

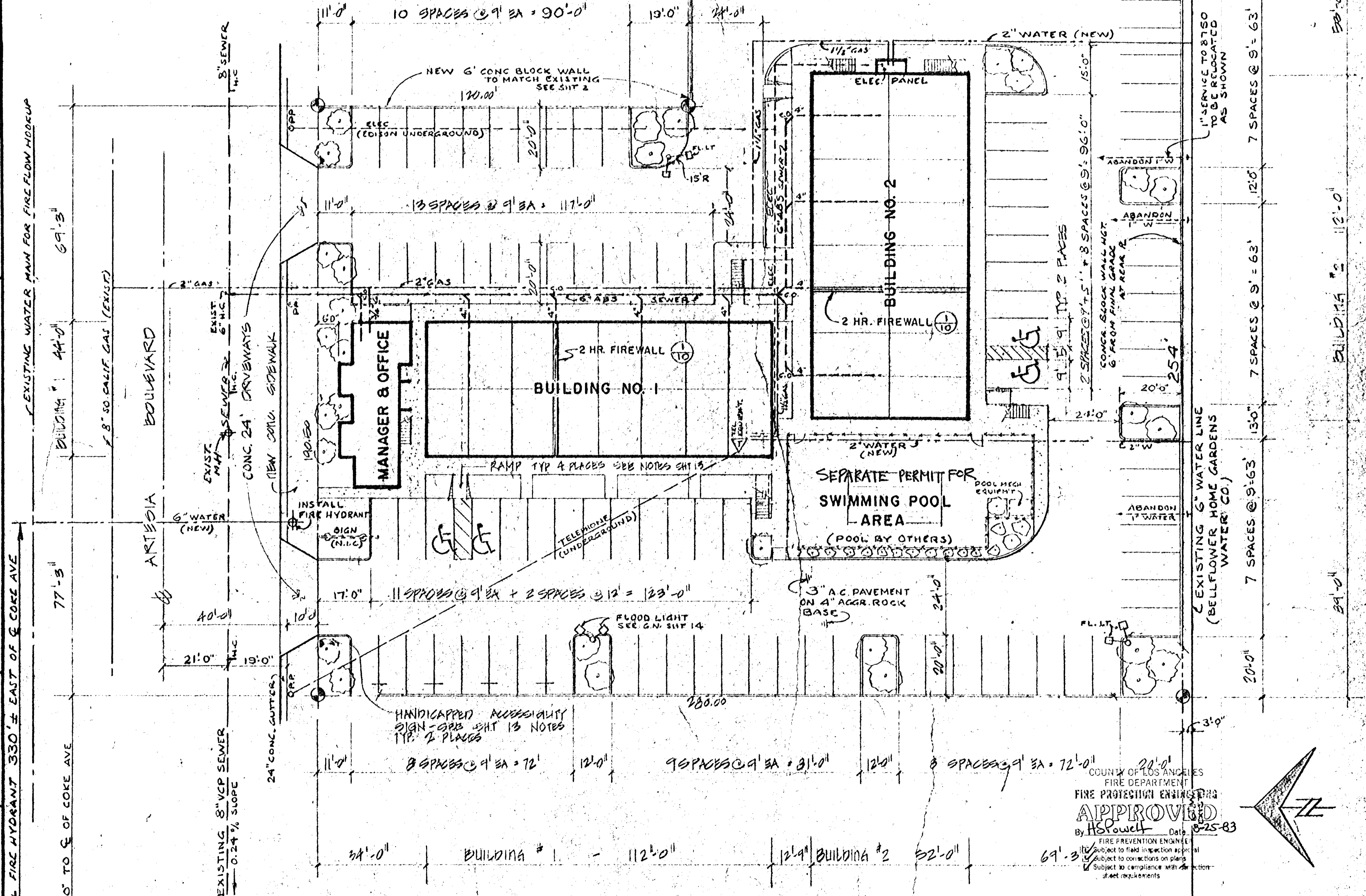
SHEET INDEX

A-1	PLOT PLAN & NOTES
A-2	SURVEY & GRADING PLAN
A-3	FOUNDATION PLAN & FOOTINGS
A-4	FIRST FLOOR PLAN
A-5	SECOND FLOOR PLAN & ROOF
A-6	GUEST ROOM PLANS & SCHEDULES
A-7	MANAGER & OFFICE PLANS
A-8	EXTERIOR ELEVATIONS
A-9	SECTIONS
A-10	FRAMING DETAILS
A-11	MANAGER, ELEVATION & FRAMING
A-12	FRAMING DETAILS
A-13	INTERIOR ELEVATIONS
A-14	GENERAL NOTES

GUEST ROOM ANALYSIS

BUILDING #1 & 2	48 "A" & "E" UNITS (BASIC GUEST RM)
BUILDING #1	2 "B" UNITS (BASIC HANDICAP)
BUILDING #2	11 "C" UNITS (KITCHENETTES)
"	1 "D" UNIT (KITCH. HANDICAP)
TOTAL	62 UNITS

FIRE DEPT. REQUIREMENTS CONTINUED:
 7. FIRE PROTECTION FACILITIES, INCLUDING ACCESS, MUST BE PROVIDED PRIOR TO AND DURING CONSTRUCTION.



USE ZONE:

- GROUP R OCCUPANCY - DIVISION 1 TYPE X BUILDINGS, ONE HOUR FIRE RESISTIVE CONSTRUCTION THROUGHOUT
- FIRE ZONE 3 (CITY OF BELLFLOWER)
 - PROVIDE ONE 6x4x2 1/2 FIRE DEPT. APPROVED FIRE HYDRANT PER AM. WATER WORKS STD C-503-75 AS SHOWN
 - FIRE EXTINGUISHER REQ'TS SHALL BE DETERMINED BY FIRE DEPT. FIELD INSPECTION (P.C. 13.3012)
 - EVERY GUEST ROOM, LAUNDRY RM & MANAGER'S UNIT SHALL BE PROVIDED WITH AN APPROVED SMOKE DETECTOR PER U.B.C. SEC. 1310, LOCATIONS AS SHOWN ON PLANS
 - BUILDINGS #1 & #2 SHALL HAVE TWO-HOUR FIREWALL SEPARATIONS PER U.B.C. CHAPTER 5, SECT. 505
 - INSTALL FIRE HYDRANT PER SPECIFICATIONS OF THE L.A. COUNTY WATER ORDINANCE, NO. 7834, UTILITY MANUAL, SECTION 4.0 TO 4.6
 - REQUIRED FIRE FLOW: 2250 GALLONS PER MINUTE @ 20 PSI FOR A DURATION OF 2 HRS (OVER & ABOVE MAX. DAILY DOMESTIC DEMAND) SEC. NOTES 7 THIS SHEET

AREA USE JUSTIFICATION

BUILDINGS GROUND FLOOR AREAS	11,780 S.F.	18 %
CONC. WALKS, STAIRWAYS, TRASH AREA	5,800 S.F.	9 %
PARKING AND DRIVEWAYS	36,830 S.F.	58 %
LANDSCAPING & GREEN BELTS	6,230 S.F.	10 %
SWIMMING POOL AREA	2,800 S.F.	5 %
TOTAL AREA	63,500 SQ. FT.	100 %

BUILDING AREAS

1ST FLOOR	BLDG #1 4,906 S.F.	BLDG #2 5,864	OFFICE & MANAGER 1,010
2ND FLOOR	" 4,906 S.F.	" 5,824	" 846
TOTALS - BLDG #1	9,812 S.F.	BLDG #2 11,688	O.+M. 1,856
TOTAL FLOOR AREA ALL BUILDINGS 23,356 SQUARE FEET			

PARKING ANALYSIS

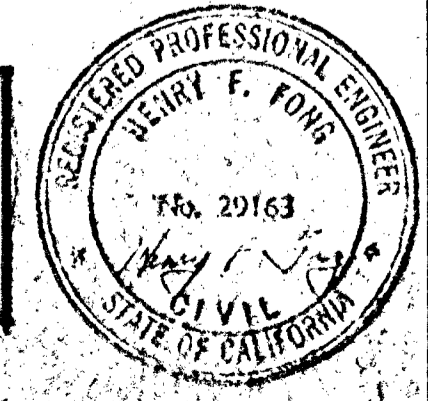
PARKING REQUIREMENTS FOR "A" & "B" UNITS	: 1.5 STALL EACH
" " " " "C" & "D" UNITS	: 2.0 STALLS EACH
" " " " "MANAGER	: 2.0 STALLS
" " " " "OFFICE REGISTR.	: 2.0 STALLS
TOTAL PARKING REQ.	50 "A" & "B" UNITS x 1.5 = 75 STALLS
" " " " "12 "C" & "D" UNITS x 2.0 = 24 STALLS	
" " " " "1 MANAGER x 2.0 = 2 STALLS	
" " " " "OFFICE REGISTRATION	2 STALLS
TOTAL PARKING SPACES REQUIRED	103 STALLS
" " " " "SHOWN	104 " "

FIRE ALARM NOTE:
 PROVIDE A MANUALLY OPERATED LOCAL FIRE ALARM SYSTEM (EXTERIOR PULL BOX TYPE WITH AUDIBLE ALARM SOUNDING DEVICES) AS SHOWN ON PLANS, SHT A, 5 & GEN. NOTES ON SHT 1A.
 TOTAL NUMBER OF RA BONES: TEN (10) ~ FOUR @ 18" x 18" & SIX @ 24" x 18"

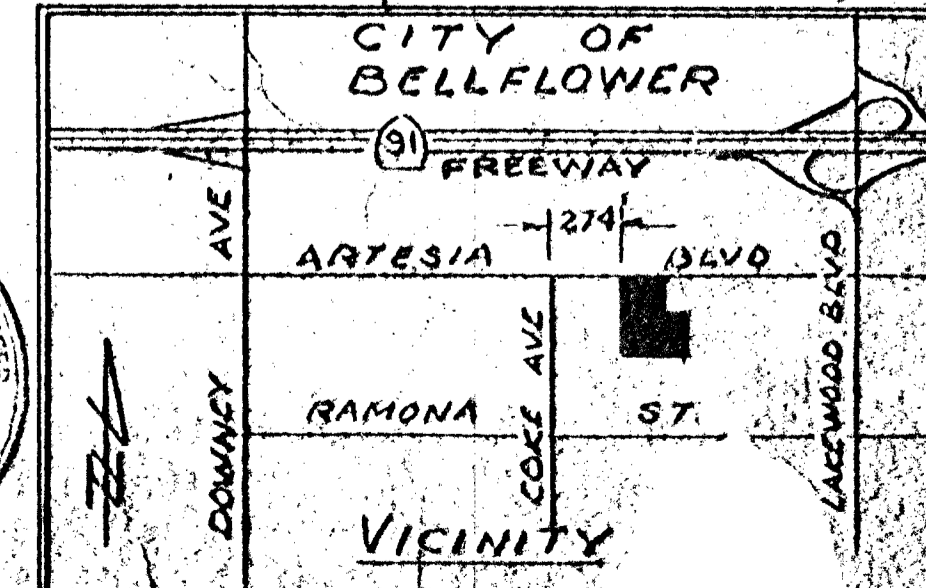
LEGAL DESCRIPTION:
 LOT 3 AND A PORTION OF LOT 4, BLOCK 2, TRACT NO. 5023, BELLFLOWER, CALIFORNIA

PLOT PLAN

SCALE: 1"=20'



COUNTY OF LOS ANGELES
 FIRE DEPARTMENT
 FIRE PROTECTION ENGINEER
APPROVED
 By H.S. Cowley Date: 8-25-83
 FIRE PREVENTION ENGINEER
 Subject to final inspection approval
 Subject to compliance with all fire department requirements



DEVELOPER - OWNER: MR. JERRY LAWING, 27601 FORBES RD., 56, LAGUNA NIGUEL, CA, 92677. (714) 851-8842

62 U
 8730 A
 BELFLOW

REVISION
 10-14-80
 12-10-82
 JJK

DRAWN/DATE
 JGK & JDM
 JULY '80
 DRAWING
 K-155
 SHEET
 A-1 OF 14

BLUEPRINTS
 Street Address: 8730 Artesia Boulevard
 Attachments: 12
 Box 169

SHEET INDEX

A-1	PLOT PLAN & NOTES
A-2	SURVEY & GRADING PLAN
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GUEST ROOM ANALYSIS

BUILDING #1 & #2	48 "A" & "E" UNITS (BASIC GUEST RM)
BUILDING #1	2 "B" UNITS (BASIC HANDICAP)
BUILDING #2	11 "C" UNITS (KITCHENETTES)
"	1 "D" UNIT (KITCH. HANDICAP)
TOTAL	62 UNITS

FIRE DEPT. REQUIREMENTS CONTINUED:

7. THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE HYDRANT SHALL BE WITNESSED BY THE PROPER FIRE DEPT. REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPT. REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NOT LESS THAN 48 HRS IN WHICH TO INSPECT SUCH INSTALLATION.

