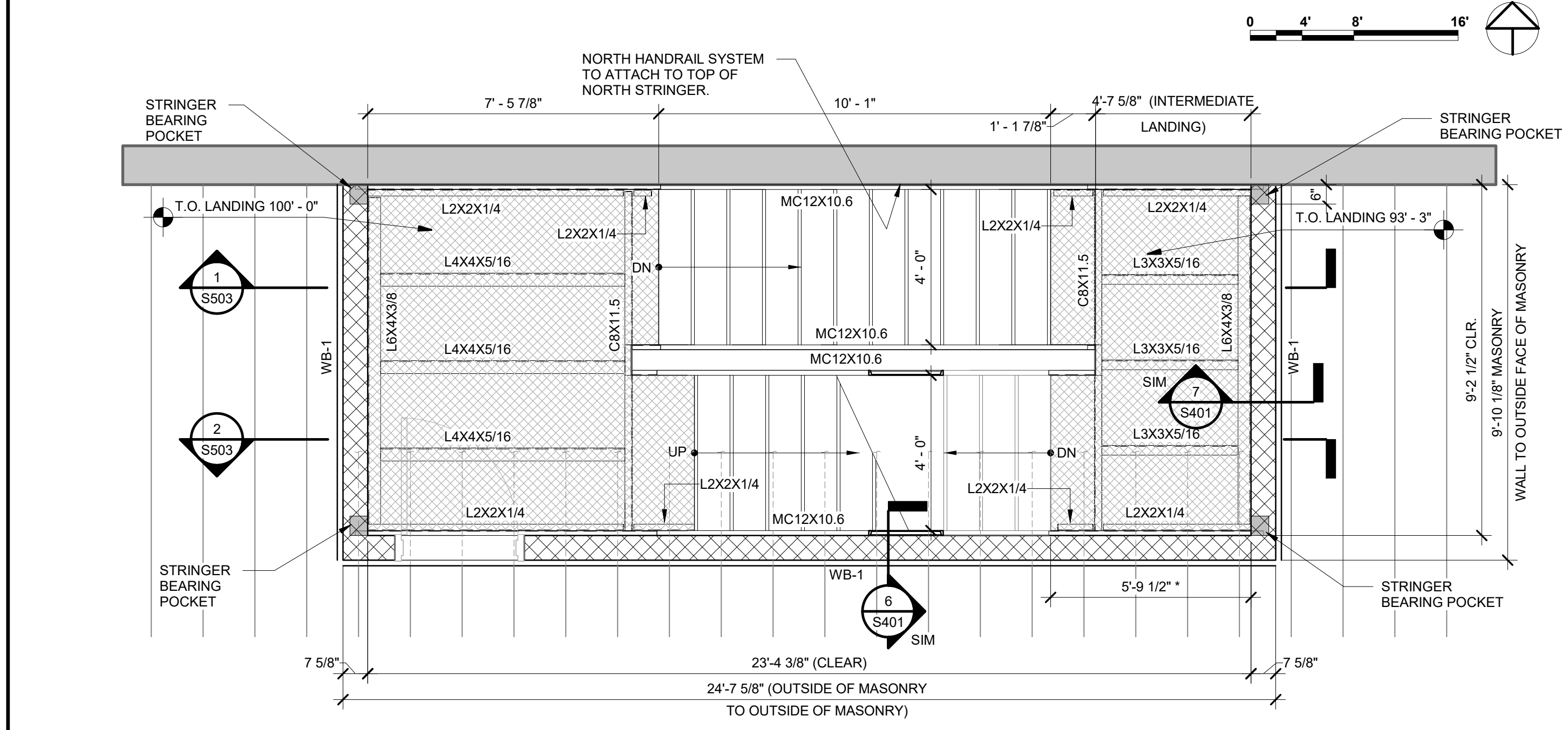
5 TOP OF BALCONY ATTACHMENT AT WEST WALL
SCALE: 3/4" = 1'-0"



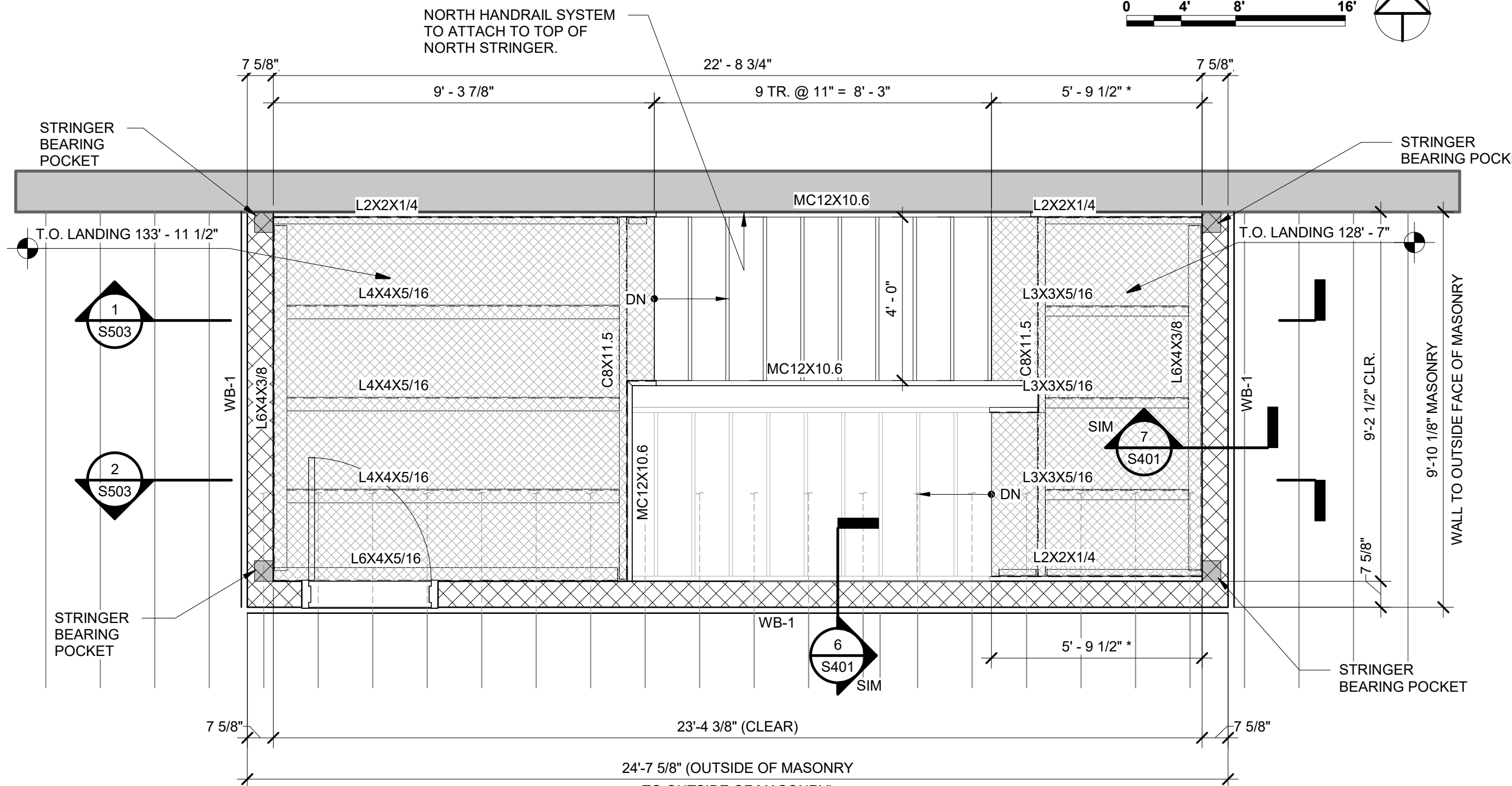
1 NORTH STAIR TOWER - BASEMENT LEVEL
SCALE: 3/8" = 1'-0"



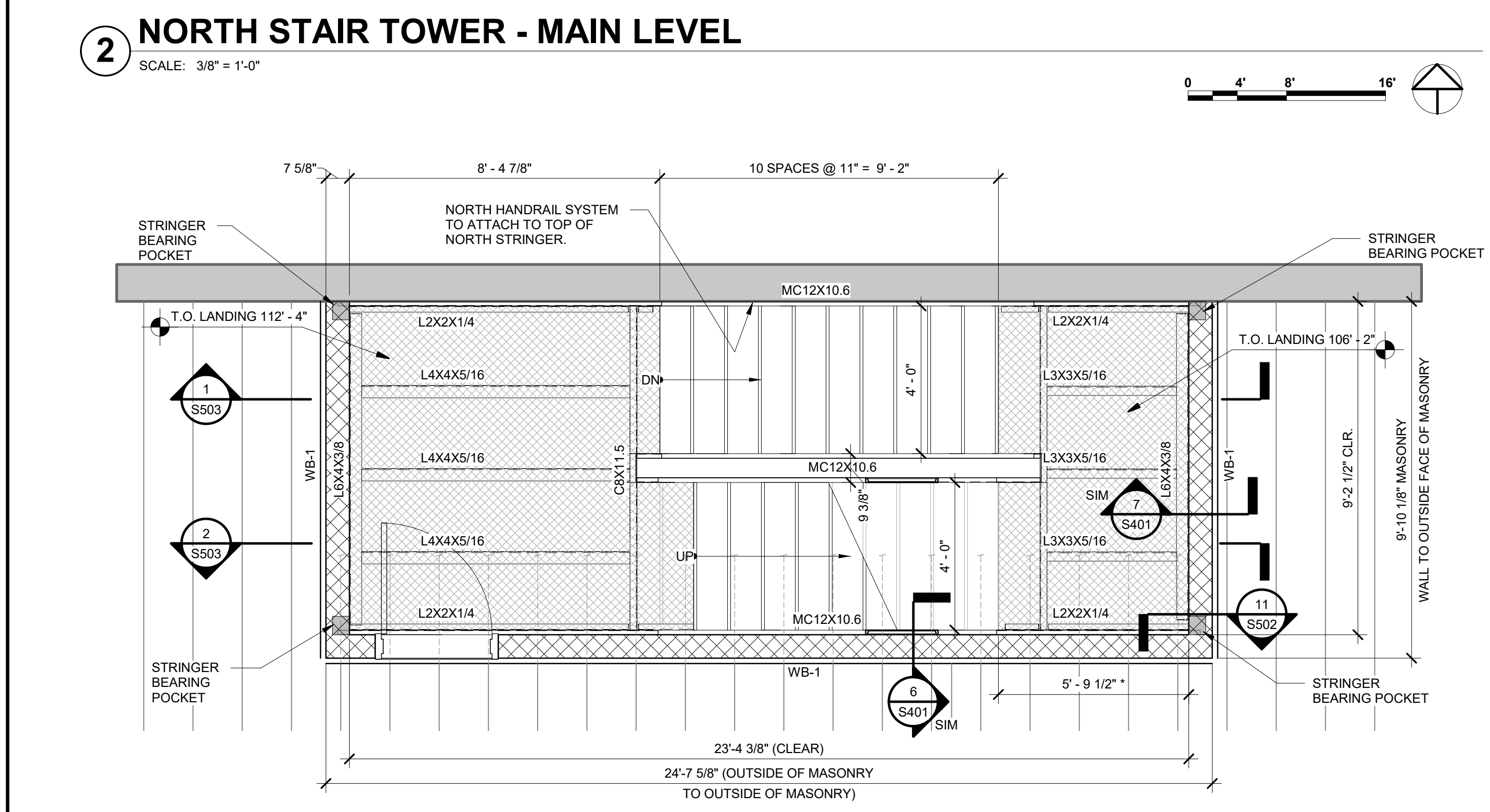
4 NORTH STAIR TOWER - THIRD LEVEL
SCALE: 3/8" = 1'-0"



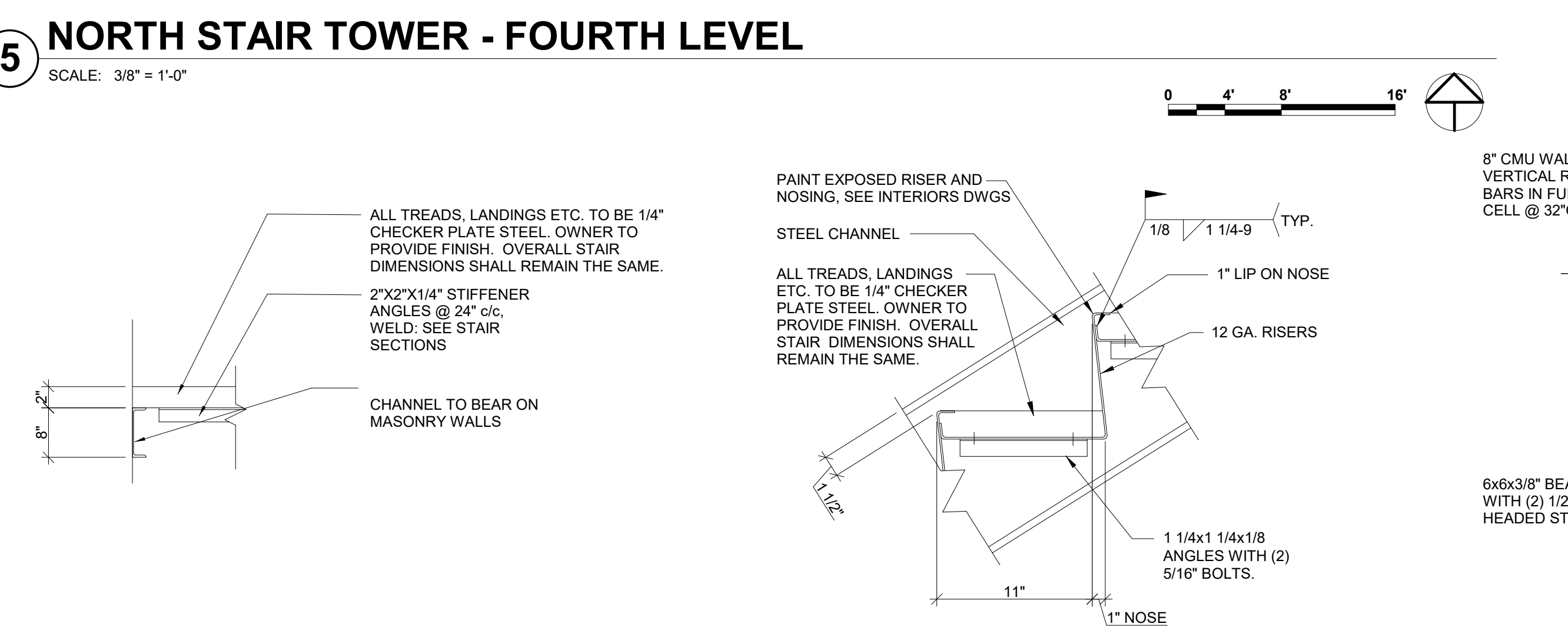
2 NORTH STAIR TOWER - MAIN LEVEL
SCALE: 3/8" = 1'-0"



