

ROOMS TO GO

1605 WEST OAKLAND PARK BLVD.
 OAKLAND PARK, FL

ISSUED DATES	
OWNER:	02/06/17
OWNER-2:	02/17/17
PERMIT/BID:	02/23/17
REVISIONS	
	BID CLARIFICATION DATE: 4/7/17
- CORRECTED ADDRESS NUMBER AND CITY - CORRECTED ORDER OF CIVIL DRAWINGS AND STRUCTURAL SHEET NUMBER IN DRAWING INDEX	

<h3 style="text-align: center;">GENERAL NOTES</h3> <p>GENERAL</p> <p>1. MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS OR PERFORMANCE STANDARDS. LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL REQUIREMENTS FOR LICENSING, MATERIALS, AND PERFORMANCE STANDARDS. PRIOR TO SUBMITTING BID, ALL CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK. LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS SHALL BE INCLUDED IN THE BID.</p> <p>2. THIS DESIGN CRITERIA IS PROVIDED FOR BUILDING OFFICIAL REVIEW CONVENIENCE ONLY AND IS NOT INTENDED FOR USE BY COMPONENT DESIGNERS OR MANUFACTURERS AS THEIR SOLE DESIGN CRITERIA WITHOUT VERIFICATION. EACH DESIGNER AND/OR MANUFACTURER MUST INDEPENDENTLY CONFIRM ALL CODE CRITERIA WITH WHICH HIS ELEMENTS OR COMPONENTS MUST COMPLY, INCLUDING BUT NOT LIMITED TO LOADING, APPLICATION, FUNCTIONALITY, ETC. PERFORMANCE CRITERIA PROVIDED ELSEWHERE BY A SPECIFIC DISCIPLINE SHOULD BE REGARDED AS THE MINIMUM STANDARDS ACCEPTABLE TO THE CLIENT. EACH SUPPLIER MUST EVALUATE THESE MINIMUMS AGAINST SPECIFIC INDUSTRY STANDARDS AS WELL AS CODES, LAWS, ORDINANCES, AND UNDERWRITER REQUIREMENTS GOVERNING HIS PRODUCT AS WELL AS OWNER INSURER REQUIREMENTS, AS APPLICABLE. THE MOST STRINGENT OF THESE CRITERIA SHALL GOVERN.</p> <p>NOTES TO CONTRACTOR REGARDING MOLD AND MILDEW</p> <p>1. THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.</p> <p>2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND / OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND / OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT / ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.</p> <p>3. CONCURRENTLY, THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING AS REQUIRED TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A MINIMUM OF THREE (3) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.</p> <p>4. ONCE DISCOVERY OR SUSPICION OF MOLD AND / OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM THE EXPOSURE TO MOLD AND / OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD / MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.</p> <p>5. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.</p> <p>6. THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.</p> <p>7. ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.</p> <p>8. ALL CONDENSATE DRAIN PANS SHALL BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL AND WHEN THE FACILITY IS TURNED OVER TO THE OWNER. INSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. INSURE THAT ALL "COLD" SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. ("COLD" SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.)</p> <p>9. INSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. RETURN AIR PATHS AND PLENUMS SHALL BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS SHALL BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.</p> <p>ROOF DRAINAGE</p> <p>1. THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE TO PUT THE FOLLOWING ROOF DRAINAGE NOTICE IN THE BUILDING OWNER'S OPERATING AND MAINTENANCE MANUALS AT THE TIME THE FACILITY IS TURNED OVER TO THE OWNER. THE NOTICE TO CONTRACTOR BELOW SHALL APPLY TO PROJECTS HAVING INTERIOR ROOF DRAINS AND/OR SCUPPERS. IN ADDITION, THE GENERAL CONTRACTOR SHALL HAVE THE FOLLOWING NOTICE TYPED, FRAMED UNDER GLASS, AND MOUNTED IN THE OFFICE</p> <p>NOTICE TO BUILDING OWNERS AND TENANTS REGARDING ROOF DRAINAGE</p> <p>EXCESSIVE PONDING DUE TO CLOGGED ROOF DRAINS CAN CAUSE RAPID ROOF COLLAPSE. WHILE THE ROOF AND STRUCTURE HAVE BEEN DESIGNED TO CODE STANDARDS AT THE TIME OF BUILDING PERMIT ISSUE, PONDING WATER, ESPECIALLY IN EXCESS OF 3.5 INCHES DEPTH, SHOULD BE AVOIDED.</p> <p>A SECONDARY (OVERFLOW) ROOF DRAINAGE SYSTEM IS PROVIDED TO RELIEVE PONDING WHEN WATER DEPTH EXCEEDS 2 INCHES. HOWEVER, IT IS IMPERATIVE THAT THE OWNER, TENANT, OR FACILITY MANAGER PERIODICALLY INSPECT THE ROOF TO INSURE THAT BOTH THE PRIMARY AND SECONDARY ROOF DRAINAGE SYSTEMS ARE FUNCTIONING PROPERLY AND ARE UNOBSTRUCTED BY LEAVES OR DEBRIS. AN INSPECTION SHOULD BE PERFORMED PRIOR TO ANY PREDICTED MAJOR STORMS OR HURRICANES THAT ARE EXPECTED TO CAUSE LOCAL FLASH FLOODING AND UNUSUAL DEBRIS.</p> <p>FACILITY MANAGERS SHOULD BE MADE AWARE OF THE ROOF COLLAPSE RISK ASSOCIATED WITH PONDING. MANAGERS SHOULD ALSO BE SENSITIVE TO THE FLOW OF STORM WATER THROUGH SECONDARY OR OVERFLOW OUTLETS, WHICH ARE GENERALLY LOCATED TO CALL ATTENTION TO FLOW THROUGH THE SECONDARY SYSTEM VIA SPILL-OUT OR WASHING. ANY UNUSUAL BUILDING SOUNDS OR MOVEMENTS OF THE ROOF STRUCTURE MIGHT INDICATE EXCESSIVE PONDING DURING A SIGNIFICANT STORM EVENT. THE MANAGER ON DUTY SHOULD EVACUATE THE BUILDING IF THERE IS ANY EVIDENCE OF EXCESSIVE PONDING THAT MIGHT RESULT IN ROOF COLLAPSE.</p> <p>NOTICE TO CONTRACTOR</p> <p>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PUT THE ABOVE NOTICE TO BUILDING OWNERS AND TENANTS REGARDING ROOF DRAINAGE IN THE BUILDING OWNER'S OPERATING AND MAINTENANCE MANUALS AT THE TIME THE FACILITY IS TURNED OVER TO THE OWNER. IN ADDITION, THE GENERAL CONTRACTOR SHALL HAVE THE ABOVE NOTICE TYPED IN 12 POINT FONT, FRAMED UNDER GLASS, AND PERMANENTLY MOUNTED TO THE BACK SIDE OF THE MANAGER'S OFFICE DOOR.</p> <p>INTERIOR WALL AND CEILING FINISH REQUIREMENTS</p> <p>INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS: EXIT ENCLOSURES AND EXIT PASSAGEWAYS.....C CORRIDORS.....C ROOMS AND ENCLOSED SPACES.....C</p>	<h3 style="text-align: center;">SYMBOLS LEGEND</h3> <p>INTERIOR FINISHES..... </p> <p>ROOM NUMBER IDENTIFICATION..... </p> <p>DOOR NUMBER IDENTIFICATION..... </p> <p>INTERIOR PARTITION TYPES..... </p> <p>TOILET ACCESSORIES..... </p> <p>REVISION MARK..... </p> <p>BUILDING ELEVATION..... </p> <p>WALL SECTION..... </p> <p>INTERIOR ELEVATION MARK..... </p> <p>DETAIL MARK..... </p> <p>TYPICAL DETAIL DESIGNATION DETAIL NUMBER SHEET WHERE DETAIL IS SHOWN</p>	<h3 style="text-align: center;">DRAWING INDEX</h3> <p>GENERAL</p> <p>A0.0 COVER SHEET</p> <p>CIVIL</p> <p>C-1 LOADING AREA EXPANSION T0-1 TREE DISPOSITION PLAN L-1 TREE MITIGATION LANDSCAPE PLAN L-2 PLANT LIST, DETAILS, SPECIFICATIONS, ETC.</p> <p>ARCHITECTURAL</p> <p>A1.0 FLOOR PLAN A1.3 ROOF PLAN A5.4 ROOF DETAILS A8.0 SCHEDULES AND DETAILS</p> <p>STRUCTURAL</p> <p>S10.0 GENERAL STRUCTURAL NOTES AND DETAILS</p> <p>MECHANICAL / PLUMBING</p> <p>M1.0 HVAC SCHEDULES AND DETAILS M2.0 HVAC PLAN</p> <p>ELECTRICAL</p> <p>E1.0 GENERAL NOTES, SYMBOLS AND DETAILS E1.1 ELECTRICAL DEMOLITION PLAN E2.0 ELECTRICAL PLAN</p>																																																																				
<h3 style="text-align: center;">PRODUCT APPROVALS</h3> <p>NOTE: 1) WHETHER LISTED IN THE PRODUCT APPROVALS TABLE OR NOT, ALL BUILDING COMPONENTS AND ASSEMBLIES WHICH ARE REQUIRED TO BE CONSTRUCTED IN ACCORDANCE WITH A PRODUCT APPROVAL, BY THE AUTHORITIES HAVING JURISDICTION, SHALL BE DONE SO BY THE CONTRACTOR.</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>PRODUCT CATEGORY</th> <th>SUB CATEGORY</th> <th>MANUFACTURE LISTED IN SPECIFICATIONS</th> <th>DESCRIPTION</th> <th>STATE OF FLORIDA APPROVAL NUMBER</th> <th>DADE COUNTY - NOA APPROVAL NUMBER</th> </tr> </thead> <tbody> <tr> <td rowspan="3">ROOFING</td> <td>SINGLE-PLY ROOFING</td> <td>GAF MATERIALS CORPORATION</td> <td>SINGLE-PLY TPO OVER RECOVER DECK</td> <td></td> <td>16-0217.01 EXPIRES 05-12-2021</td> </tr> <tr> <td>SINGLE-PLY ROOFING</td> <td>CARLISLE</td> <td>SINGLE-PLY TPO OVER RECOVER DECK</td> <td></td> <td>14-0627.06 EXPIRES 08-31-18</td> </tr> <tr> <td>SINGLE-PLY ROOFING</td> <td>FIRESTONE BUILDING PRODUCTS</td> <td>SINGLE-PLY TPO OVER RECOVER DECK</td> <td></td> <td>14-0606.04 EXPIRES 02-03-2020</td> </tr> <tr> <td rowspan="3">EXTERIOR DOORS</td> <td>SWINGING AT SOLID WALLS</td> <td>WINDSOR REPUBLIC</td> <td>DL416</td> <td></td> <td>13-0404.01 EXPIRES 5-22-2018</td> </tr> <tr> <td>SWINGING AT SOLID WALLS</td> <td>CECO DOOR</td> <td>DOORS AND FRAMES</td> <td>FL10723.1</td> <td></td> </tr> <tr> <td>SWINGING AT SOLID WALLS</td> <td>REPUBLIC</td> <td>DL418 STEEL FLUSH DOOR</td> <td>FL15868.1</td> <td></td> </tr> </tbody> </table>	PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURE LISTED IN SPECIFICATIONS	DESCRIPTION	STATE OF FLORIDA APPROVAL NUMBER	DADE COUNTY - NOA APPROVAL NUMBER	ROOFING	SINGLE-PLY ROOFING	GAF MATERIALS CORPORATION	SINGLE-PLY TPO OVER RECOVER DECK		16-0217.01 EXPIRES 05-12-2021	SINGLE-PLY ROOFING	CARLISLE	SINGLE-PLY TPO OVER RECOVER DECK		14-0627.06 EXPIRES 08-31-18	SINGLE-PLY ROOFING	FIRESTONE BUILDING PRODUCTS	SINGLE-PLY TPO OVER RECOVER DECK		14-0606.04 EXPIRES 02-03-2020	EXTERIOR DOORS	SWINGING AT SOLID WALLS	WINDSOR REPUBLIC	DL416		13-0404.01 EXPIRES 5-22-2018	SWINGING AT SOLID WALLS	CECO DOOR	DOORS AND FRAMES	FL10723.1		SWINGING AT SOLID WALLS	REPUBLIC	DL418 STEEL FLUSH DOOR	FL15868.1		<h3 style="text-align: center;">CODE DATA</h3> <p>THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE FOLLOWING CODES: 2014 FLORIDA BUILDING CODE w/ 2012 BROWARD COUNTY AMENDMENTS, INCLUDING HIGH VELOCITY HURRICANE ZONE SECTIONS 2014 FLORIDA FIRE CODE 2014 FLORIDA PLUMBING CODE 2014 FLORIDA MECHANICAL CODE 2014 FUEL GAS CODE 2014 FLORIDA ENERGY CONSERVATION CODE 2008 NATIONAL ELECTRIC CODE 2012 FLORIDA ACCESSIBILITY CODE</p> <p>BUILDING TYPE: II B (UNPROTECTED) OCCUPANCY: MERCANTILE BUILDING IS FULLY SPRINKLERED NET AREA (TOTAL) = 29,916 SQUARE FEET "EXCLUDING EXTERIOR WALLS"</p> <p>AREA CALCULATIONS: ALLOWABLE AREA (TABLE 503) = 12,500 SQUARE FEET ALLOWABLE INCREASE (SECTION 506.3) = 37,500 SQUARE FEET TOTAL ALLOWABLE AREA = 50,000 SQUARE FEET > 29,916 SQUARE FEET (OK)</p> <p>EXITING CALCULATIONS</p> <p>MINIMUM OCCUPANT LOAD (TABLE 1004.1.2): 25,784 SQUARE FEET AT 30 SQUARE FEET / PERSON = 860 PERSONS (MAIN SALES AREA) 1,093 SQUARE FEET AT 100 SQUARE FEET / PERSON = 11 PERSONS (BUSINESS AREA) 3,042 SQUARE FEET AT 300 SQUARE FEET / PERSON = 11 PERSONS (STORAGE/UTILITY AREA) TOTAL = 882 PERSONS</p> <p>MINIMUM NUMBER OF EXITS (SECTION 1021.2.4) = 4 MAXIMUM TRAVEL DISTANCE (TABLE 1016.2) = 250' SUFFICIENTLY REMOTE AND BALANCED FOR (SECTION 1015.2) MAXIMUM DEAD END CORRIDOR (SECTION 1018.4) = 50' LEVEL EGRESS WIDTH PER PERSON (TABLE 1005.3.2 (EXCEPTION)) = .15" MINIMUM WIDTH OF MEANS OF EGRESS: 44" MINIMUM AISLE OR CORRIDOR (SECTION 1018.2) 882 PERSONS x .15"/PERSON (SECTION 1005.3.2) = 133"</p> <p>WIDTH OF EGRESS PROVIDED: MAIN ENTRANCES / EXITS (4) DOORS AT 68" EACH = 454" SECONDARY EXITS (2) DOORS AT 68" EACH = 443" TOTAL DOOR INCHES 408" > 177" (OK)</p> <p>PLUMBING FIXTURES CALCULATIONS: 1,193 PERSONS PER BUILDING CODE (TABLE 1004.1.2) AND PLUMBING CODE (TABLE 403.1): 50% MENS = 441 PERSONS 50% WOMENS = 441 PERSONS</p> <p>PLUMBING FIXTURES PROVIDED: MENS 3 WATER CLOSET 2 URINAL 4 LAVATORY WOMENS 4 WATER CLOSETS 4 LAVATORIES</p> <p>MINIMUM PLUMBING FIXTURES REQUIRED PLUMBING CODE (TABLE 403.1) WATER CLOSETS: 1 PER 500 = 2 REQUIRED LAVATORIES: 1 PER 750 = 2 REQUIRED DRINKING FOUNTAIN: 1 PER 1,000 = 2 REQUIRED SERVICE SINK NOT REQUIRED</p>	<h3 style="text-align: center;">BUILDING AREAS</h3> <table border="1" style="width:100%; 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<h3 style="text-align: center;">COLD-FORMED STEEL IDENTIFICATION LEGEND</h3> <p>MEMBER DEPTH: (EXAMPLE: 6" = 600 x 1/100 INCHES) ALL MEMBER DEPTHS ARE TAKEN IN 1/100 INCHES</p> <p>FLANGE WIDTH: (EXAMPLE: 1 1/4" = 1 25" = 125 x 1/100 INCHES) ALL FLANGE WIDTHS ARE TAKEN IN 1/100 INCHES</p> <p>STYLE: S = STUD OR JOIST SECTION T = TRACK SECTIONS</p> <p>MATERIAL THICKNESS: (EXAMPLE: 0.054" = 54 MILS 1 MIL = 1/1000 INCH)</p>																																																																						

ROOMS TO GO
 1605 WEST OAKLAND PARK BOULEVARD
 OAKLAND PARK, FL

CASCO PROFESSIONAL SERVICES, LLC
 ARCHITECTURAL LICENSE
 NUMBER AA2602342

James A. Schmitt

EXPIRATION DATE 02/28/19
 LICENSE NUMBER AR65329
 JAMES A. SCHMITT
 PROFESSIONAL OF RECORD
 PHONE: 314-621-1100

COVER SHEET

DRAWN BY
 RMT

CHECKED BY
 MSB

PROJECT NUMBER
 916271

SHEET NUMBER
A0.0

ISSUED DATES	
OWNER:	02/06/17
OWNER-2:	02/17/17
BID:	02/23/17
PERMIT:	04/11/17
REVISIONS	
CHANGE BULLETIN 1	DATE: 5/23/17
- REVISED DOOR NUMBER AT SALES TO RECEIVING IMPACT DOORS	
CHANGE BULLETIN 2	DATE: 8/21/17
- ADDED SCISSORS LIFT, CONCRETE PAD, AND BOLLARDS	
CHANGE BULLETIN 3	DATE: 1/8/18
- REVISED CONCRETE PAD AND CURB	

