

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



*Si necesita ayuda para comprender esta información, por favor llame  
503-588-6173*

## PLANNING ADMINISTRATOR DECISION FOR SITE PLAN REVIEW

**CASE TYPE:** Class 2 Site Plan Review  
**AMANDA NO.:** 22-21631-PLN  
**DATE OF DECISION:** January 3, 2023  
**PROPERTY LOCATION:** 725 Shipping Street NE  
**APPLICANT:** Kathryn Casey, AC+CO  
**ZONE:** MU-II (Mixed Use-II)  
**COMPREHENSIVE PLAN:** MU (Mixed Use)  
**OVERLAY:** None

### REQUEST

A Class 2 Site Plan Review for the conversion of an existing structure into a 12-unit Multiple Family Apartment building. The property is approximately 0.24 acres in size, in the MU-II (Mixed Use) zone and located at 725 Shipping Street NE (Marion County Assessor Map and Tax Lot 073W23BB/1700).

### FINDINGS

The purpose of Site plan review is to provide a unified, consistent, and efficient means to review for development activity that requires a building permit, to ensure that such development meets all applicable standards of the UDC, including, but not limited to, standards related to access, pedestrian connectivity, setbacks, parking areas, external refuse storage areas, open areas, landscaping, and transportation and utility infrastructure. The proposed development plans are included as **Attachment A**.

Pursuant to SRC 220.005(b)(2), Class 2 Site Plan Review is required for any development that requires a building permit, other than development subject to Class 1 Site Plan Review, and that does not involve a land use decision or limited land use decision, as those terms are defined in ORS 197.015.

#### 1. Approval Criteria

SRC 220.005(f)(2) provides that an application for Class 2 Site Plan Review shall be granted if:

- (a) Only clear and objective standards which do not require the exercise of discretion or legal judgment are applicable to the application.

**Finding:** Only clear and objective standards apply to the proposed development.

(b) The application meets all the applicable standards of the UDC.

**Finding:** The following is a summary of the applicable development standards of the UDC.

**Land Use**

The subject property is zoned MU-II (Mixed Use), development of the property is subject to the use and development standards of the MU-II zone district (SRC Chapter 534). The proposal includes the conversion of an existing structure into a 12-unit Multiple Family units. This use, Multiple Family, is classified under Household Living, and is permitted outright within the MU-II zone, per Table 534-1 Uses.

**Use and Development Standards – MU-II (Mixed Use) Zone:**

a. Lot Standards (SRC 534.015(a)):

The subject property does not require a minimum lot area. There is no minimum lot width or lot depth in the MU-II zone. The minimum street frontage requirement for all uses is 16 feet.

**Finding:** The existing lot has more than 16-feet of frontage on Cottage Street NE and Shipping Street NE, which complies with the minimum lot standards of the MU-II zone and no changes to the lot size or dimensions are proposed.

b. Dwelling unit density (SRC 534.015(b)):

Development within the MU-II zone that is exclusively residential shall have a minimum density of 15 dwelling units per acre.

**Finding:** The proposal includes the creation of exclusively 12 multi-family units on a 0.24-acre property, requiring a minimum of three units ( $0.24 \times 12 = 2.88$ ); therefore, the standard is met.

c. Setbacks (SRC 534.015(c)):

Setback requirements for buildings, accessory structures, and off-street parking and vehicle use areas within the MU-II zone are established under SRC 534.015(c) – Table 534-3 and Table 534-4.

Based on the requirements of SRC 523.010(b) – Table 523-3 and Table 523-4, the required building, accessory structure, and off-street parking and vehicle use area setbacks applicable to the proposed development are as follows:

Required Setbacks		
Abutting Street		
All Uses	None	(1) Maximum setback of up to 10 feet is permitted if the setback area is used for pedestrian amenities.

		<p>a) The maximum setback does not apply to a new building if another building exists between a minimum of 50 percent of the street-facing façade of the new building and the street.</p> <p>b) For double frontage lots, the maximum setback shall only apply to the street with the highest street classification. For double frontage lots where both streets have the same classification, the applicant may choose on which street the maximum setback shall apply.</p> <p>(2) A minimum setback of five feet to a maximum setback of 10 feet is permitted for ground-floor residential uses if horizontal separation is provided pursuant to [SRC] 534.015(h).</p>
Accessory Structures	Min. 10 ft.	
Parking and Vehicle Use Areas	Per SRC chapter 806	The use of a berm under 806.035(c)(2)(B) is prohibited.
<b>Interior Side</b>		
Buildings	None	Per zone-to-zone setback abutting MU-II zone.
Accessory Structures	None	
Parking and Vehicle Use Areas <sup>(1)</sup>	Min 5 ft. with Type A Landscaping <sup>(1)</sup>	
<b>Interior Rear</b>		
Buildings	None	Per zone-to-zone setback abutting MU-II zone
Accessory Structures	None	
Parking and Vehicle Use Areas <sup>(1)</sup>	Min. 5 ft. with Type A Landscaping <sup>(1)</sup>	
<b><u>Notes</u></b>		

(1) **Required Landscaping:** Pursuant to SRC 807.015(a) – Table 807-1, Type A Landscaping requires a minimum planting density of 1 plant unit per 20 square feet of landscaped area.

**Finding:** The proposal does not impede or alter setbacks of the existing structure. The new trash enclosure is located approximately ten feet away from the street setback. No new paved area encroaches into the setback area. Landscaped area meets compliance with all applicable standards; therefore, this standard is met.

- d. **Lot Coverage, Height (SRC 534.015(d)):**  
In the MU-II zone, there is no maximum lot coverage for buildings and accessory structures. The maximum height for all buildings and accessory structures, excluding lots that are contiguous to a National Register Residential Historic District, is 55 ft.

**Finding:** The proposal does not alter the lot coverage or height of the existing structure; therefore, this standard is not applicable.

- f. **Landscaping (SRC 534.015(f)):**
- 1) **Setbacks.** Setbacks, except setback areas abutting a street that provide pedestrian amenities or horizontal separation pursuant to SRC 534.015(h), shall be landscaped. Landscaping shall conform to the standards set forth in SRC chapter 807.
  - 2) **Vehicle Use Areas.** Vehicle use areas shall be landscaped as provided under SRC Chapter 806 and SRC Chapter 807.

**Finding:** The applicant's development plans indicate that the site will have approximately 31.6% landscaped area (3,312 sq. ft. Landscaped Area/10,454 square feet = 31.6%). The applicant is retrofitting previous off-street parking into landscaped area, which will include setback areas; therefore, the proposal meets these standards.

- g. **Continued Development, Minor Alterations (SRC 534.015(g)(2)(A)):**  
Buildings and structures existing within the MU-II zone on September 12, 2018, that would be made non-conforming development by chapter 534 are deemed continued development. Exterior alterations to buildings that alter less than 20 percent of an existing building facade area facing a primary street are exempt from all of the development standards in this chapter. Such alterations shall not increase the building facade's nonconformity to the pedestrian-oriented design standards.

**Finding:** The proposal includes the conversion of an existing structure into multi-family development. Conversion of the site will be predominantly interior renovations, with upgrades and improvements to the exterior façade. Less than 20 percent of the building's façade will be permanently altered and will not contribute to nonconformity, in regard to pedestrian-oriented designs standards outlined in the chapter 534; therefore, this criterion is met.

Accessory Structures (SRC 534.015(g)(2)(G)):

- h. **Pedestrian-oriented design, Table 534-6; Mechanical and Service Equipment.**

## General Development Standards (SRC Chapter 800)

### *SRC 800.055 - Solid Waste Service Area Development Standards*

#### *SRC 800.055(a) – Applicability.*

Solid waste service area design standards shall apply to all new solid waste, recycling, and compostable services areas, where use of a solid waste, recycling, and compostable receptacle of 1 cubic yard or larger is proposed.

**Finding:** The site plan indicates that a new solid waste enclosure with receptacles greater than one cubic yard in size is proposed.

#### *SRC 800.055(b) – Solid Waste Receptacle Placement Standards.*

All solid waste receptacles shall be placed at grade on a concrete pad that is a minimum of 4 inches thick, or on an asphalt pad that is a minimum of 6 inches thick. The pad shall have a slope of no more than 3 percent and shall be designed to discharge stormwater runoff.

1) Pad area. In determining the total concrete pad area for any solid waste service area:

- a. The pad area shall extend a minimum of one foot beyond the sides and rear of the receptacle.
- b. The pad area shall extend a minimum three feet beyond the front of the receptacle.
- c. In situations where receptacles face each other, a minimum four feet of pad area shall be required between the fronts of the facing receptacles.

**Finding:** The site plan indicates that the base of the enclosure will be on a 6" thick concrete slab, consistent with applicable standards. The pad will extend a minimum of one foot beyond the sides and rear, and three feet beyond the front of the gate. The enclosure is sloped at 1/4" foot towards the gate to discharge stormwater runoff; therefore, this standard is met.

2) Minimum Separation.

- a. A minimum separation of 1.5 feet shall be provided between the receptacle and the side wall of the enclosure
- b. A minimum separation of 5 feet shall be provided between the receptacle and any combustible walls, combustible roof eave lines, or building or structure openings.

**Finding:** Adequate separation distance is provided within the enclosure. Receptacles will not be placed within five feet of a building or structure; therefore, this standard is met.

3) Vertical Clearance.

- a. Receptacles 2 cubic yards or less in size shall be provided with a minimum of 8 feet of unobstructed overhead or vertical clearance for servicing.
- b. Receptacles greater than 2 cubic yards in size shall be provided with a minimum of 14 feet of unobstructed overhead or vertical clearance for

serving.

**Finding:** The site plan indicates an unobstructed vertical clearance above the enclosure, which meets the minimum 14 feet of vertical clearance requirement; therefore, this standard is met.

SRC 800.055(d) – Solid Waste Service Area Screening Standards.

- 1) Solid waste, recycling, and compostable service areas shall be screened from all streets abutting the property and from all abutting residentially zoned property by a minimum six-foot-tall sight-obscuring fence or wall; provided, however, where receptacles, drop boxes, and compactors are located within an enclosure, screening is not required. For the purpose of this standard, abutting property shall also include any residentially zoned property located across an alley from the property.
- 2) Existing screening at the property line shall satisfy screening requirements if it includes a six-foot-tall sight-obscuring fence or wall.