5 NORTH STAIR TOWER - FOURTH LEVEL
SCALE: 3/8" = 1'-0"

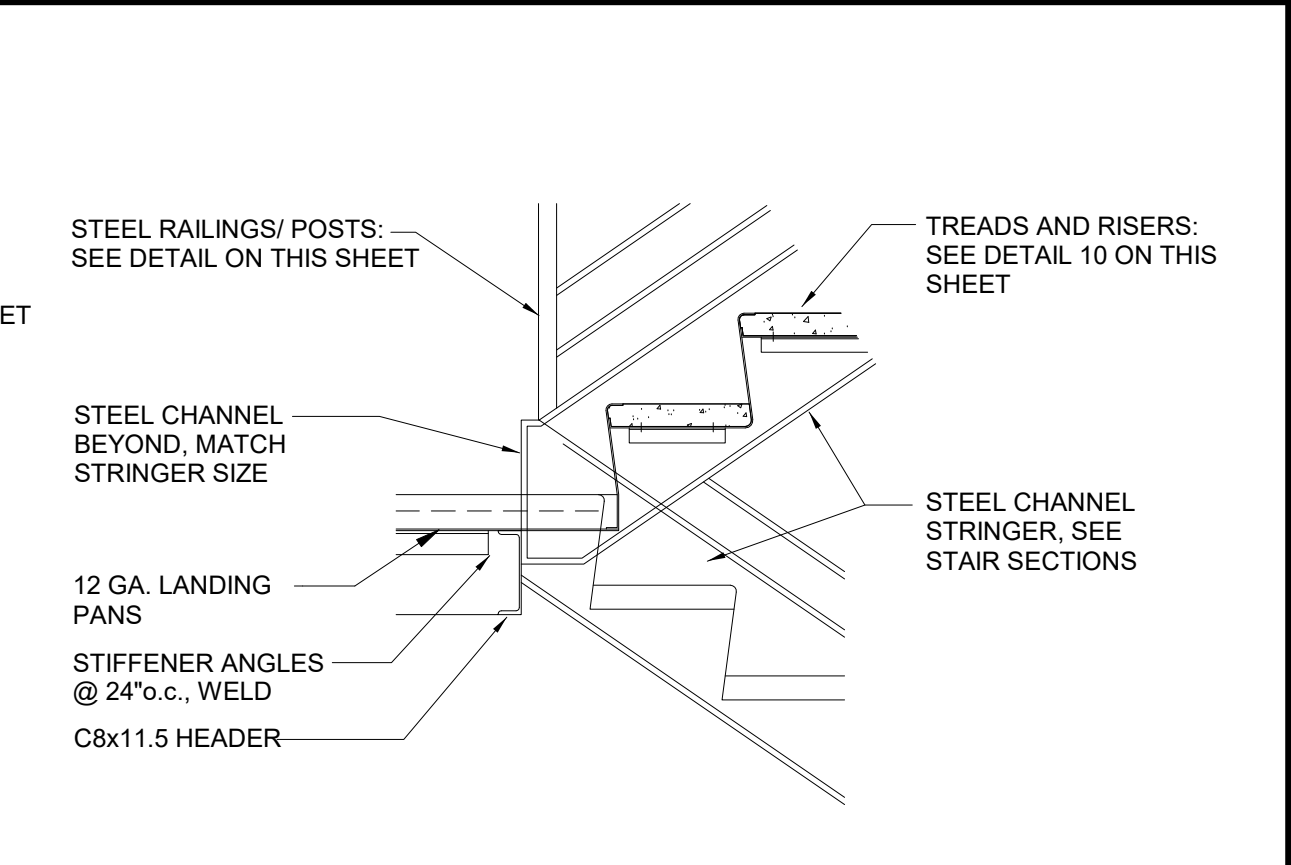


3 NORTH STAIR TOWER - SECOND LEVEL
SCALE: 3/8" = 1'-0"

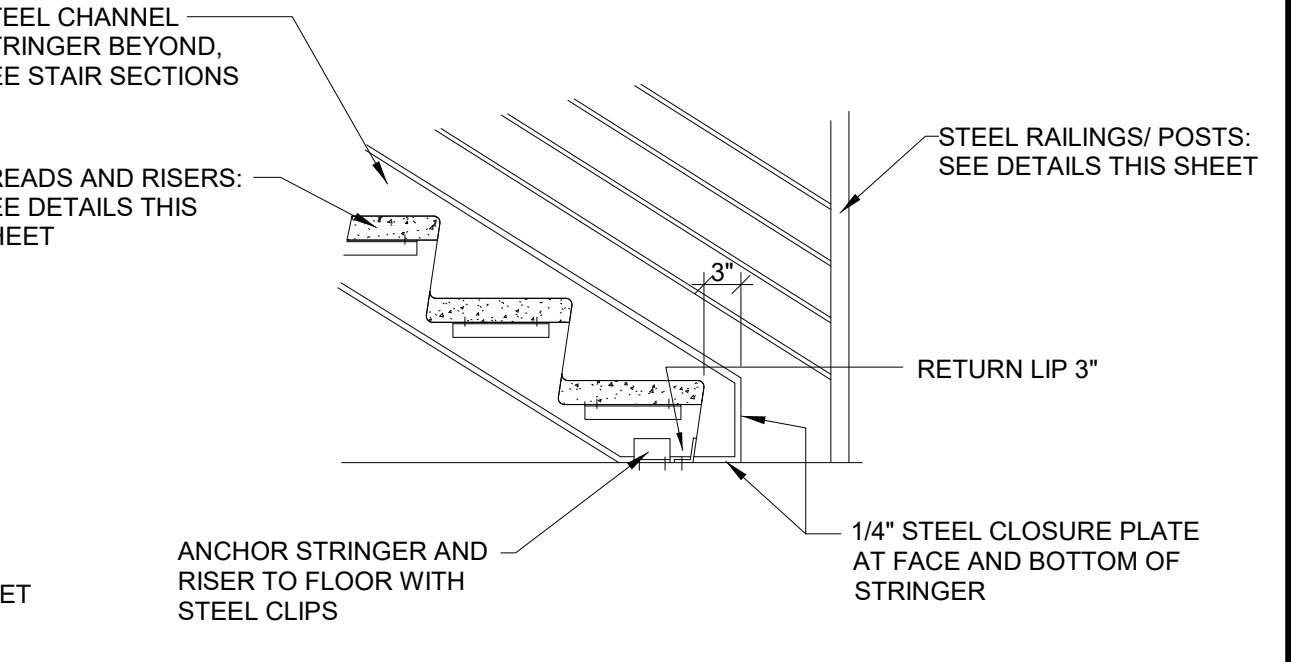


9 STAIR LANDING DETAIL
SCALE: 3/4" = 1'-0"

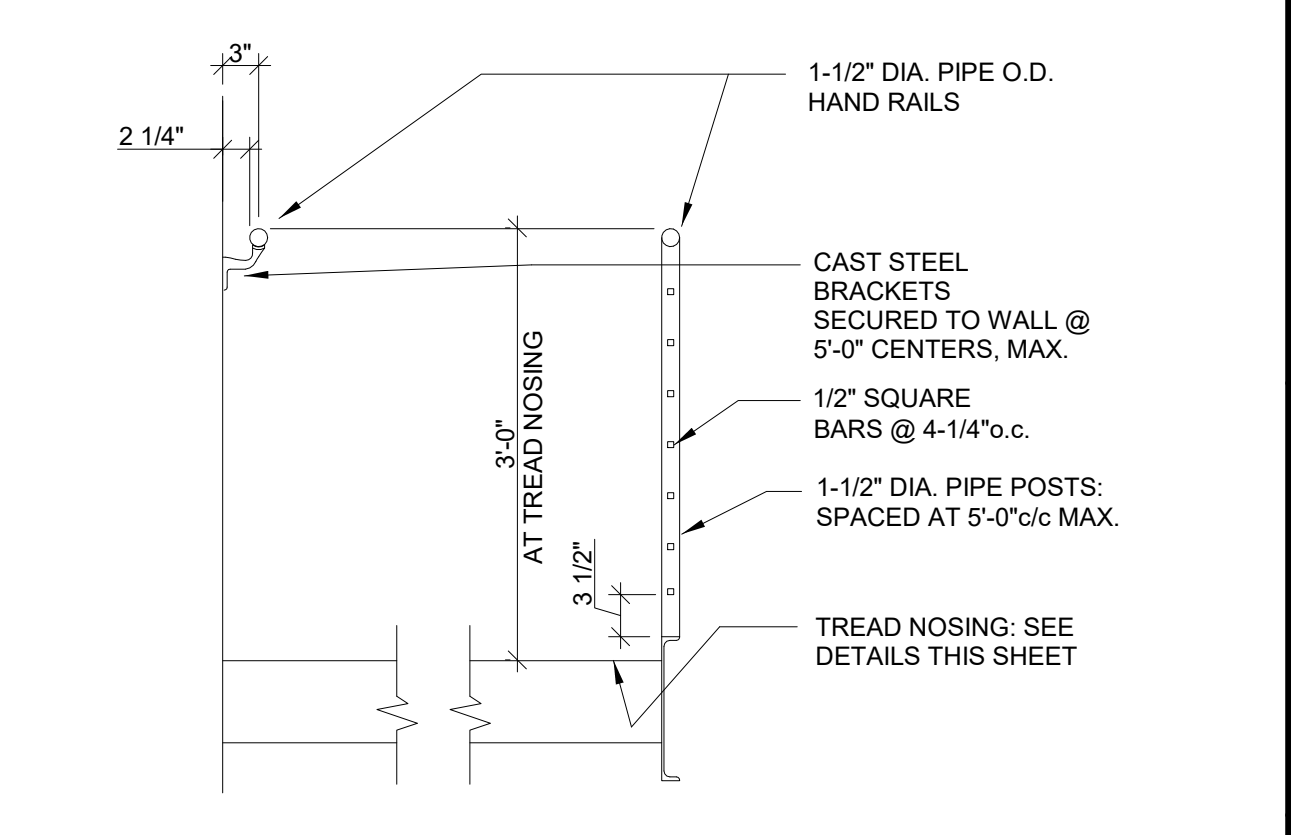
10 TYPICAL STAIR TREAD DETAIL
SCALE: 1 1/2" = 1'-0"



6 STAIR LANDING DETAIL
SCALE: 3/4" = 1'-0"



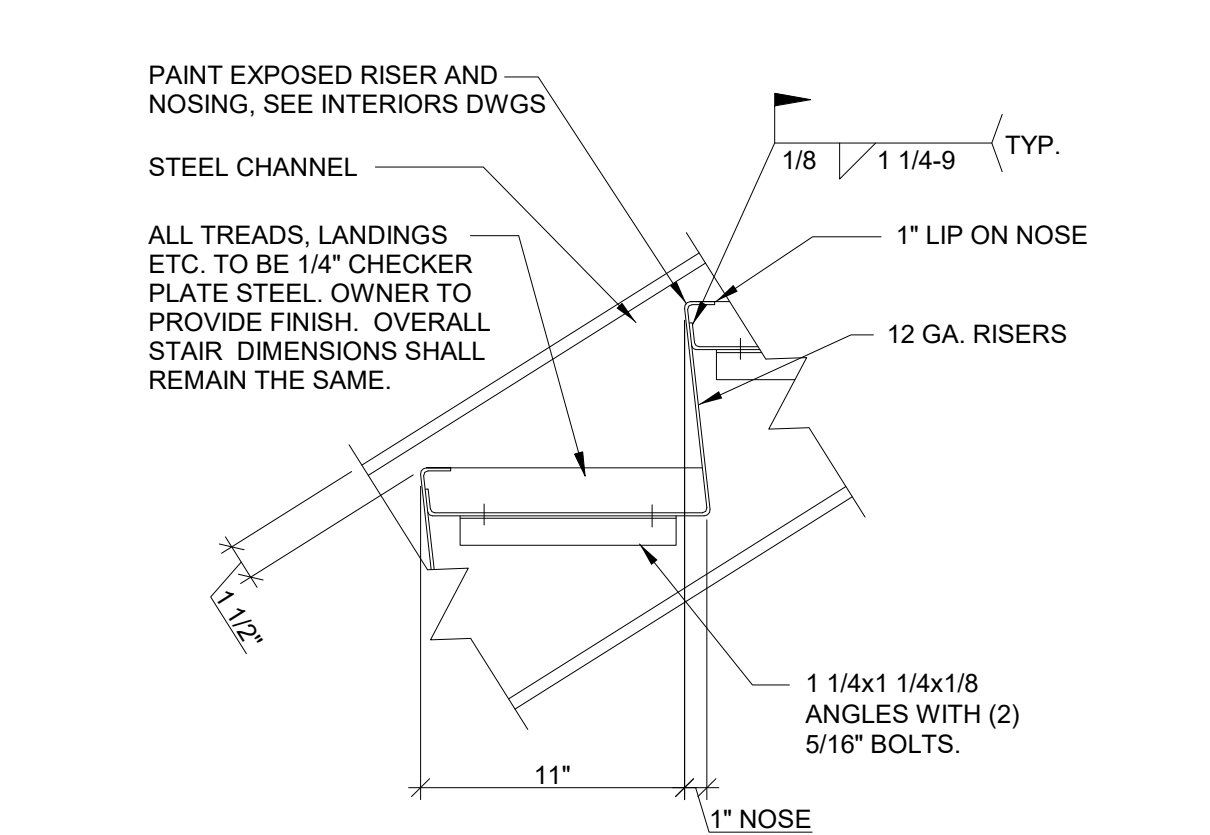
7 STAIR BASE DETAIL
SCALE: 3/4" = 1'-0"



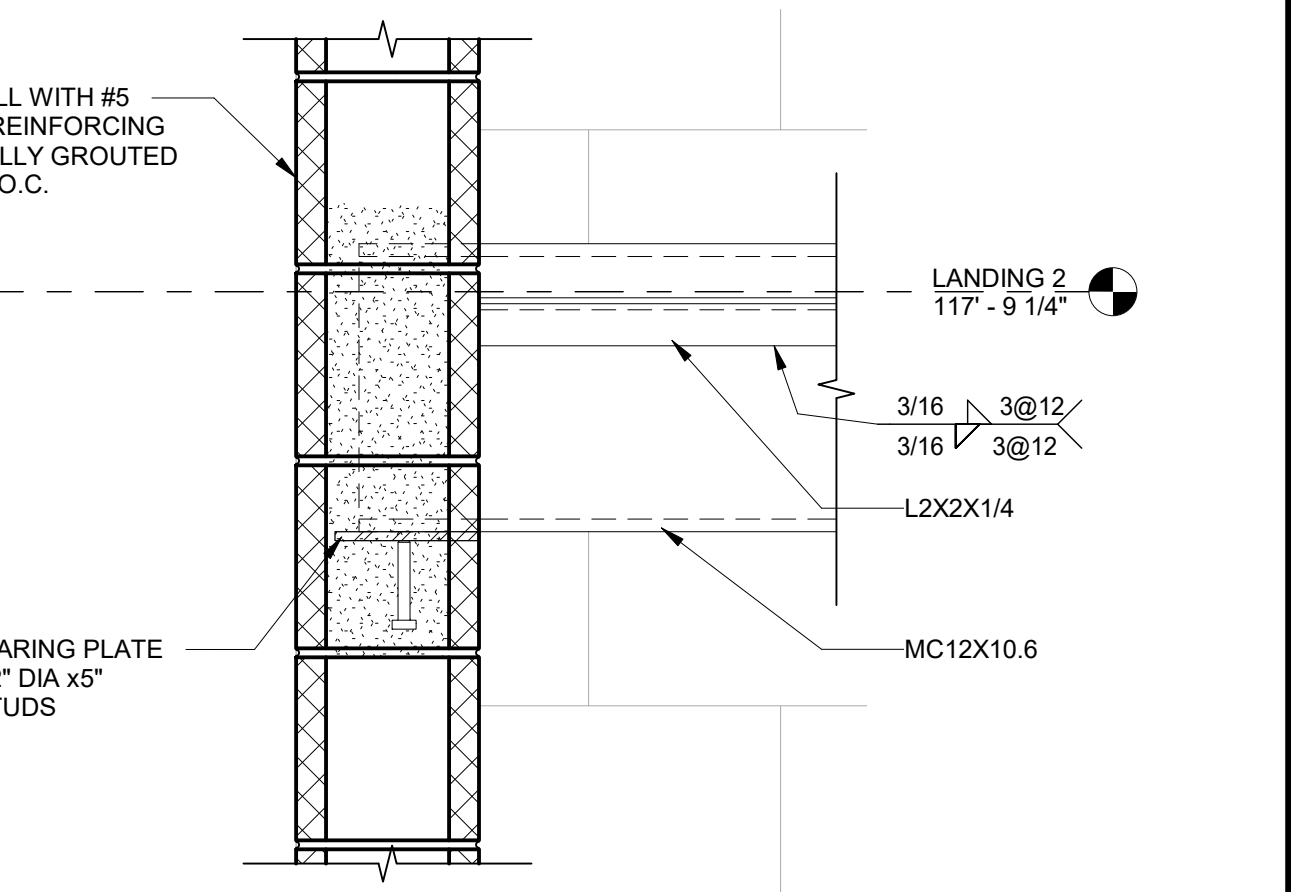
8 STAIR HANDRAIL SECTION
SCALE: 3/4" = 1'-0"