ROOMS TO GO
1605 WEST OAKLAND PARK BOULEVARD
OAKLAND PARK, FL

CASCO PROFESSIONAL SERVICES, LLC
ARCHITECTURAL LICENSE
NUMBER AA2602342

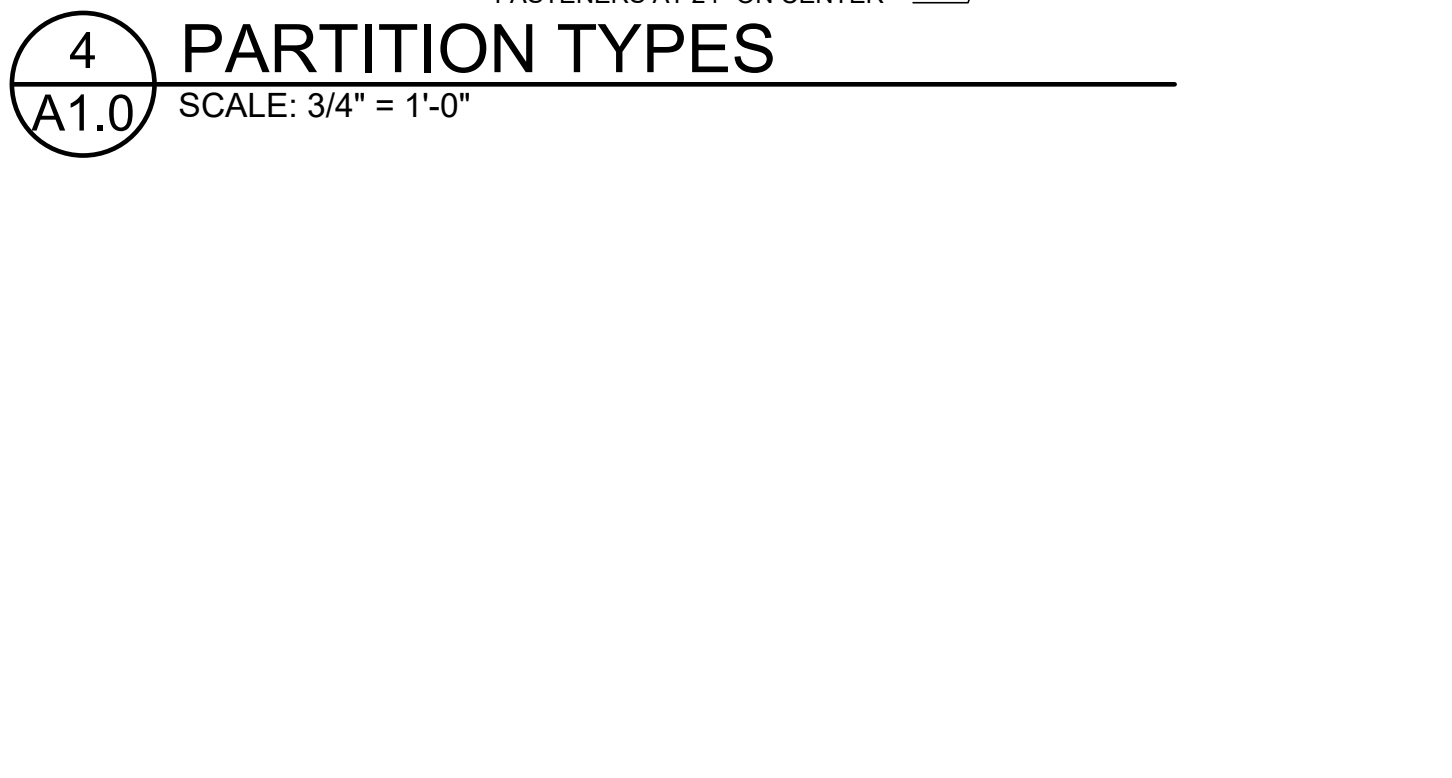
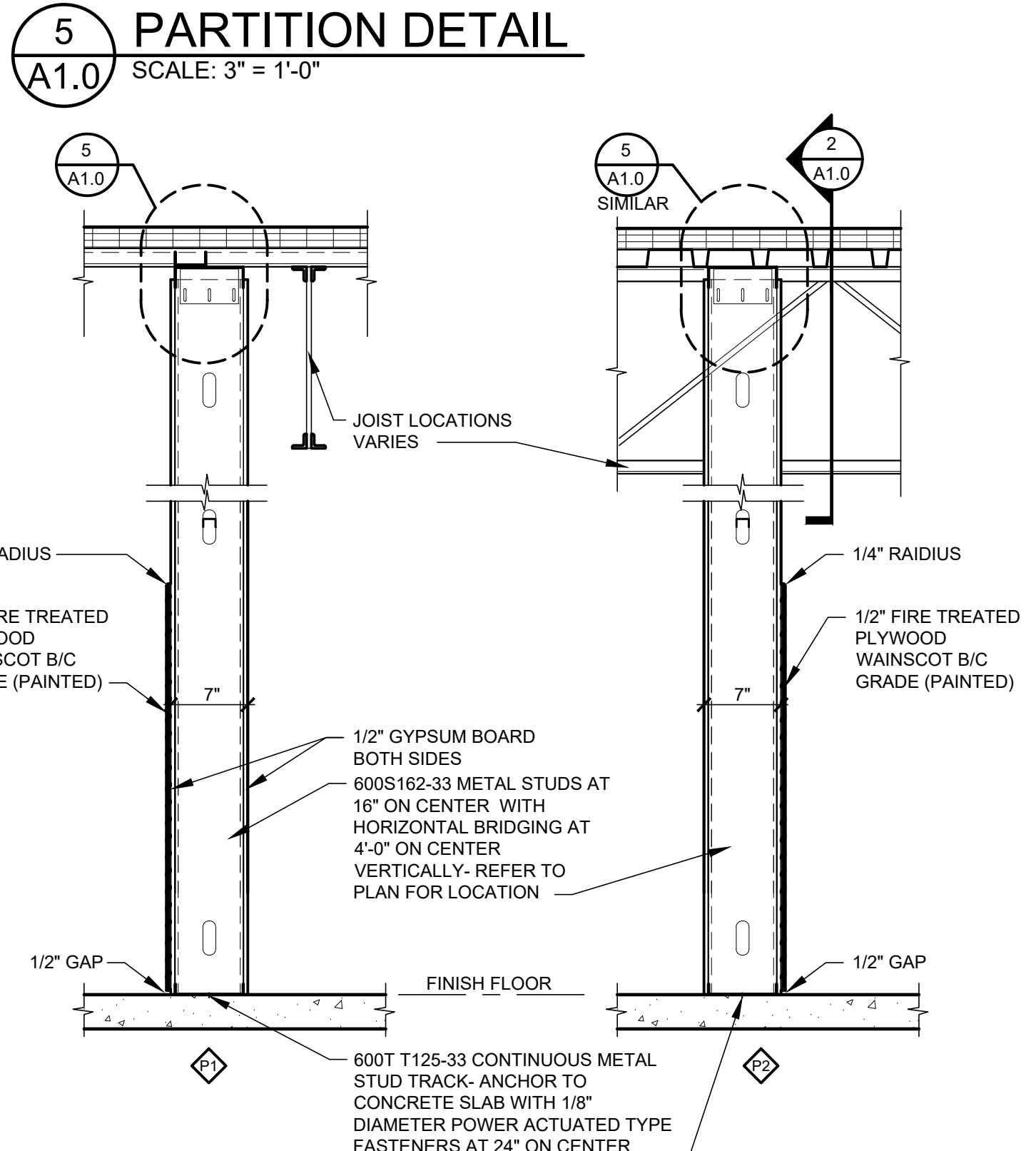
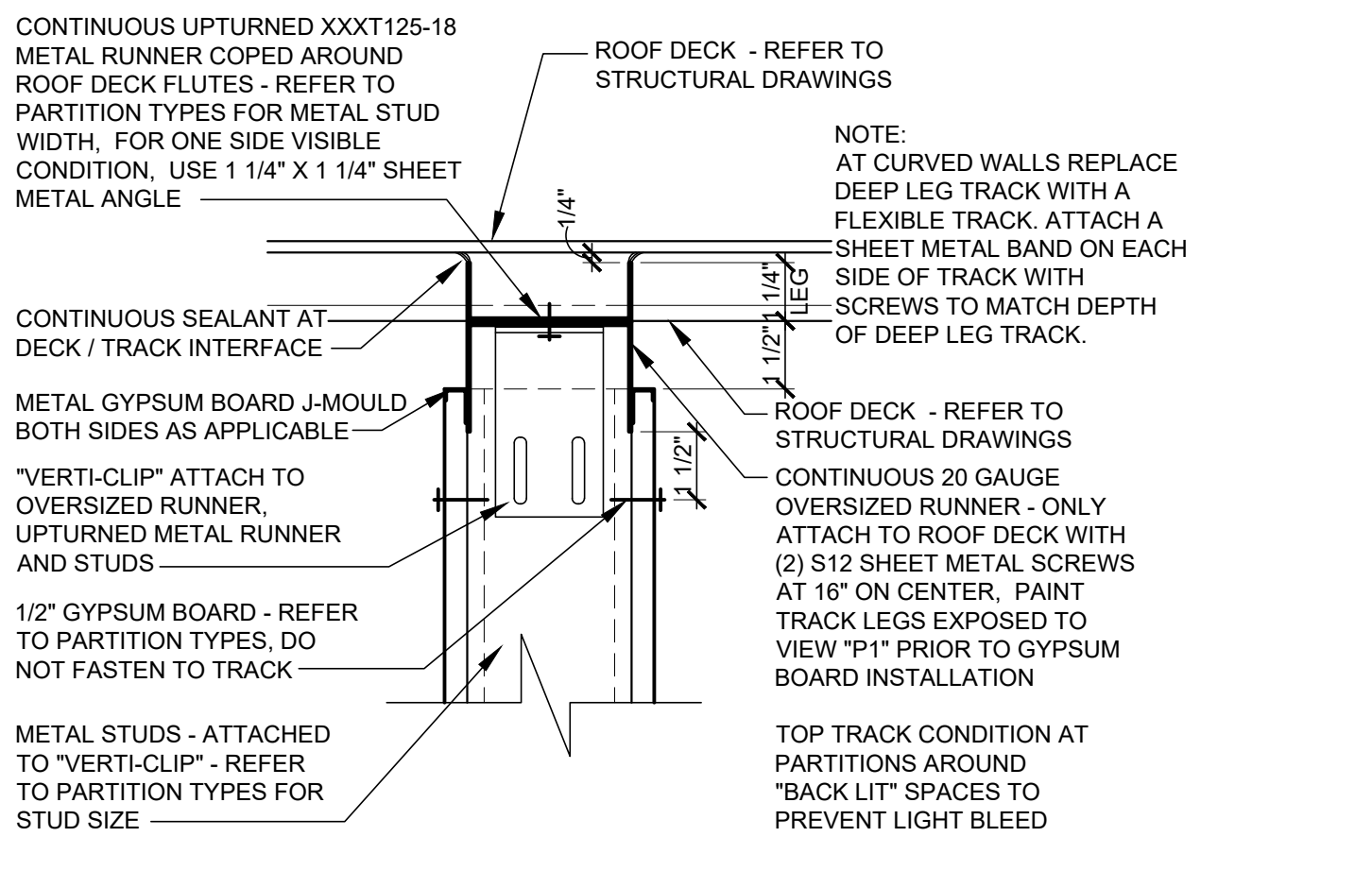
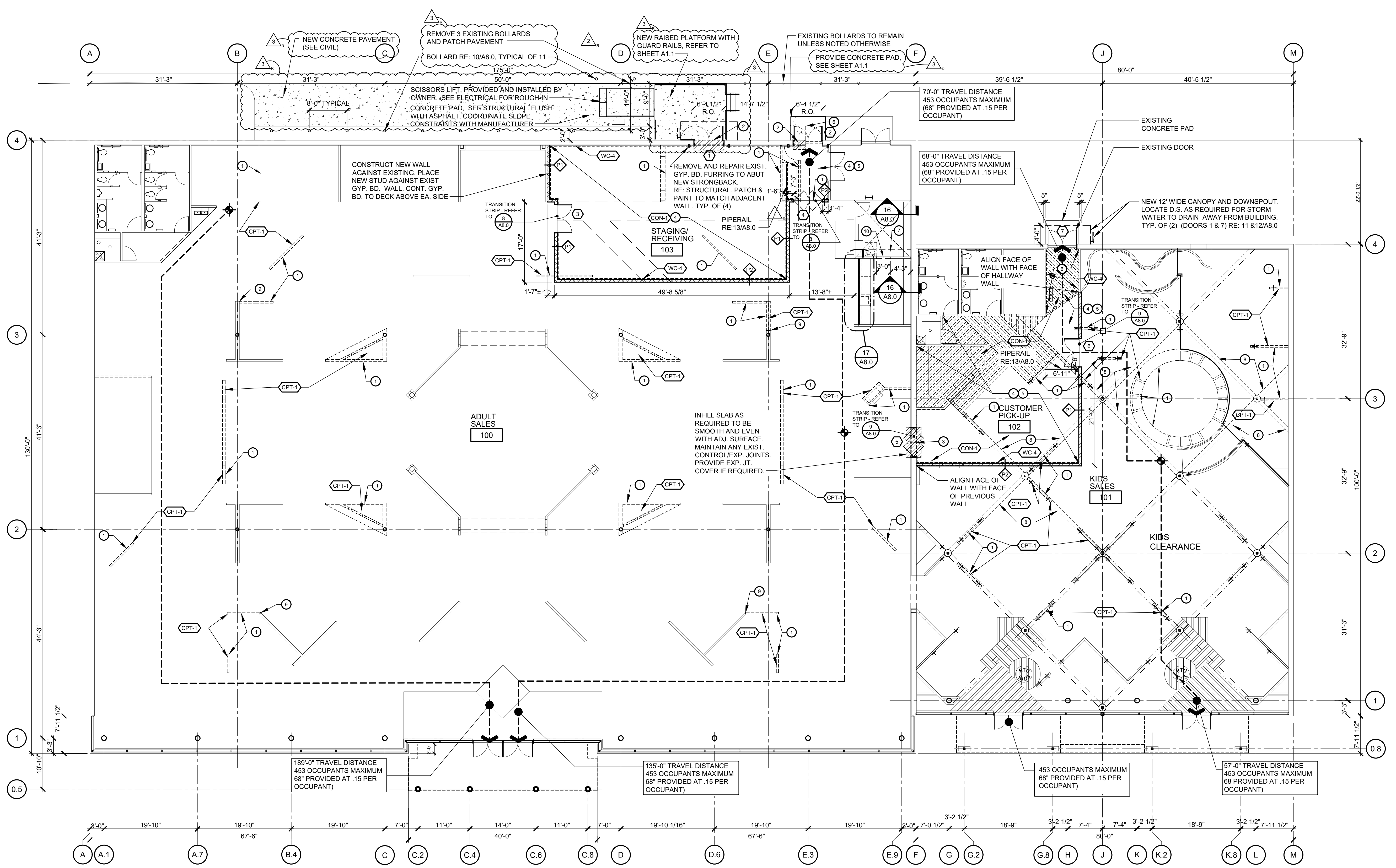
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JAMES A. SCHMITT
PROFESSIONAL OF RECORD
PHONE: 314-621-1100

DEMOLITION AND FLOOR PLAN

DRAWN BY: RMT
CHECKED BY: MSB
PROJECT NUMBER: 916271

SHEET NUMBER

A1.0



1 FLOOR PLAN
SCALE: 3/32" = 1'-0"



GENERAL DEMOLITION NOTES:

- ALL DEMOLITION WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND FACILITY TO VERIFY ALL EXISTING CONDITIONS AND VERIFY THE SCOPE OF WORK INDICATED BY ALL CONTRACT DOCUMENTS. FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE IMPACT OF THE SCOPE OF WORK ON EXISTING CONDITIONS SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. ANY DISCREPANCIES DISCOVERED IN THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OFFICE OF THE ARCHITECT OF RECORD AND THE OWNER.
- UNLESS NOTED OTHERWISE, ALL DEMOLISHED MATERIAL AND EQUIPMENT IS TO BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A SAFE AND LEGAL MANNER. NO ON SITE SALE OF MATERIAL IS ALLOWED.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS TO REMAIN IN SERVICE, AND TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETCETERA.
- ALL DEMOLITION AND CONSTRUCTION WORK SHALL BE PERFORMED SO IT DOES NOT INTERFERE WITH THE TENANTS OR CUSTOMERS OF THE NEIGHBOURING SHOPS OR RESTAURANTS.
- GENERAL CONTRACTOR TO MAKE NECESSARY PROVISIONS THAT THE BUILDING IS LEFT IN A SECURE MANNER AT ALL TIMES.
- GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING CONSTRUCTION DURING THE DEMOLITION AND CONSTRUCTION PROCESS TO PREVENT DAMAGE TO EXISTING FINISHES OR MATERIALS.
- GENERAL CONTRACTOR SHALL COORDINATE THE EXTENT OF ALL DEMOLITION WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION AND REPORT ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS TO ROOMS TO GO CONSTRUCTION PROJECT MANAGER AND ARCHITECT OF RECORD.
- ALL EXISTING FIRE PROTECTION SYSTEM, INCLUDING HEADS AND PIPING IS TO BE REUSED AND MODIFIED TO ACCOMMODATE NEW WORK. COORDINATE WITH FIRE PROTECTION DRAWINGS FOR FURTHER INFORMATION.
- GENERAL CONTRACTOR SHALL REMOVE AND STORE ALL EXISTING FIRE EXTINGUISHERS FOR RE-USE.