**Finding:** The subject property is located within a Mixed-Use zone, with neighboring properties being either the same or similar zoning designation. The proposed six and half foot tall enclosure will be constructed of structural concrete, which screens the solid waste service area from abutting properties and streets; therefore, this standard is met.

*SRC 800.055(e) – Solid Waste Service Area Enclosure Standards.*

When enclosures area used for required screening or aesthetics, such enclosure shall conform to the following standards:

- 1) Front Opening of Enclosure. The front opening of the enclosure shall be unobstructed and shall be a minimum of 12 feet in width.

**Finding:** The width of the proposed front opening for the enclosure is approximately 18 feet, exceeding the minimum standard; therefore, this standard is met.

- 2) Measures to Prevent Damage to Enclosure. Enclosures constructed wood or chain-link fencing material shall contain a minimum four-inch nominal high bumper curb at ground level located 12 inches inside the perimeter of the outside walls of the enclosure to prevent damage from receptacle impacts.

**Finding:** The applicant indicates on the site plan there will be a minimum four-inch-high bumper inside the perimeter of the proposed enclosure; therefore, this standard is met.

- 3) Enclosure Gates. Any gate across the front opening of an enclosure shall swing freely without obstructions. For any opening with an unobstructed width of 15 feet or greater, the gates shall open a minimum of 90 degrees. All gates shall have restrainers in the open and closed positions.

**Finding:** The proposed gates can swing to 90 degrees and have restrainers in the open and closed position; therefore, this standard is met.

*SRC 800.055(f)(1) Solid Waste Service Area Vehicle Access.*

(A) A vehicle operation area shall be provided for solid waste collection service vehicles that are free of obstructions and no less than 45 feet in length and 15 feet in width. Vehicle operation areas shall be made available in front of every receptacle.

**Finding:** The applicant shows a vehicle turnaround area that meets the minimum dimensional requirements SRC 806. Access to the enclosure will occur from Shipping Street NE, with a driveway width of approximately 15'-10" feet in width and 62' feet in length. Non-service vehicles will not be permitted to park in this area, ensuring it's free of obstructions; therefore, this standard is met.

(B) The vehicle operation area may be coincident with a parking lot drive aisle, driveway, or alley provided that such area is kept free of parked vehicles and other obstructions at all times except for the normal ingress and egress of vehicles.

**Finding:** No off-street parking is proposed or existing on site; therefore, this criterion is not applicable.

(E) In the event that access to the vehicle operation area is not a direct approach into position for operation of the service vehicle, a turnaround, in conformance with the minimum dimension and turning radius requirements, shall be required to allow safe and convenient access for collection service.

**Finding:** The applicant shows a vehicle turnaround area adjacent to the eastern side of the existing structure. This turnaround area meets the dimensions of SRC 806, table 806-7; therefore, this standard is met.

*SRC 800.055(f)(4) – Signs.*

"No Parking" signs shall be placed in a prominent location on the enclosure, or painted on the pavement in front of the enclosure or receptacle, to ensure unobstructed and safe access for the servicing of receptacles.

**Finding:** The applicant shows that the enclosure will have "No Parking" painted on the pavement in front of the enclosure to ensure the area will remain unobstructed by vehicular traffic; therefore, this standard is met.

**Off-Street Parking, Loading, and Driveways (SRC Chapter 806)**

*SRC 806.005 - Off-Street Parking; When Required.*

Off-street parking shall be provided and maintained for each proposed new use or activity.

*SRC 806.010 - Proximity of Off-Street Parking to Use or Activity Served*

Required off-street parking shall be located on the same development site as the use or activity it serves, or per 806.010, within nonresidential zones, required off-street parking may be within 500 feet of the development site containing the use or activity it serves.

**Finding:** No off-street parking is required or proposed for the site. The existing structure is being converted to a multiple family development, within a quarter mile of a Core Network, and does not require minimum off-street parking; therefore, this standard is not applicable.

*SRC 806.015 - Amount of Off-Street Parking.*

- a) Minimum Required Off-Street Parking. Each potential use has a unique off-street parking requirement per SRC Chapter 806, Table 806-1. Multi-Family development, within the require one parking space per unit.
- b) Compact Parking. Up to 75 percent of the minimum off-street parking spaces required under this Chapter may be compact parking spaces.

**Finding:** No off-street parking is required or proposed for the site. The existing structure is being converted to a multiple family development, within a quarter mile of a Core Network, at xxxx and xx, and does not require minimum off-street parking. Pursuant SRC. 806.015(2), Table 806-2B, the maximum off-street parking for the site is 21 (1.75 X 12 proposed units = 21); therefore, all applicable criterion is met.

## **Bicycle Parking**

*SRC 806.045 - Bicycle parking, when required.*

Bicycle parking shall be provided and maintained for each proposed new use or activity, any change of use or activity, when such change of use or activity results in a bicycle parking ratio requiring a greater number of spaces than the previous use or activity, or any intensification, expansion, or enlargement of a use or activity.

**Finding:** The applicant is retrofitting an existing building into a multiple family use; Therefore, this standard is applicable.

*SRC 806.050 - Proximity of Bicycle Parking.*

Bicycle parking shall be located on the same development site as the use or activity it serves.

**Finding:** The location of the proposed bicycle parking is on the same development site it's meant to serve; Therefore, this standard is met.

*SRC 806.055 - Amount of Bicycle Parking.*

Bicycle parking shall be provided in amounts not less than those set forth in Table 806-8. The proposed Multiple Family use, within the CSDP area or one-quarter mile of the Core Network, shall provide a minimum of one space per dwelling unit.

**Findings:** The applicant's site plan indicates twelve proposed bike parking spaces on the property. These are located approximately 37 feet away from a building entrance located on the eastern side of the existing structure; Therefore, this standard is met.

*SRC 806.060 - Bicycle parking development standards.*

Unless otherwise provided under the UDC, bicycle parking shall be provided in racks or lockers developed and maintained as set forth in this section. The standards set forth in this section shall not apply to City approved bike share stations which utilize bike docking stations.



**Finding:** The proposal includes new bike parking meeting the standards as described in this section.

*SRC 806.060(a) - Bicycle parking location.*

Bicycle parking areas are required to be located within a convenient distance of, and clearly visible from, the primary entrance of a building, but in no event shall the bicycle parking area be located more than 50 feet from the primary building entrance.

**Finding:** The proposed stalls are located directly parallel from the eastern entrance and located 37 feet from the primary entrance. There are no obstructions between this space that would either hinder or prevent continuous access between the existing structure and the bicycle stalls; therefore, this standard is met.

(c) *Access.* All bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance that is free of obstructions and any barriers, such as curbs or stairs, which would require users to lift their bikes in order to access the bicycle parking area.

**Finding:** The site plan shows that the location of the bicycle parking will have clear and direct access to the right of way, via Shipping Street, which has existing and improved driveway, continuously free of obstructions; therefore, this standard is met.

*SRC 806.060(c) - Bicycle parking dimensions.*

Bicycle parking spaces, side-by-side space types, are required 1.5 ft. feet space width, with 6 feet space length and served by a minimum 4-foot-wide access aisle.

**Finding:** The applicant has indicated on the site plan that the proposed stalls are compliant with all applicable dimension requirements. Utilizing a staple/inverted rack, bikes will be supported in a stable position, in two or more places, without damaging either the wholes, frame, or other components; therefore, this standard is met.

*SRC 806.065 - Off-street Loading Areas:*

Off-street loading areas shall be provided and maintained for each proposed new use or activity; any change of use or activity, when such change of use or activity results in a greater number of required off-street loading spaces than the previous use or activity; or any intensification, expansion, or enlargement of a use or activity.

**Finding:** The proposed use does not require off-street loading areas, nor is an off-street loading area proposed. The proposed multiple family use is below the 50-unit threshold that would require dedicated a loading area; therefore, this standard is not applicable.

### **Historic Property Status**

The subject property is not listed as a historic resource.

### **Previous Land Use Actions**

None

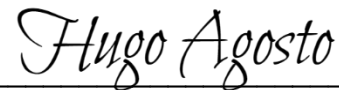
## 2. Conclusion

Based on conformance with the preceding requirements, the Planning Administrator finds that the proposed site plan for property located at 725 Shipping Street NE complies with approval criteria provided in SRC 220.005(f)(2).

### DECISION

Final approval of the attached site plan is hereby GRANTED subject to SRC Chapter 220 and the applicable standards of the Salem Revised Code and providing compliance occurs with any applicable items noted above. This decision is a final land use decision.

If you have any questions regarding items in this site plan review, please contact Hugo Agosto at 503-540-2313 or by email at [Hagosto@cityofsalem.net](mailto:Hagosto@cityofsalem.net).