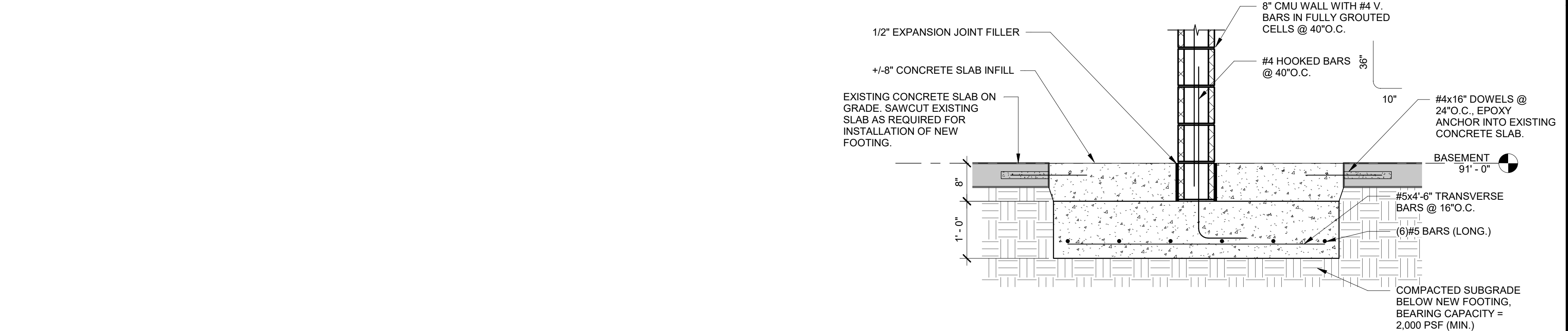
9 STAIR LANDING DETAIL
SCALE: 3/4" = 1'-0"



10 TYPICAL STAIR TREAD DETAIL
SCALE: 1 1/2" = 1'-0"

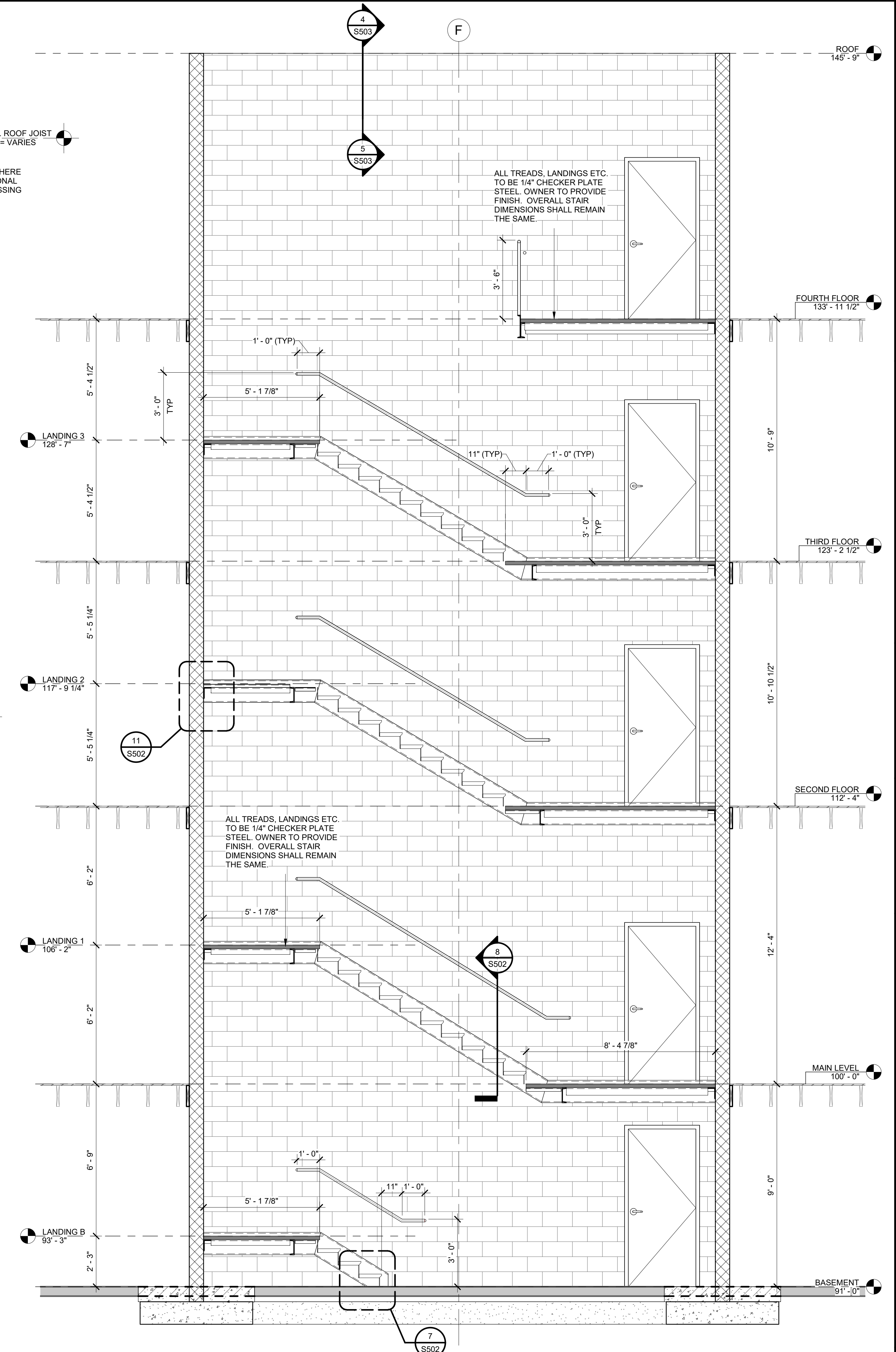


11 STRINGER BEARING DETAIL
SCALE: 1 1/2" = 1'-0"

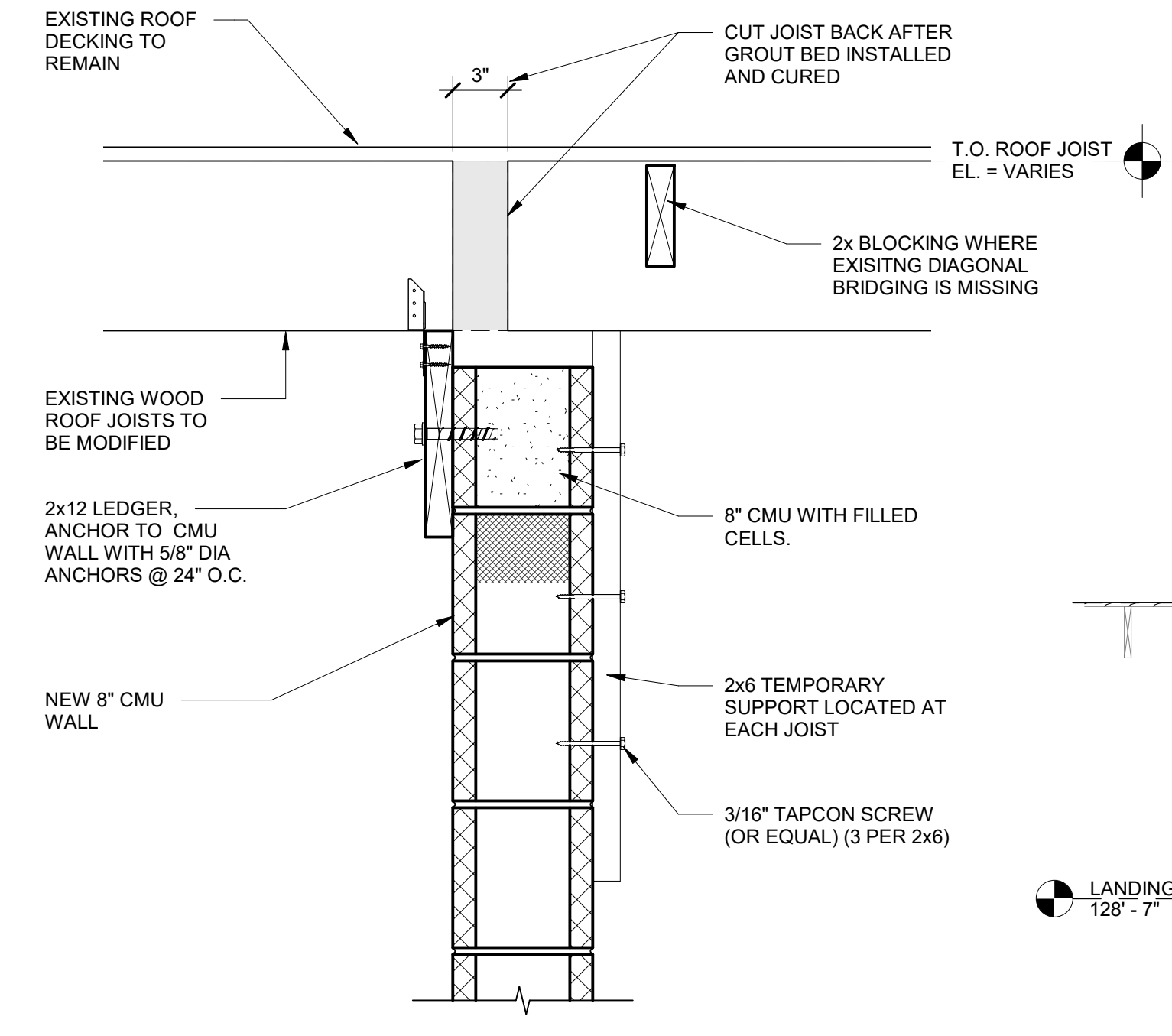


13 STAIR TOWER FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"

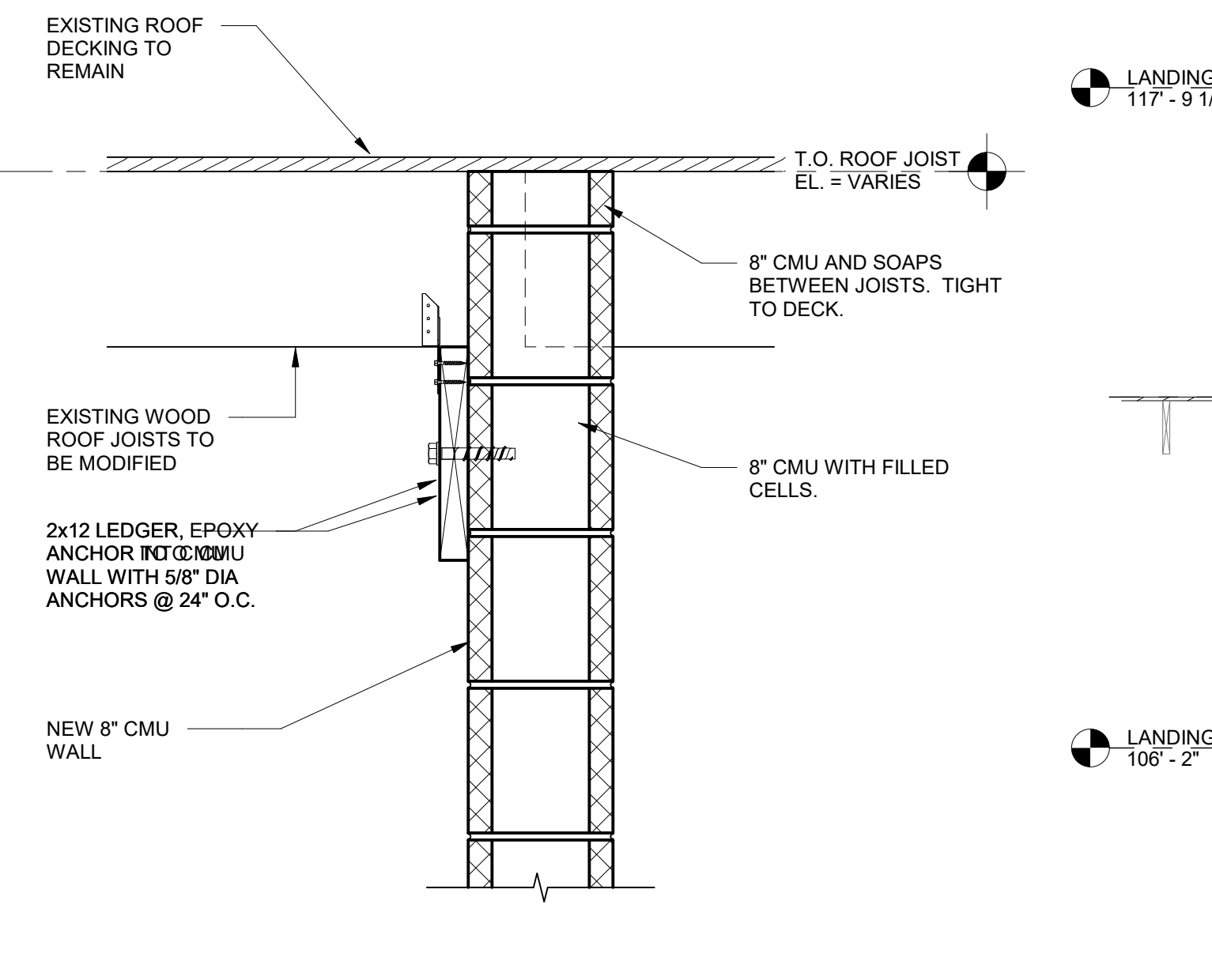
REVISIONS		
NO.	Date	Description



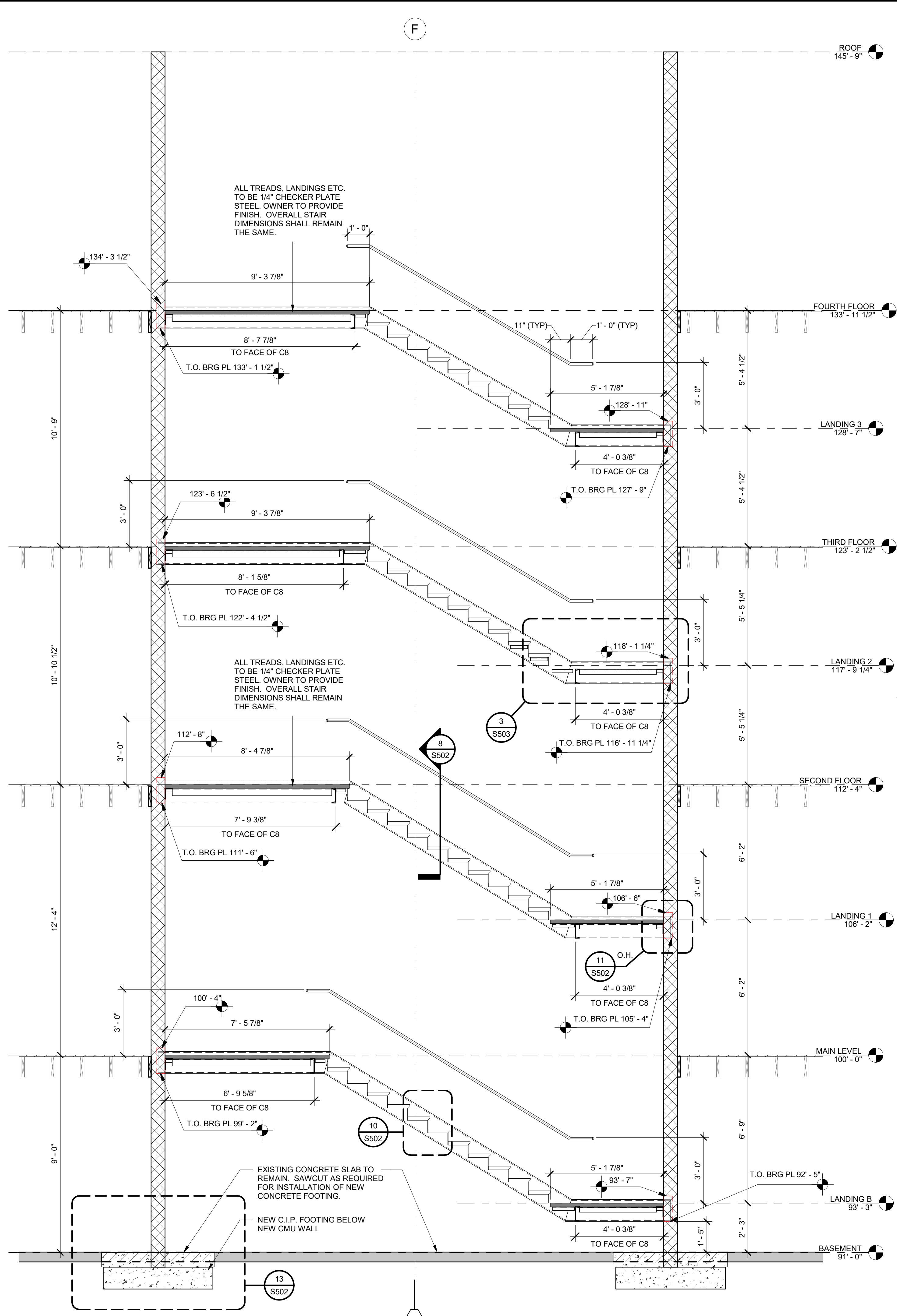
2 NORTH STAIR TOWER - SECTION LOOKING SOUTH
SCALE: 3/8" = 1'-0"