FLOOR PLAN KEYED DEMOLITION NOTES:

- REMOVE EXISTING PARTITIONS IN THEIR ENTIRETY INCLUDING: STEEL SUPPORT ANGLES, FRAMING, FINISH MATERIALS AND ATTACHMENTS. PATCH SLAB TO MATCH EXISTING REMAINING SLAB. REMOVE SUPPORTS TO BELOW FLOOR. PATCH AND REPAIR FLOOR, CLEAN AND APPLY CONCRETE BONDING AGENT BEFORE POURING CONCRETE. NEW CONCRETE TO MATCH ALL AROUND, INCLUDING LEVEL AND FINISH TEXTURE OF ADJACENT. SALVAGE EXISTING FIXTURE ITEMS, SUCH AS: PLAQUES, STATUES, DECORATIVE FEATURES, ETCETERA FOR OWNER REQUEST. CAP UTILITIES BELOW CONCRETE SLAB. (SALVAGE WOOD BASE FOR REUSE).
- SAW CUT AND REMOVE PORTION OF EXISTING EXTERIOR MASONRY WALL, FURRING AND CONCRETE FLOOR SLAB / SIDEWALK AS REQUIRED FOR INSTALLATION OF NEW H.M. DOOR. TOOTH IN NEW CONCRETE MASONRY UNITS INTO THE EXISTING MASONRY WALL. SHORE WALL AS REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SAW CUT AND REMOVE PORTION OF EXISTING INTERIOR MASONRY WALL, FURRING AND CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW DOOR. TOOTH IN NEW CONCRETE MASONRY UNITS INTO THE EXISTING MASONRY WALL. SHORE WALL AS REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING FLOOR COVERING DOWN TO EXISTING CONCRETE SLAB. CLEAN AND PREP CONCRETE SLAB (ACID ETCH) IN ACCORDANCE WITH MANUFACTURERS STANDARDS FOR THE APPLICATION OF THE NEW FLOOR FINISH MATERIAL TO BE INSTALLED. (SALVAGE SALES FLOOR CARPET TO PATCH NEWLY EXPOSED AND DAMAGED AREAS OF SALES FLOOR CARPET).
- REMOVE EXISTING LAY-IN CEILING TILES, SUSPENSION GRID, LIGHT FIXTURES AND OTHER DEVICES. RETAIN DIFFUSERS FOR REPAINTING AND REUSE IN NEW CEILING - REF MECHANICAL & ELECTRICAL DEMOLITION AND NEW DRAWINGS.
- REMOVE EXISTING DOOR IN ITS ENTIRETY INCLUDING FRAME, HARDWARE, AND THRESHOLD. PATCH SLAB/FLOOR, AS REQUIRED, TO MATCH EXISTING ADJACENT.
- REMOVE EXISTING MILLWORK AS SHOWN ON PLAN. REPAIR NEWLY EXPOSED CORE OF REMAINING MILLWORK AS REQUIRED TO MATCH EXISTING FINISH AND COLOR.
- REMOVE EXISTING DECORATIVE TRUSS AND HARDWARE. PATCH WALL TO MATCH ADJACENT.
- REPAIR NEWLY EXPOSED END OF REMAINING WALL AS REQUIRED TO MATCH EXISTING.
- MODIFY WALL AS REQUIRED TO PROVIDE A NEW 3'-0" WIDE X 7'-0" HIGH CASED OPENING.

EXITING REQUIREMENTS:

PER SECTION 1005.1) - 882 TOTAL OCCUPANTS x 0.15 =
- 177" TOTAL REQUIRED EXIT WIDTH
- 408" TOTAL PROVIDED EXIT WIDTH

FIRE EXTINGUISHER NOTES:

FIRE EXTINGUISHERS (11) TOTAL
- MOUNT TO FREESTANDING SALES CENTER MILLWORK IN SHOWROOM AREAS. COORDINATE MOUNTING REQUIREMENTS WITH OWNER.
PER NFPA 10 - TABLE 6.2.1.1
BASED ON CLASS "A" FIRE HAZARD AND LIGHT / LOW HAZARD OCCUPANCY
- 1 FIRE EXTINGUISHER REQUIRED FOR EVERY 3000 SQUARE FEET - AT 30,584 SQUARE FEET / 3000 = 11 TOTAL EXTINGUISHERS REQUIRED - (11) PROVIDED.
INVENTORY EXISTING FIRE EXTINGUISHERS AND SUPPLEMENT WITH ADDITIONAL AS REQUIRED. COORDINATE LOCATIONS WITH OWNER AND FIRE MARSHAL.

GENERAL FIRE PROTECTION NOTES:

- MODIFY EXISTING AUTOMATIC SPRINKLER SYSTEM AS REQUIRED TO MAINTAIN PROPER COVERAGE.
- PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS COORDINATED WITH OWNER.
- PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE MARSHAL. COORDINATE MOUNTING REQUIREMENTS WITH OWNER.
- PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10.
- SALES FLOOR FIRE EXTINGUISHERS ARE TO BE MOUNTED TO THE OWNER PROVIDED FREESTANDING SALES CENTER CABINETS ON THE SIDE OPPOSITE THE PHONE. DO NOT MOUNT TO THE WALLS IN THE SALES FLOOR AREA.

GENERAL PLAN NOTES:

- ALL WOOD BLOCKING MUST BE FIRE TREATED WHERE / WHEN REQUIRED BY LOCAL CODE.
- PROVIDE "J" MOULD AND SEALANT AT GYPSUM BOARD ENDS AND PROVIDE CORNER BEADS AT ANGLED OR SQUARE GYPSUM BOARD INTERSECTIONS UNLESS NOTED OTHERWISE.
- REFER TO ASTM C1007-00, ASTM C955-00a AND C754-00 FOR INSTALLATION REQUIREMENTS OF METAL STUDS, RUNNERS, BRACING, BRIDGING AND SCREW ATTACHED GYPSUM BOARD.
- ALL WALLS ARE DIMENSIONED TO THE FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- HOLD INTERIOR DOORS OFF 6" FROM WALL UNLESS NOTED OTHERWISE.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL
- NEW 48" HIGH PLYWOOD WAINSCOT REFER TO 4/A1.0

SYMBOLS

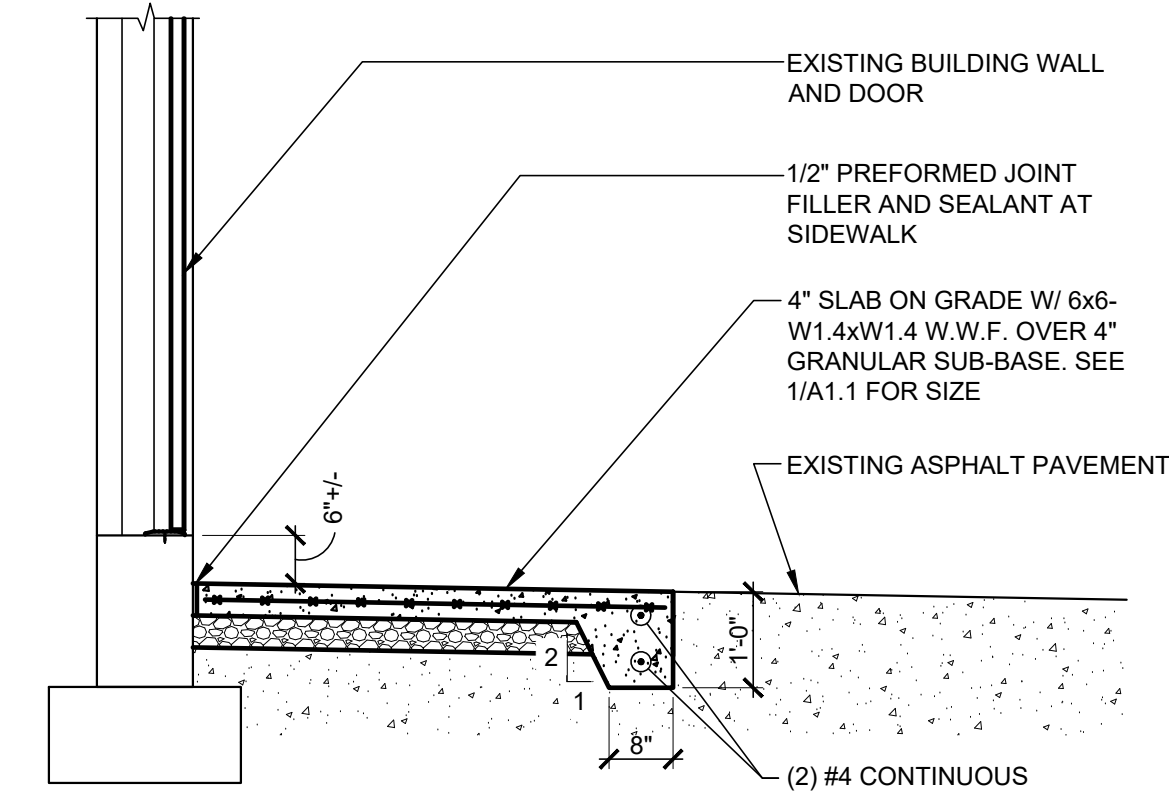
- DEMOLITION KEYED NOTE
- PARTITION TYPE - INTERIOR PARTITIONS ARE TYPE "P1" UNLESS NOTED OTHERWISE. SEE DETAILS 4/A1.0
- DOOR NUMBER - REFER TO SHEET A8.0
- DECORATIVE ALUMINUM TRUSS
- DECORATIVE ALUMINUM TRUSS TO BE DEMOLISHED
- EXIT ROUTE

FLOOR FINISH LEGEND

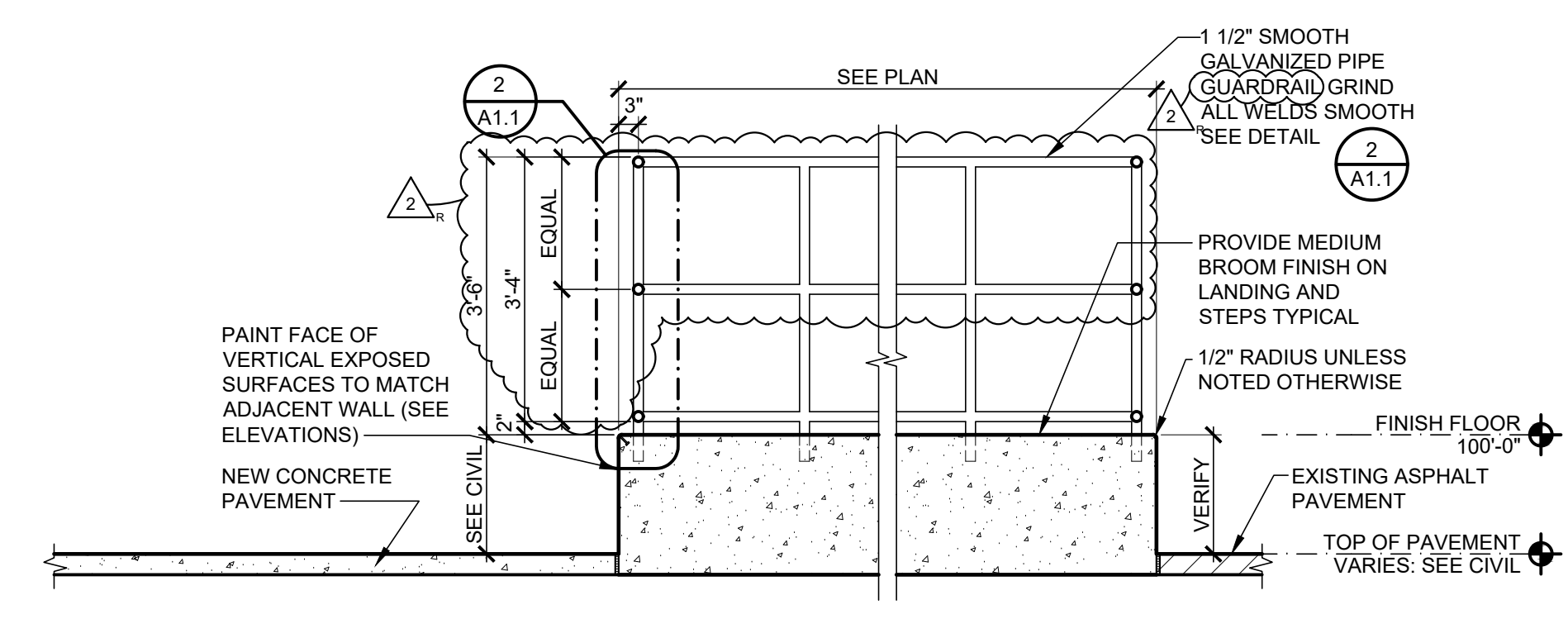
- CARPET:**
 - CPT1: PATCH EXISTING CARPET AS REQUIRED TO FILL NEWLY EXPOSED VOIDS AND DAMAGED CARPET WITH SALVAGED CARPET.
 - CONC: EXPOSED CONCRETE WITH SMOOTH TROWELLED FINISH APPLY 2 COATS L&M CONSTRUCTION MATERIALS, INC. PERMAGUARD SPS. INSTALL PER MANUFACTURER'S INSTRUCTIONS

ISSUED DATES	
OWNER:	02/06/17
OWNER-2:	02/17/17
BID:	02/23/17
PERMIT:	04/11/17
REVISIONS	
	CHANGE BULLETIN 3 DATE: 1/8/18
ADDED SHEET WITH ENLARGED PLANS AND DETAILS OF PLATFORMS AND STOOPS AT REAR OF BUILDING	
	CHANGE BULLETIN 4 DATE: 2/6/18
REVISED DETAILS 2, 3, 4, AND 5 PER CODE COMMENT	

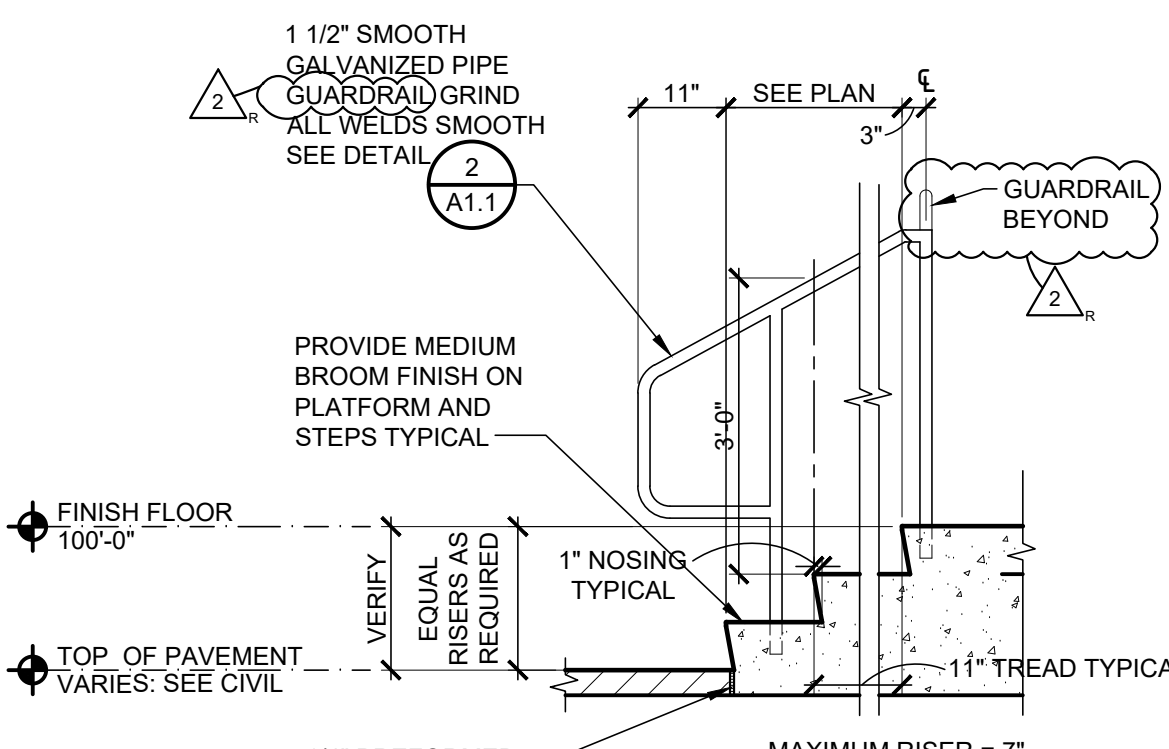
ALL EXPOSED AND/OR DISTURBED GRANULAR BASE AREAS SHALL BE COMPACTED TO A MINIMUM DEPTH OF 8" AND TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 AT OPTIMUM MOISTURE CONTENT. ALL SUBGRADE SOIL AREAS EXPOSED BY EXCAVATIONS AND GRADING SHALL BE COMPACTED TO A MINIMUM DEPTH OF 12" AND TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 AT OPTIMUM MOISTURE CONTENT. FILL WHERE REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE AND SHALL BE COMPACTED AS OUTLINED ABOVE. THE ON SITE TESTING COMPANY SHALL PROVIDE TESTING AND INSPECTION OF THE SOIL WORK PRIOR TO PLACING CONCRETE.