8. FIRE PROTECTION FACILITIES, INCLUDING ACCESS, MUST BE PROVIDED PRIOR TO AND DURING CONSTRUCTION.

USE ZONE:

- GROUP R OCCUPANCY - DIVISION 1 TYPE I BUILDINGS, ONE HOUR FIRE RESISTIVE CONSTRUCTION THROUGHOUT
- FIRE ZONE 3 (CITY OF BELLFLOWER)
 - PROVIDE ONE 6"x4"x2 1/2" FIRE DEPT. APPROVED FIRE HYDRANT PER AM. WATER WORKS STD C-503-75 AS SHOWN
 - FIRE EXTINGUISHER REQ'TS SHALL BE DETERMINED BY FIRE DEPT. FIELD INSPECTION (F.C. 13.301 &)
 - EVERY GUEST ROOM, LAUNDRY RM & MANAGER'S UNIT SHALL BE PROVIDED WITH AN APPROVED SMOKE DETECTOR PER U.B.C. SEC. 1310, LOCATIONS AS SHOWN ON PLANS
 - BUILDINGS #1 & #2 SHALL HAVE TWO-HOUR FIREWALL SEPARATIONS PER UBC CHAPTER 5, SECT. 505
 - INSTALL FIRE HYDRANT PER SPECIFICATIONS OF THE L.A. COUNTY WATER ORDINANCE NO. 7834, UTILITY MANUAL, SECTION 4.0 TO 4.6
 - REQUIRED FIRE FLOW: 2250 GALLONS PER MINUTE @ 20 PSI FOR A DURATION OF 2 HRS (OVER & ABOVE MAX. DAILY DOMESTIC DEMAND) SEE NOTES 7 & 8 THIS SHEET

AREA USE JUSTIFICATION

BUILDINGS GROUND FLOOR AREAS	11,780 S.F.	18%
CONC. WALKS, STAIRWAYS, TRASH AREA	5,800 S.F.	9%
PARKING AND DRIVEWAYS	36,830 S.F.	58%
LANDSCAPING & GREEN BELTS	6,290 S.F.	10%
SWIMMING POOL AREA	2,800 S.F.	5%
TOTAL AREA	63,500 SQFT	100%

BUILDING AREAS

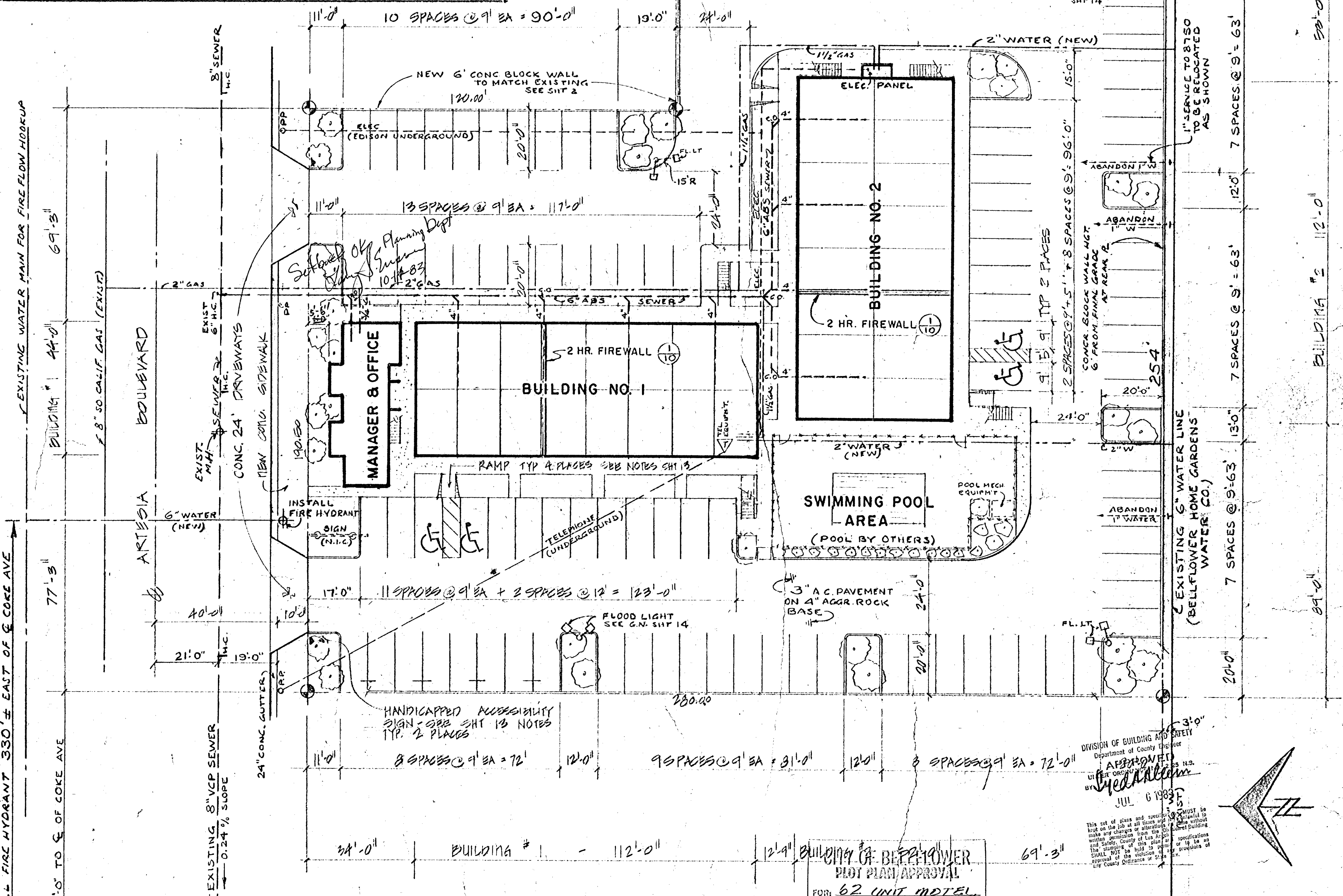
1ST FLOOR	BLDG #1	4,906 S.F.	BLDG #2	5,864	OFFICE & MANAGER	1,010
2ND FLOOR	"	4,906 S.F.	"	5,824	"	846
TOTALS - BLDG #1	9,812 S.F.	BLDG #2	11,688	O.+M.	1,856	
TOTAL FLOOR AREA ALL BUILDINGS	23,356 SQUARE FEET					

PARKING ANALYSIS

PARKING REQUIREMENTS FOR "A" & "B" UNITS	: 1.5 STALL EACH
" " " " "C" & "D" UNITS	: 2.0 STALLS EACH
" " " " MANAGER	: 2.0 STALLS
" " " " OFFICE REGISTR.	: 2.0 STALLS

TOTAL PARKING REQ.	50 "A" & "E" UNITS x 1.5 = 75 STALLS
" " " " 12 "C" & "D" UNITS x 2.0 = 24 STALLS	
" " " " 1 MANAGER x 2.0 = 2 STALLS	
" " " " OFFICE REGISTRATION = 2 STALLS	
TOTAL PARKING SPACES REQUIRED	103 STALLS
" " " " SHOWN	104 "

FIRE ALARM NOTE:
 PROVIDE A MANUALLY OPERATED LOCAL FIRE ALARM SYSTEM (EXTERIOR PULL-BOX TYPE WITH AUDIBLE ALARM SOUNDING DEVICES) AS SHOWN ON PLANS, SHT 4, 5 & GEN. NOTES ON SHT 14.
 TOTAL NUMBER OF RA. BOXES: TEN (10) ~ FOUR @ 1ST FLR & SIX @ 2ND FLR



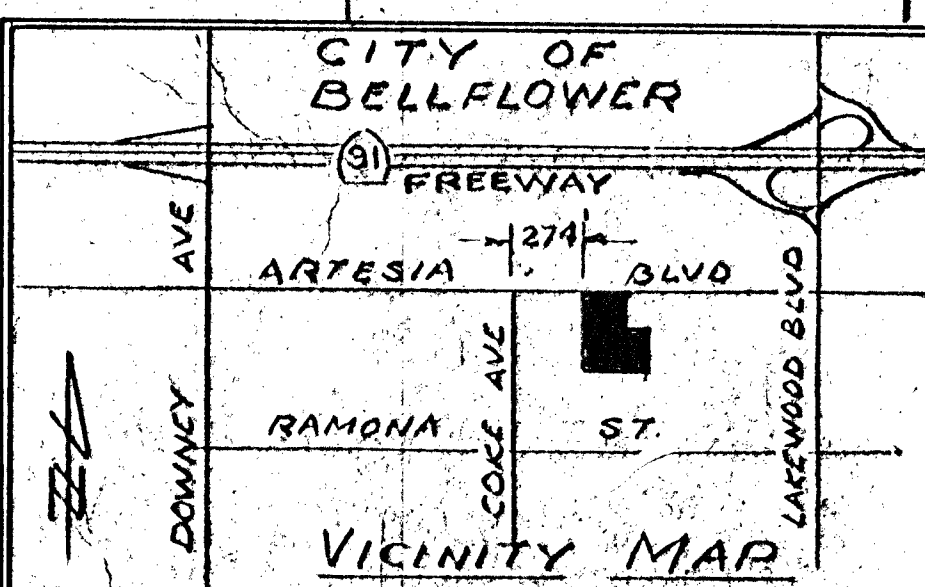
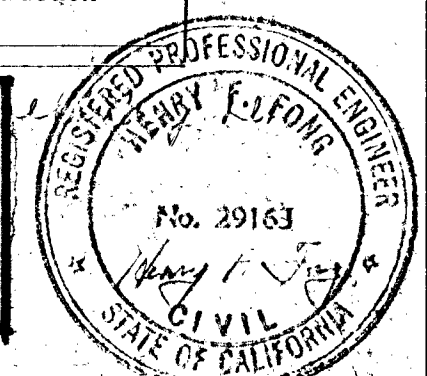
PLOT PLAN

SCALE: 1"=20'
 SEE REVERSE FOR REQUIREMENTS

LEGAL DESCRIPTION:

LOT 3 AND A PORTION OF LOT 4, BLOCK 2, TRACT NO. 5023, BELLFLOWER, CALIFORNIA

APPROVED
 JUL 6 1983
 DIVISION OF BUILDING AND SAFETY
 Department of County Engineer
 FOR: 62 UNIT MOTEL
 DATE: 8-18-83
 This approval valid for 90 days from above date.
 Joe Wittenberg
 Planning Official
 Conditions of Sewer Reconstruction
 Ord. 163 Mod. 0737