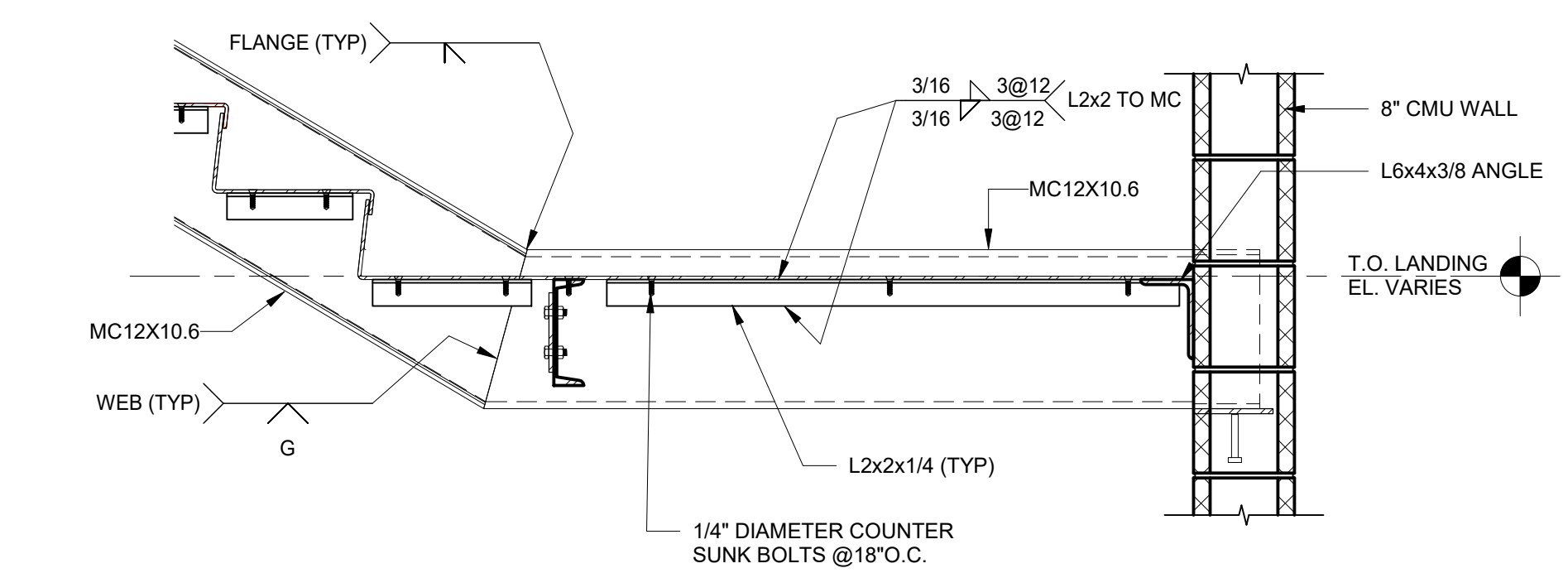
4 TOP OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