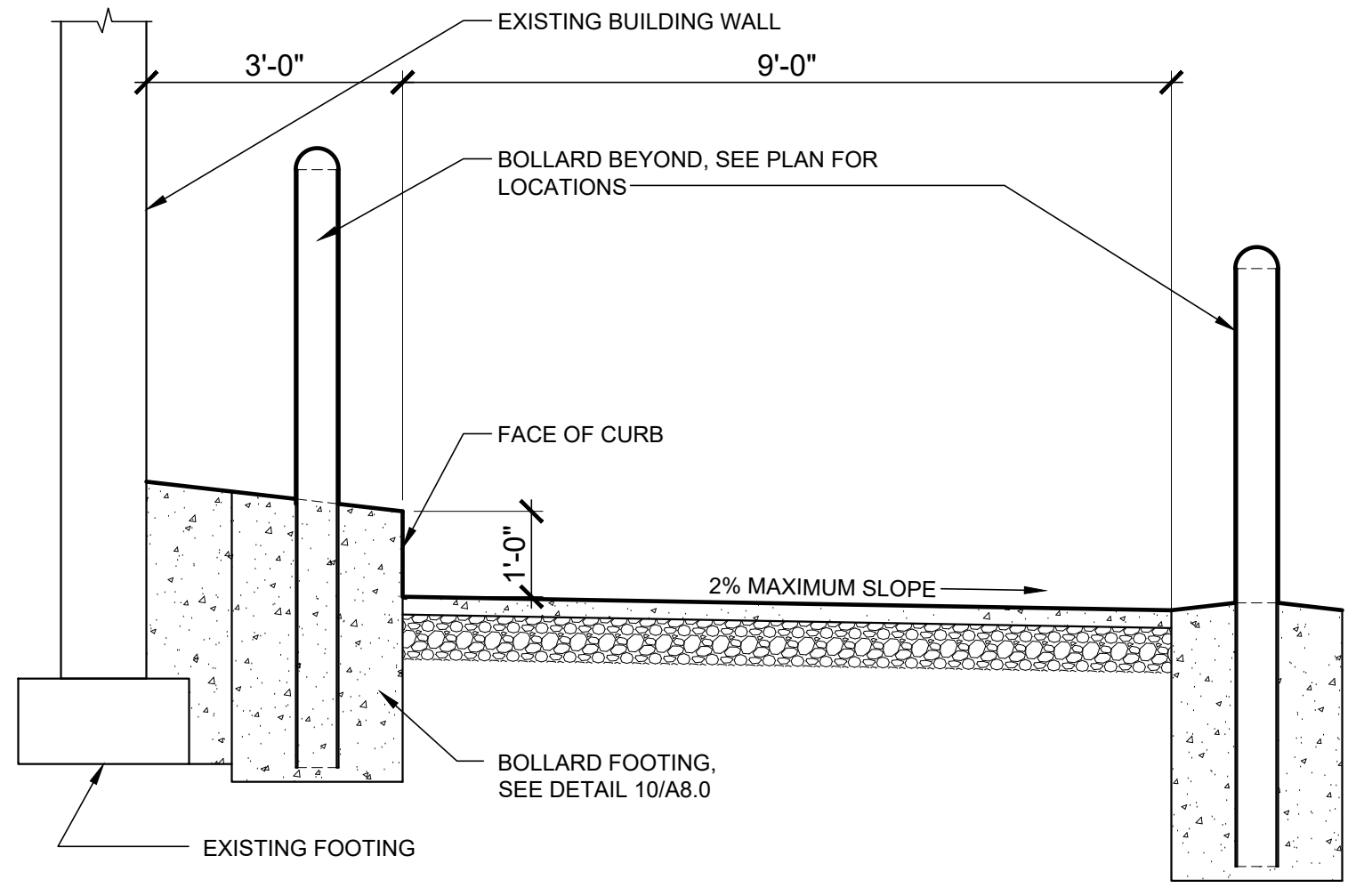
7 CONCRETE PAD SECTION
 A1.1 SCALE: 1/2" = 1'-0"



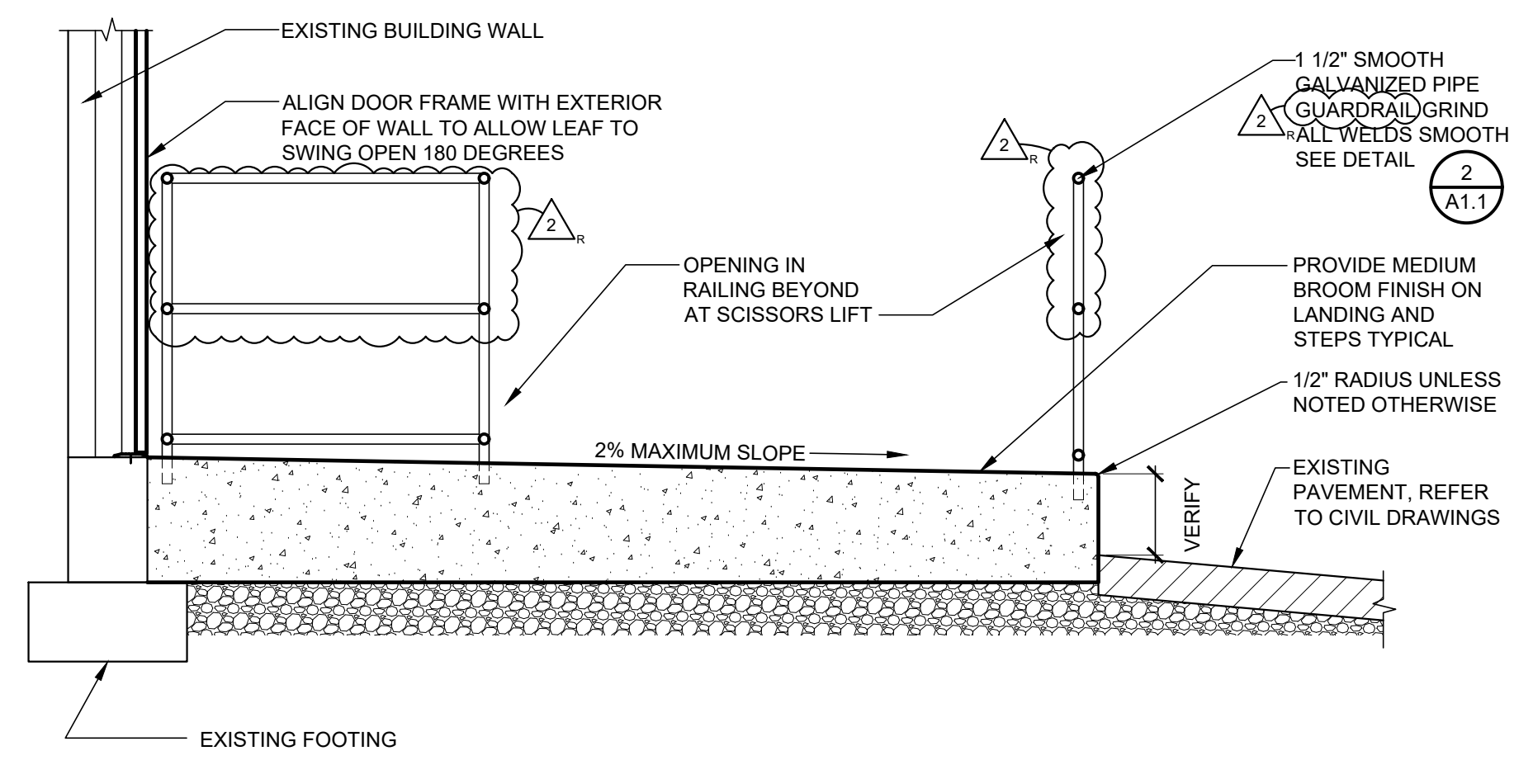
4 PLATFORM SECTION
 A1.1 SCALE: 1/2" = 1'-0"



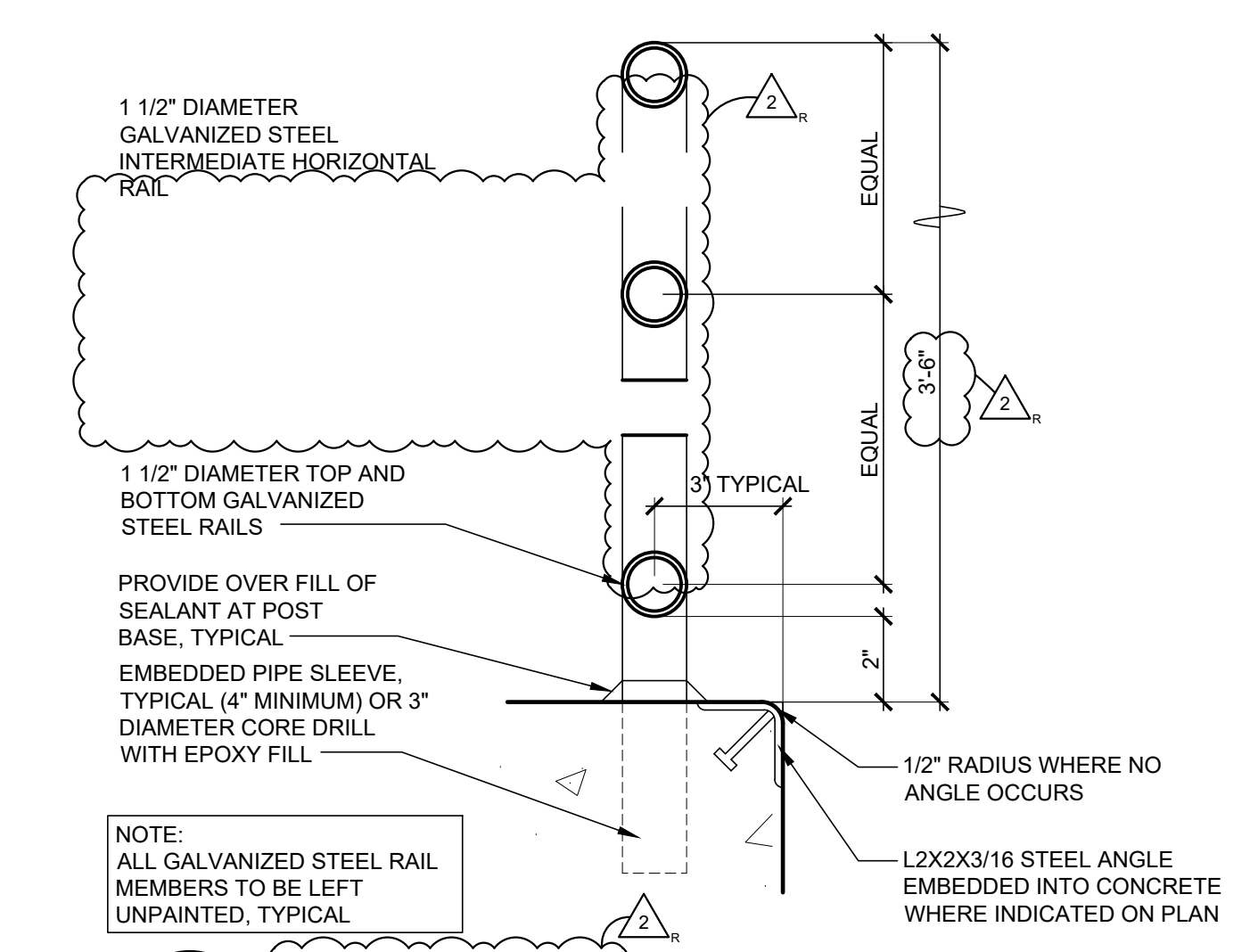
3 STAIR SECTION
 A1.1 SCALE: 1/2" = 1'-0"



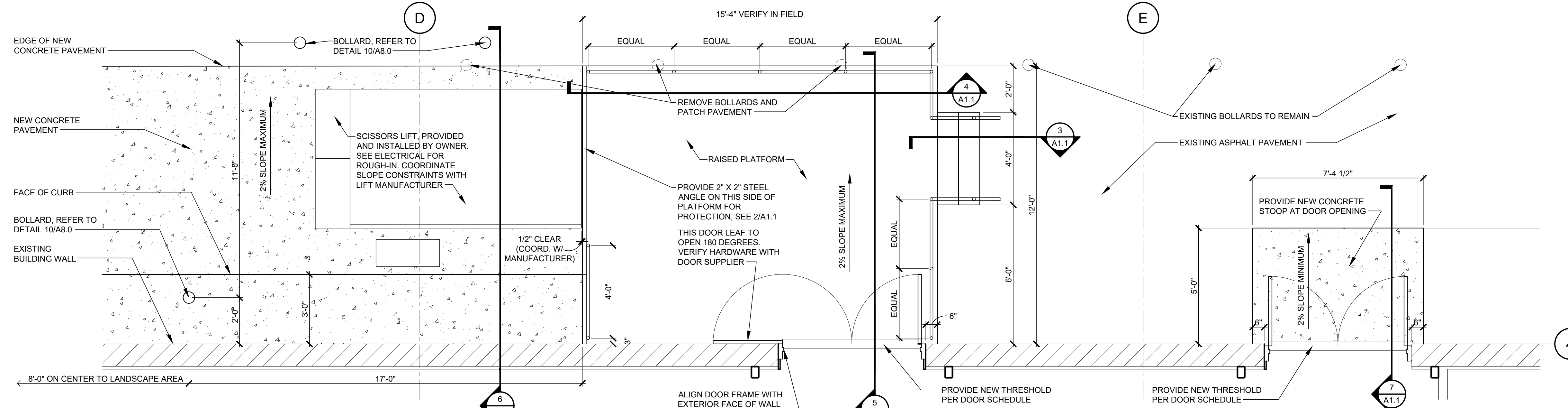
6 CURB SECTION
 A1.1 SCALE: 1/2" = 1'-0"



5 PLATFORM SECTION
 A1.1 SCALE: 1/2" = 1'-0"



2 GUARDRAIL DETAIL
 A1.1 SCALE: 3/8" = 1'-0"



1 ENLARGED PLAN
 A1.1 SCALE: 3/8" = 1'-0"

ROOMS TO GO
 1605 WEST OAKLAND PARK BOULEVARD
 OAKLAND PARK, FL

CASCO PROFESSIONAL SERVICES, LLC
 ARCHITECTURAL LICENSE
 NUMBER AA26002342

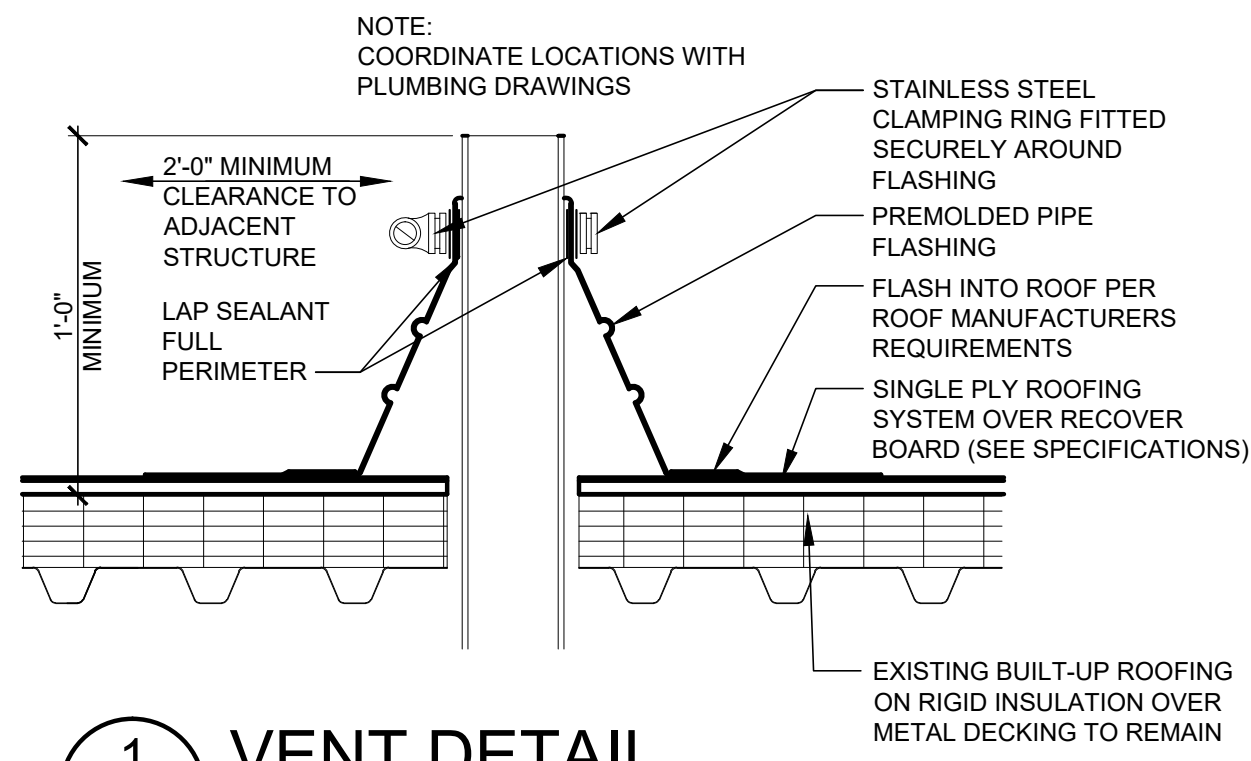
EXPIRATION DATE 02/28/19
 LICENSE NUMBER AR69329
 JAMES A. SCHMITT
 PROFESSIONAL OF RECORD
 PHONE: 314-821-1190

ENLARGED
 PLANS AND
 DETAILS

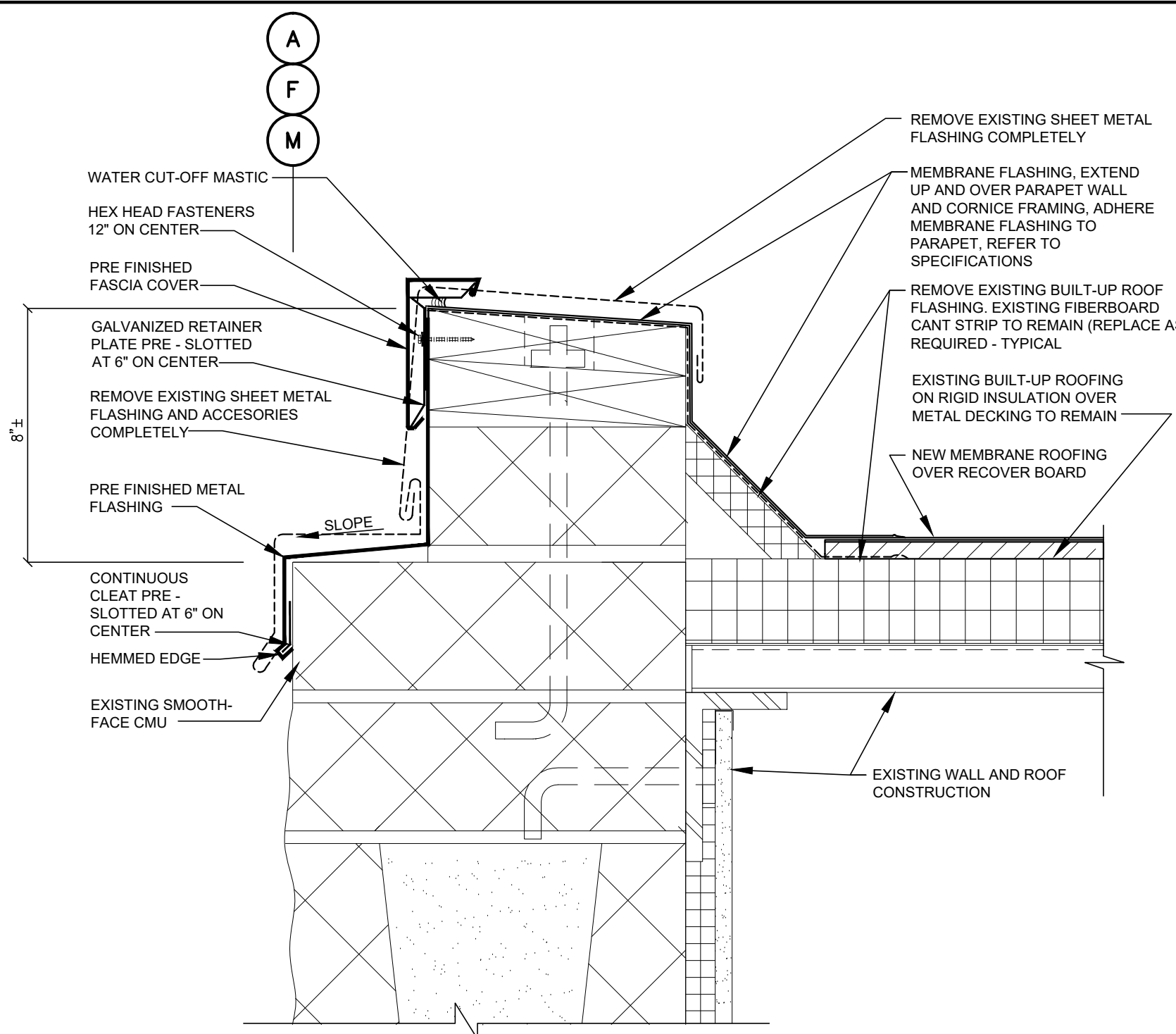
DRAWN BY
 DSC
 CHECKED BY
 MSB
 PROJECT NUMBER
 916271