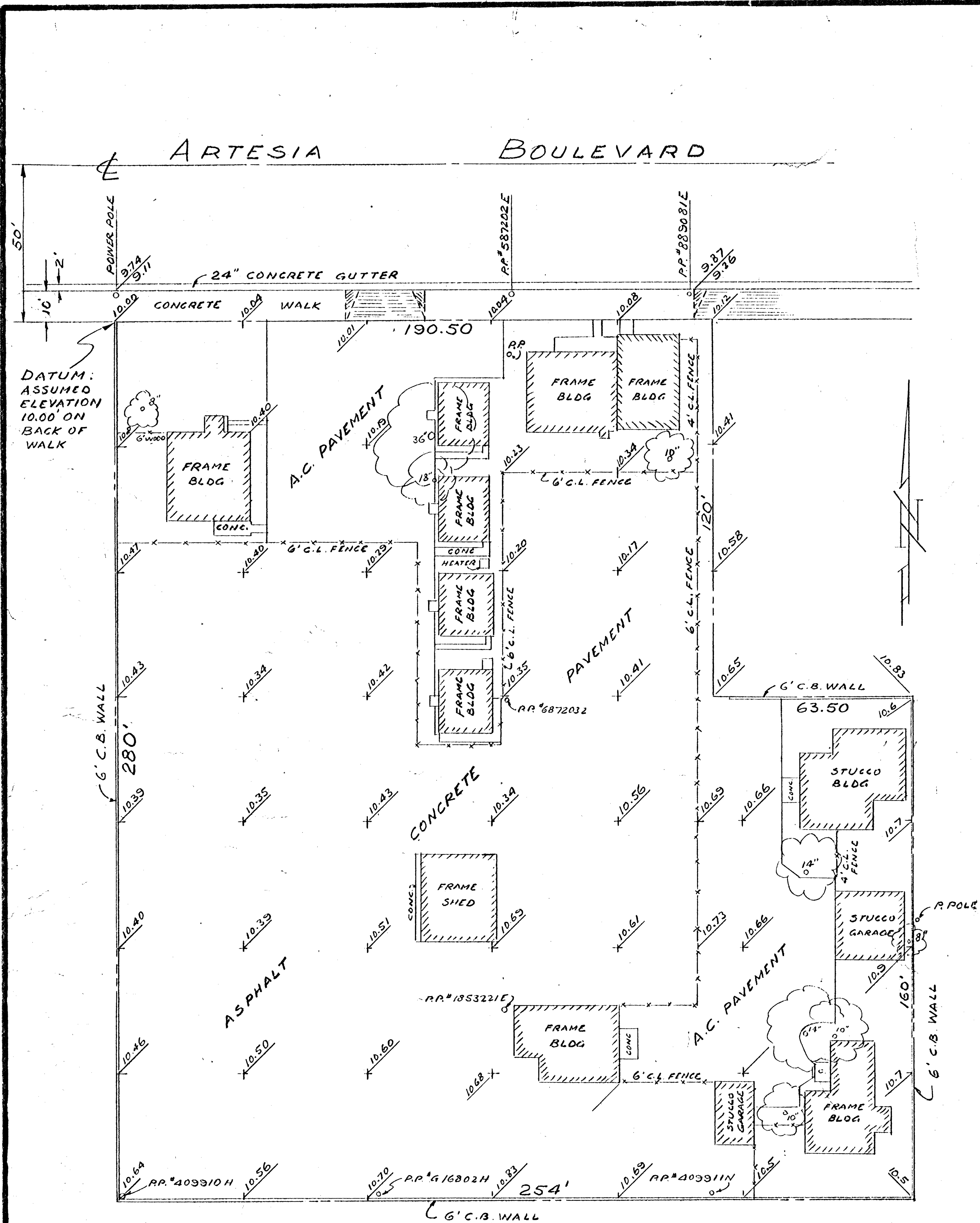


DEVELOPER - OWNER: MR. JERRY LANING, 27601 FORBES RD., #56, LAGUNA NIGUEL, CA, 92677 (714) 831-8842

62 UNIT MOTEL
 8730 ARTESIA BLVD.
 BELLFLOWER, CALIF., 90706

REVISION
 10-14-80 JGK
 12-10-82 JGK

DRAWN/DATE
 JGK & JDM
 JULY '80
 DRAWING
 K-155
 SHEET
 A-1 OF 14

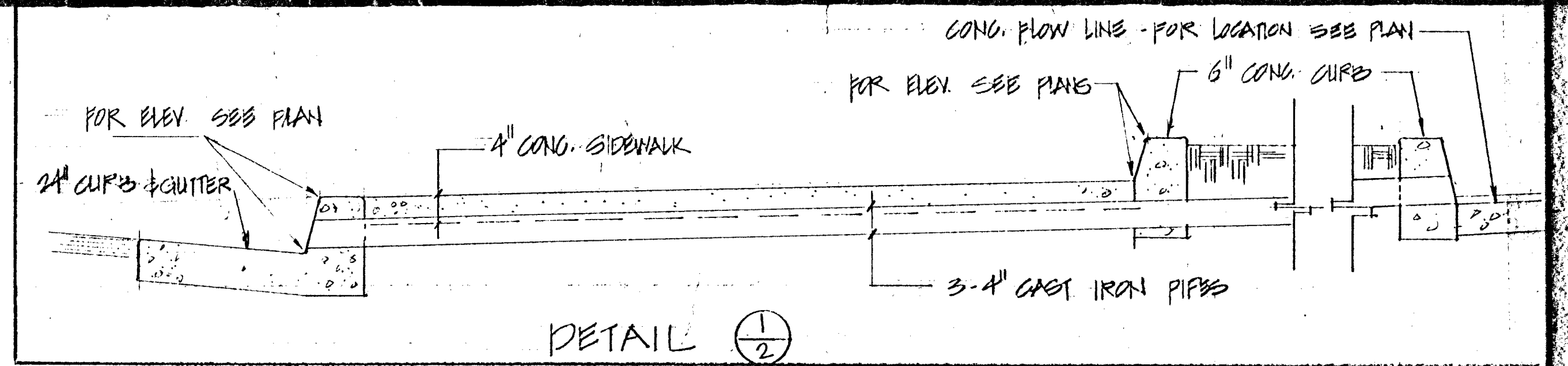


EXISTING CONDITION

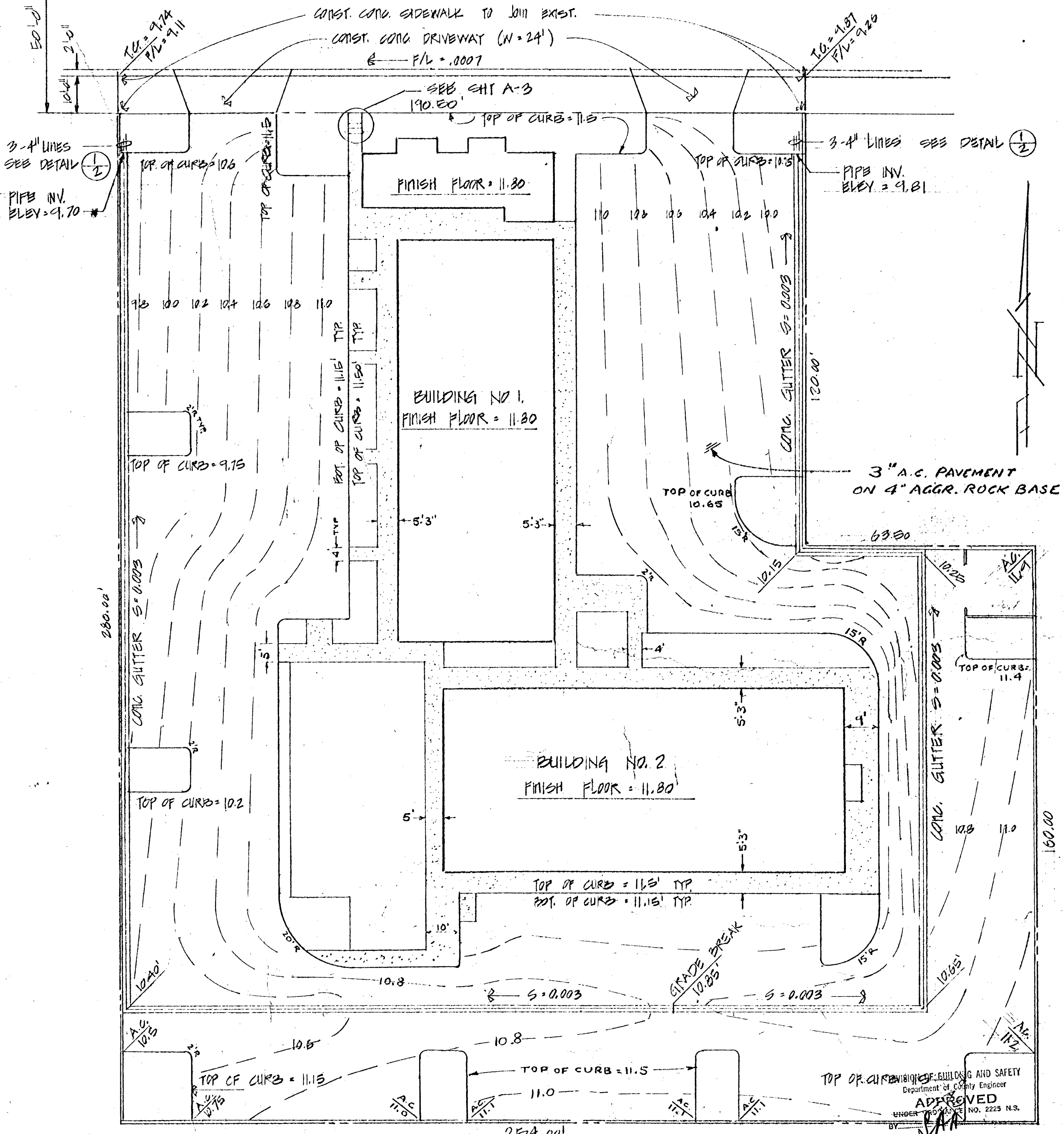
SCALE 1" = 20'

SURVEY OF LOT 3 AND A PORTION OF LOT 4, BLOCK 2 TRACT NO. 5023, BELLFLOWER, CALIFORNIA AS OF NOV. 1979 BY VIC CASE (L.S. 2387), 1234 E. BURNETT ST., LONG BEACH, CALIF., 90806

NOTE: DEMOLITION OF EXISTING STRUCTURES AND APPURTENANCES UNDER SEPARATE PERMIT



DETAIL 1/2



FINISH GRADING PLAN

SCALE 1" = 20'

NOTE: FOR SITE PREPARATION AND SOIL COMPACTION SEE SHEET A-11

APPROVED
 HENRY F. FOHR
 REGISTERED PROFESSIONAL ENGINEER
 No. 29163
 CIVIL
 STATE OF CALIFORNIA
 JUL 6 1983

This set of plans and specifications MUST be kept on the job at all times and it is understood that any change or alteration on same without the written approval of the Engineer of Record is void. The Engineer of Record and specifications SHALL NOT be held liable for any errors or omissions of the contractor or any provisions of any County Ordinance or State Law.

DRAFTING AND DESIGN BY
 KEULEN & NYE
 COMMERCIAL AND RESIDENTIAL
 18010 SUMNER AVENUE
 ARTESIA, CALIFORNIA 90701
 PHONE (214) 865-2408
 (214) 865-4118

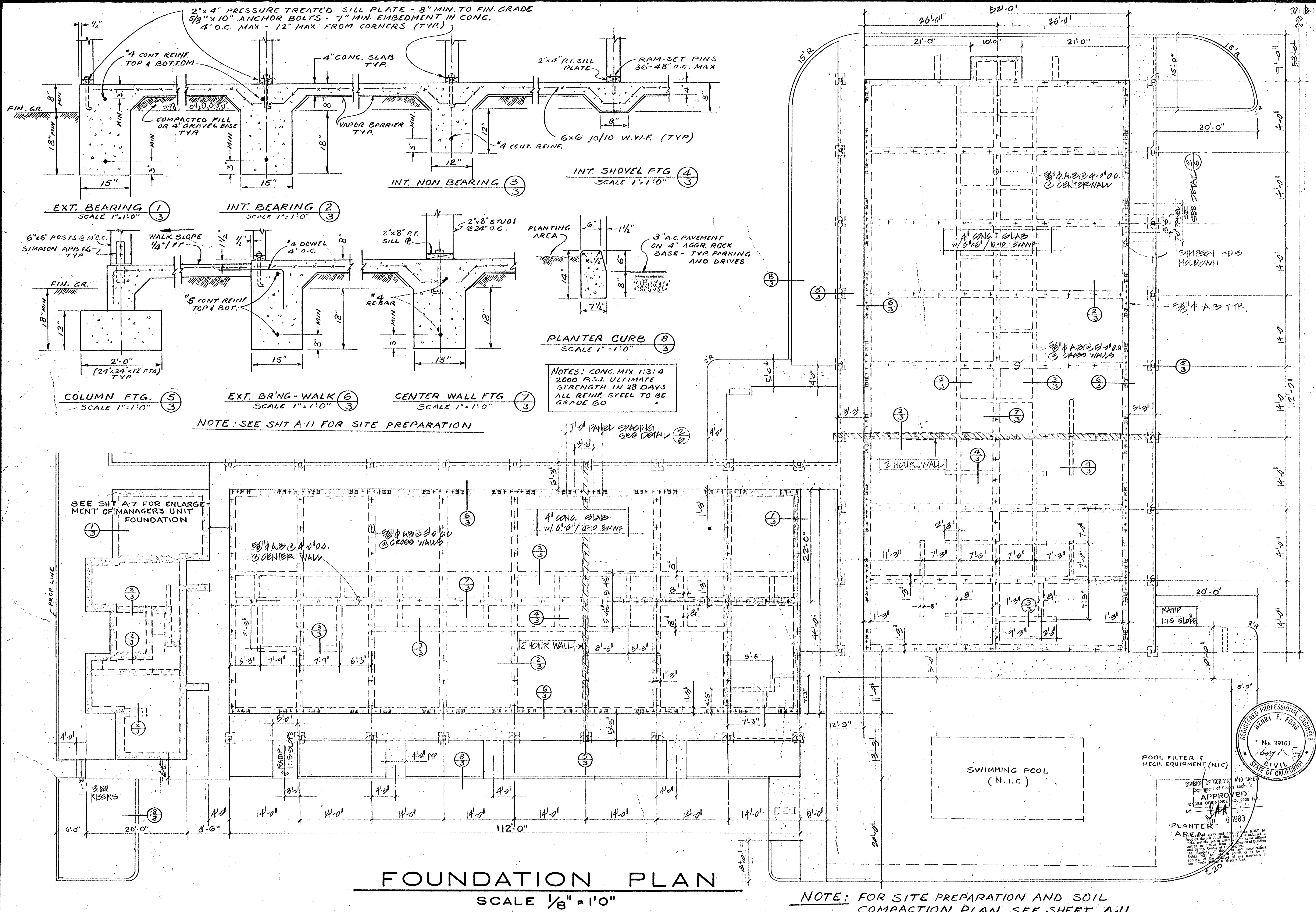
**62 UNIT MOTEL
 SURVEY AND GRADING PLAN**

REVISION
 12-10-82
 JDF

DRAWN/DATE
 JCK & JDM
 JULY 80

DRAWING
 K-155

SHEET
 A-2 OF 14

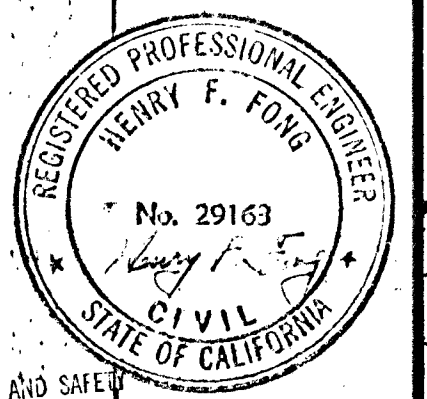


FOUNDATION PLAN
SCALE 1/8" = 1'0"

NOTE: FOR SITE PREPARATION AND SOIL COMPACTION PLAN SEE SHEET A-11

DRAFTING AND DESIGN BY
13010 SUMNER AVENUE
ARTESIA, CALIFORNIA 90701
KEULEN & NYE
COMMERCIAL AND RESIDENTIAL
PHONE (714) 866-4125