5 TOP OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"

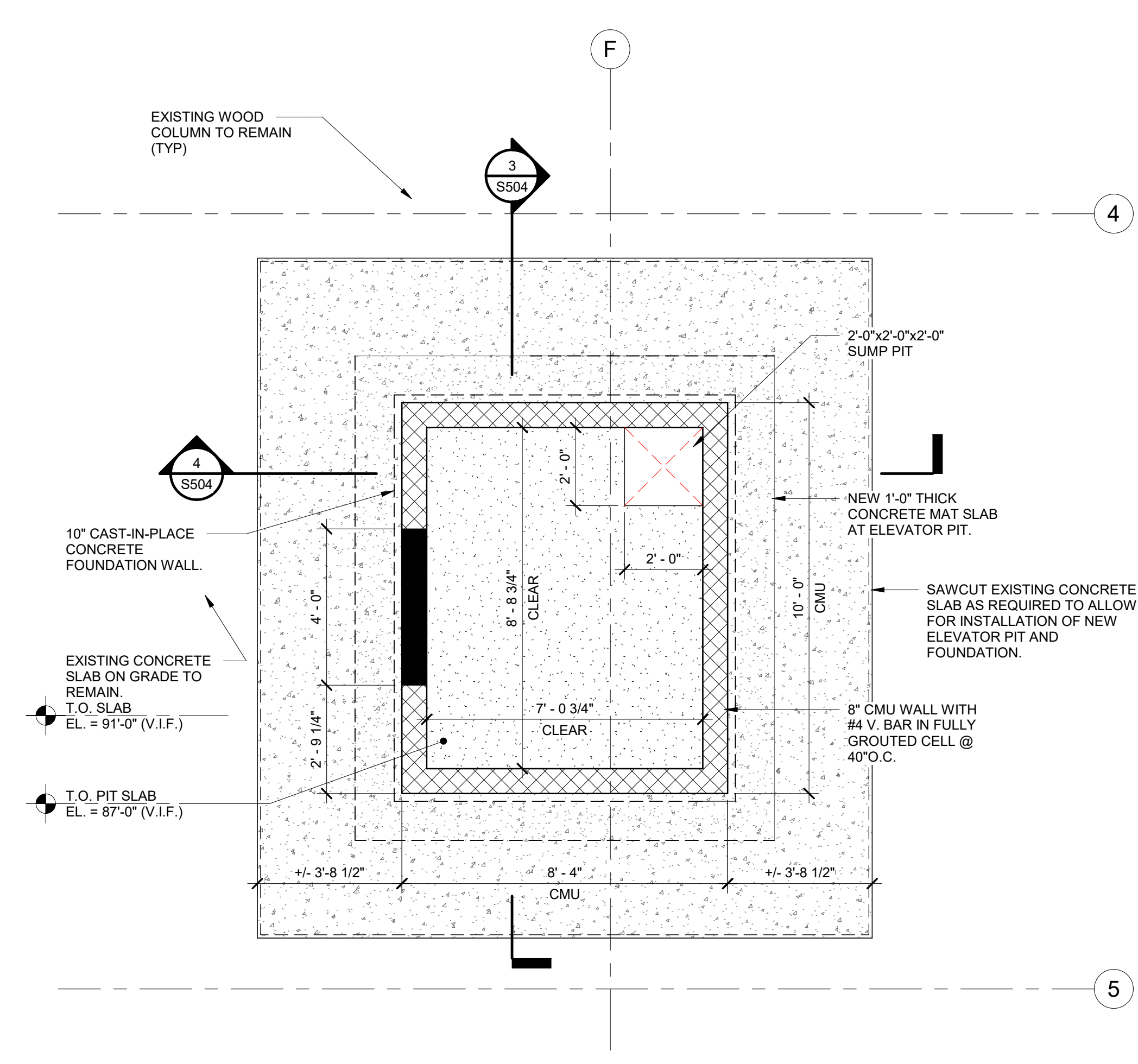


1 NORTH STAIR TOWER - SECTION LOOKING NORTH
SCALE: 3/8" = 1'-0"

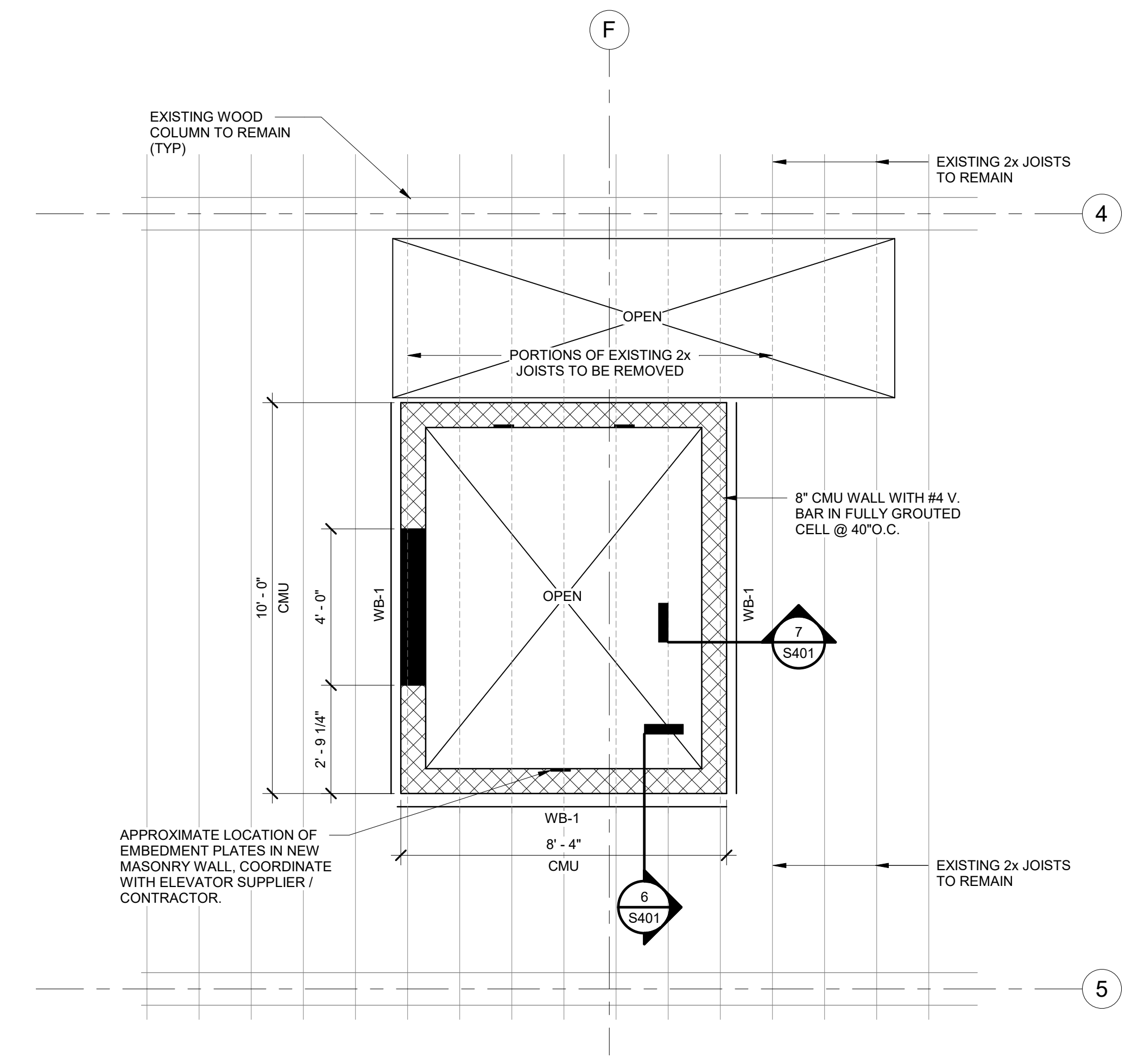


3 ENLARGED LANDING DETAIL
SCALE: 1" = 1'-0"

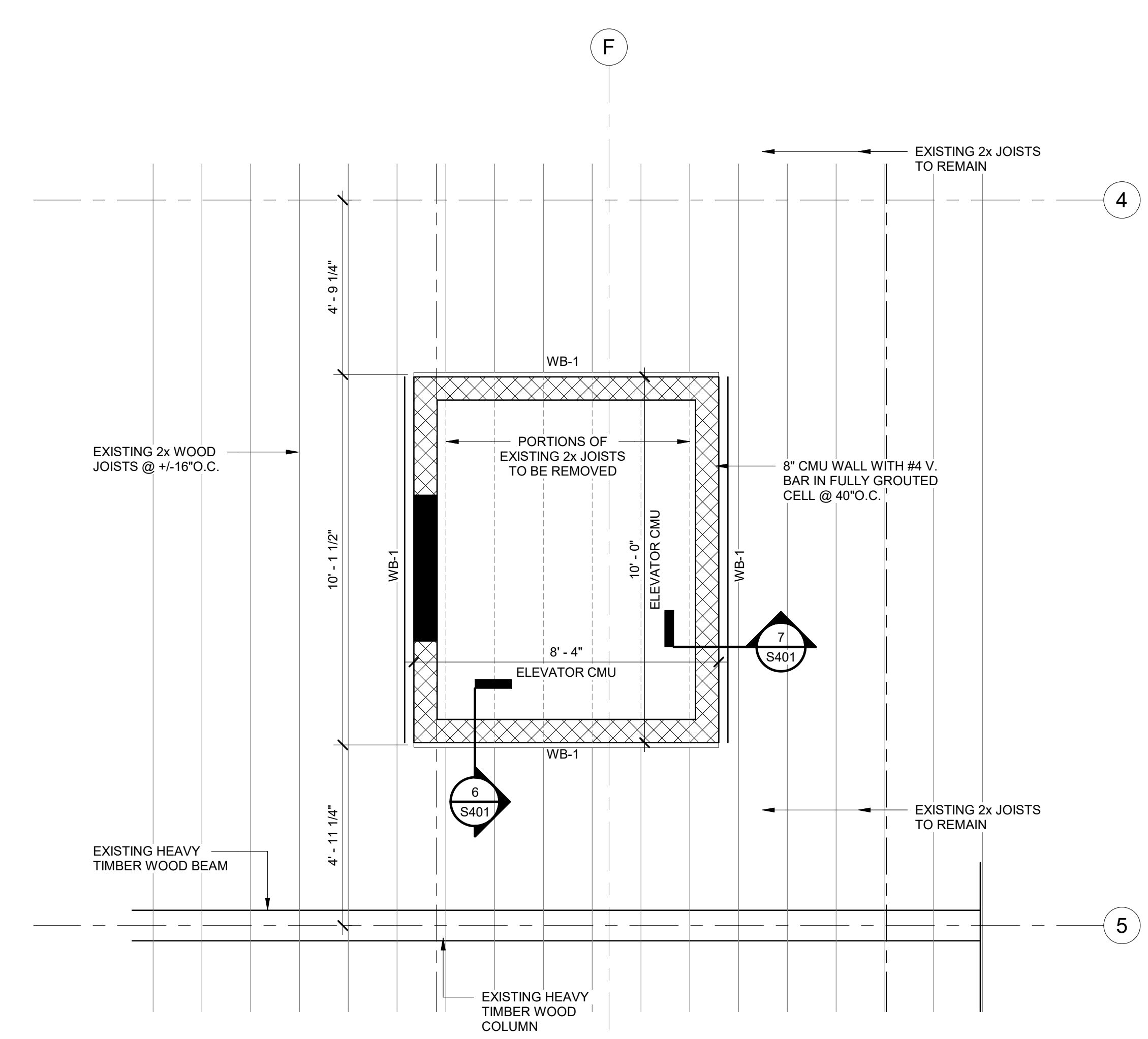
REVISIONS		
NO.	Date	Description



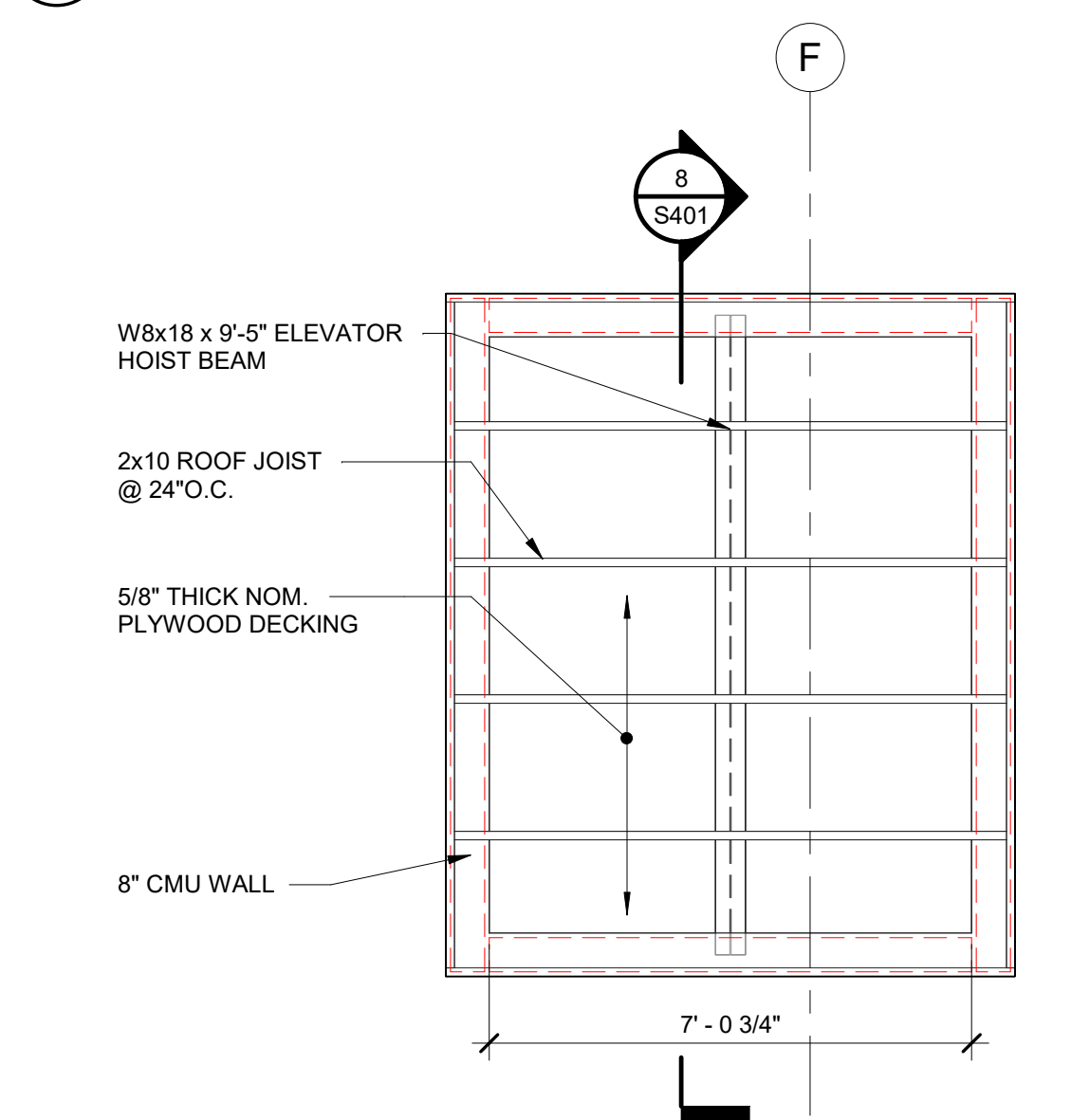
1 ELEVATOR PLAN - BASEMENT LEVEL
SCALE: 3/8" = 1'-0"



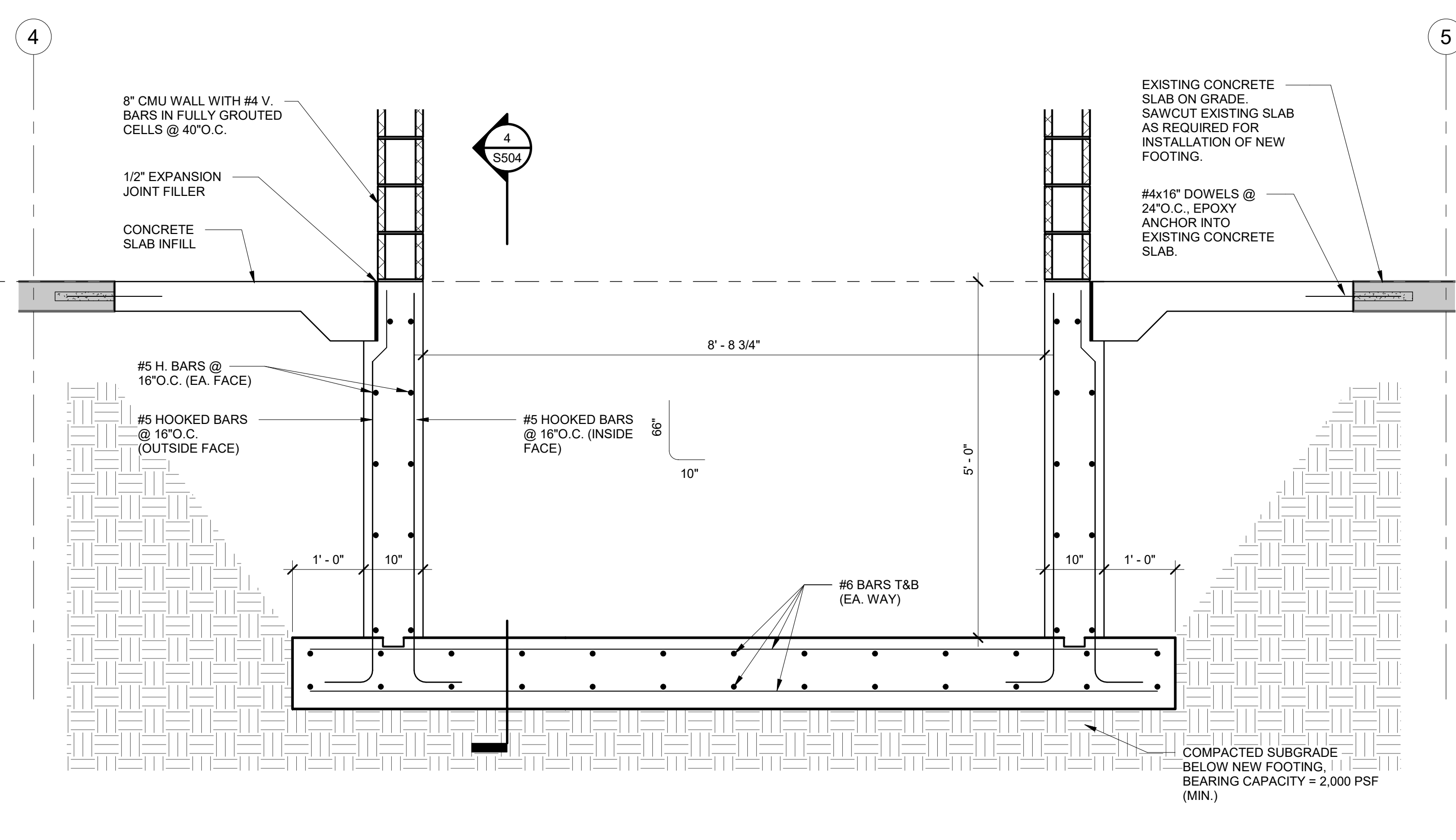
2 ELEVATOR PLAN - MAIN LEVEL
SCALE: 3/8" = 1'-0"



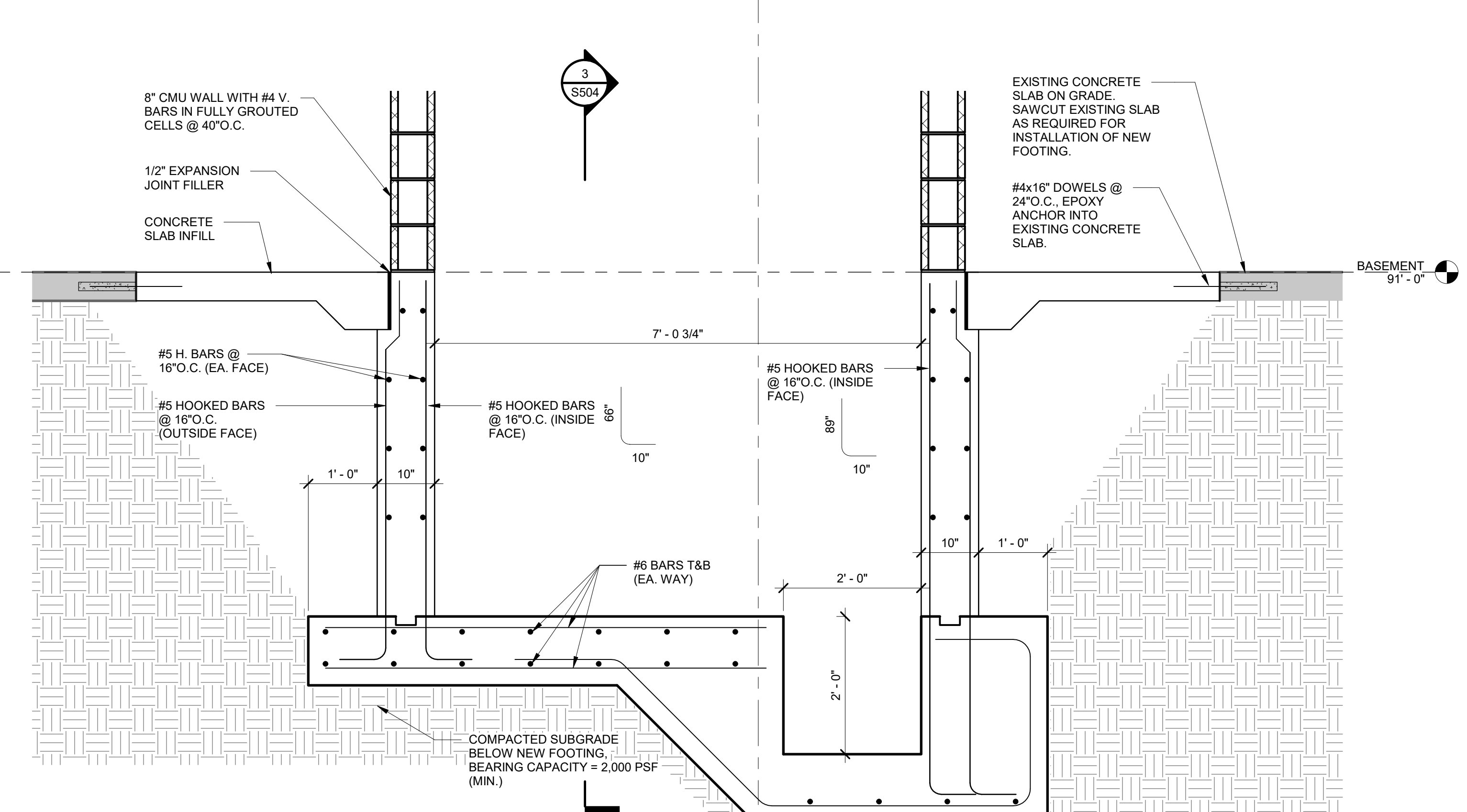
6 ELEVATOR PLAN - SECOND LEVEL (THIRD, FOURTH LEVEL SIM.)
SCALE: 3/8" = 1'-0"



5 ELEVATOR PLAN - ROOF LEVEL
SCALE: 3/8" = 1'-0"



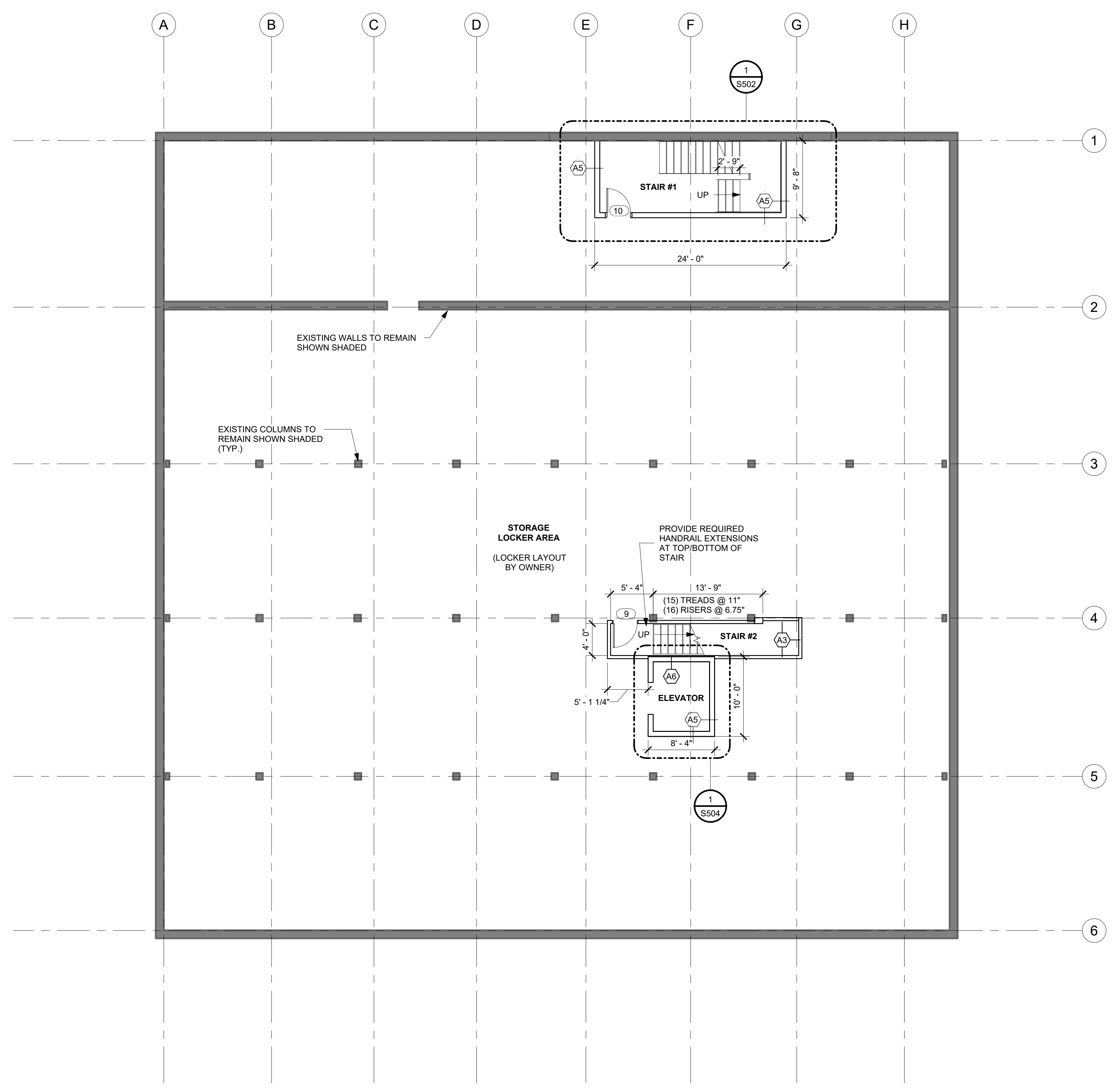
3 SECTION THROUGH ELEVATOR PIT
SCALE: 3/4" = 1'-0"