SHEET NUMBER
A1.1

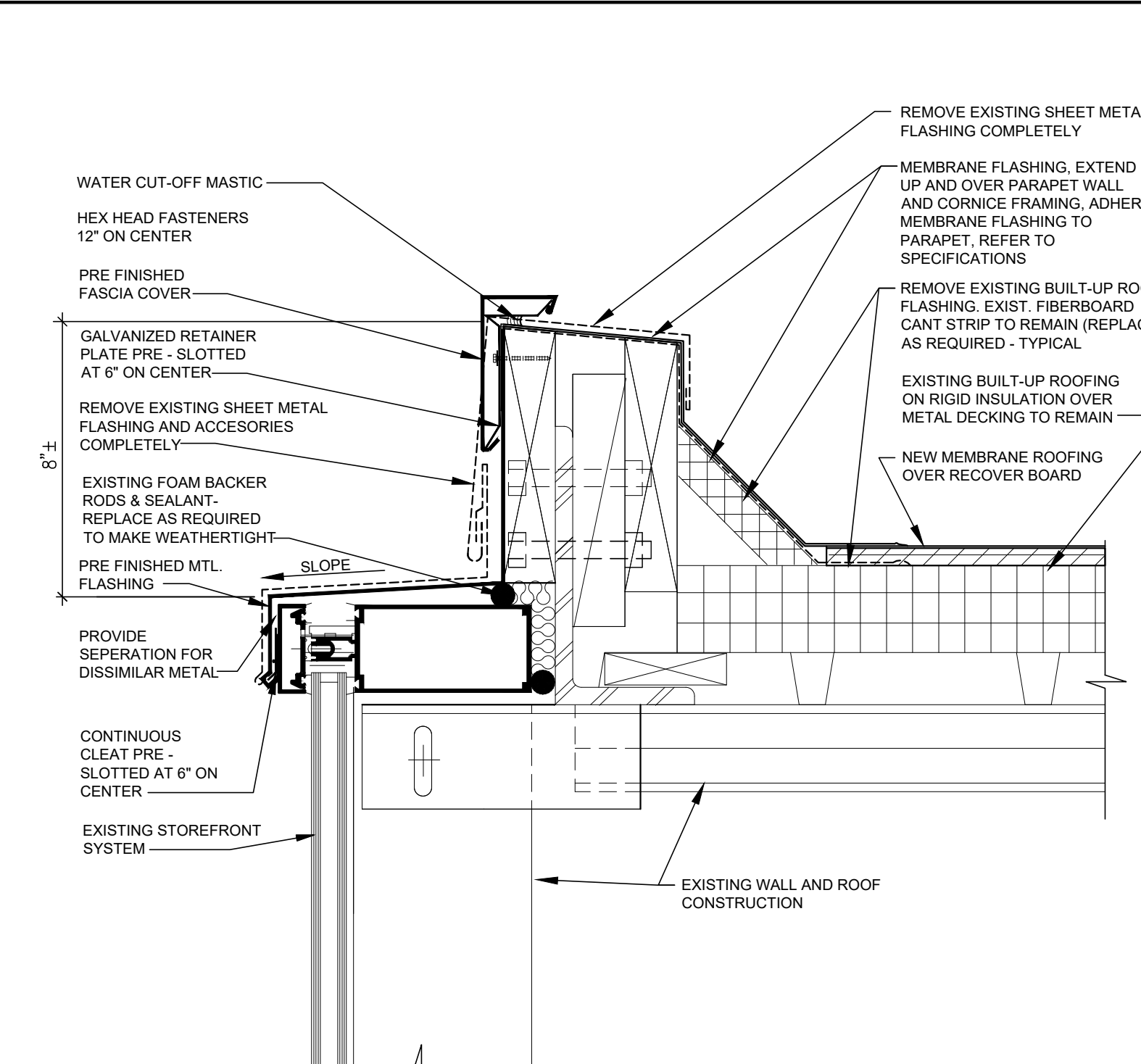
ISSUED DATES	
OWNER:	02/06/17
OWNER-2:	02/17/17
PERMIT/BID:	02/23/17
REVISIONS	



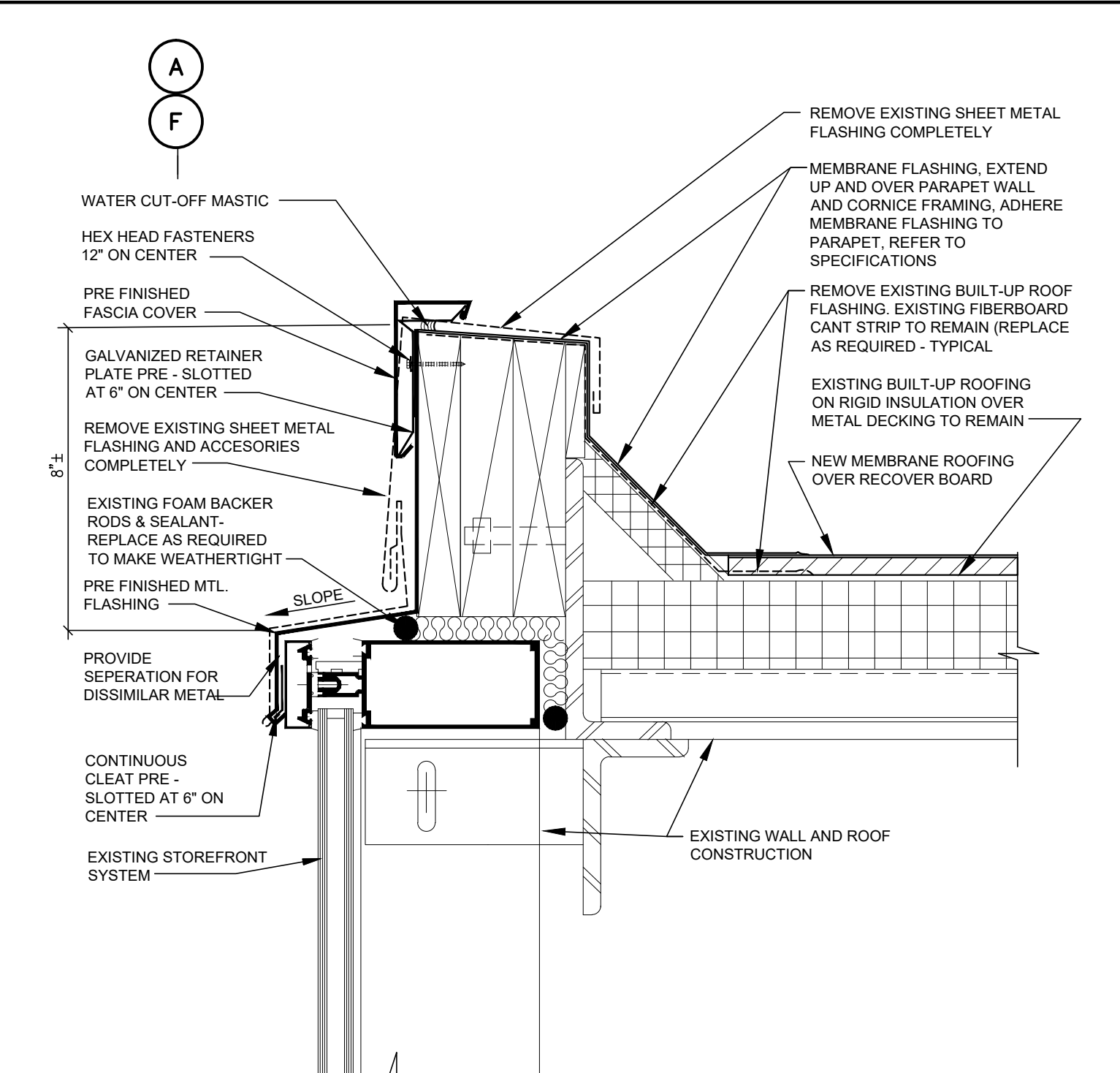
1 VENT DETAIL
SCALE: 1 1/2" = 1'-0"



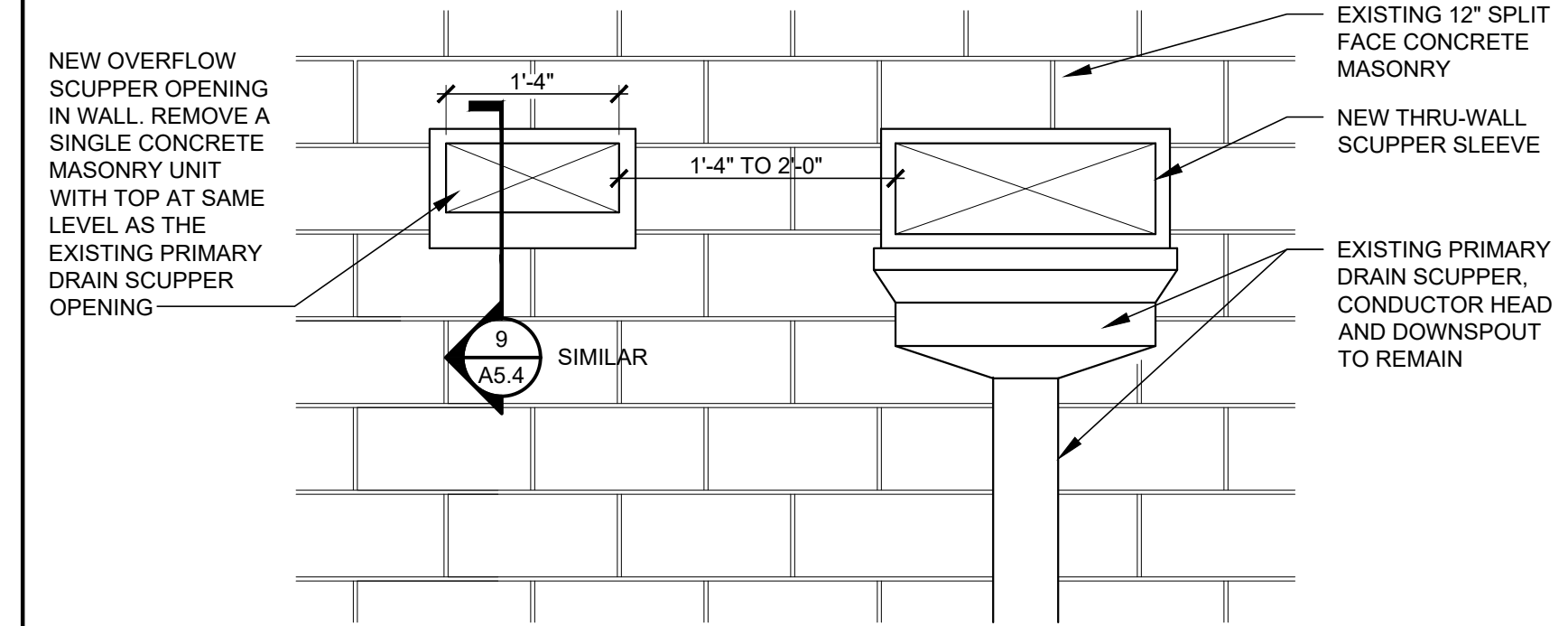
2 TYPICAL COPING @ MASONRY
SCALE: 3" = 1'-0"