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Hugo Agosto, Planner II, on behalf of  
Lisa Anderson-Ogilvie, AICP  
Planning Administrator

Application Deemed Complete: December 21, 2022  
Decision Mailing Date: January 3, 2023  
State Mandated Decision Date: April 20, 2023

Attachment(s):

A. Proposed Development Plans

**DESIGN TEAM**

**ARCHITECT**  
 AC + CO ARCHITECTURE | COMMUNITY  
 1100 LIBERTY ST SE STE 200  
 SALEM, OREGON 97302  
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 FAX: 503.581.3655  
 ATTN: BLAKE BURAL, AIA  
 EMAIL: bbural@accoac.com

**CIVIL**  
 HHPR  
 530 CENTER STREET NE, STE 240  
 SALEM, OREGON 97301  
 PH: 503.365.1131  
 ATTN: RYAN MOSHER, PE  
 EMAIL: RYANM@HHPR.com

**CODE REVIEW:**

PROJECT NUMBER: 2022.0028  
 PROJECT ARCHITECT: BLAKE BURAL, AIA  
 STATE OF OREGON 2019 STRUCTURAL SPECIALTY CODE - AMENDMENTS BASED ON 2018 IBC  
 PROJECT DESCRIPTION: EXISTING BUILDING TO BE RENOVATED INTO 12 RESIDENTIAL UNITS AND ADDITION OF AN EXTERIOR EGRESS STAIRWAY

**USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)**

RESIDENTIAL GROUP R-2

**SPECIAL DETAILED REQUIREMENTS (CHAPTER 4)**

SEPARATION WALLS - UNITS FIRE PARTITIONS - SECT 708 - 30 MIN. PER 708.3  
 HORIZONTAL SEPARATION - UNITS HORIZONTAL ASSEMBLIES - SECT 711 - 30 MIN PER 711.2.4.3  
 AUTOMATIC SPRINKLER REQUIRED  
 FIRE ALARM AND SMOKE ALARM REQUIRED

**GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)**

CONSTRUCTION TYPE IIIB, SPRINKLED 13R SYSTEM  
 ALLOWABLE AREA / STORIES: 16,000 SF / 5 STORIES / 40 FT  
 EXISTING BUILDING AREA FIRST = 5,090 SF  
 SECOND = 5,170 SF  
 FRONTAGE INCREASE: NONE REQUIRED

**TYPES OF CONSTRUCTION (CHAPTER 6)**

CONSTRUCTION TYPE IIIB, SPRINKLED  
 BUILDING ELEMENTS:  
 STRUCTURAL FRAME: NON-RATED  
 EXTERIOR BEARING WALL: 2-HR  
 INTERIOR BEARING WALL: NON-RATED  
 EXTERIOR NON-BEARING WALL:  
 X < 5'-0" 1-HR  
 5'-0" < X < 10'-0" 1-HR  
 10'-0" < X < 30'-0" 1-HR  
 X > 30'-0" NON-RATED  
 INTERIOR NON-BEARING WALL: NON-RATED  
 FLOOR: NON-RATED  
 ROOF, INCLUDING BEAMS: NON-RATED

**FIRE PROTECTION (CHAPTER 9)**

PORTABLE FIRE EXTINGUISHERS: REQUIRED, PER FIRE CODE  
 FIRE SPRINKLER SYSTEM: REQUIRED, NFPA 13R

**MEANS OF EGRESS (CHAPTER 10)**

CORRIDOR: 30 MINUTE RATING REQUIRED  
 44 INCHES MINIMUM IN WIDTH  
 STORIES WITH ONE EXIT: FIRST FLOOR, ONE EXIT COMPLIANT WITH TABLE 1006.3.3 (1)  
 SECOND FLOOR, ONE EXIT COMPLIANT WITH TABLE 1006.3.3 (1)  
 EMERGENCY ESCAPE AND RESCUED OPENINGS NOT REQUIRED ON SECOND FLOOR PER 1030.1 EX 4.2

**ACCESSIBILITY (CHAPTER 11)**

MULTISTORY BUILDING ACCESSIBILITY: NOT APPLICABLE, RESIDENTIAL STRUCTURE  
 ELEVATOR: NOT REQUIRED PER 1104.5, EX 2  
 UNIT ACCESSIBILITY: OSSC TYPE B UNITS - ACCESSIBLE OR TYPE A PER ANSI A117.1  
 TYPE B UNITS REQUIRED  
 LESS THEN 20 UNITS - TYPE A NOT APPLICABLE  
 GREATER THAN 4 UNITS - UNITS TO BE TYPE B  
 ONLY UNITS ON GROUND FLOOR TO BE TYPE B DUE TO NO ELEVATOR SERVICE PER 1107.7.1

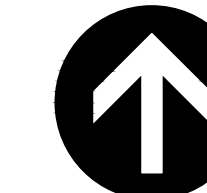
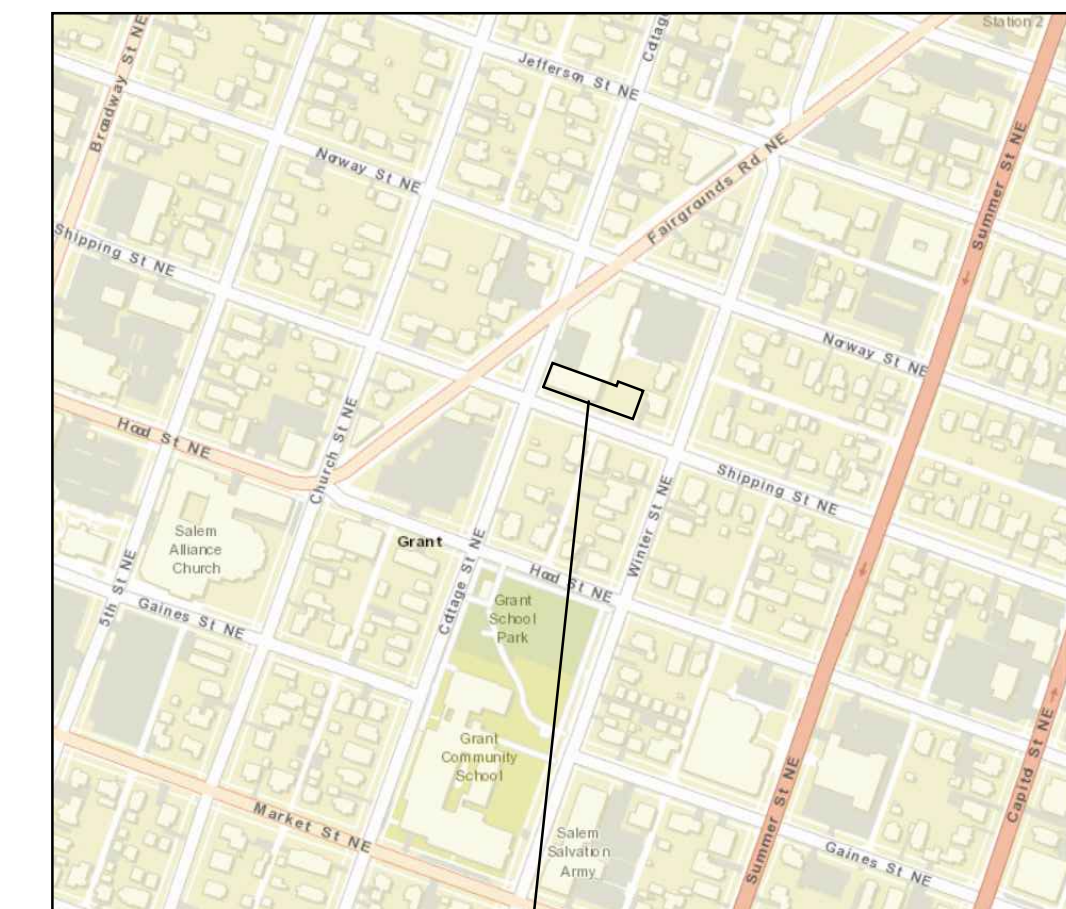
**ZONING CODE:**

ZONE: MU-II  
 MULTIPLE FAMILY IS PERMITTED USE.  
 SITE SIZE = 0.24 AC = 10,454 SF  
 SETBACKS:  
 BUILDING = 0 FT  
 PARKING = 5 FT TO THE NORTH AND EAST  
 FRONTAGE:  
 50% REQUIRED  
 SHIPPING STREET SIDE - 190.5 FT FOR THE PROPERTY  
 BUILDING LENGTH = 108'-10", COMPLIES  
 PEDESTRIAN ORIENTED DESIGN STANDARDS FOR "MAJOR ALTERATION" OF EXISTING DEVELOPMENT 534.015(g)(2)(C) TABLE 534-6  
 GROUND FLOOR HEIGHT, 10 FT MINIMUM: COMPLIES  
 HORIZONTAL SEPARATION - 5 FT REQUIRED PROVIDED = 0, POSSIBLE ADJUSTMENT  
 BUILDING FACADE ARTICULATION - BASE, MIDDLE, TOP REQUIRED, BASE TO BE DIFFERENT COLOR  
 MIDDLE - VERT WINDOWS OR PILASTER  
 TOP - NEW APPLIED CORNICE  
 GROUND FLOOR WINDOWS - 30% REQUIRED  
 SHIPPING STREET WINDOW % = 30%  
 COTTAGE STREET WINDOW % = 24.5%  
 BUILDING ENTRANCE - EXISTING COTTAGE ENTRANCE - REQ. WEATHER PROTECTION  
 WEATHER PROTECTION - REQUIRED 50% STREET FACING FACADES  
 NO DESIGN REVIEW AND MULTIFAMILY DESIGN REVIEW REQUIRED