4 SECTION THROUGH ELEVATOR PIT
SCALE: 3/4" = 1'-0"

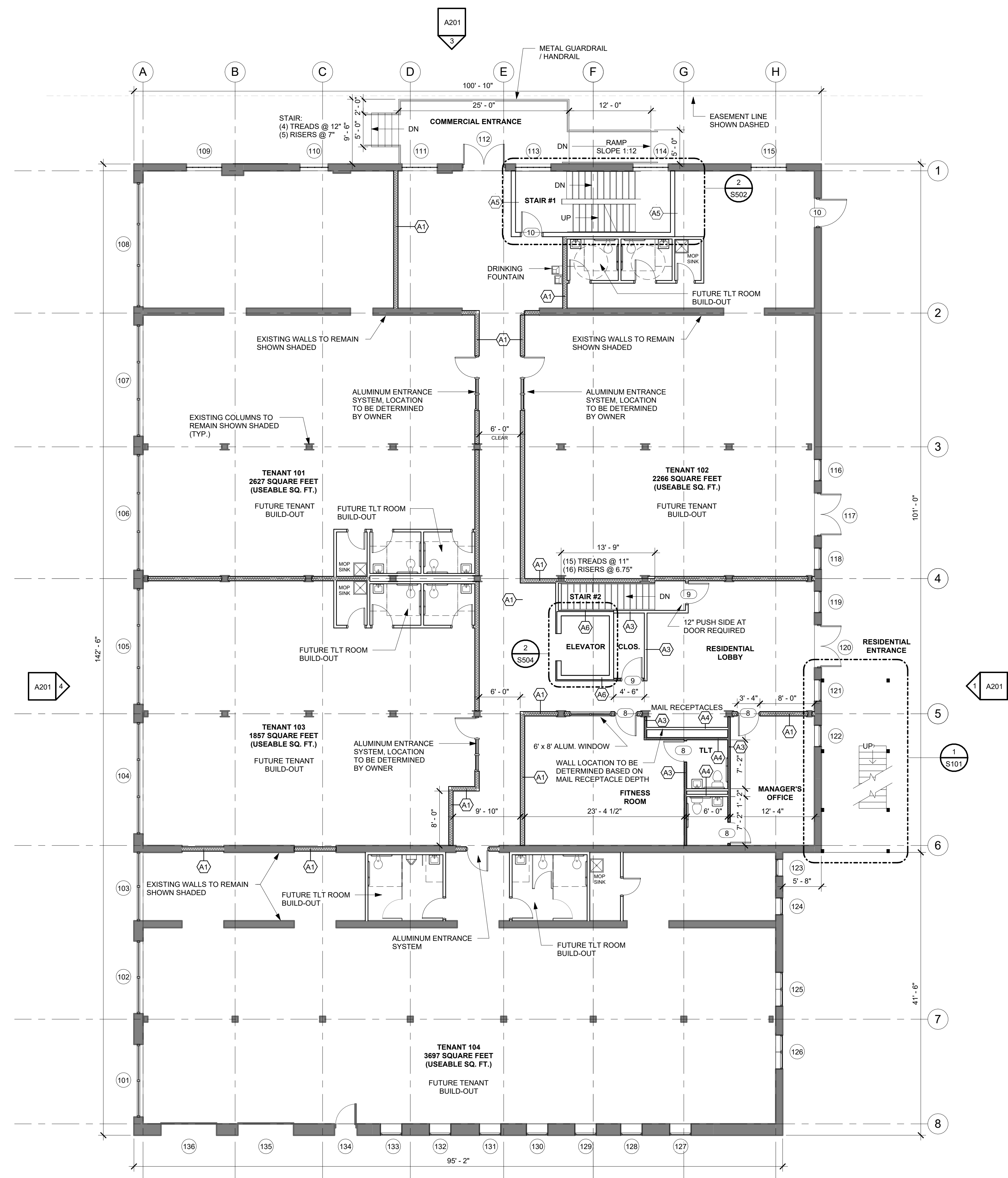
REVISIONS

NO.	Date	Description



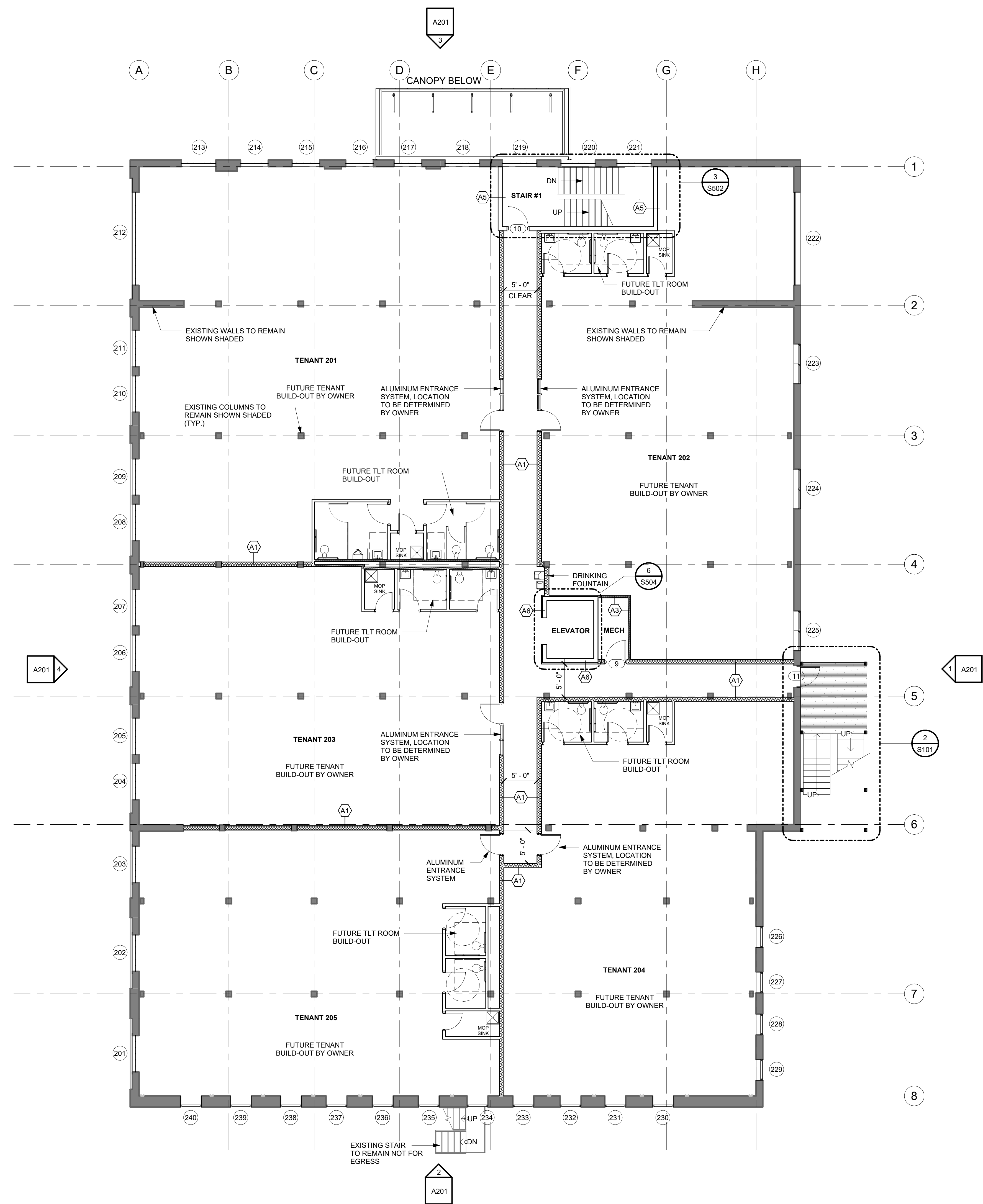
1 LOWER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