3 COPING DETAIL @ FRONT WDW.
SCALE: 3" = 1'-0"

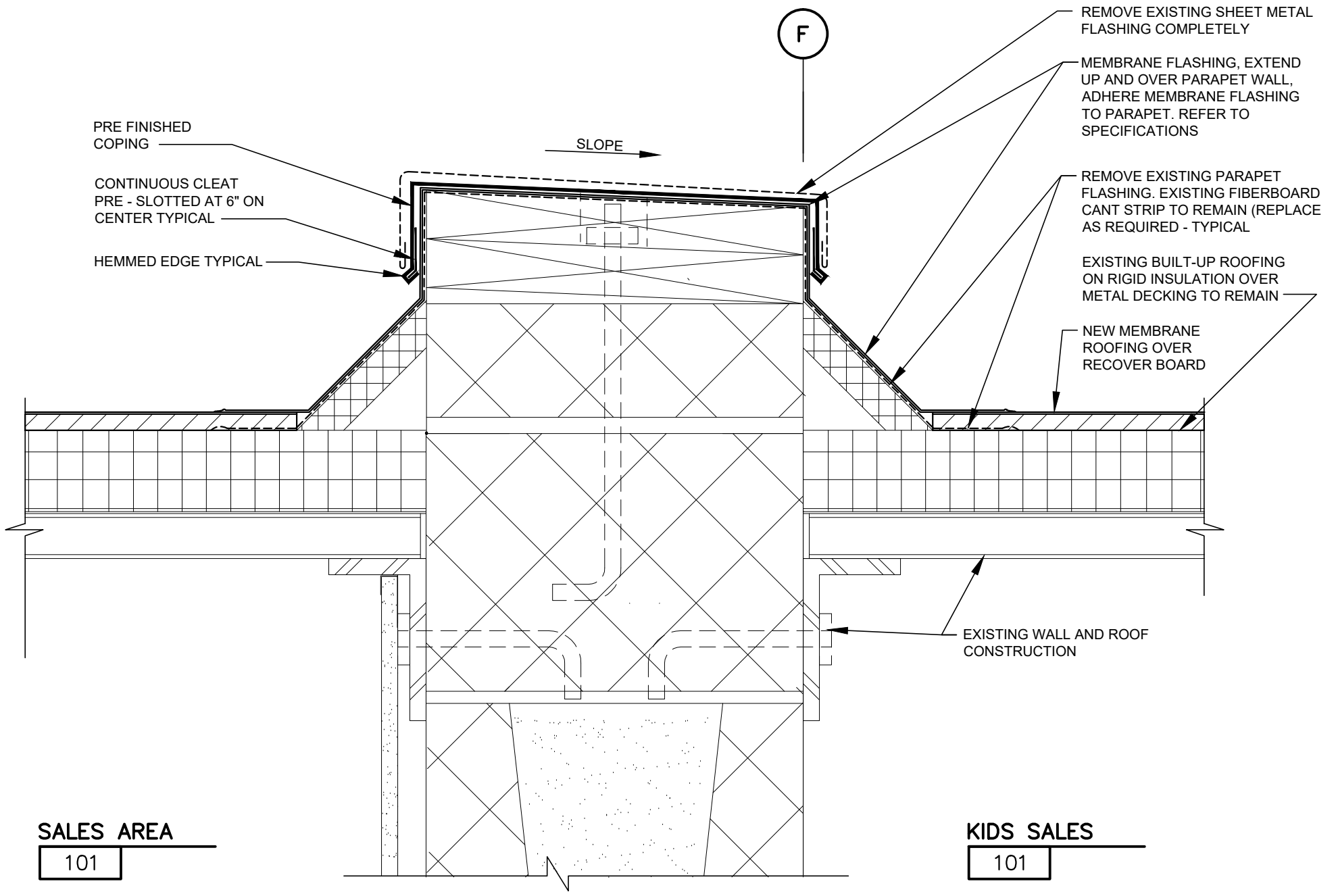


4 COPING DETAIL @ RETURN WDW.
SCALE: 3" = 1'-0"

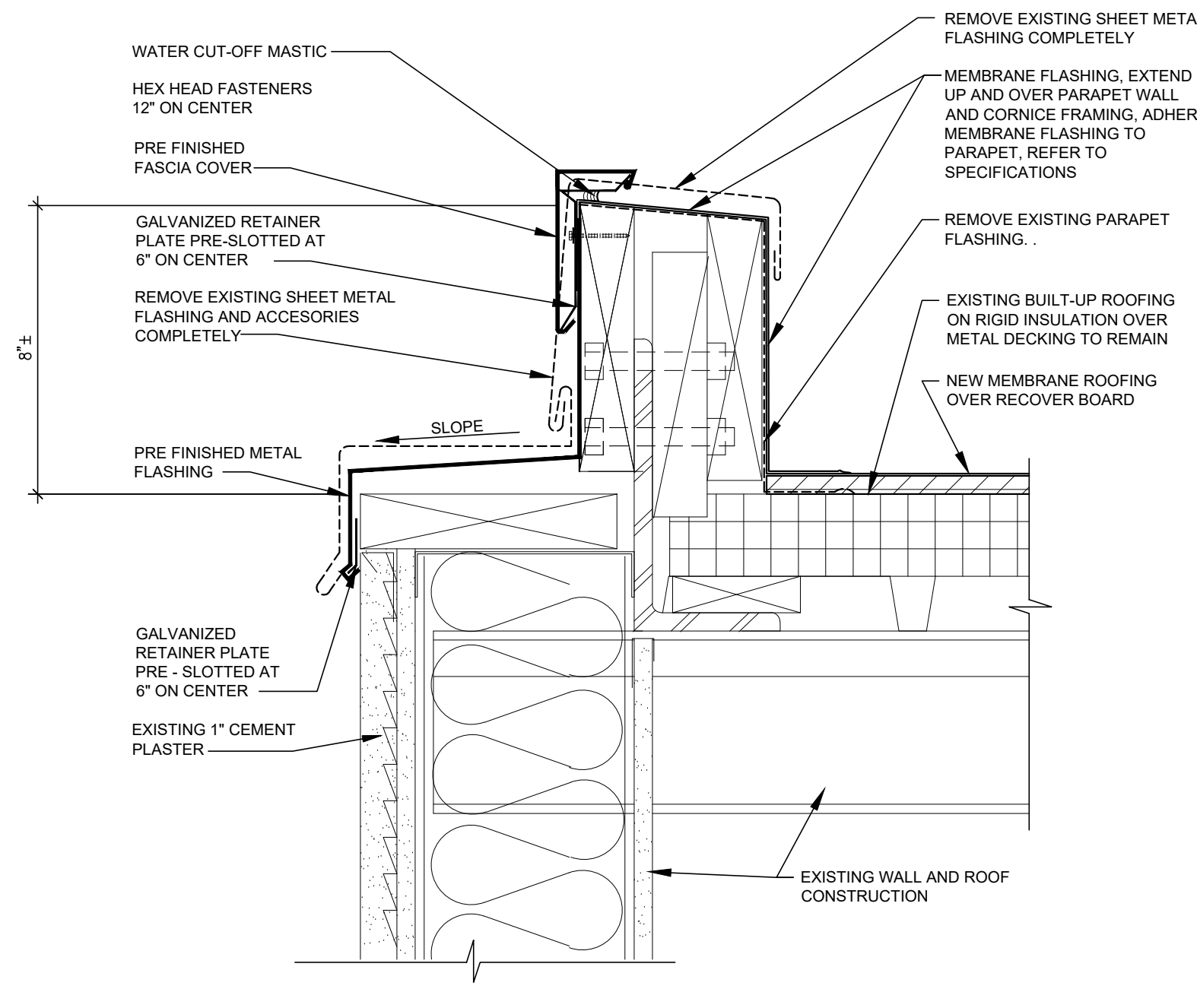


5 SCUPPER DETAIL
SCALE: 3/4" = 1'-0"

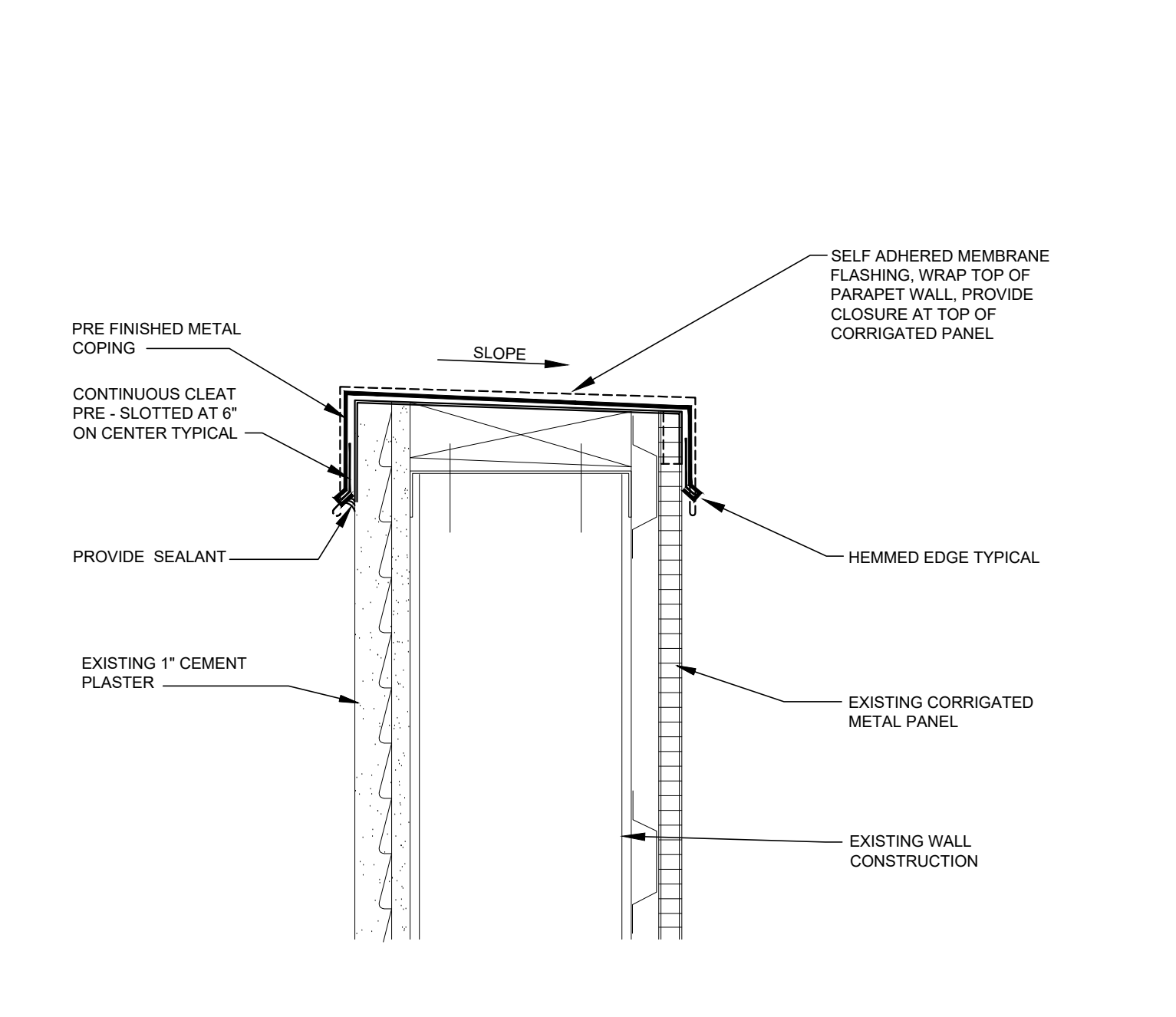
NOTE THAT ALL EXISTING CONCRETE MASONRY ABOVE ROOF LINE IS BELIEVED TO BE GROUTED SOLID AND VERTICALLY REINFORCED AT 48" ON CENTER.



6 TYPICAL COPING @ INT. MASONRY
SCALE: 3" = 1'-0"

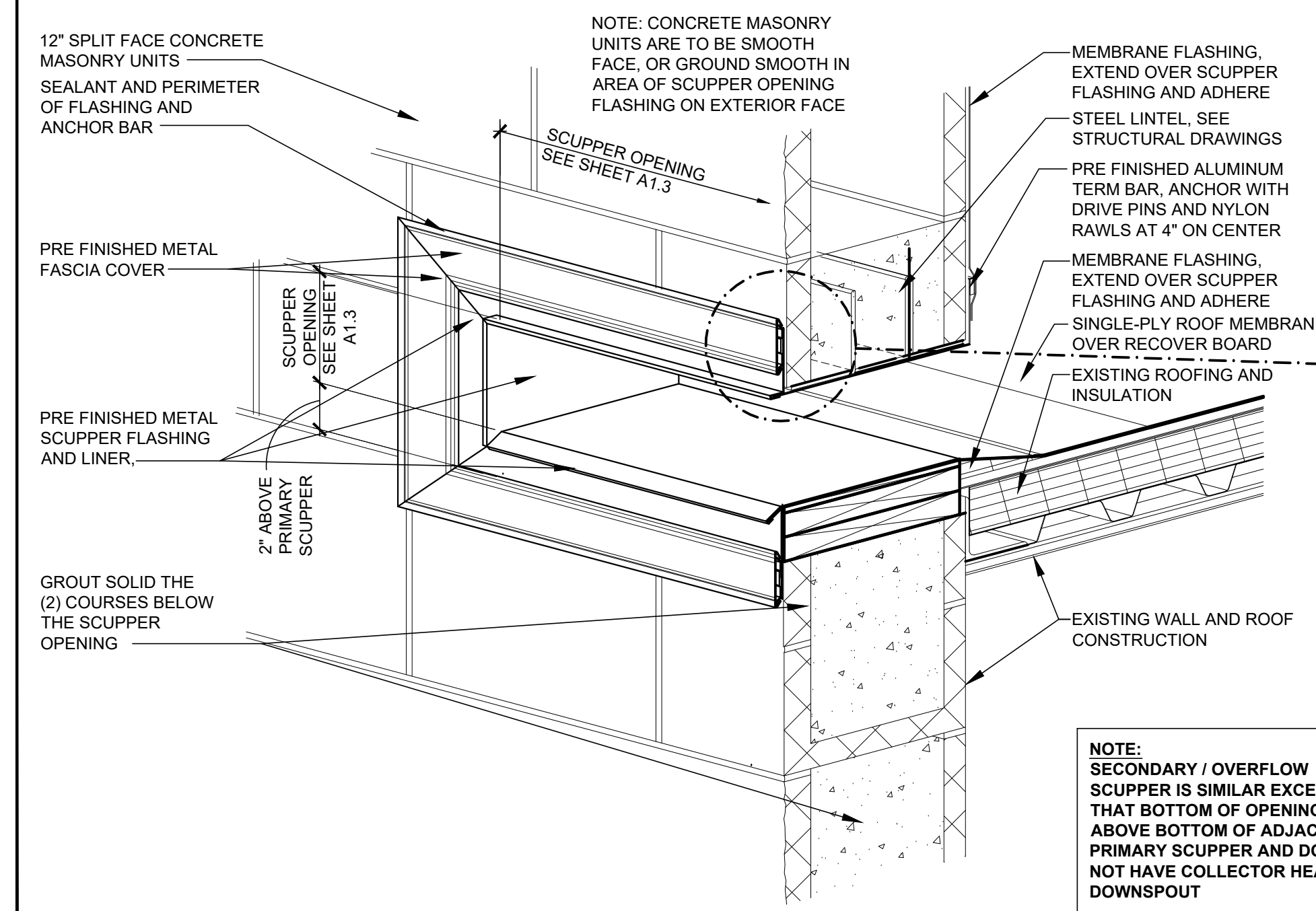


7 COPING DETAIL @ FRONT WALL.
SCALE: 3" = 1'-0"



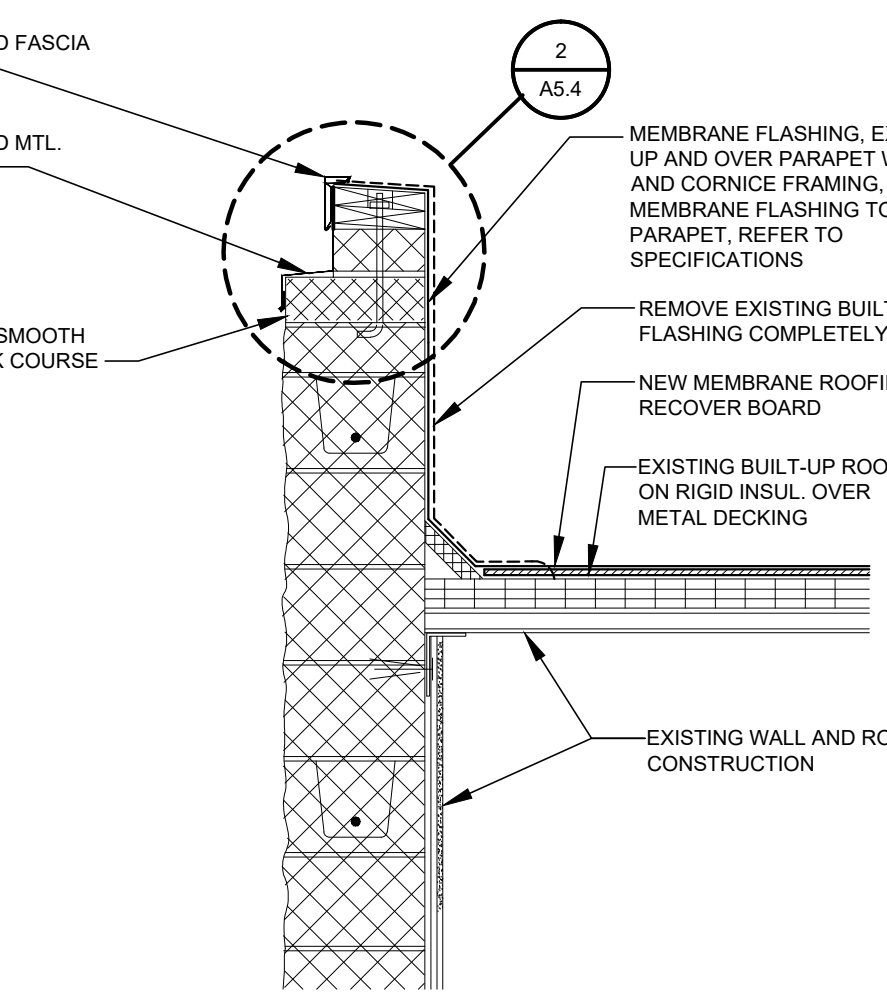
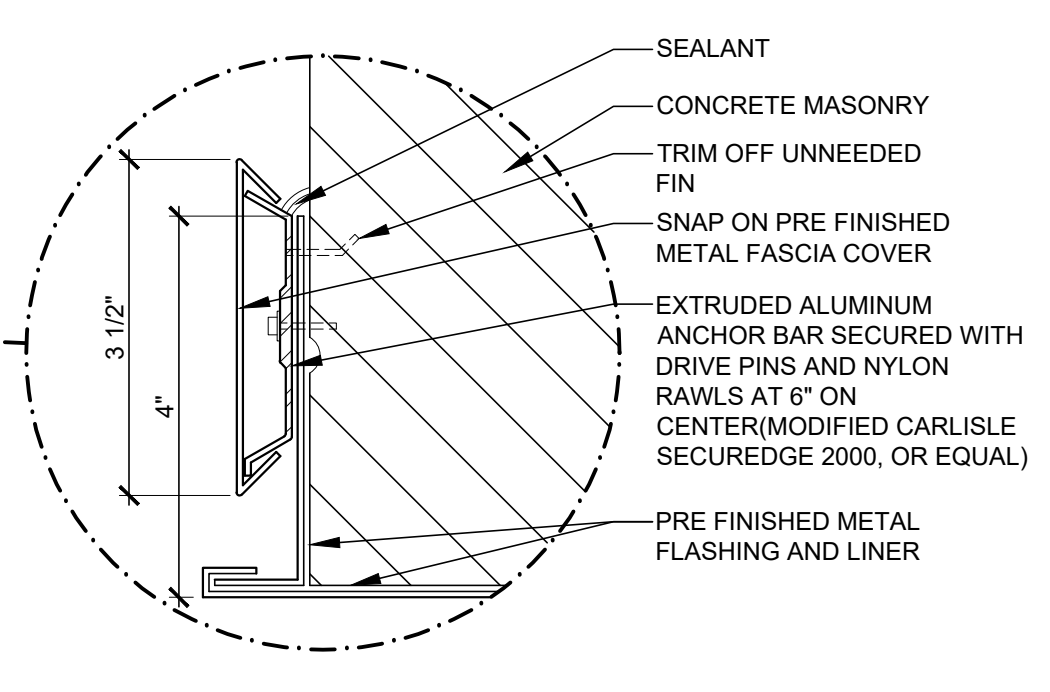
8 COPING DETAIL @ CANOPY
SCALE: 3" = 1'-0"