62 UNIT MOTEL
FOUNDATION PLAN



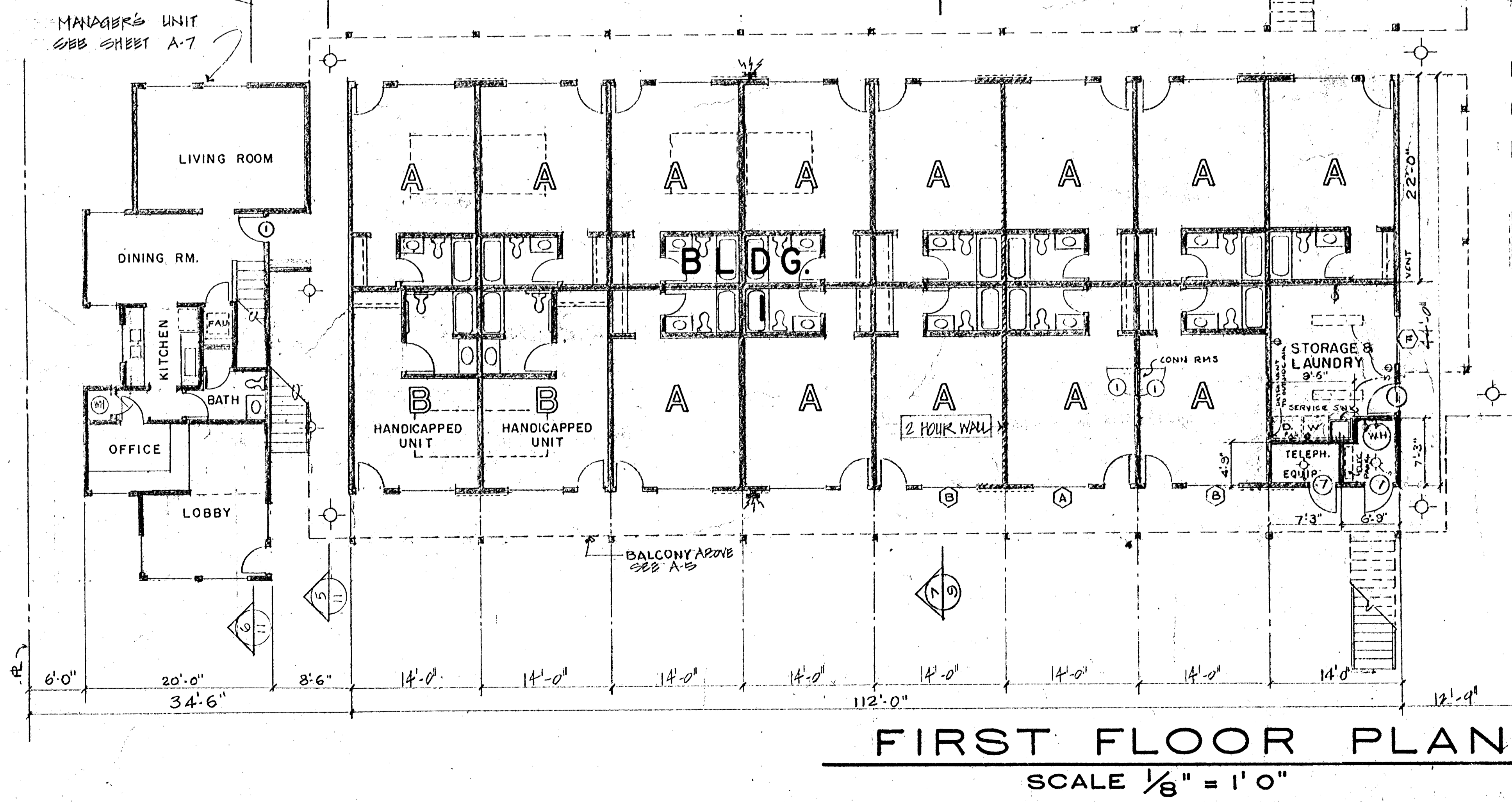
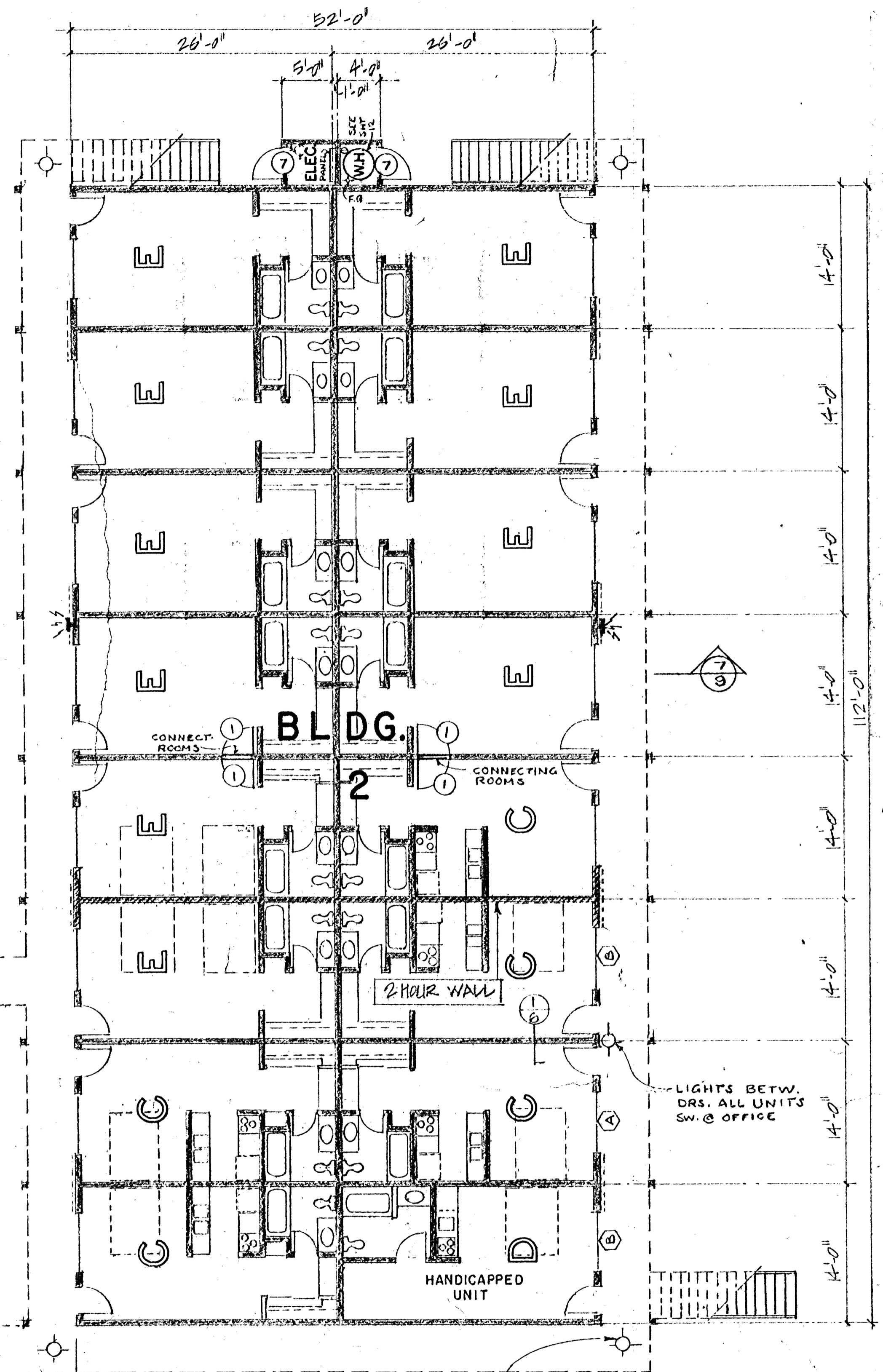
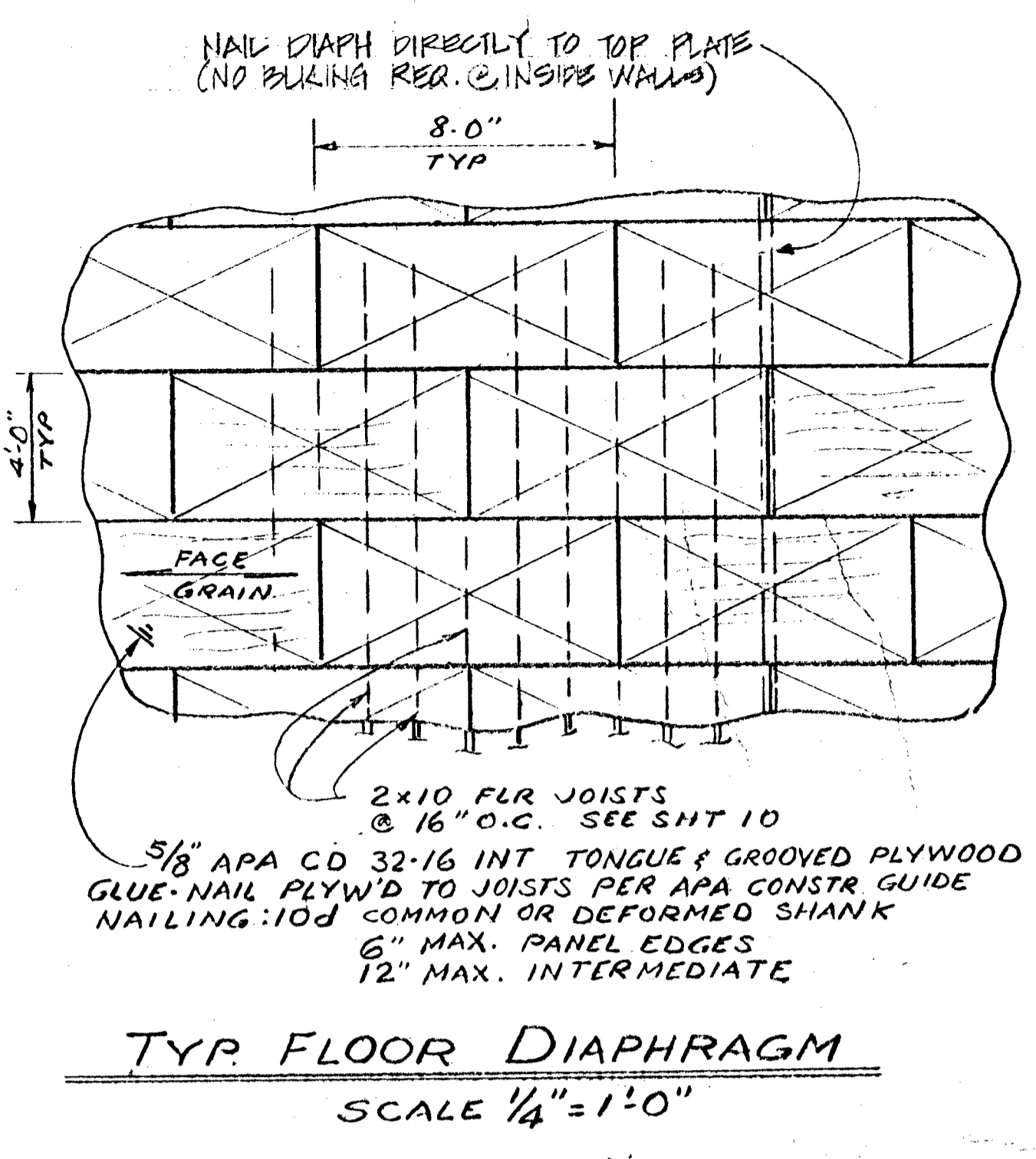
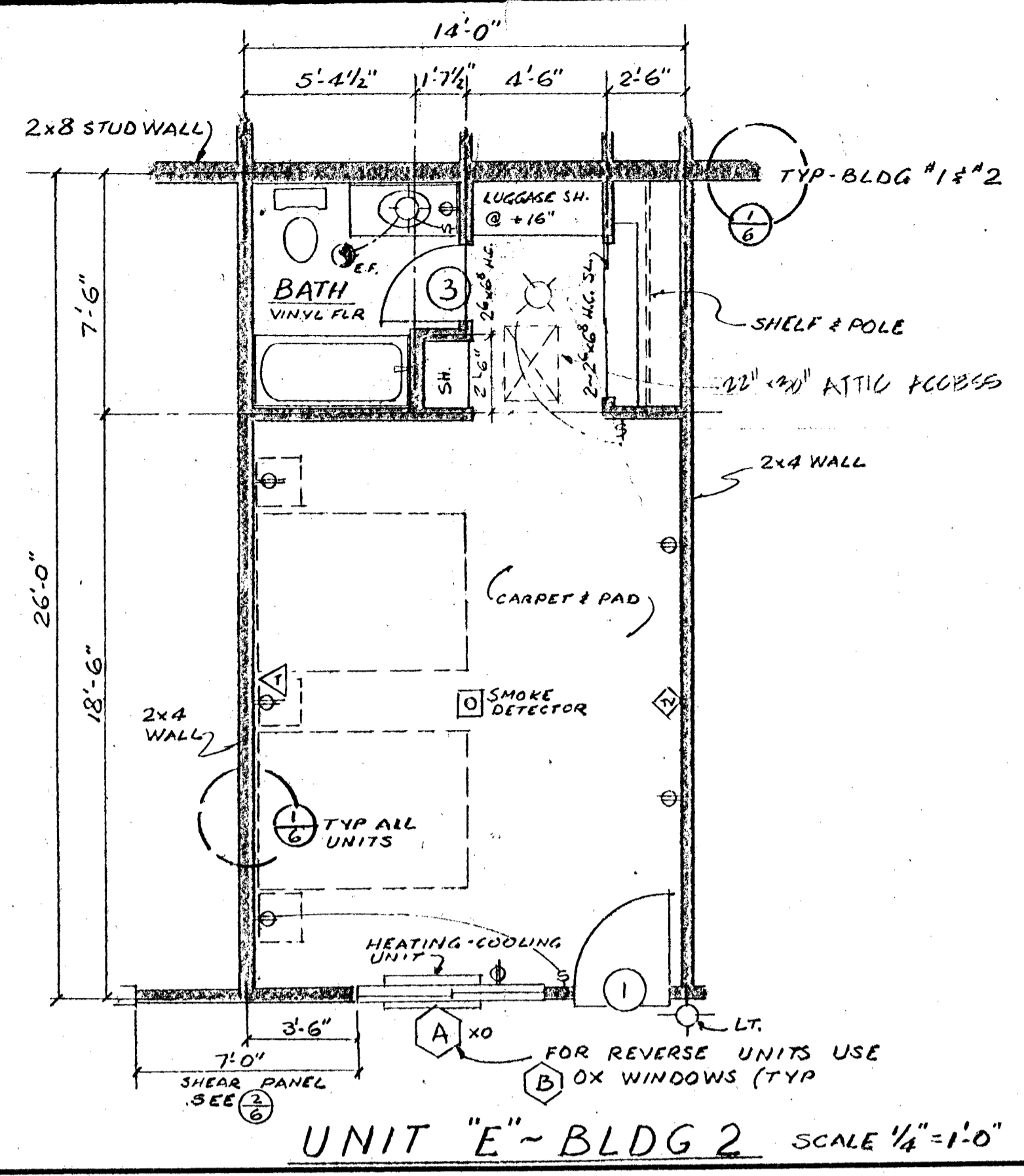
APPROVED
DIVISION OF BUILDING AND SAFETY
Department of Civil Engineering
under ORDINANCE NO. 2225
PLANTER AREA
JULY 6 1983

REVISION
12-10-82
J.G.R.