# GLAZE - SHIPPING APARTMENTS

725 SHIPPING STREET NE  
 SALEM, OREGON 97301

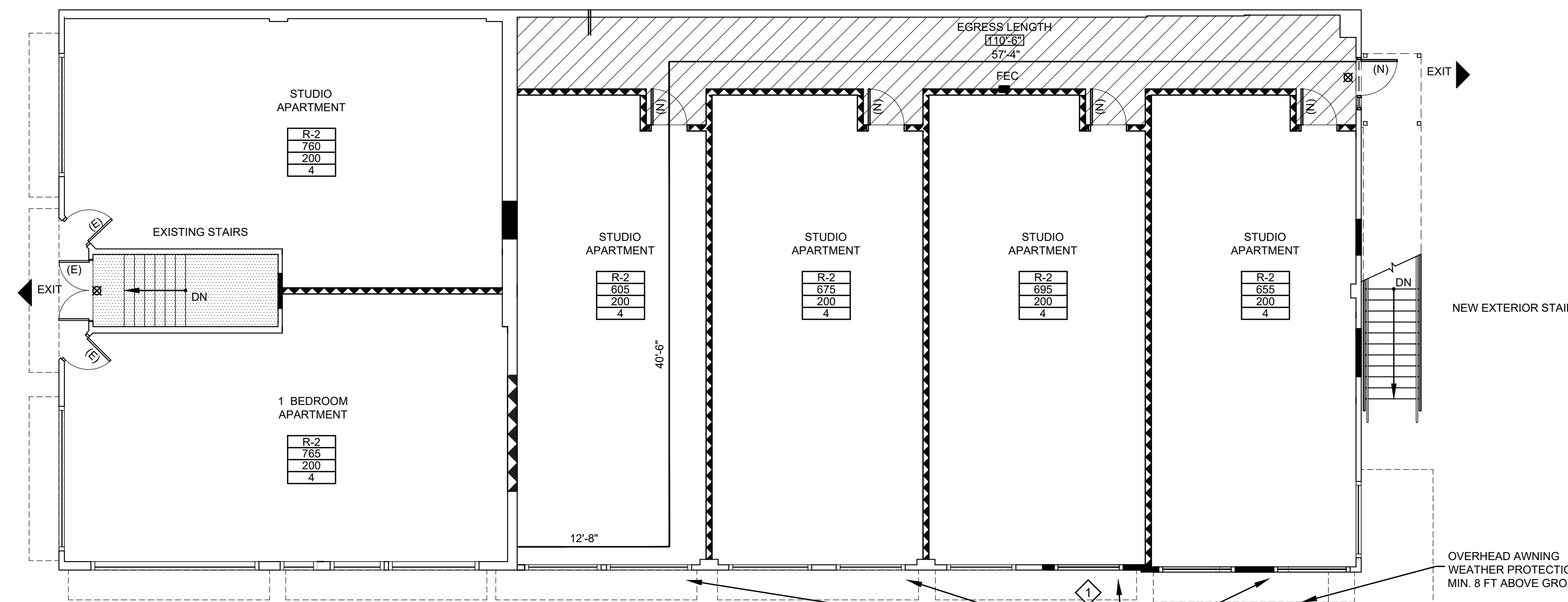
**VICINITY MAP**



**SHEET INDEX**

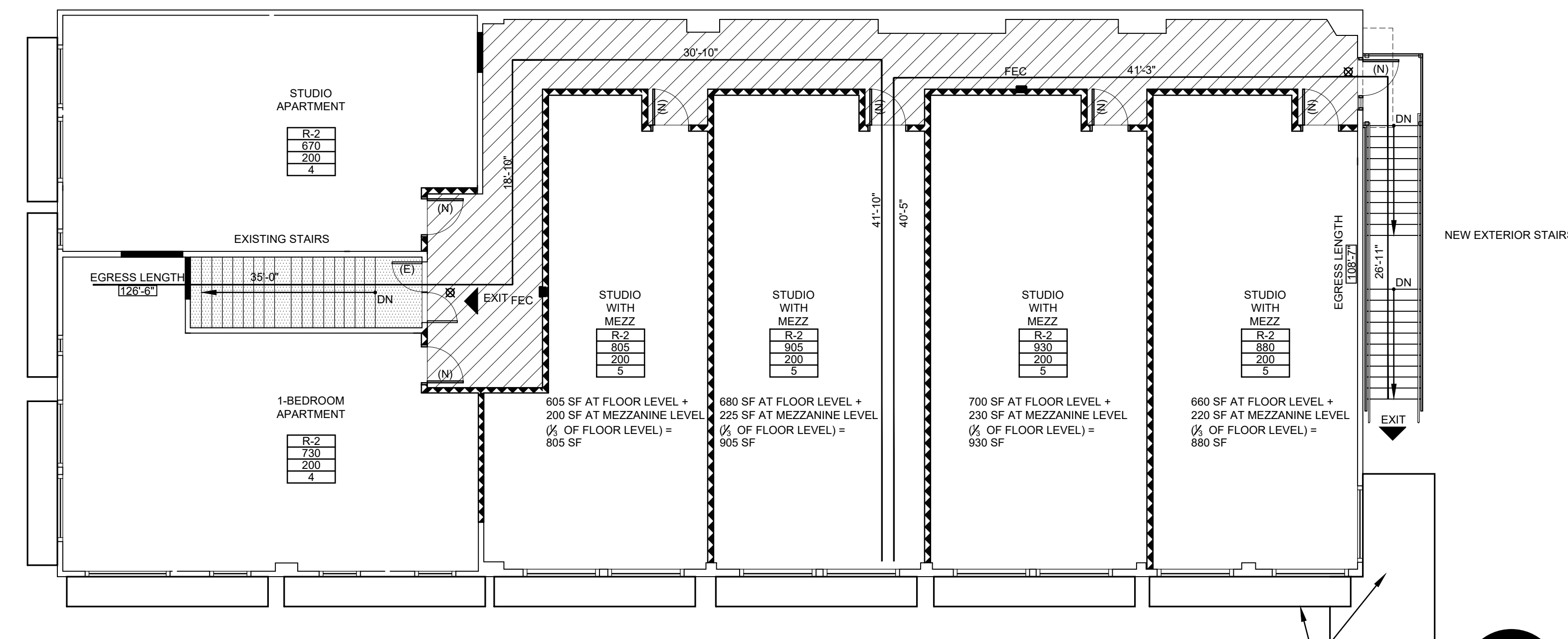
**ARCHITECTURAL**  
 A0.1 CODE REVIEW, LIFE SAFETY PLAN  
 A1.0 SITE PLAN DEMOLITION & NEW WORK  
 A1.1 SITE DETAILS  
 A3.0 ELEVATION - EXISTING/DEMO  
 A3.1 ELEVATIONS - NEW WORK

**CIVIL**  
 C 100 EX. CONDITIONS, DEMO & ESC PLAN  
 C 100 SITE, GRADING & UTILITY PLAN  
 C 100 DETAILS  
 C 100 DETAILS



**1 FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"



**2 SECOND FLOOR PLAN**

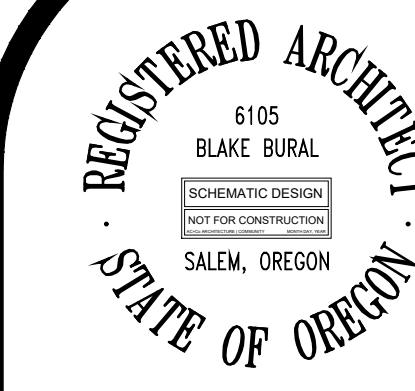
SCALE: 1/8"=1'-0"

**SYMBOL LEGEND: (CODE)**

- OCCUPANCY CLASSIFICATION
- OCCUPANT LOAD FACTOR
- SQUARE FOOTAGE OF AREA
- OCCUPANTS
- EXIT SIGN WITH EMERGENCY LIGHTS AND BATTERY BACK UP
- EXIT

**LEGEND:**

- EXISTING WALL TO REMAIN
- INFILL AT EXISTING WALL
- NEW DEMISING WALL
- EXISTING DOOR AND FRAME TO REMAIN
- NEW DOOR AND FRAME
- NEW WINDOW SYSTEM
- NEW FIRE EXTINGUISHER CABINET
- WALL AND/OR CEILING MOUNTED EXIT LIGHT, BATTERY BACK UP, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS
- 30 MINUTE RATED CORRIDOR
- 1 HR RATED STAIR SHAFT