PREFINISHED METAL COLOR TO MATCH
BENJAMIN MOORE BAYBERRY BLUE #790

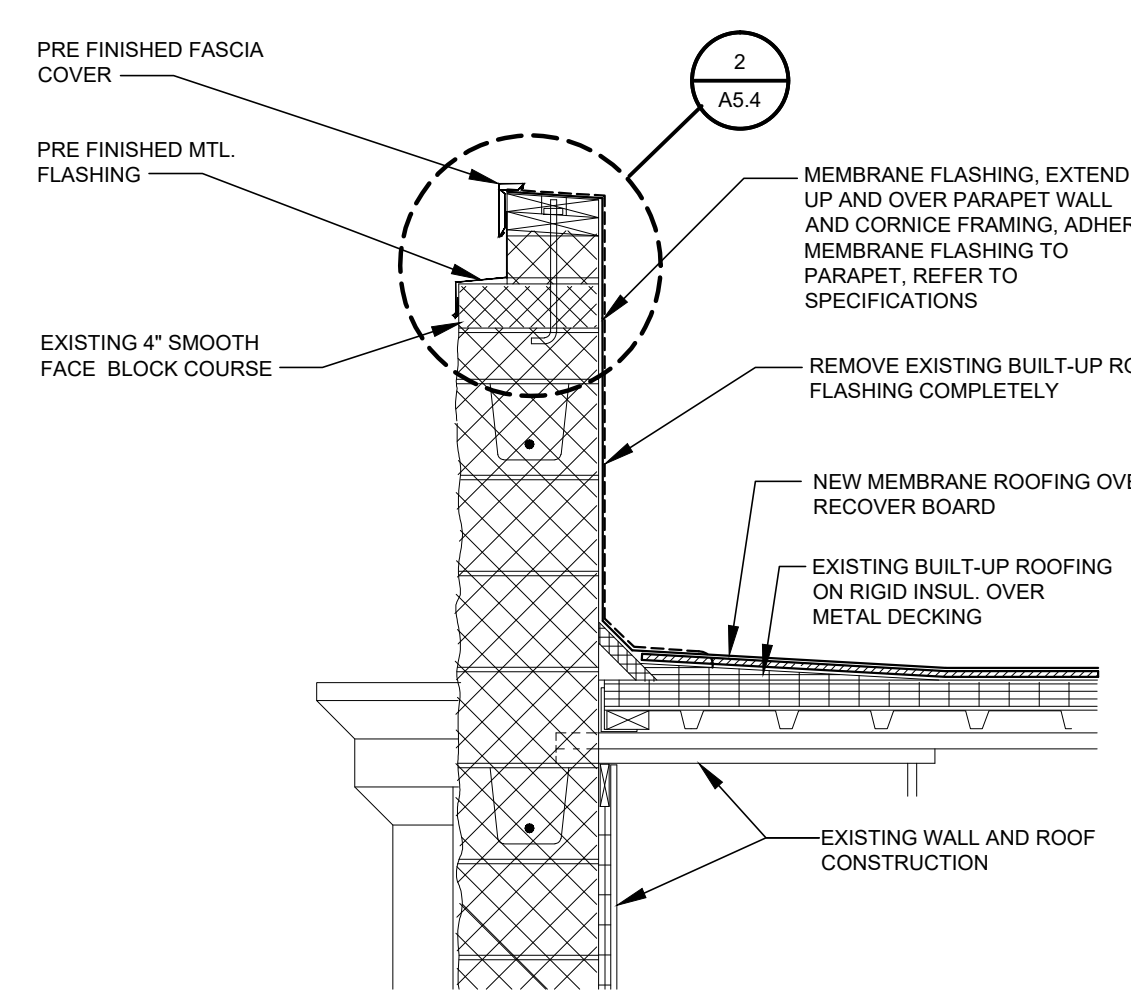


9 SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"

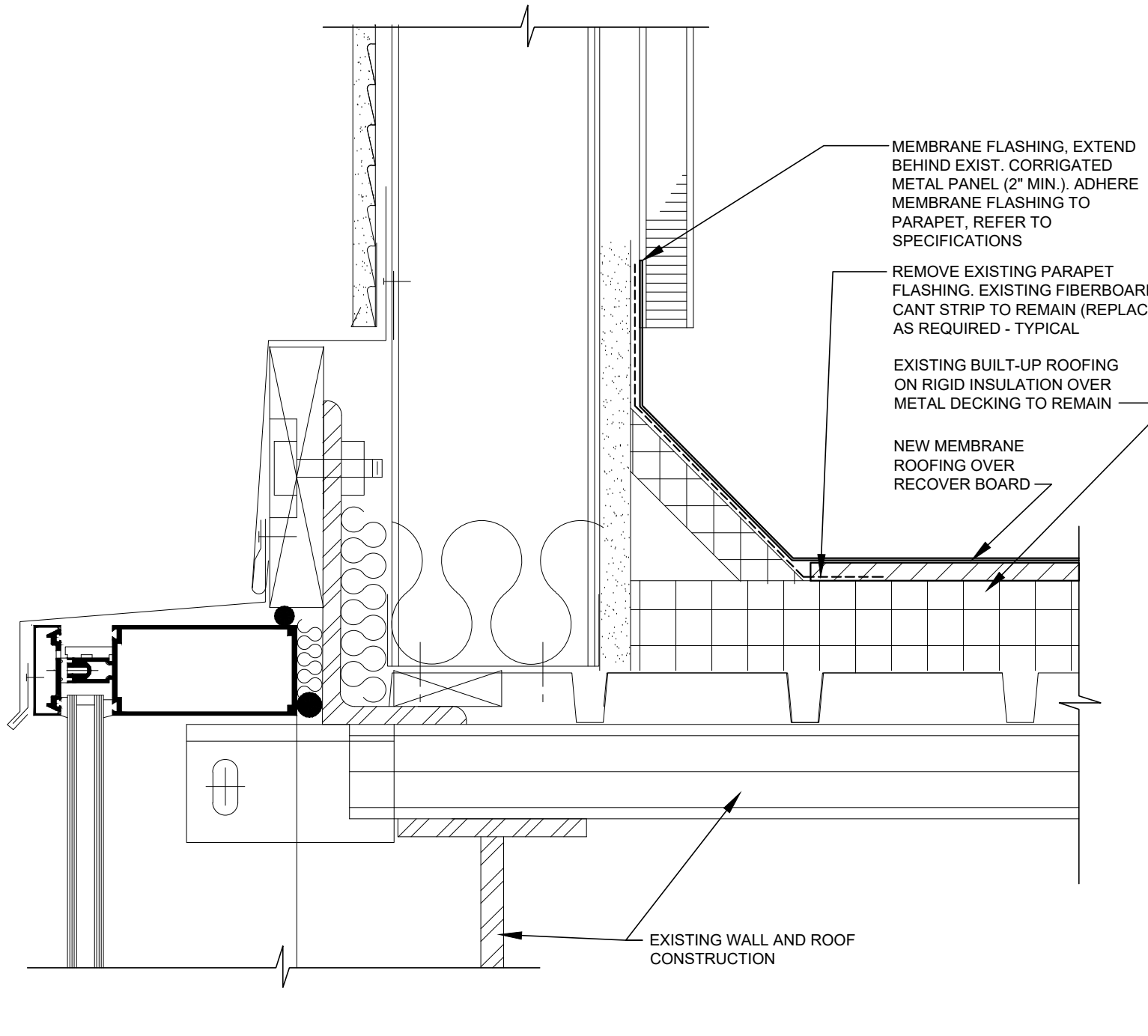
NOTE: SECONDARY OVERFLOW SCUPPER IS SIMILAR EXCEPT THAT BOTTOM OF OPENING IS 2" ABOVE BOTTOM OF ADJACENT PRIMARY SCUPPER AND DOES NOT HAVE COLLECTOR HEAD OR DOWNSPOUT



10 PARAPET DETAIL AT SIDE WALL
SCALE: 3/4" = 1'-0"



11 PARAPET DETAIL AT REAR WALL
SCALE: 3/4" = 1'-0"



12 BASE DETAIL @ CANOPY
SCALE: 3" = 1'-0"

James A. Schmitt
EXPIRATION DATE 02/28/19
LICENSE NUMBER AR65329
JAMES A. SCHMITT
PROFESSIONAL OF RECORD
PHONE: 314-621-1100

ROOF DETAILS

DRAWN BY
RMT
CHECKED BY
MSB
PROJECT NUMBER
916271

SHEET NUMBER

ISSUED DATES

OWNER:	02/06/17
OWNER-2:	02/17/17
BID:	02/23/17
PERMIT:	04/11/17

REVISIONS

CHANGE BULLETIN 1	DATE: 5/23/17
- REVISED HEIGHT OF DOORS 3 AND 6	
- REVISED HARDWARE GROUP 3	

ROOM FINISH SCHEDULE

WALL SIDES	ROOMS		FLOOR	BASE	WALL1	WALL2	WALL3	WALL4	CEILING	REMARKS	
	ROOM	ROOM NAME	MATERIAL	MATERIAL	MATERIAL	MATERIAL	MATERIAL	MATERIAL	MATERIAL HEIGHT		
3 2	100	ADULT SALES	CPT-1	FB-1	WC-6	PT-2	WC-6	PT-2	WC-6	PT-2	EXP VARIES
	101	KIDS SALES	CPT1	FB1	WC-6	PT-2	WC-6	PT-2	WC-6	P2-2	EXP VARIES
	102	CUSTOMER PICK-UP	CON-1	FB-1	WC-4/ WC-6	PT-3	WC-4/ WC-6	PT-3	WC-4/ WC-6	PT-3	EXP VARIES
	103	STAGING/RECEIVING	CON-1	FB-1	WC-4/ WC-6	PT-3	WC-4/ WC-6	PT-3	WC-4/ WC-6	PT-3	EXP VARIES

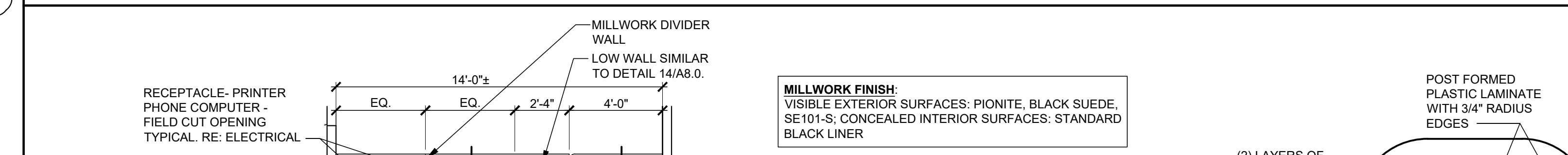
DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR SIZE	TYPE	MATERIAL	FRAME DETAILS			HARDWARE GROUP	REMARKS
					HEAD	JAMB	SILL		
1	RECEIVING TO EXTERIOR	PAIR 3'-0" x 7'-0" x 1 3/4"	B	HOLLOW METAL (GALVANIZED)	4/A8.0	6/A8.0	7/A8.0	1	
2	RECEIVING EXIT TO EXTERIOR	PAIR 3'-0" x 7'-0" x 1 3/4"	B	HOLLOW METAL (GALVANIZED)	4/A8.0	6/A8.0	7/A8.0	2	PROVIDE SECURITY VIEWER.
3	SALES TO RECEIVING	PAIR 3'-0" x 8'-0" x 1 3/4"	B	HOLLOW METAL	2/A8.0	2/A8.0	8/A8.0	3	4" X 25" LITE (EACH LEAF), UNDERCUT DOOR 1".
4	SALES TO RECEIVING	PAIR 3'-0" x 7'-0"	E	SOLID CORE WITH THERMOPLASTIC FACINGS	5/A8.0	5/A8.0	9/A8.0	*	* DOOR HARDWARE INCLUDED WITH DOOR.
5	SALES TO CUSTOMER PICK-UP	PAIR 3'-0" x 7'-0"	E	SOLID CORE WITH THERMOPLASTIC FACINGS	3/A8.0	3/A8.0	9/A8.0	*	* DOOR HARDWARE INCLUDED WITH DOOR.
6	KID'S SALES TO CUSTOMER PICK-UP	PAIR 3'-0" x 8'-0" x 1 3/4"	B	HOLLOW METAL	2/A8.0	2/A8.0	8/A2.1	3	4" X 25" LITE (EACH LEAF), UNDERCUT DOOR 1".
7	EXISTING CUSTOMER PICK-UP EXIT TO EXTERIOR	PAIR 3'-0" X 7'-0" X 1 3/4"	-	EXISTING H.M.	-	-	-	-	EXISTING

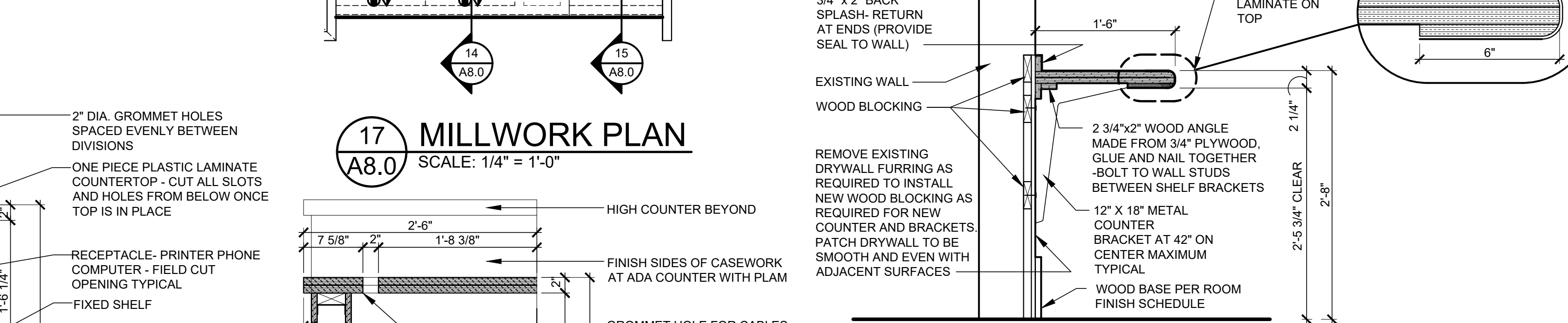
DOOR NOTES

- PROVIDE (3) SILENCERS FOR ALL SINGLE HOLLOW METAL DOORS AND (2) SILENCERS FOR PAIRS
- ALL HOLLOW METAL DOORS AND FRAMES TO BE SHOP PRIMED AND FIELD PAINTED
- PAINT DOORS (SEMI-GLOSS SHEEN) TO MATCH ADJACENT WALL SURFACES (TYPICAL BOTH SIDES AND EDGES UNLESS NOTED OTHERWISE)
- REFER FLOOR PLAN 1/A1.0 FOR CALLOUTS
- CLOSER ADJACENT TO AND WITHIN DOORS SHALL COMPLY WITH ALL CODES AND SAFETY GLAZING REQUIREMENTS. ALSO ALL FRAMED GLASS DOORS SHALL COMPLY WITH SECTION 404.2.9 OF ANSI A117.1, 2003 EDITION
- REFER TO DETAIL 1/A8.9 FOR DOOR TYPES
- DOOR HARDWARE SHALL COMPLY WITH FLORIDA ACCESSIBILITY STANDARDS, INCLUDING 1/2" MAXIMUM LEVEL CHANGE (SLAB LEVEL CHANGE PLUS APPLIED THRESHOLD) AT DOOR THRESHOLDS.
- DOOR HARDWARE SHALL COMPLY WITH FLORIDA ACCESSIBILITY STANDARDS, INCLUDING LEVER HARDWARE (OR EQUIVALENT) WITH 5 POUND FEET MAXIMUM OPERATING FORCE AND MOUNTED AT 34" TO 48" ABOVE FINISH FLOOR, ETCETERA.
- DOOR CLOSERS SHALL COMPLY WITH FLORIDA ACCESSIBILITY STANDARDS - INCLUDING THAT THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE TO A POINT OF 12 DEGREES FROM THE LATCH. DOOR CLOSERS AT INTERIOR DOORS SHALL ALLOW PUSHING OR PULLING OPENING OF A DOOR WITH A MAXIMUM OF 5 POUND FEET OF FORCE.