DRAWN/DATE
JDM & JCK
JULY '80

DRAWING
K-155

SHEET
A-3 OF 14



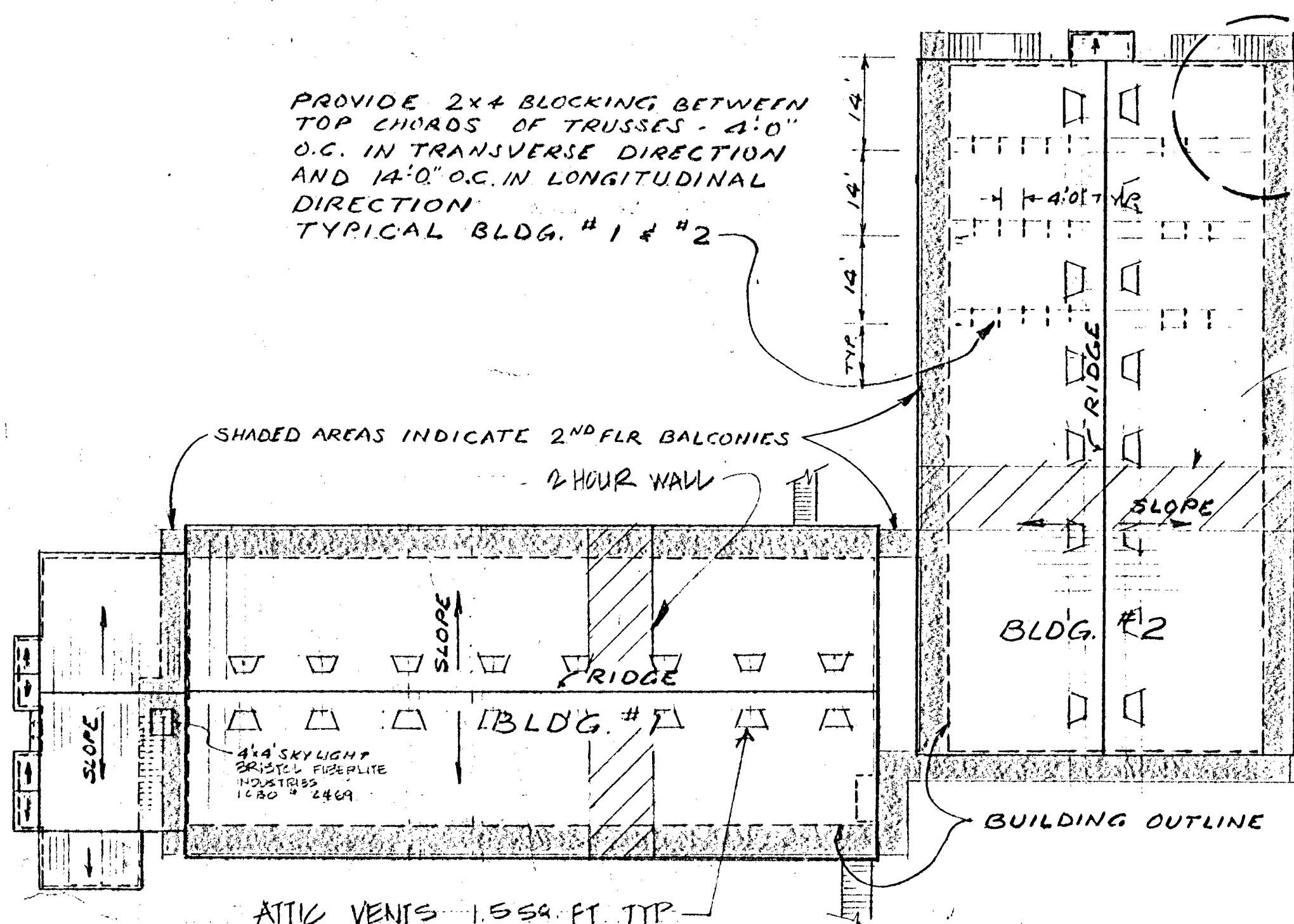
FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

LIGHT @ BALCONY SOFFIT
TYP. ALL CORNERS OF BLDG #1 & 2
TOP OF ALL SHEET ROACES
SWITCH @ OFFICE
UNDER ORDINANCE NO. 2225 N.S.
BY: JAM
JUL 8 1983