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2022.0028

DATE OCT 10, 2022

DRAWN MLH

- REVISIONS**
- 1 REVISION 1 11/28/2022
  - 2 REVISION 2 12/09/2022
  - 3 REVISION 3 12/20/2022

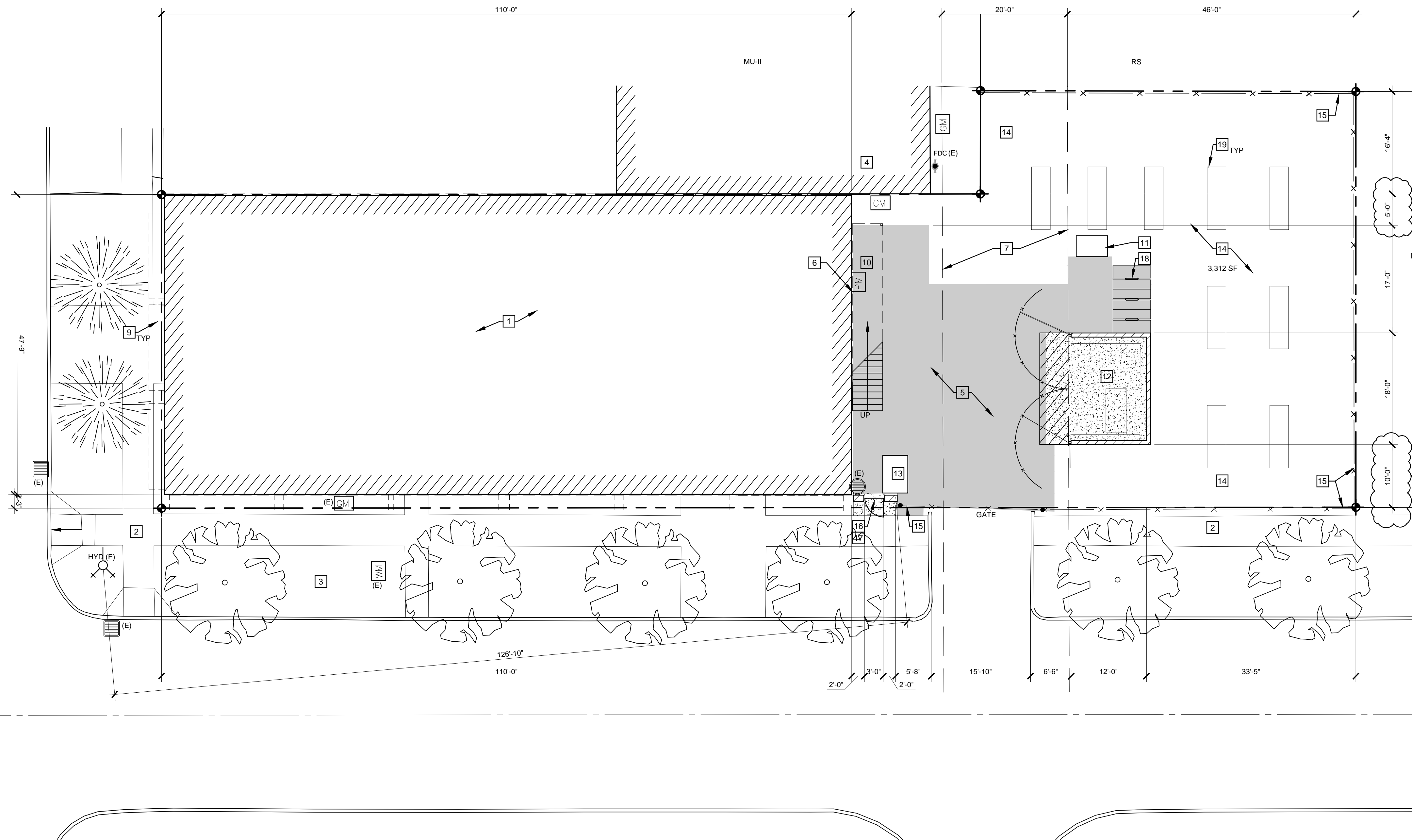


CODE SUMMARY & LIFE SAFETY PLANS

725 SHIPPING STREET NE, SALEM, OR 97301

SHEET

A0.1

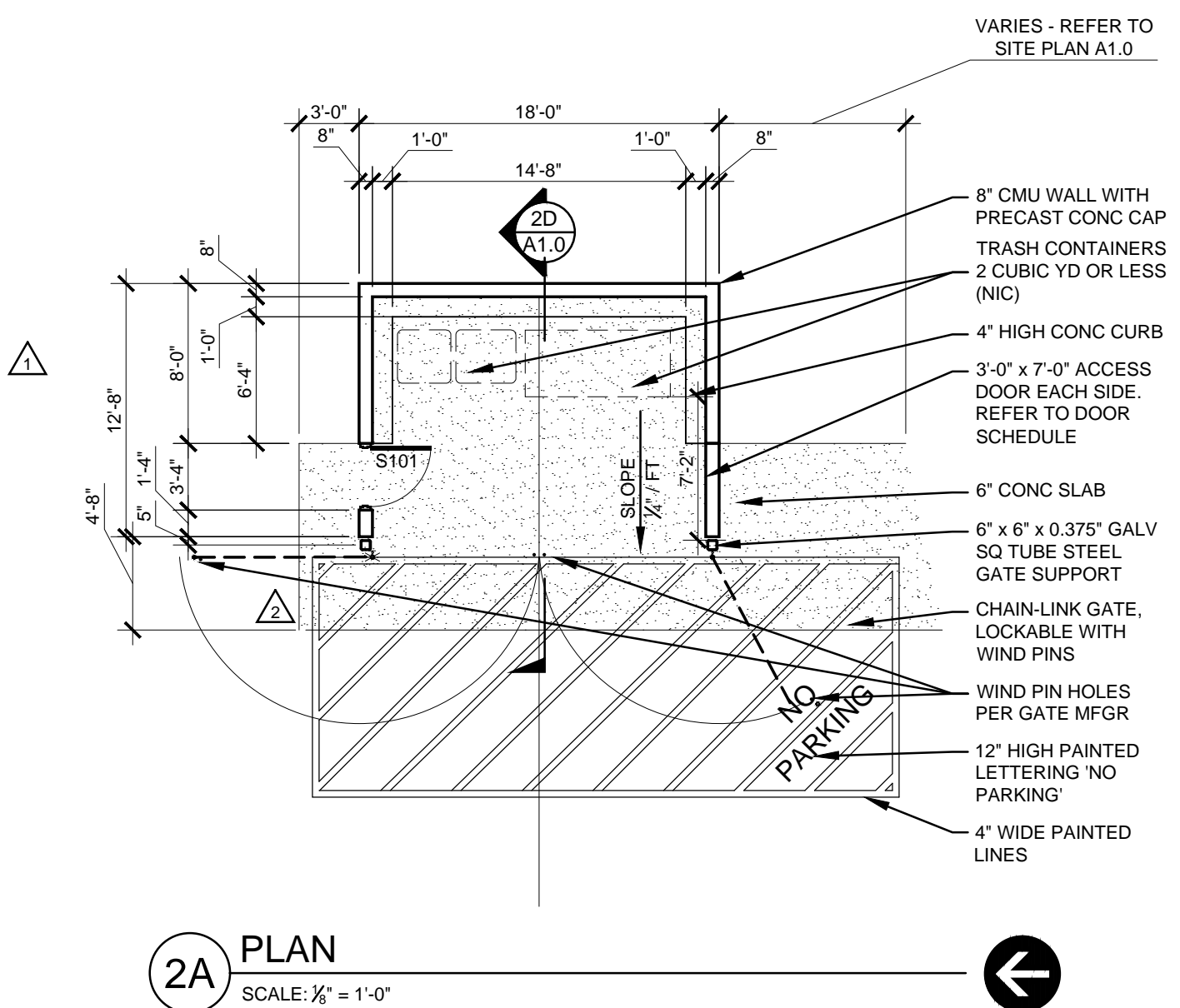


- GENERAL NOTES:**
- GENERAL NOTES APPLY TO ALL DRAWINGS.
  - DIMENSIONS ARE TO EXISTING FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
  - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
  - IN CASE OF ANY CONFLICTS IN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS REQUIRED TO INCLUDE THE BETTER QUALITY AND LARGER QUANTITY OF THE WORK.
  - CONTRACTOR AND BIDDERS SHALL USE COMPLETE SETS OF CONTRACT DOCUMENTS; NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF CONTRACT DOCUMENTS.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  - THIS SURVEY HAS BEEN PROVIDED BY THE OWNER. INFORMATION SHOWN HEREIN IS INCLUDED FOR CONTRACTOR'S REFERENCE ONLY. AC4-CO ARCHITECTURE DOES NOT WARRANT INFORMATION SHOWN HEREON AS NECESSARILY COMPLETE OR ACCURATE.

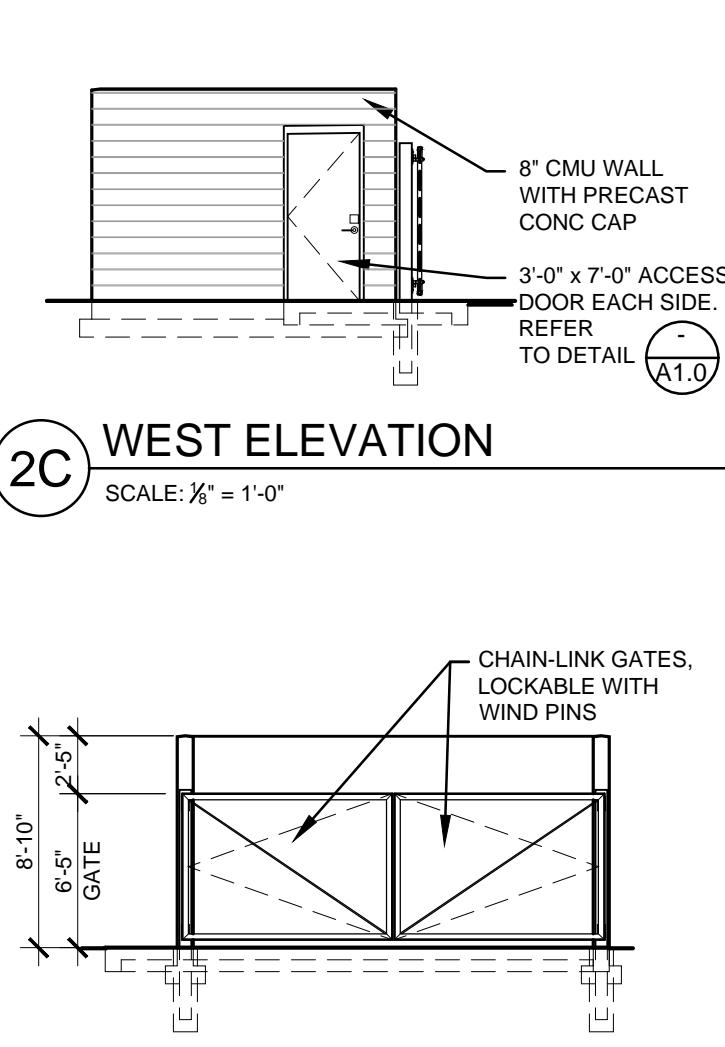
- SYMBOL LEGEND:**
- NEW CONCRETE, REFER TO CIVIL DRAWINGS
  - NEW ASPHALT OVER AGGREGATE BASE, REFER TO CIVIL DRAWINGS
  - NEW LANDSCAPING TO MATCH EXISTING
  - PROPERTY LINE
  - PROPERTY SETBACK LINE
  - EASEMENT LINE, REFER TO SURVEY
  - EXISTING CONCRETE CURB TO REMAIN
  - NEW 6" CONCRETE CURB, REFER TO
  - EXISTING TREE TO REMAIN, (N) DESIGNATES NEW, REFER TO LANDSCAPE DRAWINGS
  - EXISTING COLUMN TO REMAIN, (N) DESIGNATES NEW, REFER TO STRUCTURAL DRAWINGS
  - EXISTING DOWNSPOUT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - NEW SIGN, (E) DESIGNATES EXISTING TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (RR) DESIGNATES EXISTING TO BE REMOVED AND REINSTALLED, REFER TO CIVIL DRAWINGS
  - EXISTING FIRE HYDRANT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - EXISTING WATER METER/VAULT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - EXISTING SIGN TO REMAIN, (D) DESIGNATES TO BE REMOVED, (RR) DESIGNATES REMOVE AND REINSTALL
  - EXISTING FIRE HYDRANT TO REMAIN, REFER TO CIVIL DRAWINGS
  - EXISTING POLE LIGHT TO REMAIN, REFER TO SITE DRAWINGS
  - EXISTING CATCH BASIN TO REMAIN
  - EXISTING STORM DRAIN MANHOLE TO REMAIN