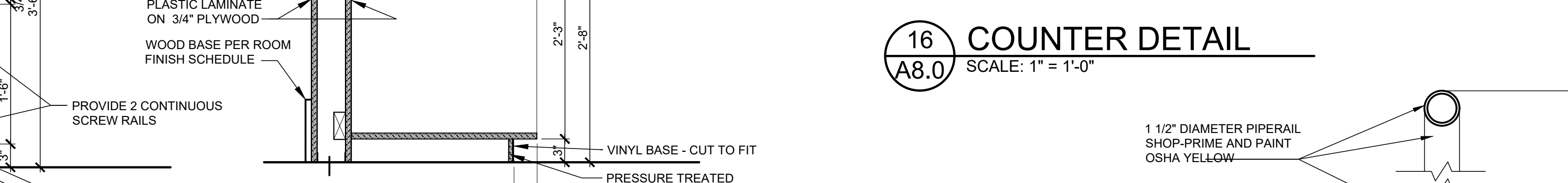
HARDWARE GROUPS



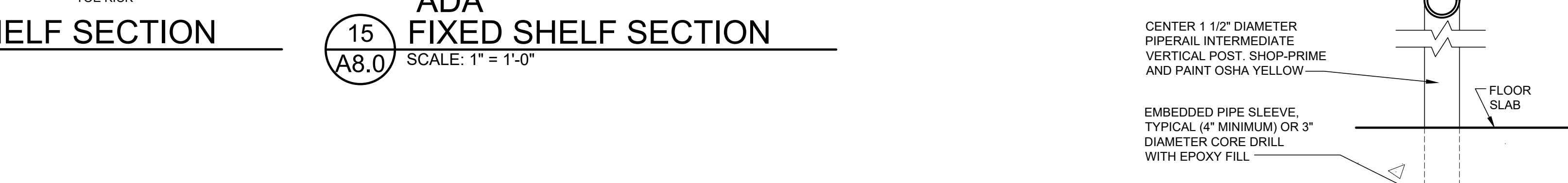
HARDWARE GROUPS



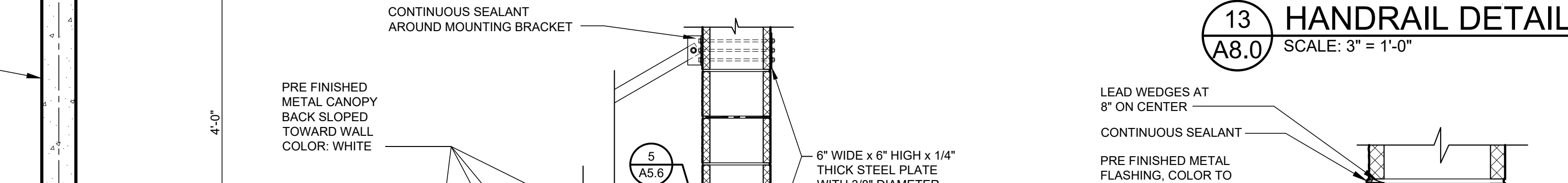
ADA FIXED SHELF SECTION



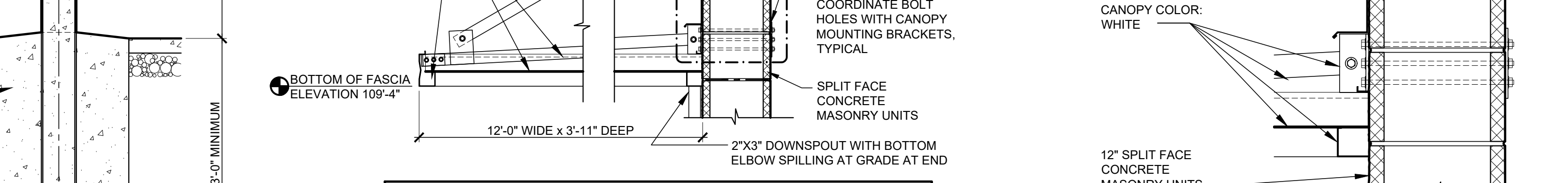
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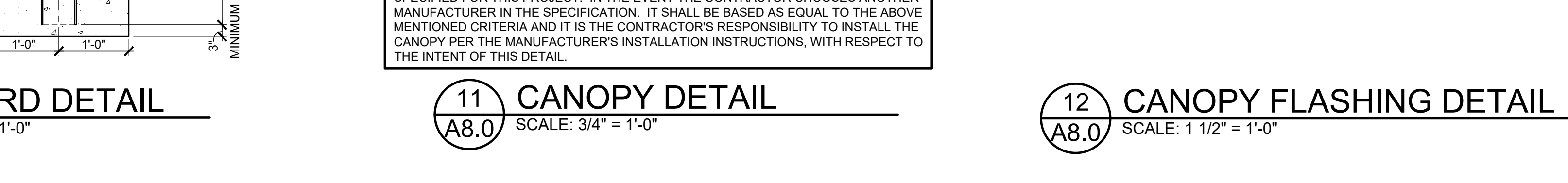
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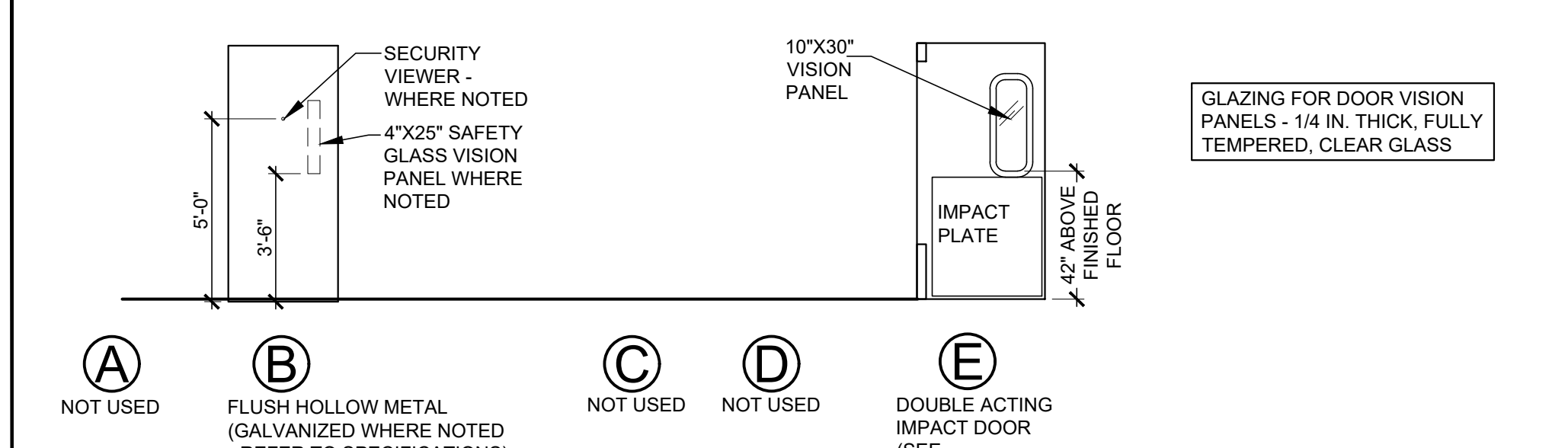
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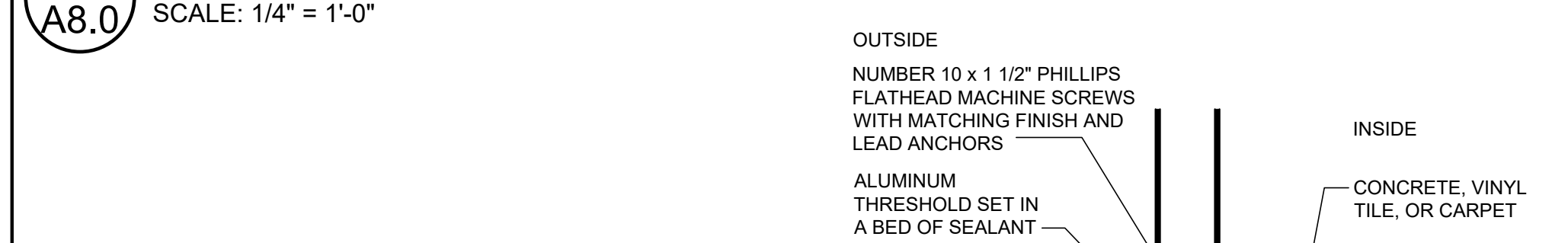
FIXED SHELF SECTION



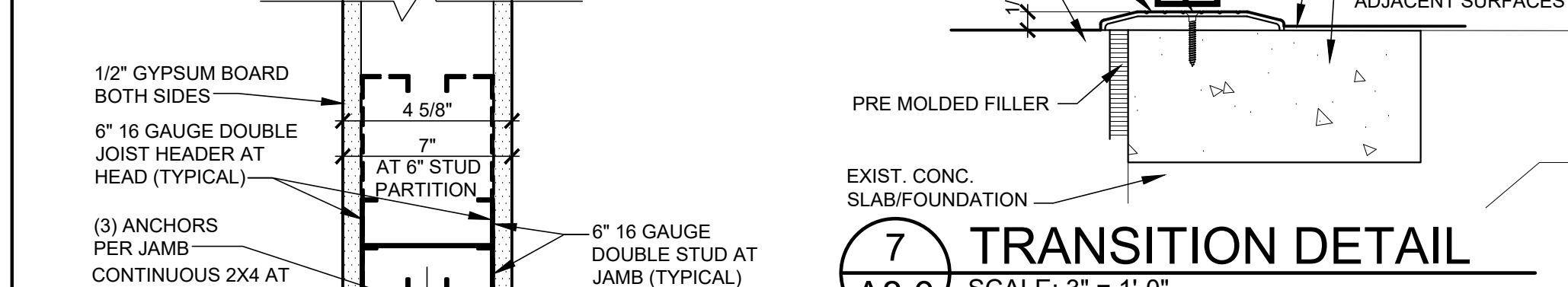
FIXED SHELF SECTION



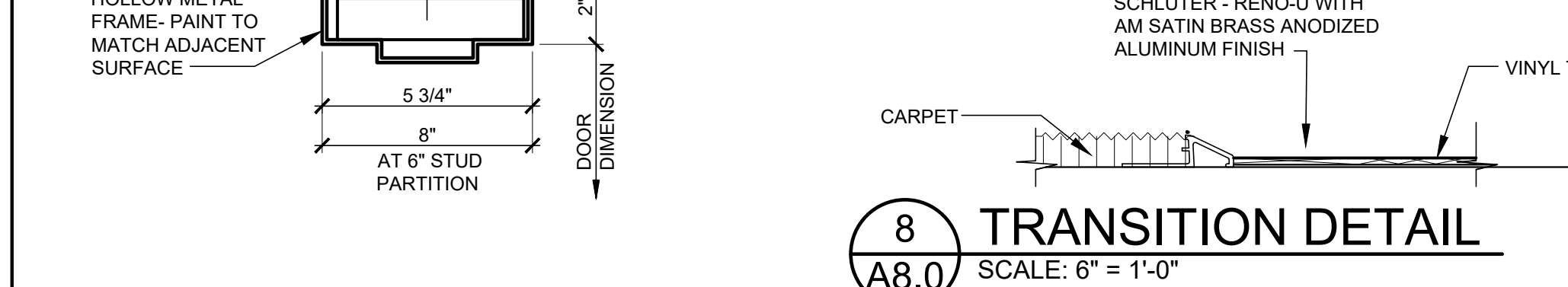
DOOR TYPES



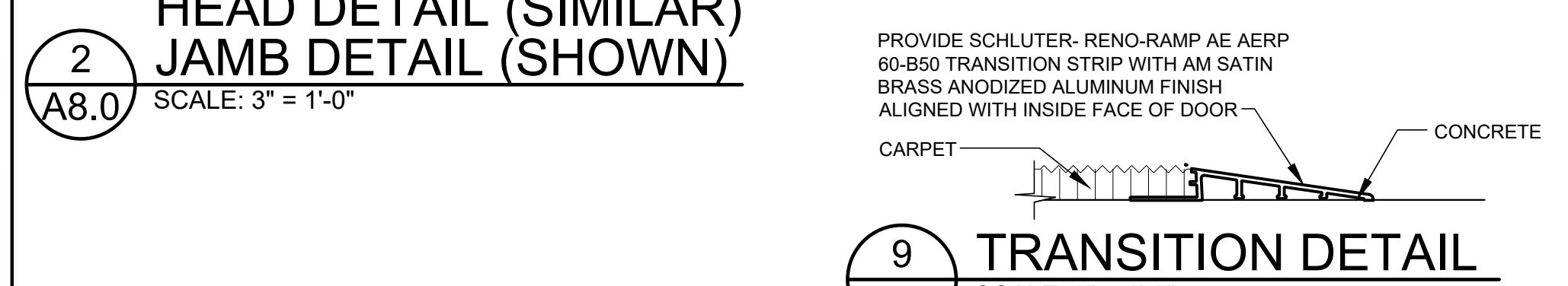
DOOR TYPES



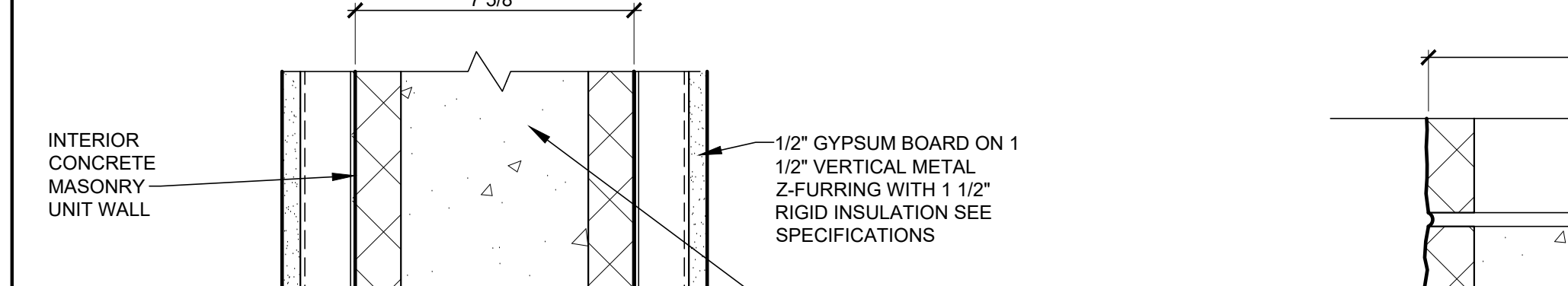
DOOR TYPES



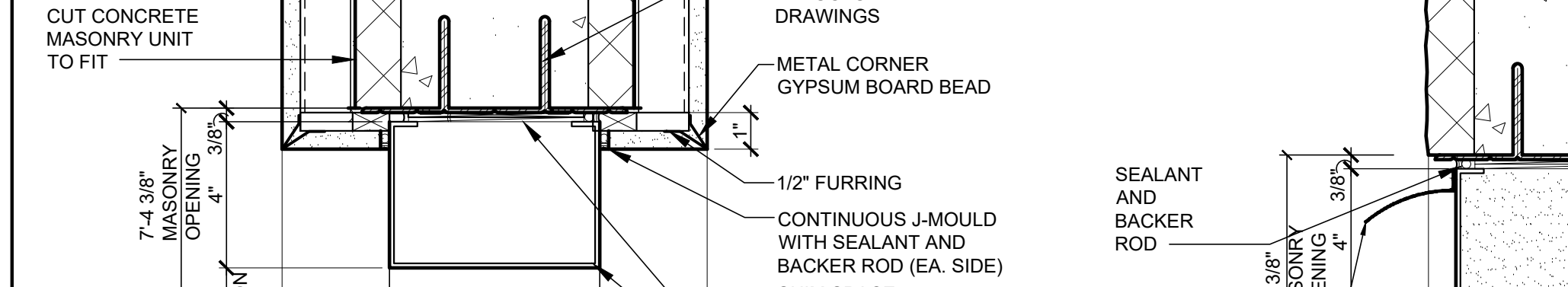
DOOR TYPES



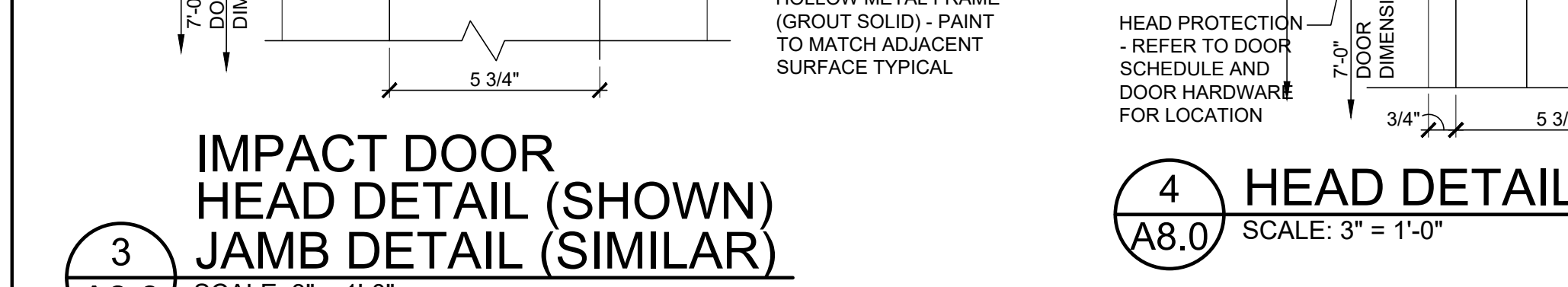
DOOR TYPES



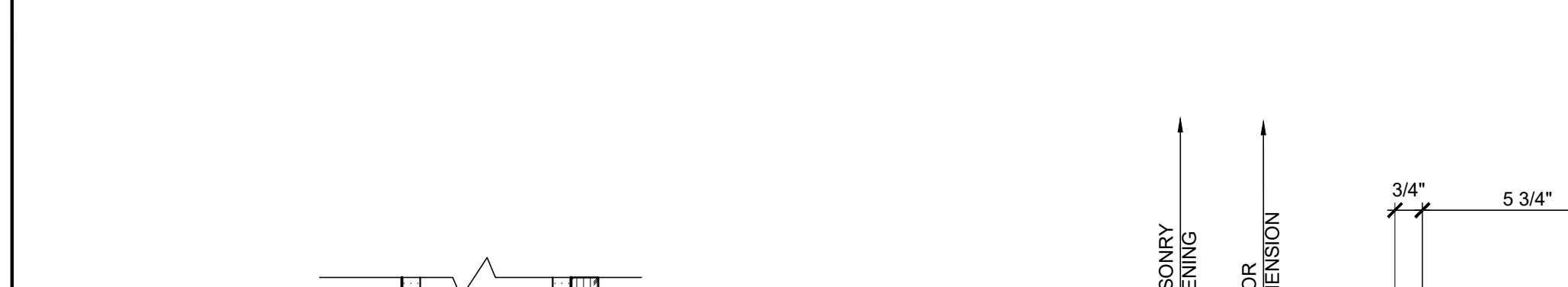
DOOR TYPES



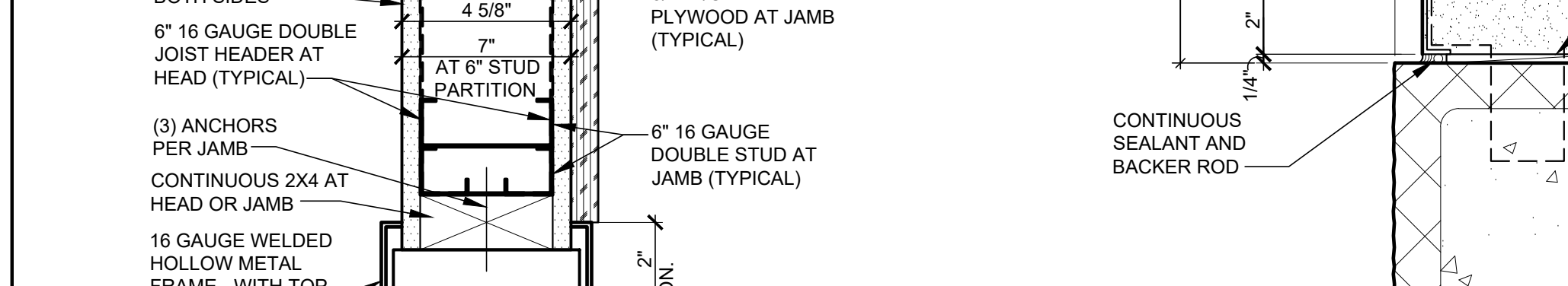
DOOR TYPES



DOOR TYPES



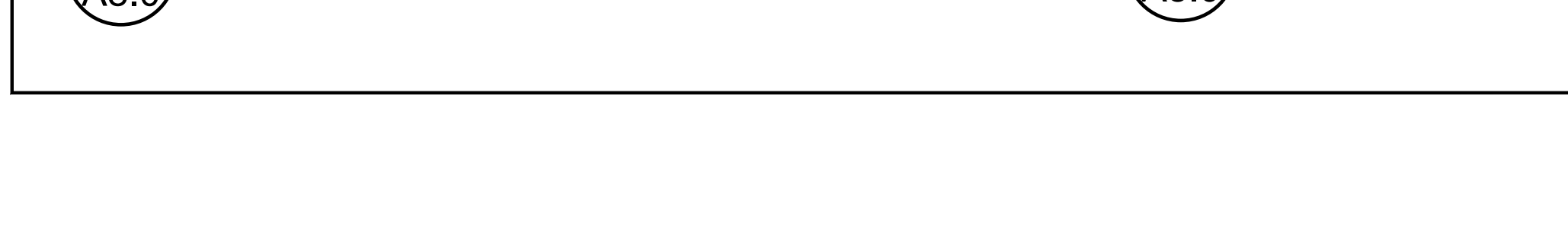
DOOR TYPES



DOOR TYPES



DOOR TYPES



SCHEDULES AND DETAILS

DRAWN BY	RMT
CHECKED BY	MSB
PROJECT NUMBER	916271

SHEET NUMBER

A8.0