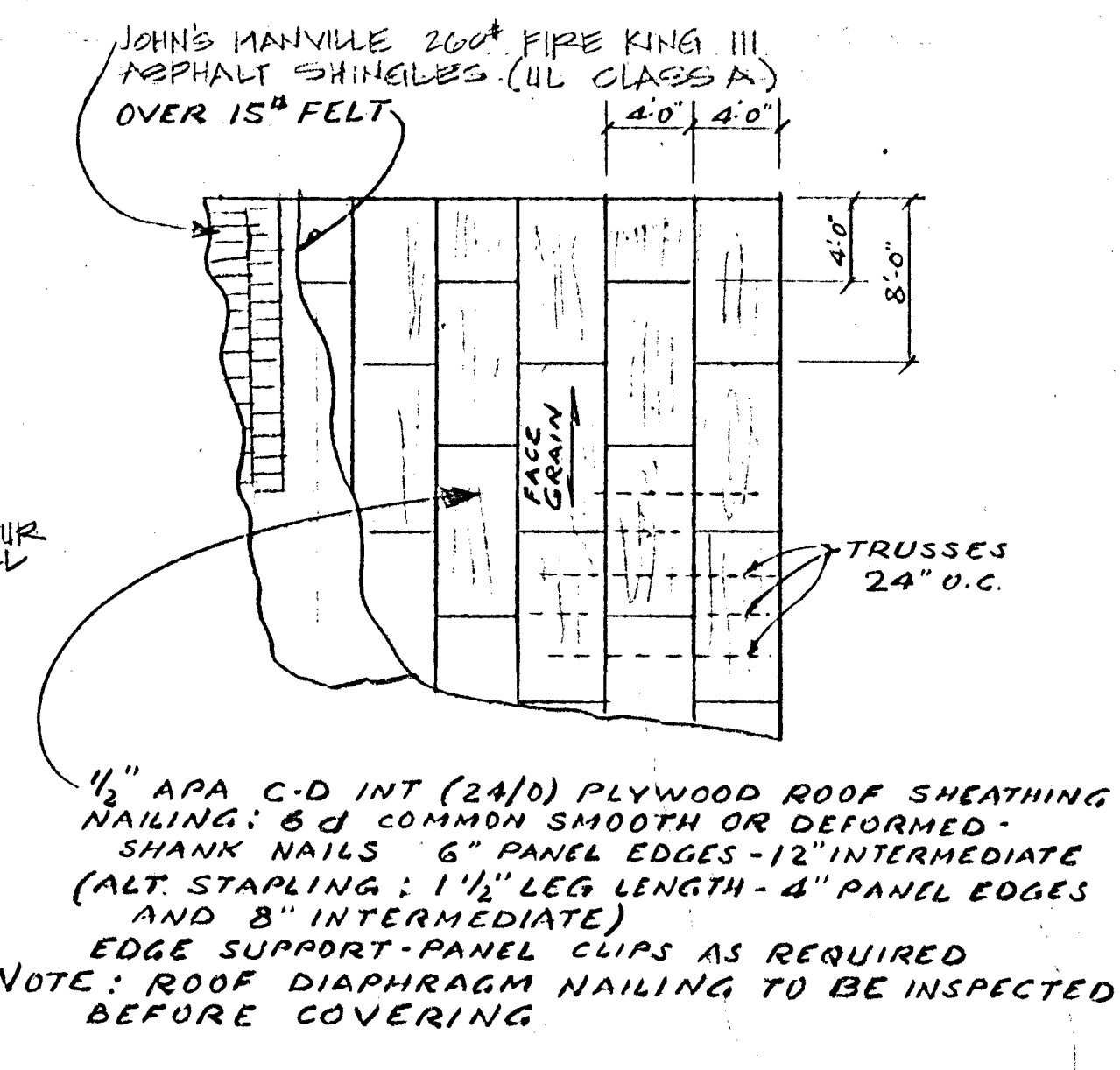


NOTE: SYMBOL INDICATES FIRE ALARM PULL-BOX WITH AUDIBLE ALARM SOUNDING DEVICE
 INDICATES SHEAR WALL SEE DETAIL 2/6

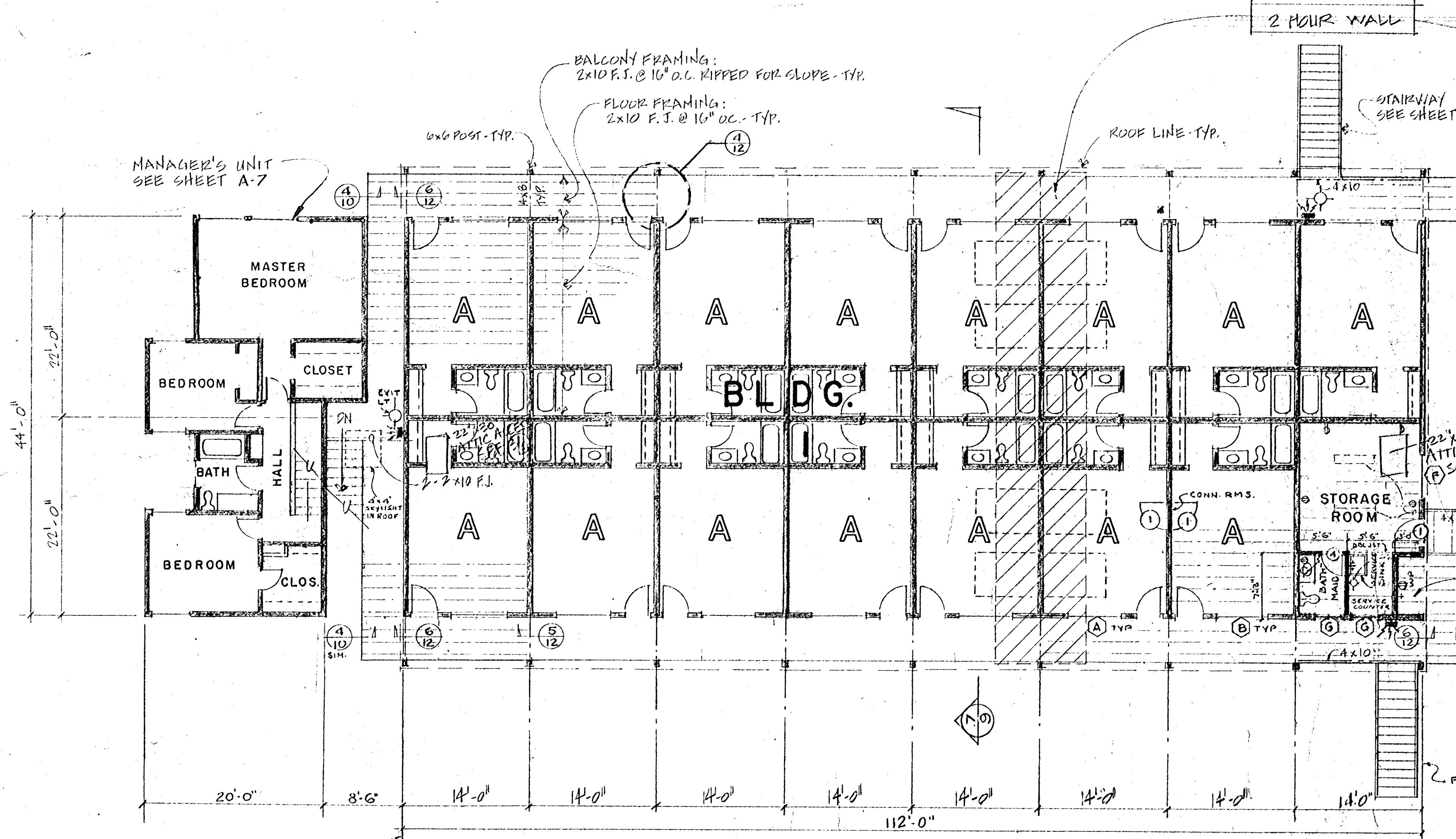
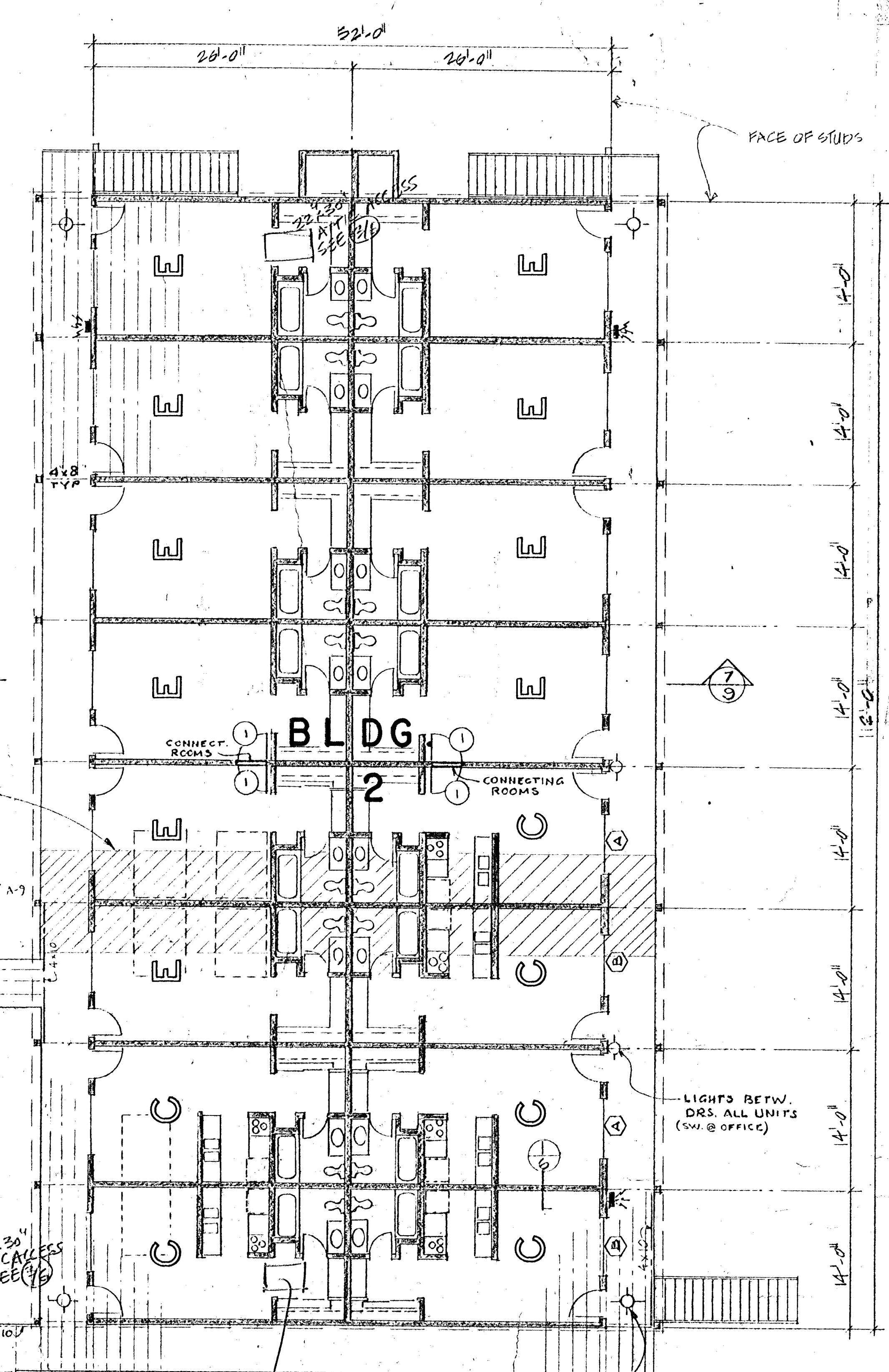
DRAFTING AND DESIGN BY 18010 SHIMMER AVENUE
 KEULEN & NYE ARTESIA, CALIFORNIA 90701
 COMMERCIAL AND RESIDENTIAL PHONE (714) 345-3125
 62 UNIT MOTEL
 FIRST FLOOR PLAN
 REVISION 12-10-82 JGK
 DRAWN/DATE JDM & JGK JULY '80
 DRAWING K-155
 SHEET A-4 OF 14



ROOF PLAN
SCALE 1" = 20'



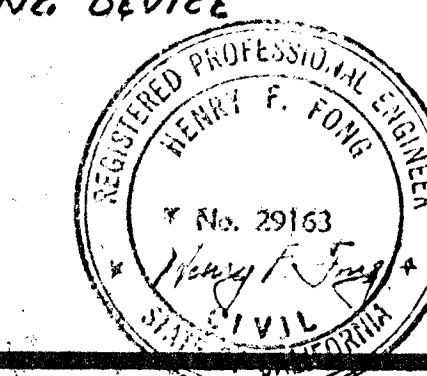
ROOF DIAPHRAGM
SCALE: 1/8" = 1'0"



SECOND FLOOR PLAN
SCALE 1/8" = 1'0"

DEPARTMENT OF BUILDING AND SAFETY
Department of County Building
APPROVED LIGHT & EXIT SIGN AT ALL FOUR CORNERS ON SOFFIT-BLDG. #1 & #2 (TOTAL 8 PLACES) SWITCH @ OFFICE.
BY: JAA
JUL 6 1983

NOTE: SYMBOL INDICATES FIRE ALARM PULL-BOX WITH AUDIBLE ALARM SOUNDING DEVICE



DRAFTING AND DESIGN BY 18010 SUMNER AVENUE
ARTESIA, CALIFORNIA 90703
KEULEN & NYE
COMMERCIAL AND RESIDENTIAL PHONE (310) 846-8464

62 UNIT MOTEL
ROOF & SECOND FLOOR PLAN

REVISION
12-70-82
J&K

DRAWN/DATE
JDM & JGK
JULY '80

DRAWING
K-155

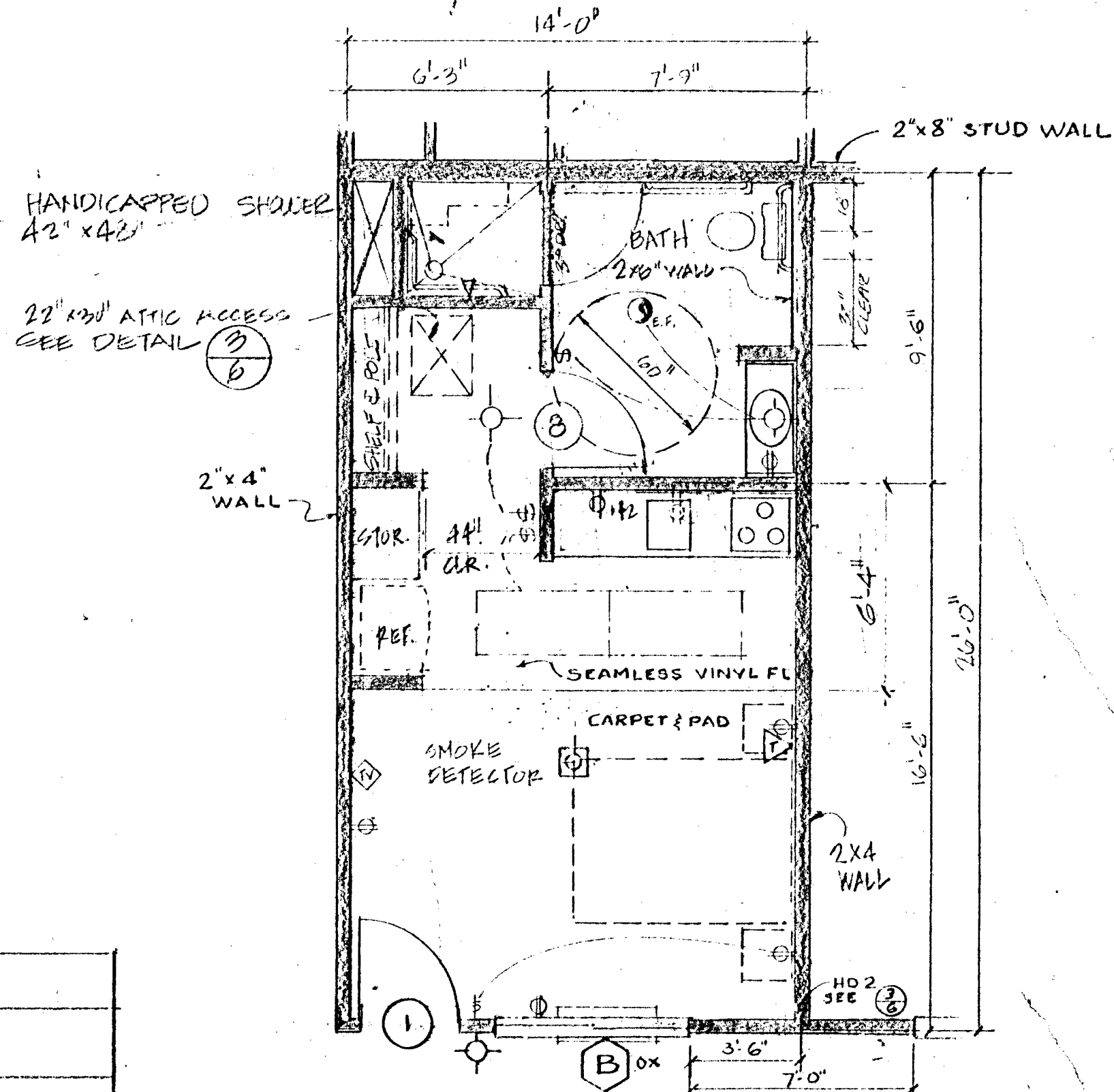
SHEET
A-5 OF 14

FOR DOOR SCHEDULE SEE SHEET A-9

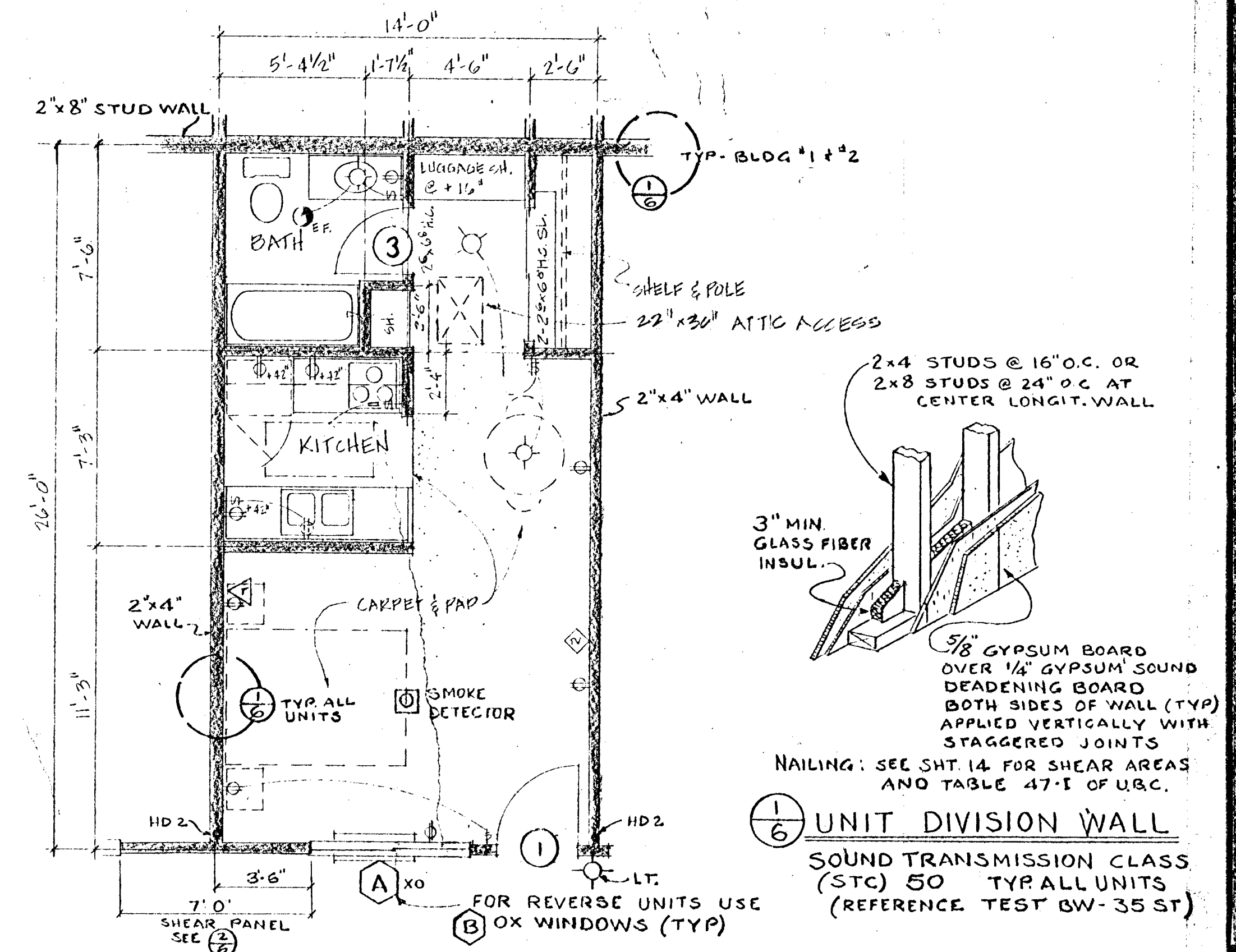
INTERIOR FINISH SCHEDULE							
ROOMS	FLOOR	WALLS*	CEILING*	BASE	CABINETS		
	CARPET	CONC.	VINYL	GYP BD FLAT	GYP BD ENAMEL	GYP BD FLAT	GYP BD ENAMEL
				WOOD	RUBBER COVE	NAT. FIN.	PAINT GRADE
GUEST UNITS	ABC, D, E (MAIN)						
	C, D KITCHEN						
	ABC, D, E BATH						
	LAUNDRY & STORAGE						
MANAGER'S OFF.	LIVING RM.						
	DINING RM						
	HALLS						
	BED RMS & CLOS.						
	KITCHEN						
	BATH RMS.						
	OFFICE & LOBBY						

* ALL PLASTER BOARD TO BE 5/8" THICK TYPE X.