REVISIONS		
NO.	Date	Description

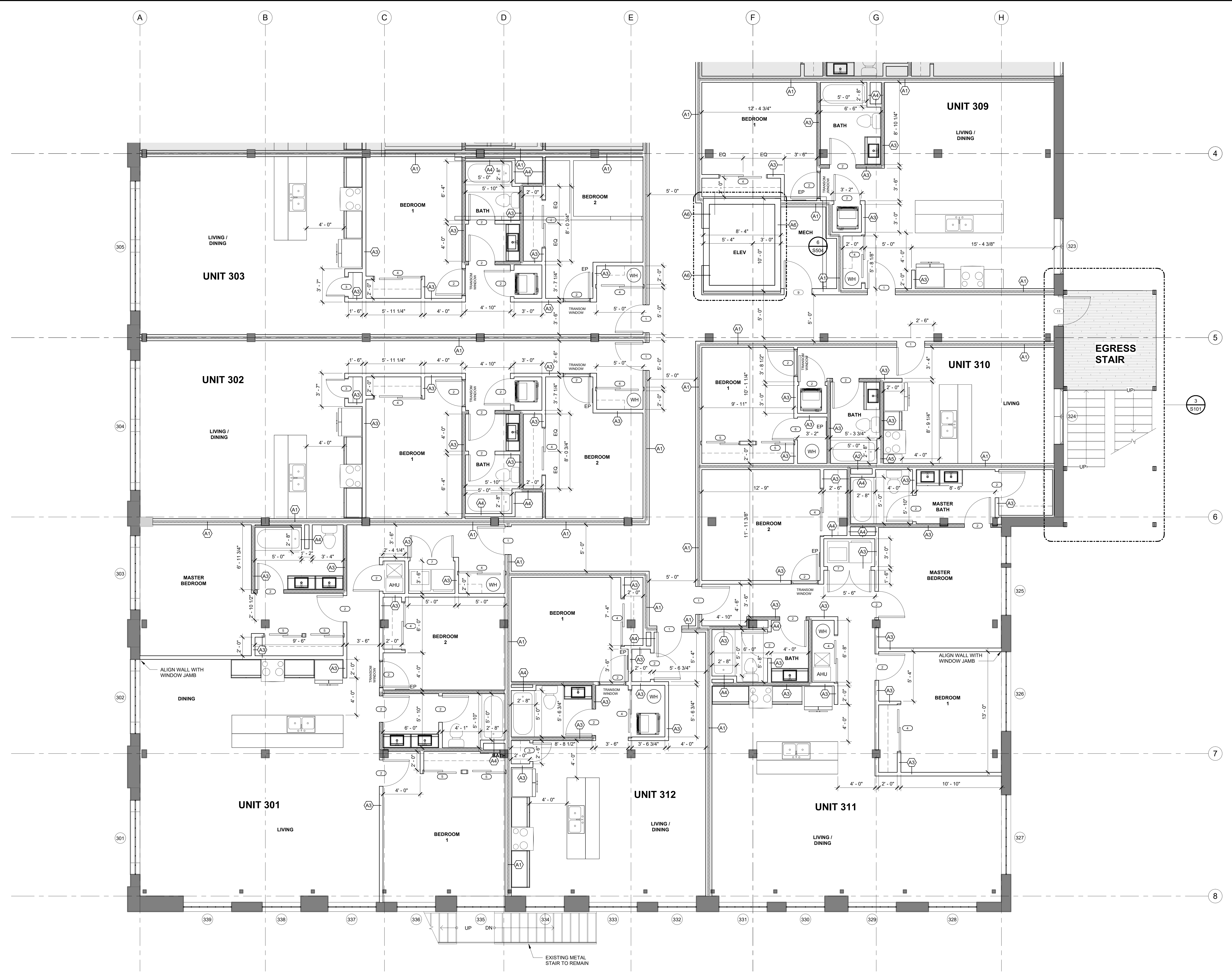


2 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

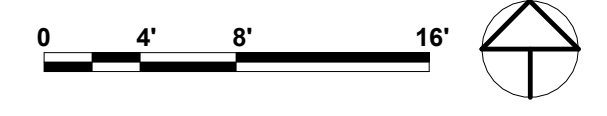
REVISIONS		
NO.	Date	Description



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



1 THIRD FLOOR PLAN - SOUTH
 SCALE: 1/4" = 1'-0"



DP CONSTRUCTION
VIEW 21 MIXED USE DEVELOPMENT
 116 NORTH 3RD STREET
 QUINCY, IL 62301

CONSTRUCTION DOCUMENT PHASE

FOR CONSTRUCTION
 ISSUE DATE: 6/22/22

REVISIONS		
NO.	Date	Description

PROJECT NUMBER: 6097

THIRD FLOOR PLAN - SOUTH

DWG. NO.
A104

OWNER:
 DP CONSTRUCTION
 116 NORTH 3RD STREET
 QUINCY, IL 62301

DP CONSTRUCTION
VIEW 21 MIXED USE DEVELOPMENT
 116 NORTH 3RD STREET
 QUINCY, IL 62301

CONSTRUCTION DOCUMENT PHASE

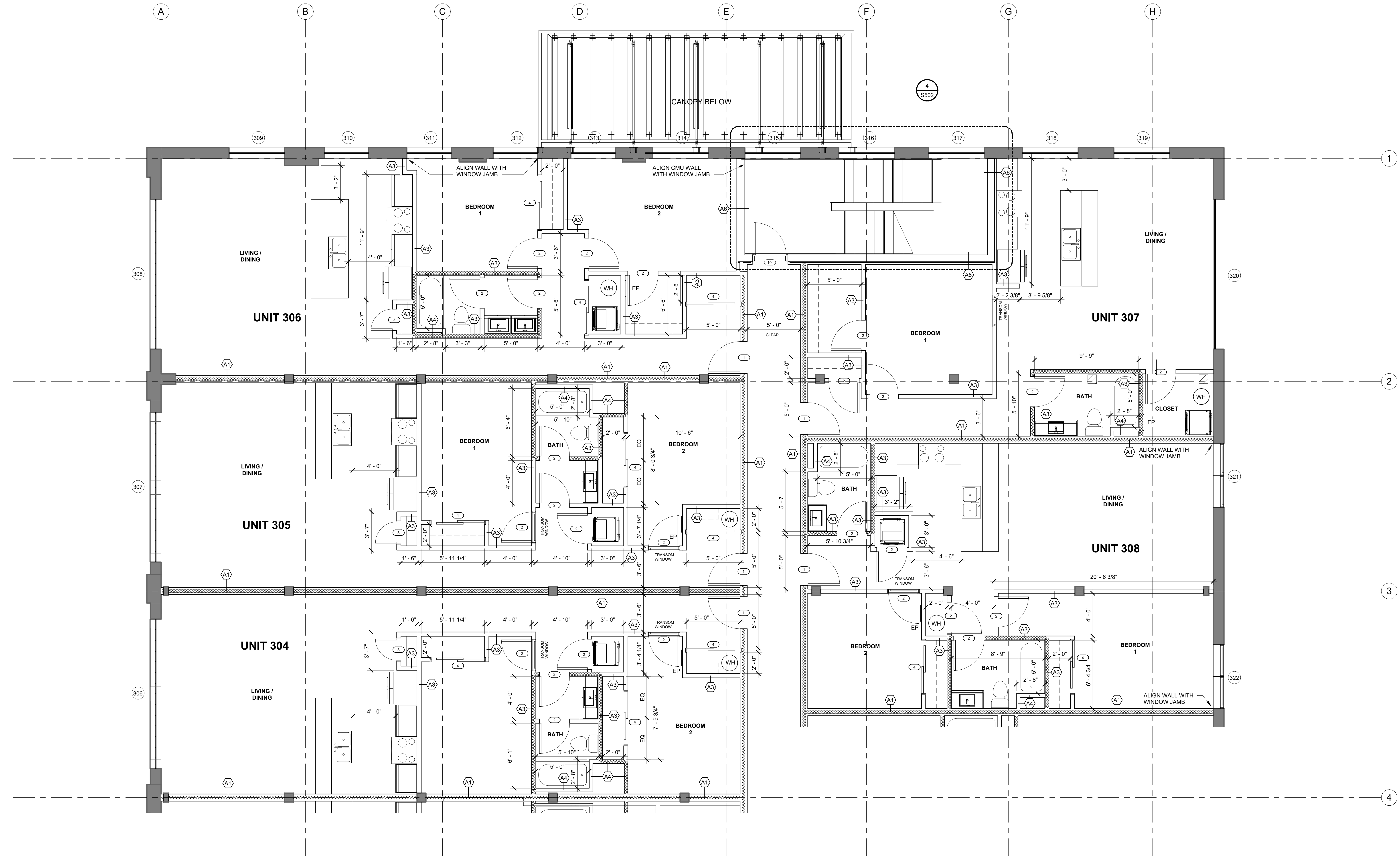
FOR CONSTRUCTION
 ISSUE DATE: 6/22/22

REVISIONS		
NO.	Date	Description

PROJECT NUMBER: 6097

THIRD FLOOR PLAN - NORTH

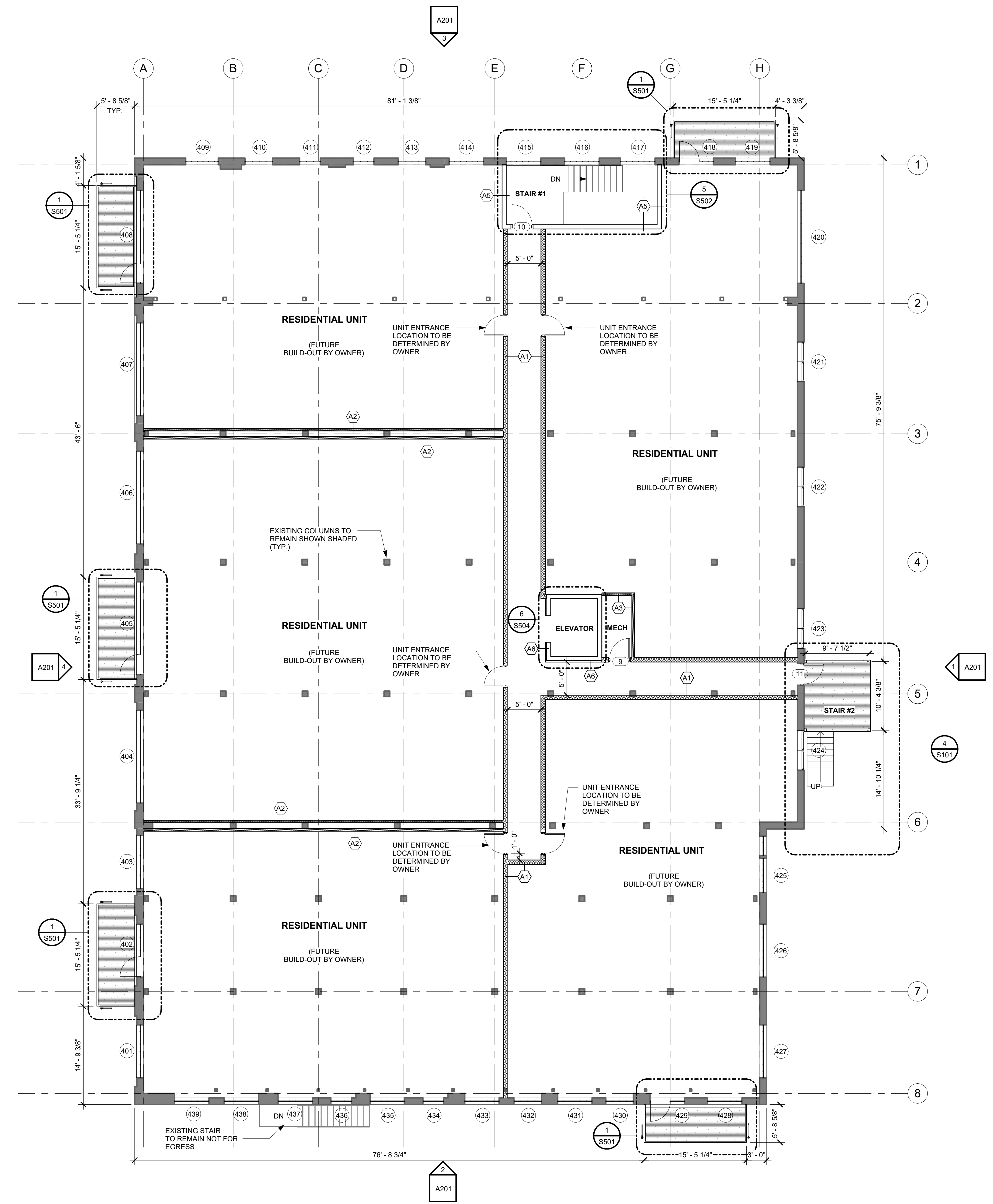
DWG. NO.
A105



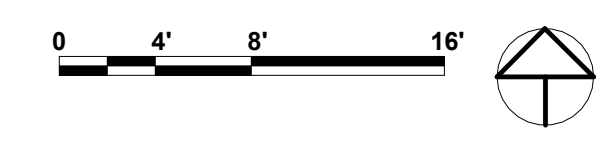
1 THIRD FLOOR PLAN - NORTH
 SCALE: 1/4" = 1'-0"
 0 4' 8' 16'

REVISIONS

NO.	Date	Description



1 FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



OWNER:
 DP CONSTRUCTION
 116 NORTH 3RD STREET
 QUINCY, IL 62301

DP CONSTRUCTION
VIEW 21 MIXED USE DEVELOPMENT
 116 NORTH 3RD STREET
 QUINCY, IL 62301

CONSTRUCTION DOCUMENT PHASE

FOR CONSTRUCTION
 ISSUE DATE: 6/22/22

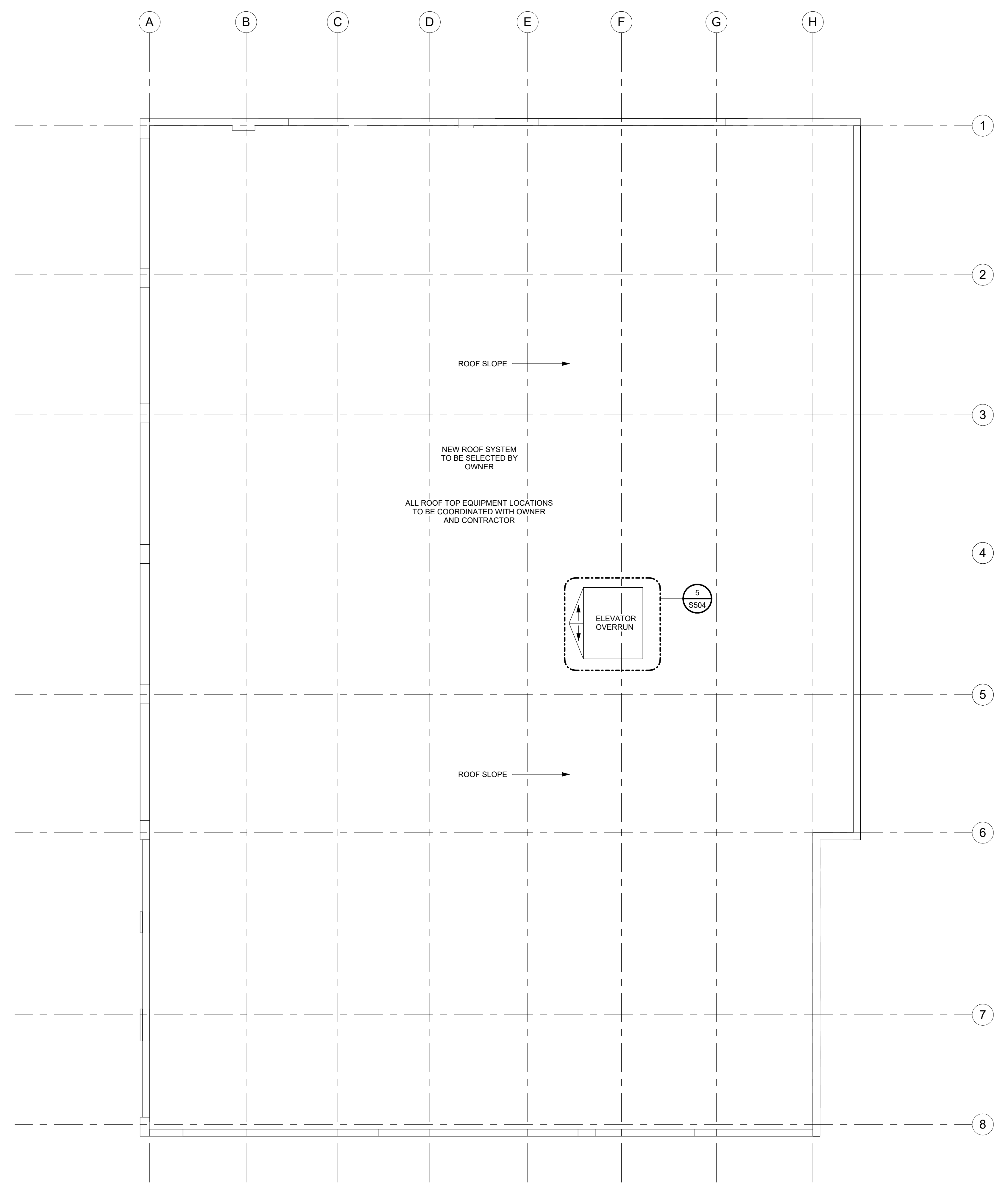
REVISIONS

NO.	Date	Description

PROJECT NUMBER: 6097

ROOF PLAN

DWG. NO.
A107

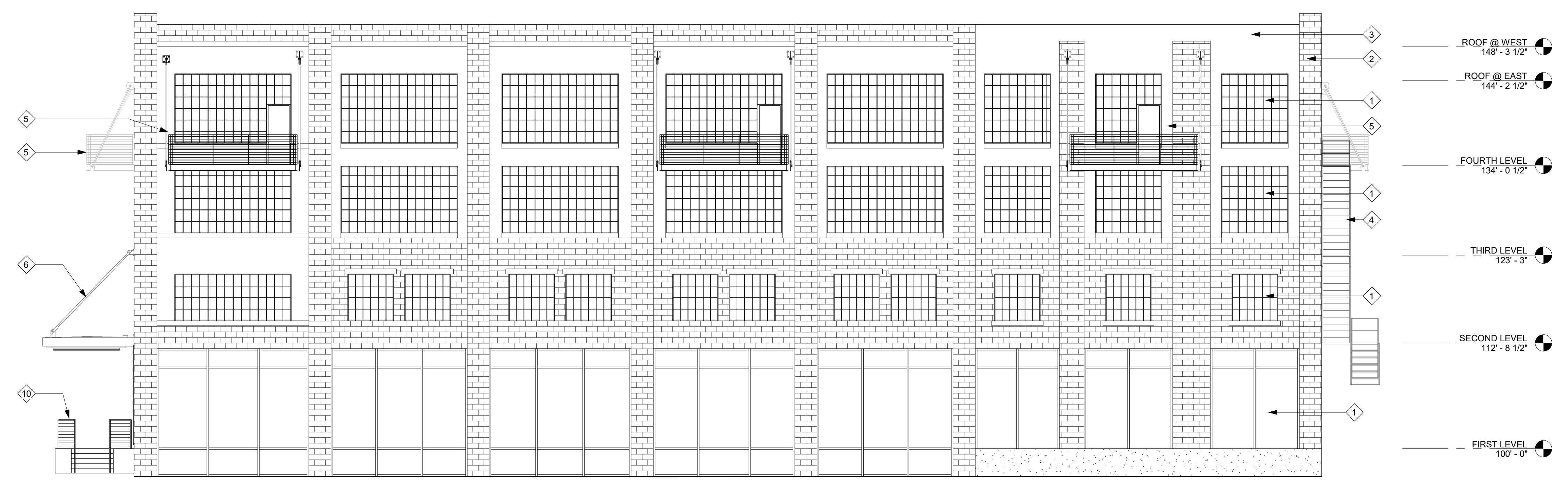


1 ROOF PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

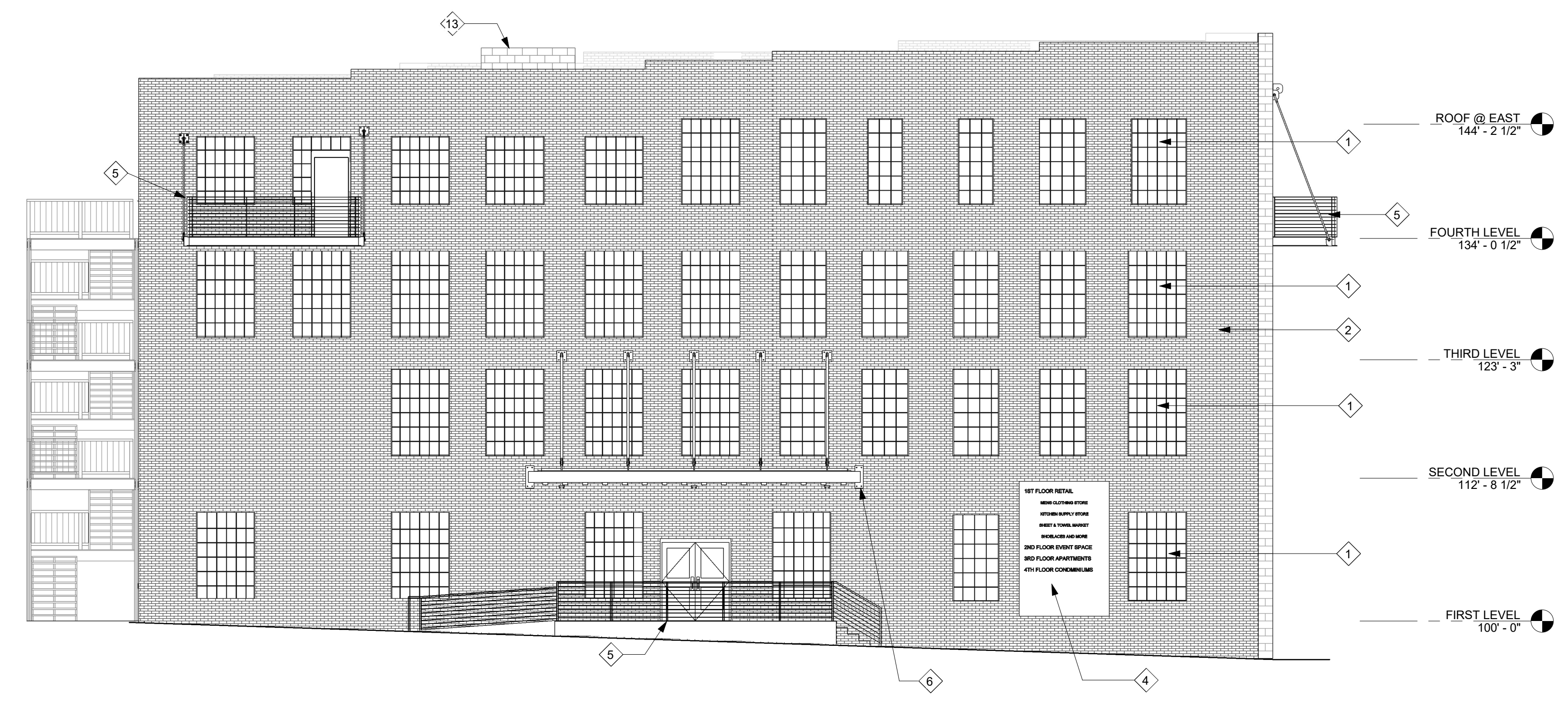
REVISIONS		
NO.	Date	Description

KEYED NOTES:

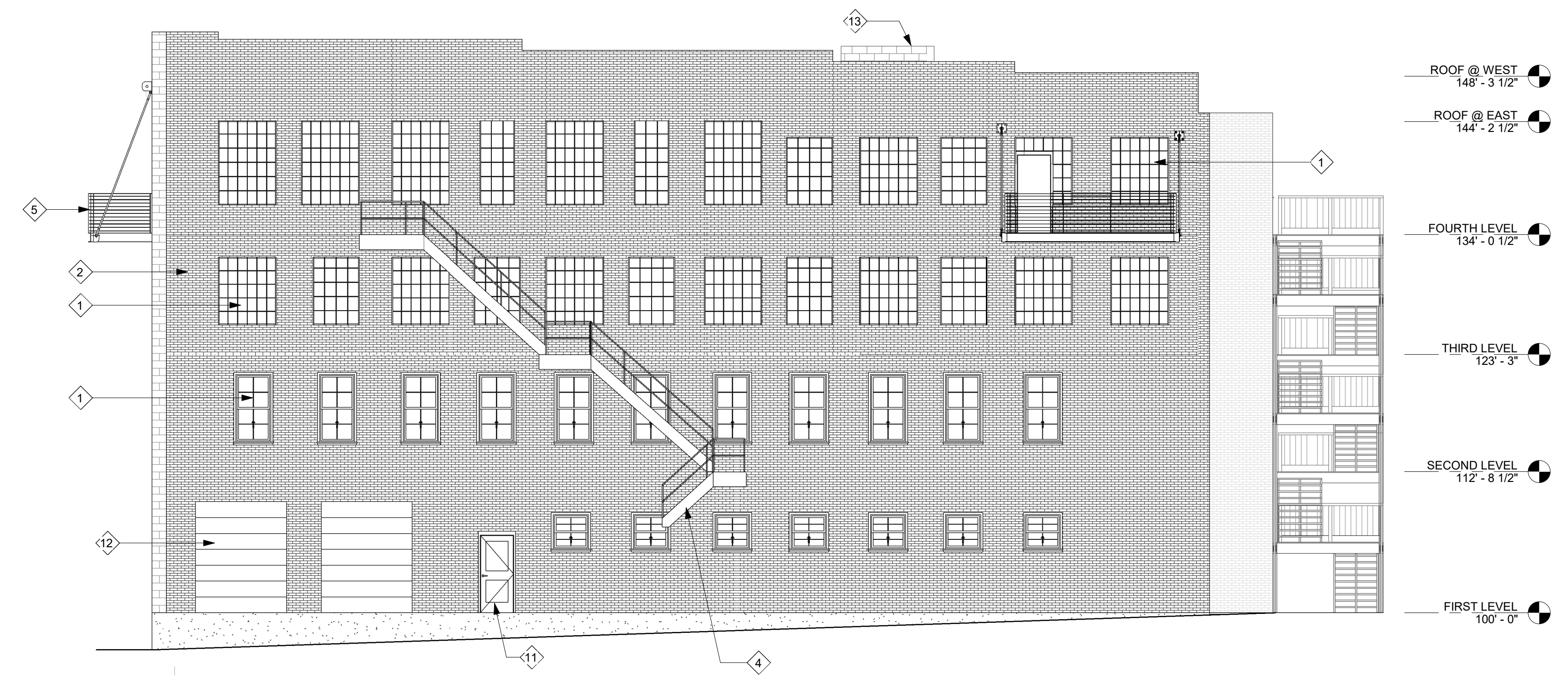
- 1 NEW WINDOW SYSTEMS AT EXTERIOR. MATERIAL TYPE TO BE SELECTED BY OWNER
- 2 EXISTING MASONRY TO BE REPAIRED AS REQUIRED BY OWNER
- 3 EXISTING CEMENT PLASTER TO BE PATCHED AND REPAIRED AS REQUIRED BY OWNER
- 4 EXISTING METAL STAIR TO REMAIN BUT NOT FOR EGRESS
- 5 NEW METAL BALCONY, PAINT FINISH
- 6 NEW PREFINISHED METAL ENTRANCE CANOPY (DESIGN BY OWNER)
- 7 NEW BUILDING TENANT SIGNAGE BY OWNER
- 8 NEW WOOD EGRESS STAIR
- 9 NEW HOLLOW METAL DOOR
- 10 NEW METAL RAILING (PAINT FINISH) AT COMMERCIAL ENTRANCE
- 11 NEW ALUMINUM ENTRANCE SYSTEM
- 12 NEW ALUMINUM OVERHEAD DOOR
- 13 NEW ELEVATOR OVERRUN



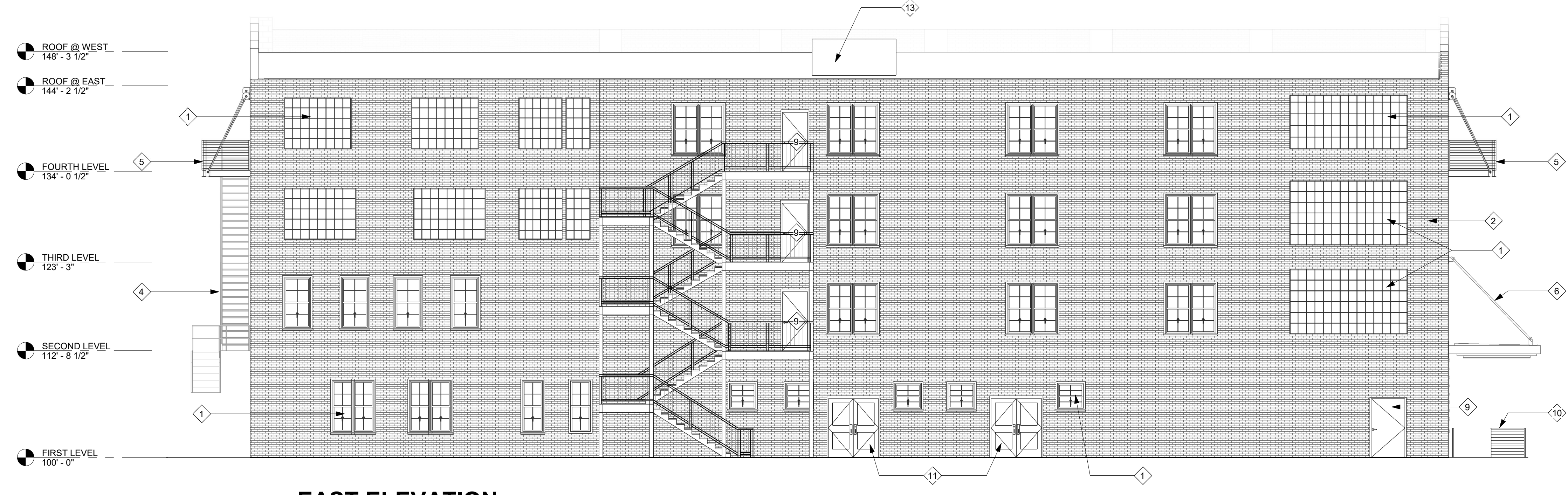
4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

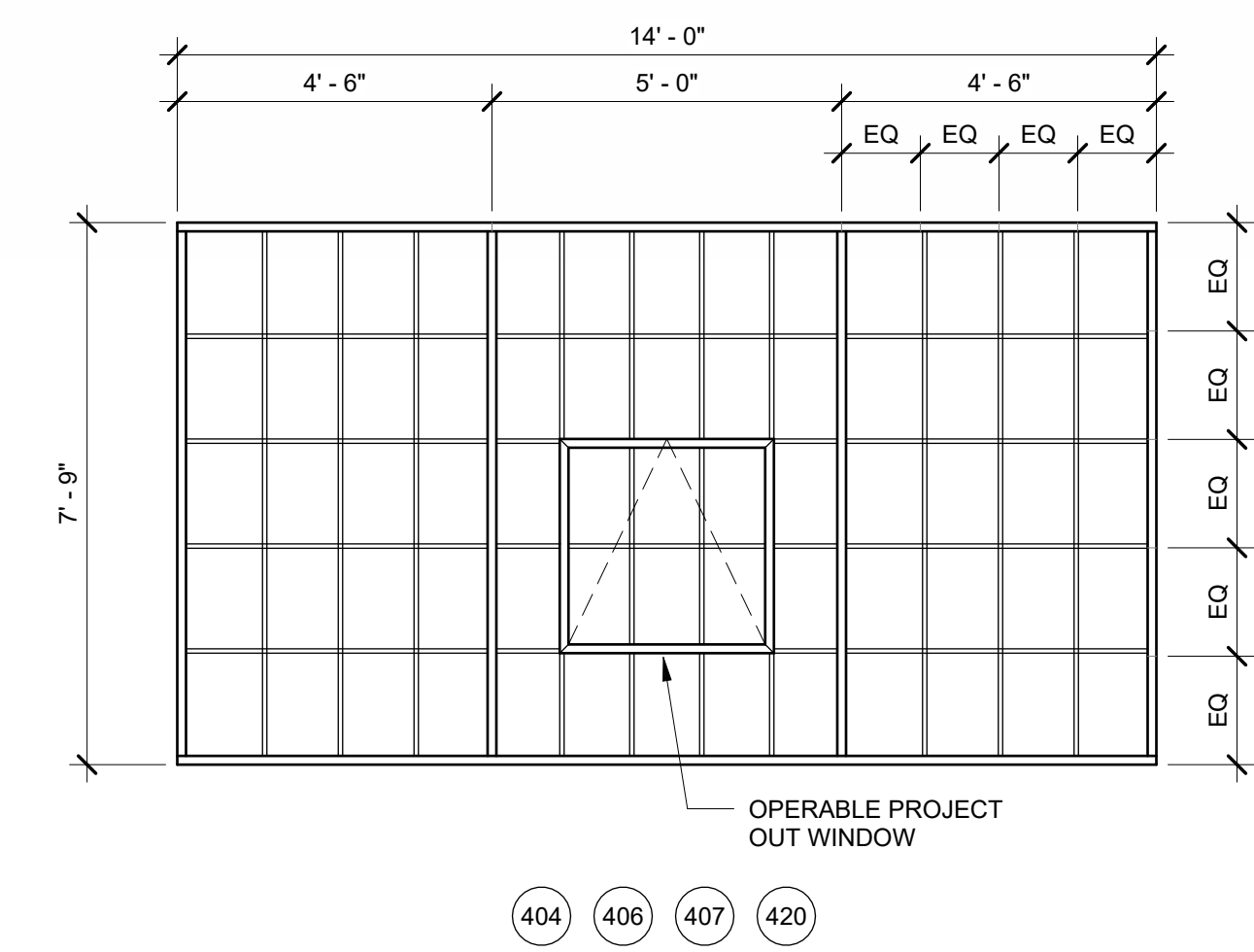


1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	Date	Description

WINDOW SCHEDULE

4TH FLOOR			3RD FLOOR			2ND FLOOR			1ST FLOOR		
UNIT NO.	SIZE (R.O.)	COMMENTS	UNIT NO.	SIZE (R.O.)		UNIT NO.	SIZE (R.O.)		UNIT NO.	SIZE (R.O.)	
401	103" x 93"	DOOR AND WINDOW COMBO	301	103" x 93"		201	66" x 78"		101	128" x 134"	
402	103" x 93"		302	103" x 93"		202	66" x 78"		102	128" x 134"	
403	103" x 93"		303	103" x 93"		203	66" x 78"		103	128" x 134"	
404	168" x 93"		304	168" x 93"		204	66" x 78"		104	186" x 176"	
405	168" x 93"	DOOR AND WINDOW COMBO	305	168" x 93"		205	66" x 78"		105	204" x 176"	
406	168" x 93"		306	168" x 93"		206	66" x 78"		106	196" x 176"	
407	168" x 93"		307	168" x 93"		207	66" x 78"		107	196" x 176"	
408	168" x 93"	DOOR AND WINDOW COMBO	308	168" x 93"		208	66" x 78"		108	218" x 176"	
409	62" x 93"		309	62" x 93"		209	66" x 78"		109	62" x 94"	
410	62" x 93"		310	50" x 93"		210	66" x 78"		110	62" x 94"	
411	38" x 93"		311	50" x 93"		211	66" x 78"		111	62" x 94"	
412	38" x 93"		312	50" x 93"		212	168" x 78"		112	76" x 116"	Double Door with transom above
413	50" x 93"		313	50" x 93"		213	62" x 93"		113	62" x 94"	
414	62" x 93"		314	62" x 93"		214	50" x 93"		114	62" x 94"	
415	62" x 74"		315	62" x 93"		215	50" x 93"		115	62" x 94"	
416	62" x 74"		316	62" x 93"		216	50" x 93"		116	40" x 44"	
417	62" x 74"		317	62" x 93"		217	50" x 93"		117	76" x 108"	Double Door with transom above
418	62" x 98"	DOOR AND WINDOW COMBO	318	62" x 93"		218	62" x 93"		118	40" x 44"	
419	62" x 74"		319	62" x 93"		219	62" x 93"		119	40" x 44"	
420	168" x 93"		320	168" x 93"		220	62" x 93"		120	76" x 108"	Double Door with transom above
421	72" x 72"		321	72" x 72"		221	62" x 93"		121	40" x 44"	
422	72" x 72"		322	72" x 72"		222	168" x 93"		122	40" x 44"	
423	72" x 72"		323	72" x 72"		223	72" x 72"		123	30" x 60"	
424	72" x 72"		324	72" x 72"		224	72" x 72"		124	30" x 56"	
425	62" x 74"		325	62" x 93"		225	72" x 72"		125	60" x 72"	
426	103" x 74"		326	102" x 93"		226	32" x 78"		126	60" x 72"	
427	103" x 74"		327	102" x 93"		227	32" x 78"		127	38" x 40"	
428	62" x 74"	DOOR AND WINDOW COMBO	328	62" x 93"		228	32" x 78"		128	38" x 40"	
429	62" x 72"		329	62" x 93"		229	32" x 78"		129	38" x 40"	
430	50" x 74"		330	50" x 93"		230	32" x 78"		130	38" x 40"	
431	62" x 74"		331	62" x 93"		231	32" x 78"		131	38" x 40"	
432	50" x 74"		332	50" x 93"		232	32" x 78"		132	38" x 40"	
433	62" x 93"		333	62" x 93"		233	32" x 78"		133	38" x 40"	
434	38" x 93"		334	50" x 93"		234	32" x 78"		134	36" x 84"	Single door (Frame 40" x 86")
435	62" x 93"		335	62" x 93"		235	32" x 78"		135	98" x 120"	Overhead Door
436	38" x 93"		336	50" x 93"		236	32" x 78"		136	98" x 120"	Overhead Door
437	62" x 93"		337	62" x 93"		237	32" x 78"				
438	62" x 93"		338	50" x 93"		238	32" x 78"				
439	62" x 93"		339	62" x 93"		239	32" x 78"				
						240	32" x 78"				



1 TYPICAL WINDOW TYPE
SCALE: 3/8" = 1'-0"

DOOR SCHEDULE

Door No.	WIDTH	HEIGHT	SIZE		COMMENTS
1	3'-0"	6'-8"			SPRING HINGES
2	2'-10"	6'-8"			
3	2'-0"	6'-8"			
4	5'-0"	6'-8"			(2) SLIDING DOORS
5	4'-0"	6'-8"			(2) SLIDING DOORS
6					NOT USED
7	5'-0"	6'-8"			(2) SWING DOORS
8	3'-0"	6'-8"			HOLLOW METAL - INTERIOR
9	3'-0"	6'-8"			HOLLOW METAL - 20 MIN. RATING
10	3'-0"	6'-8"			HOLLOW METAL - 90 MIN. RATING
11	3'-0"	6'-8"			HOLLOW METAL - EXTERIOR

WALL / PARTITION TYPES

	<p>NOTES: 1. 2 HOUR FIRE RATED ASSEMBLY - WP5910</p>
	<p>NOTES: SEE FLOOR PLANS FOR BATT INSULATION LOC.</p>
	<p>NOTES: 1. 1 HOUR FIRE RATED ASSEMBLY - U314 SEE FLOOR PLANS FOR BATT INSULATION LOC.</p>
	<p>NOTES: SEE FLOOR PLANS FOR BATT INSULATION LOC.</p>
	<p>NOTES:</p>
	<p>NOTES:</p>

GENERAL WALL / PARTITION NOTES:
 1. DIMENSIONS SHOWN ARE ACTUAL
 2. ALL GYPSUM WALL BOARD IS TYPE 'X' UNLESS NOTED OTHERWISE.
 3. CONFORM TO DETAILED REQUIREMENTS OF DESIGNATED TESTING AUTHORITY AT ALL WALLS. WALL DESIGNATED AS 'BASED ON' VARY AS NOTED IN (PARENTHESIS).
 4. ALL WALLS REQUIRE LISTED FIRESTOPPING AT ALL PENETRATIONS.
 5. REFER TO CODE ANALYSIS PLANS FOR DESIGNATED FIRE RESISTIVE WALLS WITH OPENING PROTECTION.