**1 SITE PLAN**  
SCALE: 1" = 10'-0"

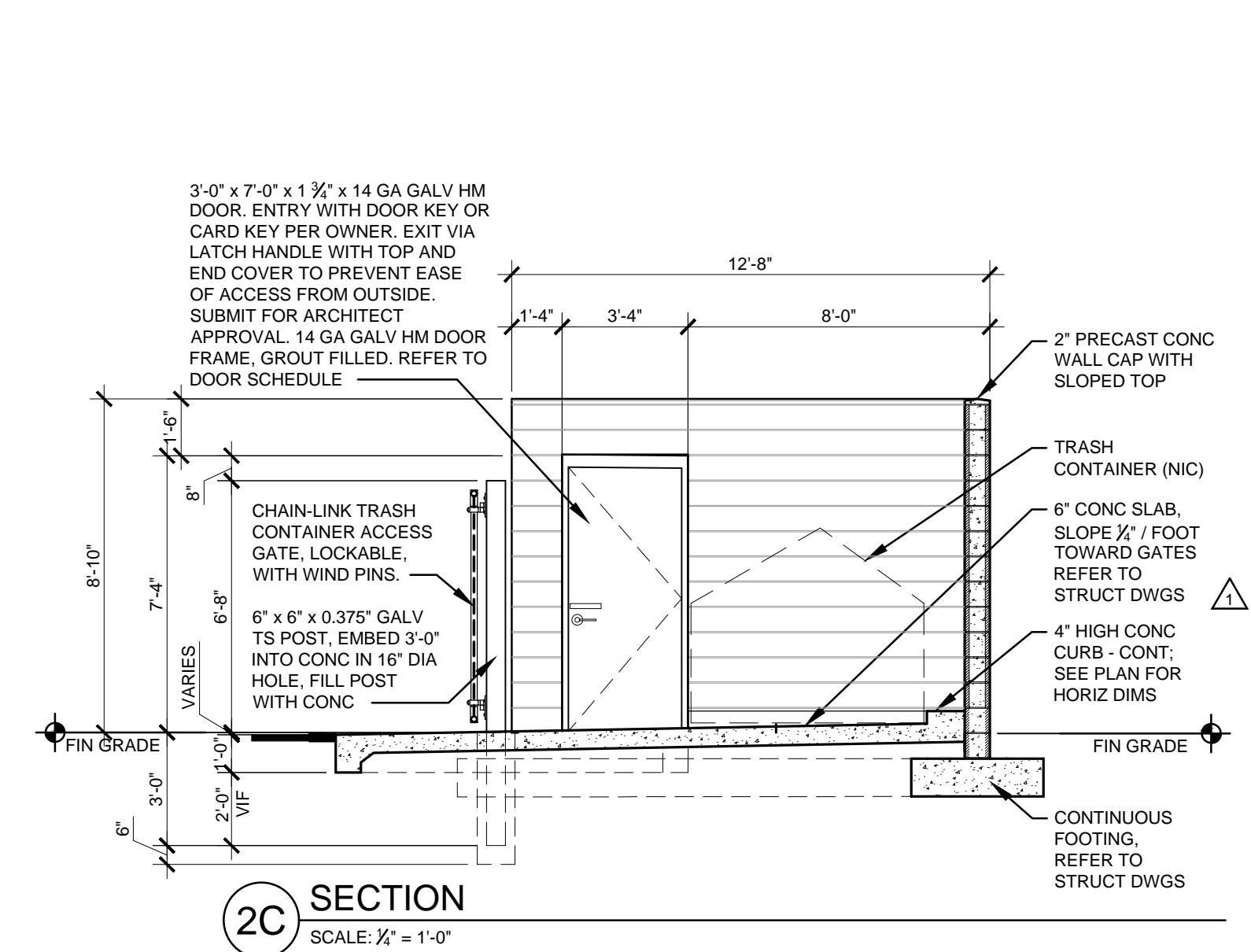
SITE SUMMARY:	NOTES:
ZONING DESIGNATION = MIXED USE-II	
BUILDING USE = RES. MULTI-FAMILY	
TOTAL SITE AREA = 0.24 AC 10.454	
GROSS FLOOR AREA = 10,952 SF	
GROSS PARKING AREA = 0 SF	
TOTAL LANDSCAPE AREA = 3,312 SF	
PERCENTAGE = 31%	
PARKING LANDSCAPE = N/A	
PERCENTAGE =	
TOTAL LOT COVERAGE =	
PERCENTAGE =	
BUILDING HEIGHT = 30' - 9"	
AERIAL FIRE ACCESS =	
PARKING = NO OFF STREET PARKING PER 806.005(d)	
FULL = N/A	
COMPACT = N/A	
HANDICAP = N/A	
TOTAL = N/A	
MAX ALLOWABLE = N/A	
LOADING ZONE = NOT REQUIRED	
BIKE PARKING = 12	6 EXTERIOR, 6 INSIDE UNITS
FLOOR AREA RATIO (FAR) = NOT APPLICABLE	



**2A PLAN**  
SCALE: 1/4" = 1'-0"

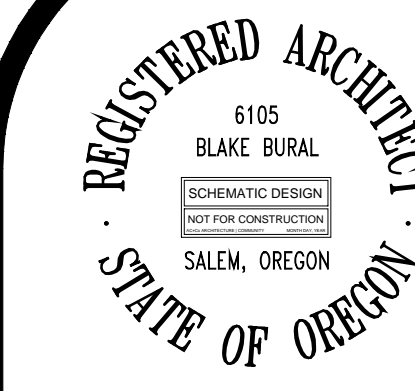


**2B SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2C SECTION**  
SCALE: 1/4" = 1'-0"

- REFERENCE NOTES:**
- EXISTING BUILDING TO REMAIN
  - EXISTING CONCRETE SIDEWALK TO REMAIN, PROTECT AT ALL TIMES, REFER TO CIVIL DRAWINGS
  - EXISTING LANDSCAPED AREA TO REMAIN, PROTECT AT ALL TIMES, REFER TO CIVIL DRAWINGS
  - EXISTING ADJACENT BUILDING, NO WORK
  - NEW ASPHALT AREA, REFER TO CIVIL
  - DEMO SERVICE AND RELOCATE UNDERGROUND TO TRANSFORMER SHOWN
  - EASEMENT 10' EACH SIDE OF SANITARY SEWER
  - NEW 4" PAINTED STRIPE
  - NEW CANOPY
  - NEW EGRESS STAIR
  - NEW PAD MOUNTED TRANSFORMER
  - NEW TRASH ENCLOSURE, REFER TO 2/A.1.0
  - PROPOSED FIRE VAULT LOCATION (WILL NEED EXCEPTION FROM FIRE DEPT. EXCEEDS 100 FT TO HYDRANT).
  - NEW GARDEN AREA
  - EXISTING CHAINLINK FENCE AND GATE TO REMAIN
  - NEW PEDESTRIAN GATE
  - NEW SIDEWALK
  - NEW BIKE RACK, REFER TO 1/A.1.1
  - NEW RAISED PLANTER



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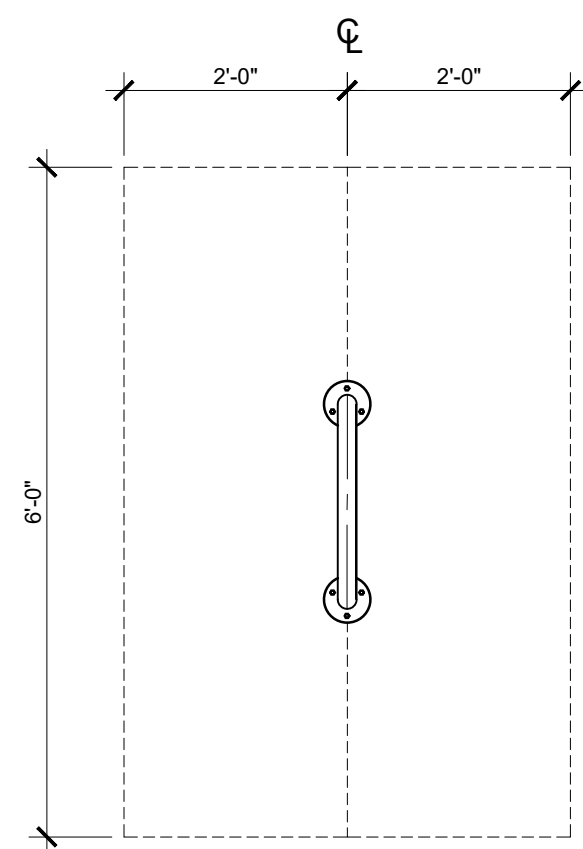
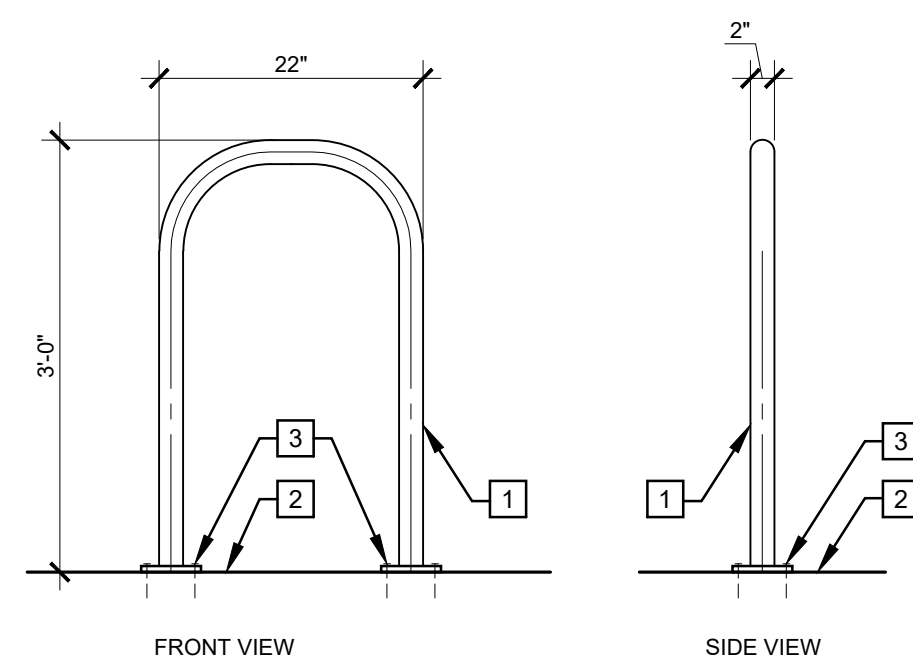
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**REVISIONS**

1	REVISION 1	11/28/2022
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**SITE PLAN**  
725 SHIPPING STREET NE,  
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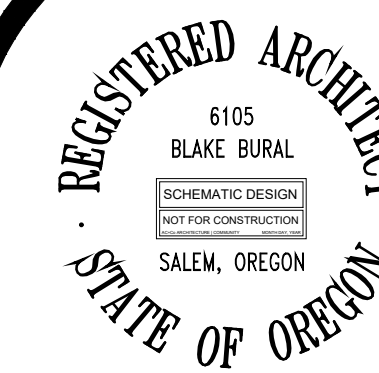
NOTES:

- 1 2" DIA. SCHEDULE 40 PIPE WITH EMBEDDED ANCHOR MOUNT, POWDER COAT FINISH
- 2 EXISTING ASPHALT TO REMAIN, REFER TO CIVIL DRAWINGS
- 3 NEW LAG BOLTS AND PLATE, ANCHOR PER MANUFACTURER

**1** BIKE RACK ANCHORAGE DETAIL  
SCALE: 3/4" = 1'-0"

**2** BIKE RACK PLAN DETAIL  
SCALE: NTS

XREF.dwg



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SITE PLAN  
DETAILS

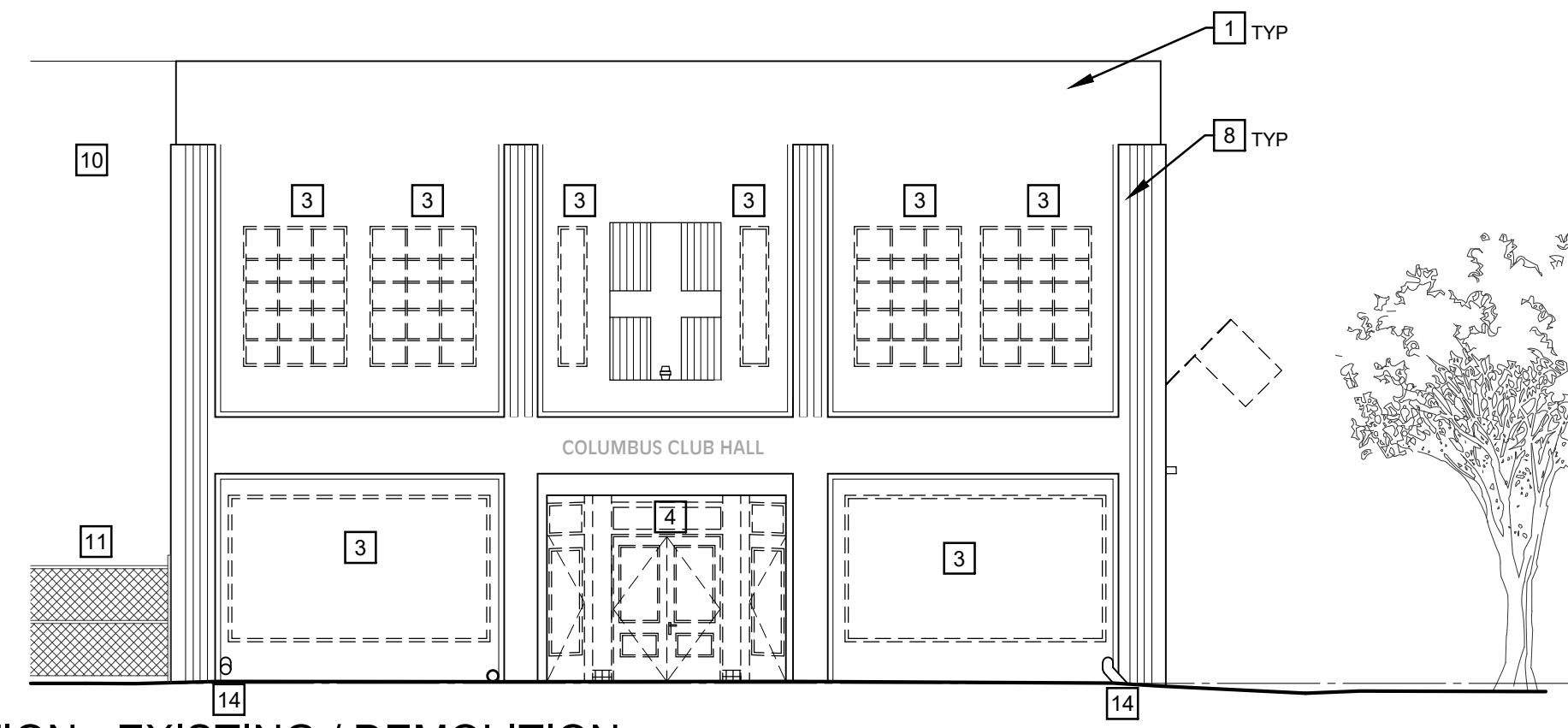
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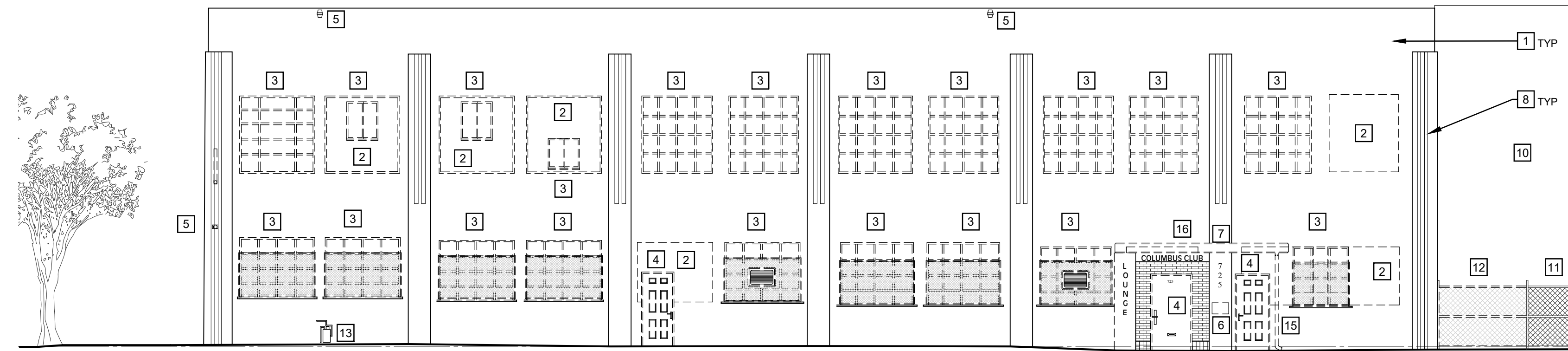
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REFERENCE NOTES - DEMOLITION

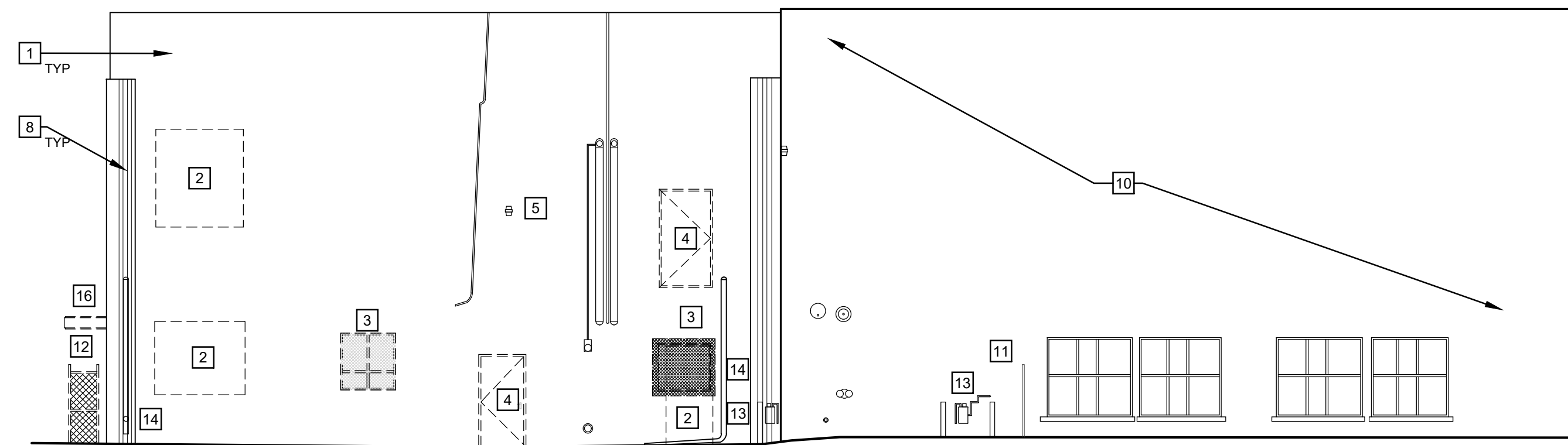
- 1 EXISTING CONCRETE WALL TO REMAIN, PREP FOR NEW FINISH
- 2 AREA OF SELECTIVE WALL REMOVAL
- 3 EXISTING WINDOW TO BE REMOVED, INCLUSIVE OF WIRE PROTECTION SCREEN AS OCCURS
- 4 EXISTING DOOR SYSTEM TO BE REMOVED
- 5 EXISTING LIGHT FIXTURE TO BE REMOVED
- 6 EXISTING BUILDING PLACARD TO BE REMOVED AND RELOCATED
- 7 EXISTING APPLIED STREET NUMBERS TO BE REMOVED
- 8 EXISTING PILASTERS TO REMAIN, PREP FOR NEW FINISH
- 9 EXISTING FULL HEIGHT MURAL FACING ADJACENT PROPERTY TO REMAIN, PROJECT AT ALL TIMES, NO NEW FINISH THIS WALL U.O.M.
- 10 EXISTING ADJACENT BUILDING, NO WORK
- 11 EXISTING FENCE TO REMAIN
- 12 EXISTING FENCE TO BE REMOVED
- 13 EXISTING GAS METER TO REMAIN
- 14 EXISTING DOWN SPOUT TO REMAIN
- 15 EXISTING DOWN SPOUT TO BE REMOVED
- 16 EXISTING AWNING TO BE REMOVED