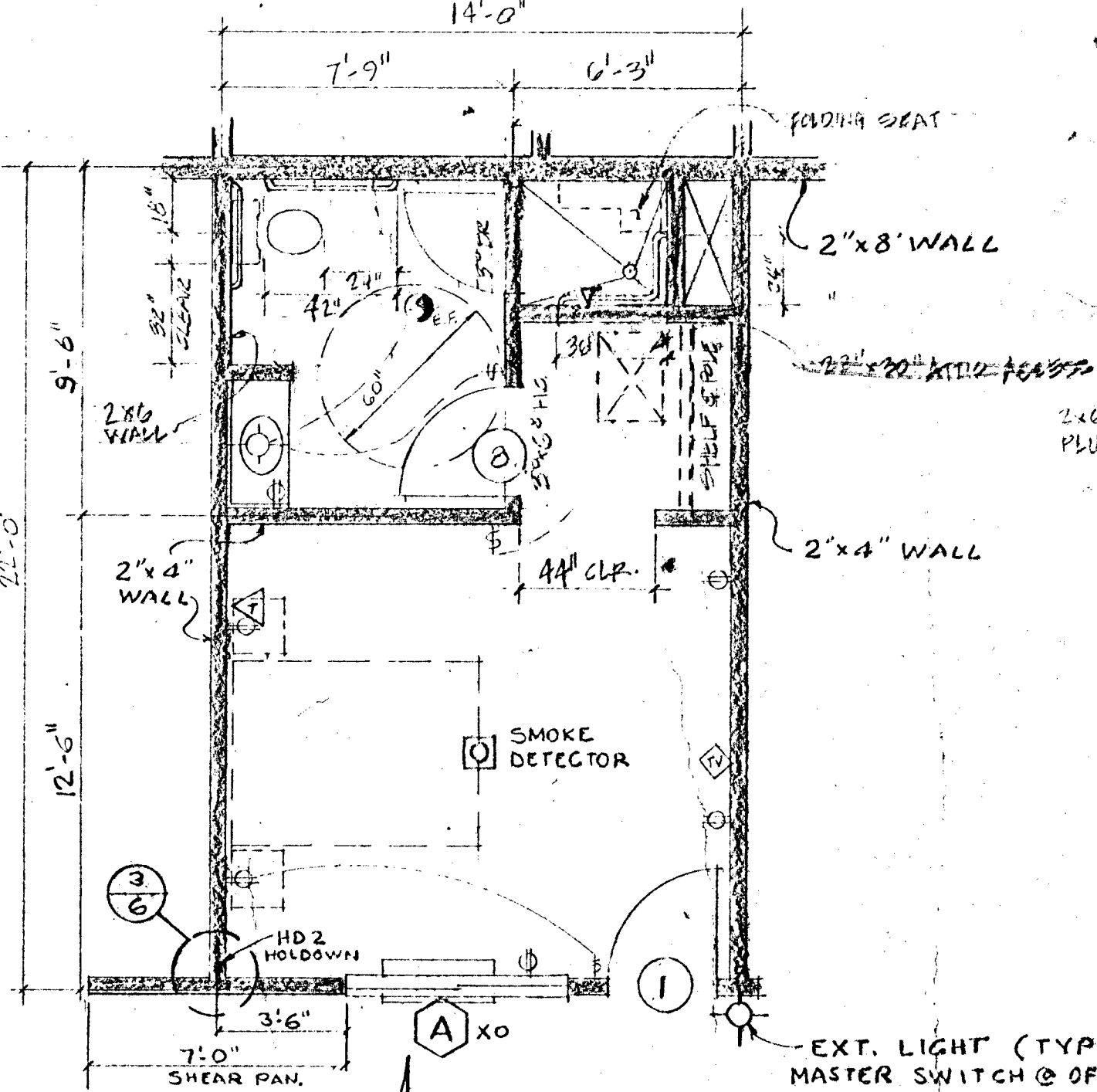
WINDOW SCHEDULE					
SYM	W	H	DESCRIPTION	REQ	
A	6/0	4/0	XO - ALUM SLIDING	31	3/16" GLAZING
B	6/0	4/0	OX - ALUM. SLIDING	31	3/16" GLAZING
C	4/0	5/0	O - ALUM. FIXED	2	3/16" GLAZING
D	4/0	VARIABLE	O - ALUM. FIXED - SEE SHT 8	1	DOUBLE GLAZING
E	5/0	4/0	O - ALUM. FIXED - SEE SHT 11	2	DOUBLE GLAZING
F	5/0	4/0	OX - ALUM. SLIDING	2	3/16" GLAZING
G	3/0	2/0	XO - OBSC. GL.	2	3/16" GLAZING
H	3/0	4/0	XO -	1	DOUBLE GLAZING
J	3/0	3/0	XO -	1	"
K	4/0	3/0	XO -	1	"
L	4/0	4/0	XO -	2	"
M	4/0	4/0	OX -	2	"
N	5/0	5/0	OX -	3	"
P	5/0	5/0	XO - ALUM. SLIDING	3	"



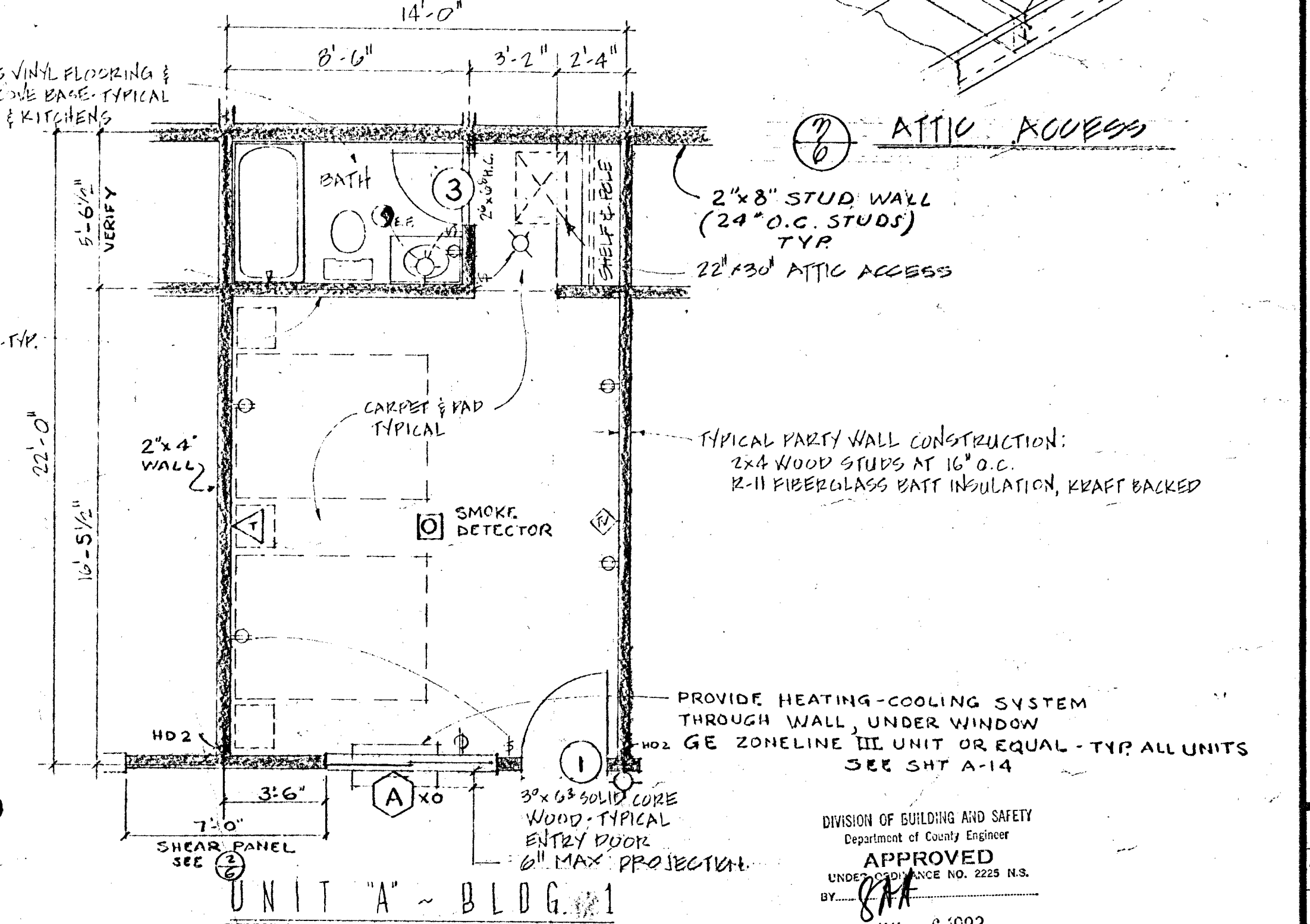
UNIT "D" BLDG. 2
FOR THE PHYSICALLY HANDICAPPED



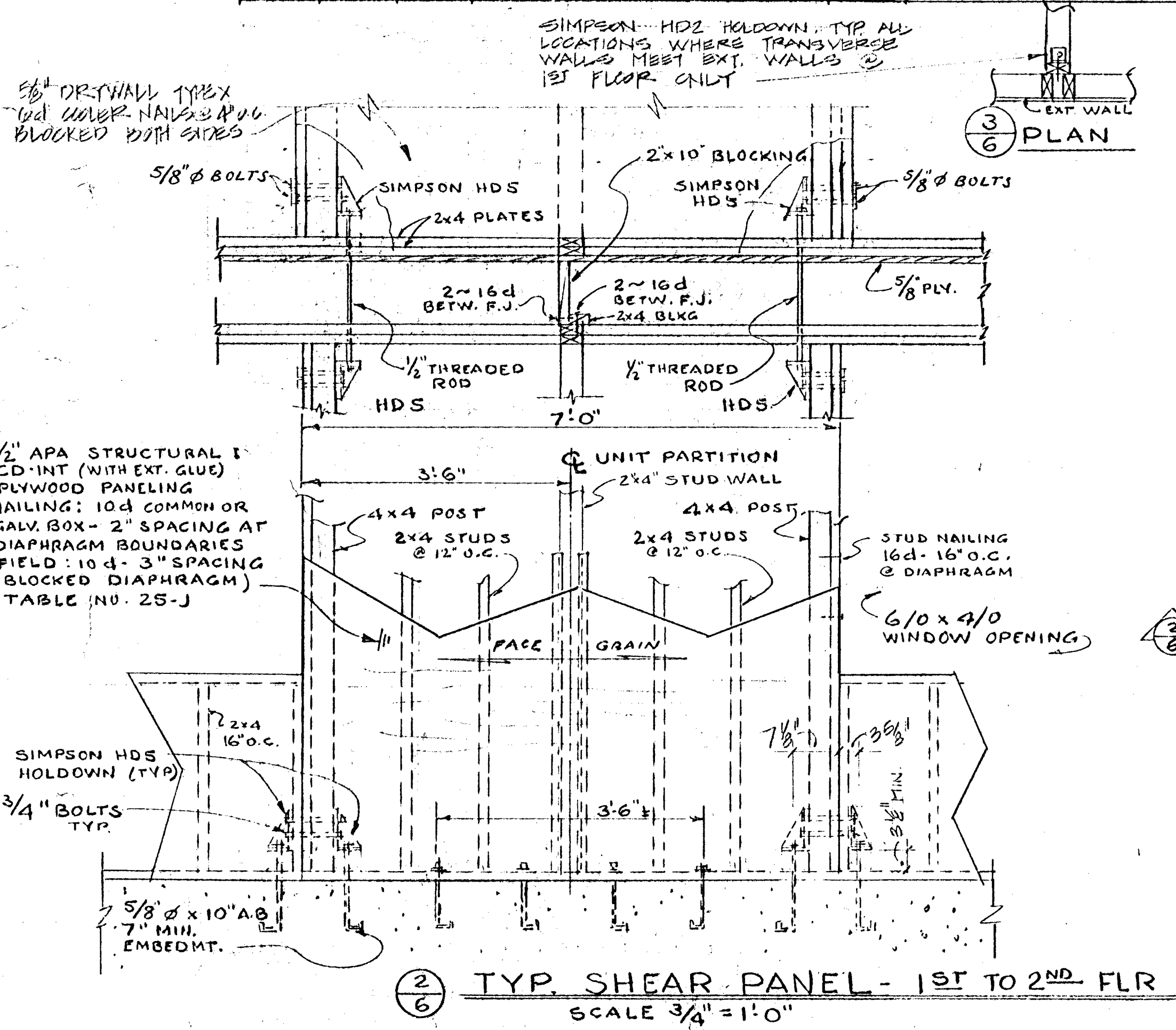
UNIT "C" - BLDG. 2



UNIT "B" - BLDG. 1
FOR THE PHYSICALLY HANDICAPPED



UNIT "A" - BLDG. 1



(2) TYP. SHEAR PANEL - 1ST TO 2ND FLR
SCALE 3/4" = 1'-0"