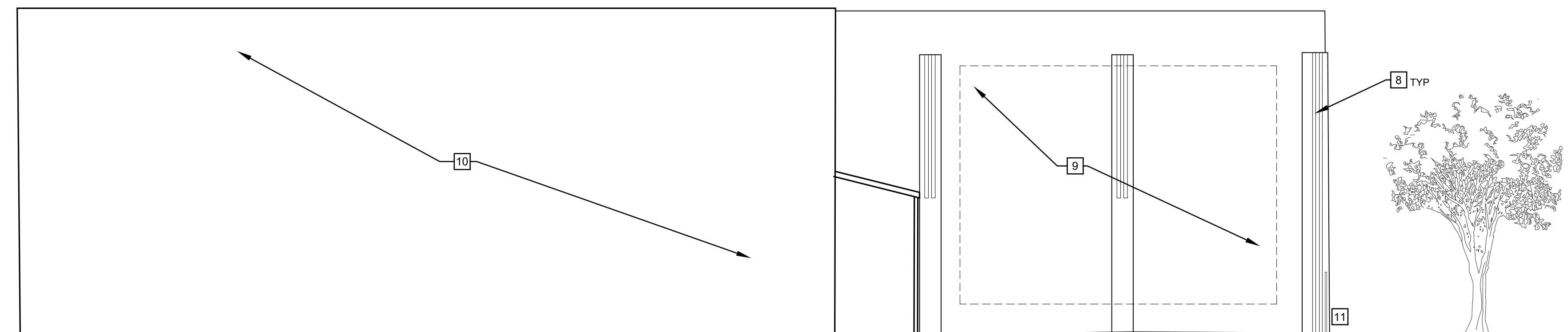
1 WEST ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



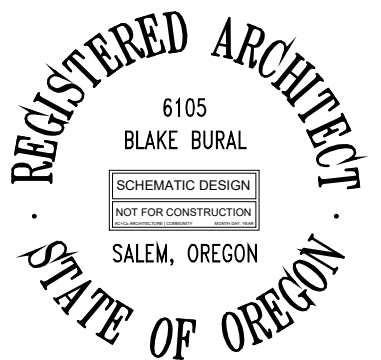
2 SOUTH ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



3 EAST ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



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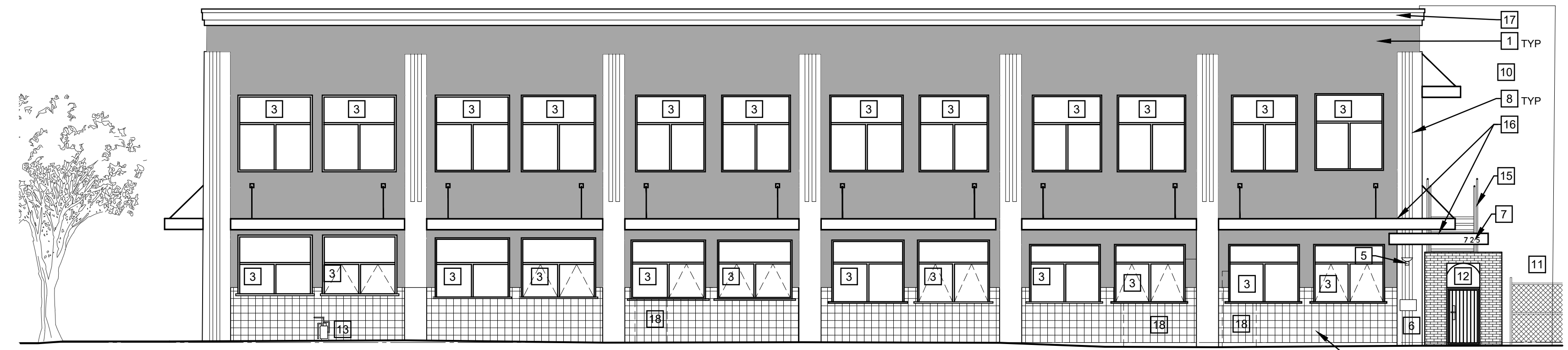
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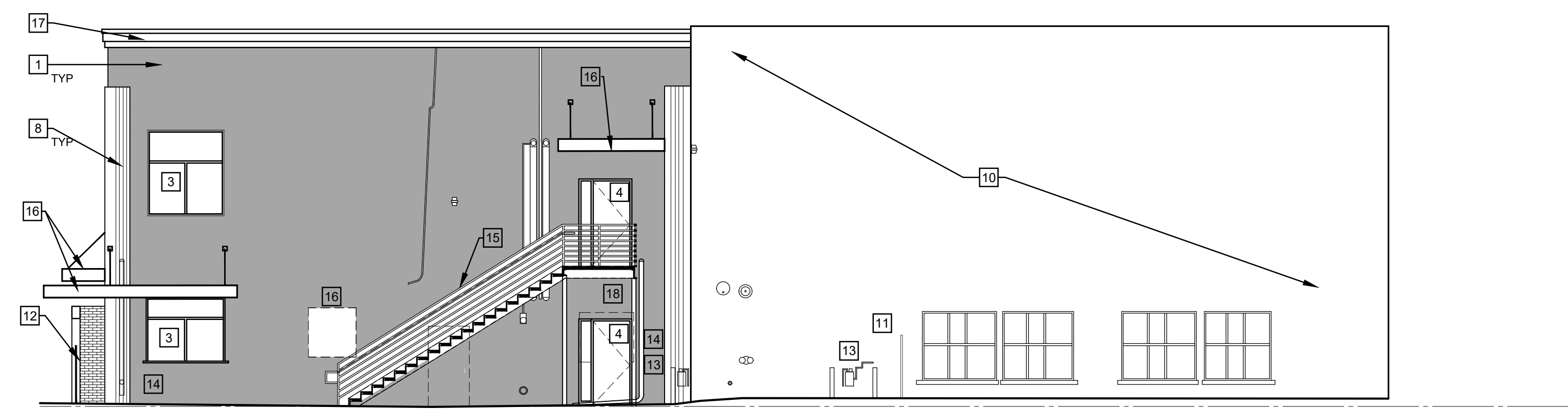
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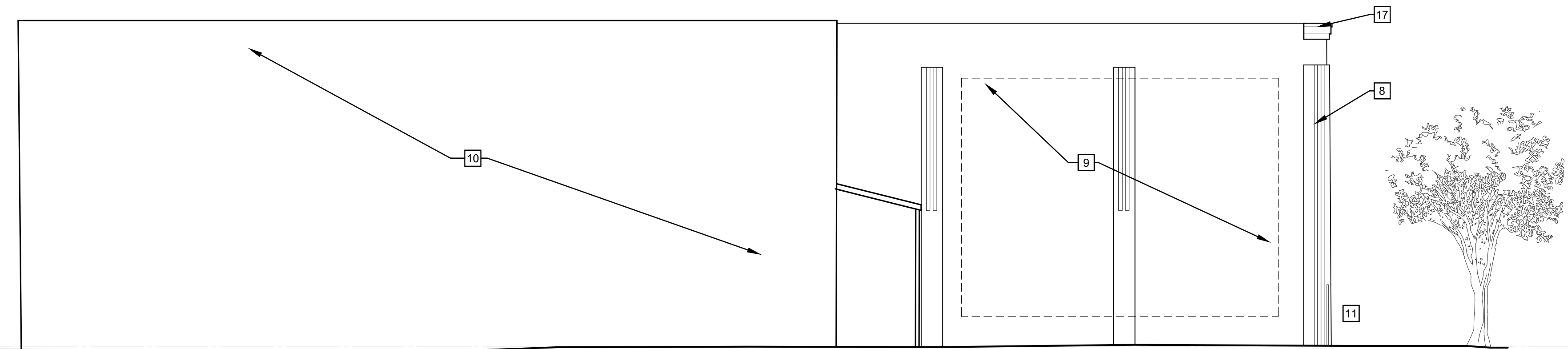
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SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"

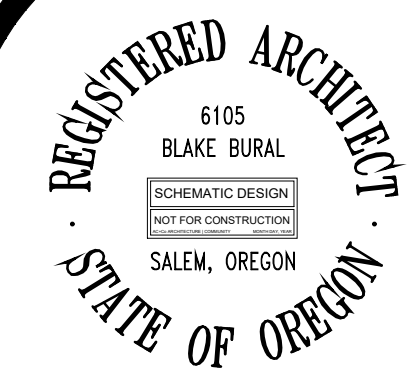


3 EAST ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"

- REFERENCE NOTES - REMODEL
- 1 EXISTING CONCRETE WALL TO REMAIN, PREP FOR NEW FINISH
  - 2 NEW GLAZED PORCELAIN TILE WAINSCOT UP TO 60" AFF
  - 3 NEW WINDOW, OPERABLE AS SHOWN, MIN. 24x20 IN SIZE
  - 4 NEW DOOR SYSTEM
  - 5 NEW WALL SCOSCE
  - 6 LOCATION OF EXISTING BUILDING PLACARD
  - 7 NEW APPLIED STREET NUMBERS
  - 8 EXISTING PILASTERS TO REMAIN, PREP FOR NEW FINISH
  - 9 EXISTING FULL HEIGHT MURAL FACING ADJACENT PROPERTY TO REMAIN, PROJECT AT ALL TIMES, NO NEW FINISH THIS WALL U.O.M.
  - 10 EXISTING ADJACENT BUILDING, NO WORK
  - 11 EXISTING FENCE TO REMAIN
  - 12 NEW BRICK ENTRANCE ARCH, INCLUDING STEEL GATE WITH ELECTRONIC KEY PAD
  - 13 EXISTING GAS METER TO REMAIN
  - 14 EXISTING DOWN SPOUT TO REMAIN
  - 15 NEW EXTERIOR EGRESS STAIR, REFER TO PLANS
  - 16 NEW AWNING, MIN OF 8' AFF
  - 17 NEW APPLIED DECORATIVE CORNICE, SHOWN AT 12" IN HEIGHT
  - 18 AREA OF NEW EXTERIOR WALL INFILL TO MATCH EXISTING ADJACENT



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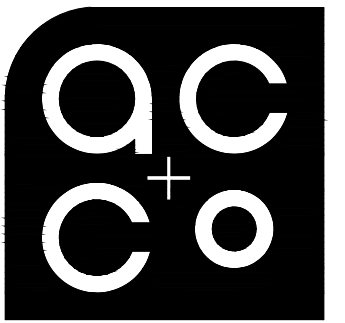
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