GUEST ROOM UNITS A, B, C & D
SCALE 1/4" = 1'-0" FOR PLAN OF UNIT "E" SEE SHEET A-4

DIVISION OF BUILDING AND SAFETY
Department of County Engineer
APPROVED
UNLICENSED NO. 225 H.S.
JUL 6 1983

NOTE: FOR CONNECTING ROOMS (FOUR "A" UNITS & FOUR "C" UNITS) SEE FLOOR PLANS - SHT 4 & 5



DRAFTING AND DESIGN BY
KEULEN & NYE
COMMERCIAL AND RESIDENTIAL

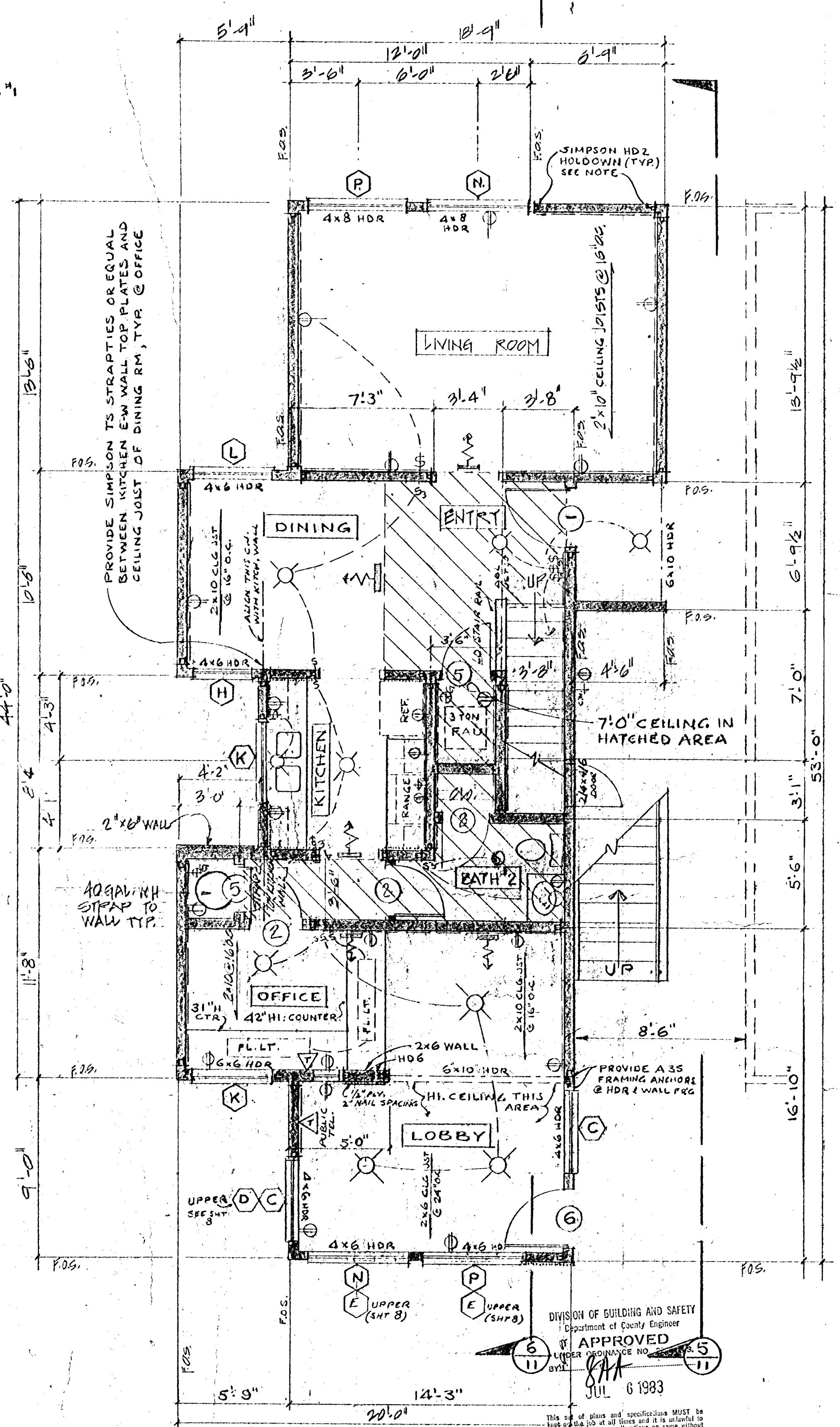
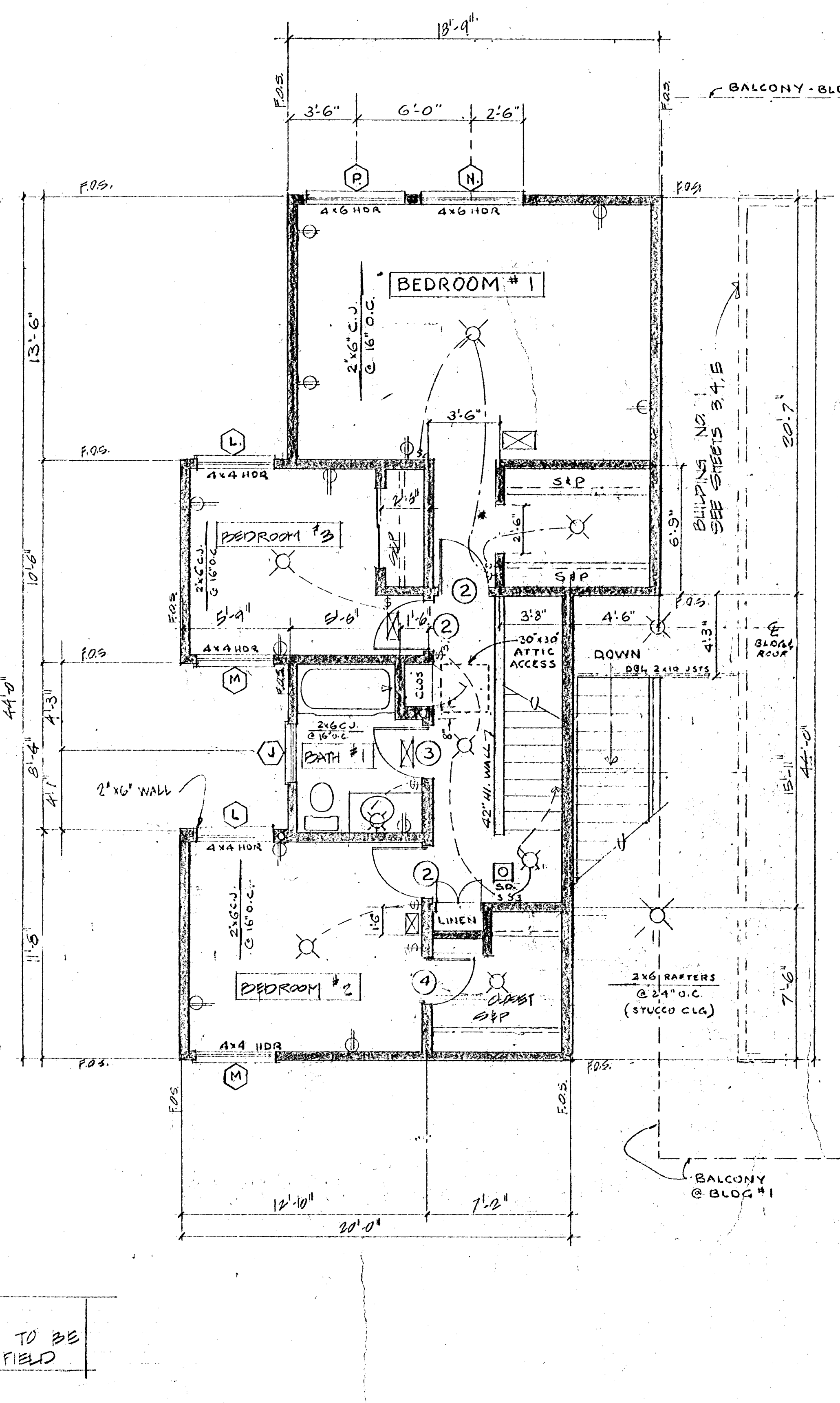
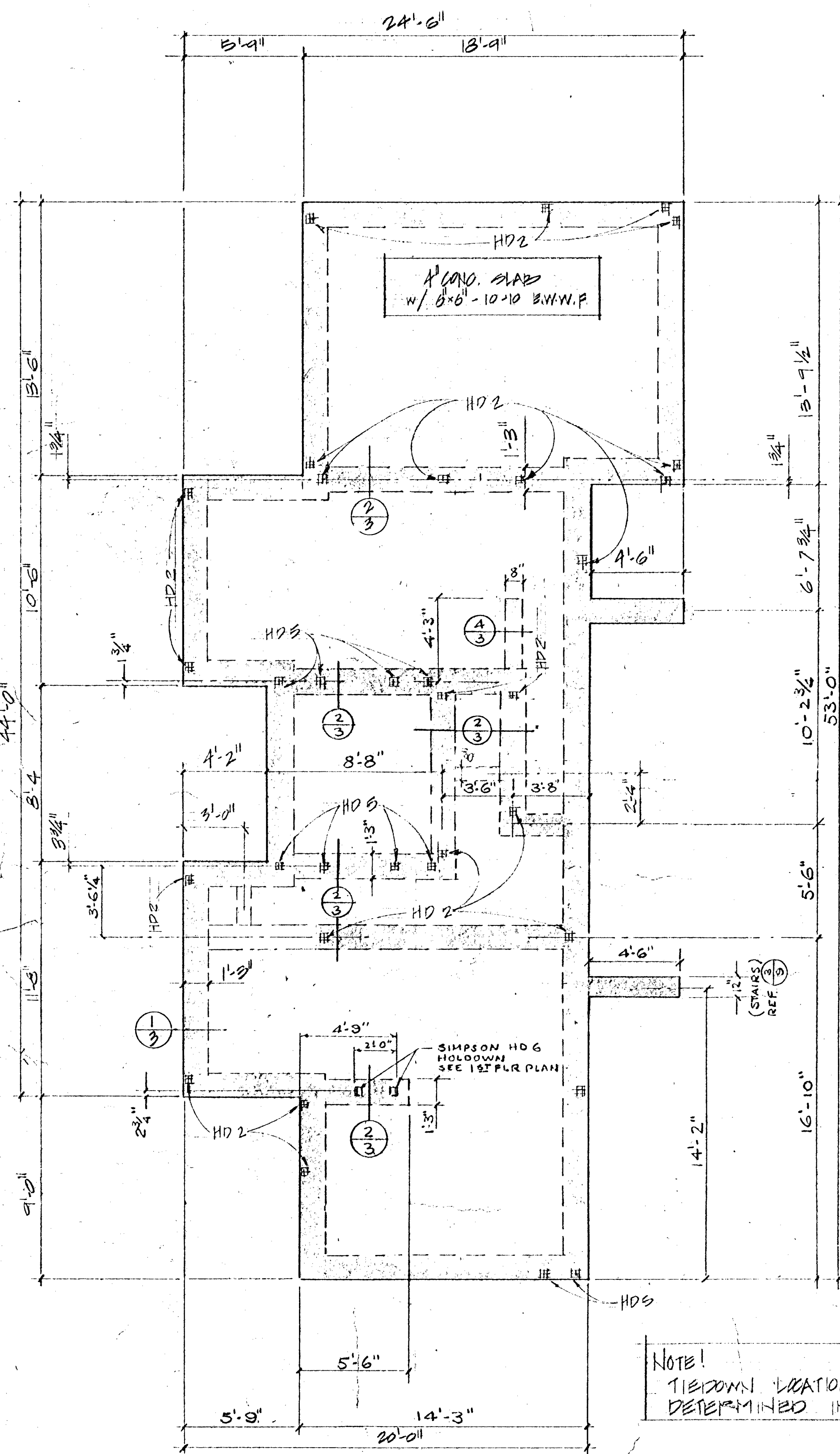
62 UNIT MOTEL
GUEST ROOM PLANS

REVISION
REV. 12-14-82
J.G.K.

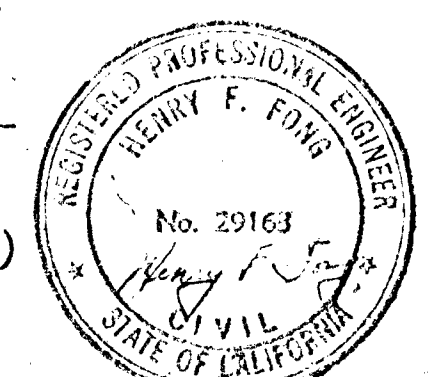
DRAWN/DATE
JCK & LWN
JULY 80

DRAWING
K-155

SHEET
A-6 OF 14



- WALLS SHOWN THUS INDICATE 2x4 END STUDS W/ HD 2 HOLD-DOWNS (SIMPSON) NAIL DRYWALL WITH 6d COOLER NAILS @ 4" O.C. BLOCKED (1ST FLR ONLY)
- WALLS WITH 4x4 END STUDS WITH HD 5 HOLD-DOWNS (SIMPSON) SHEATHING STRUCK 1/2" PLYWOOD WITH 10d 2" EDGE NAILING. TYPICAL AT KITCHEN AND LOBBY EXCEPT AS NOTED



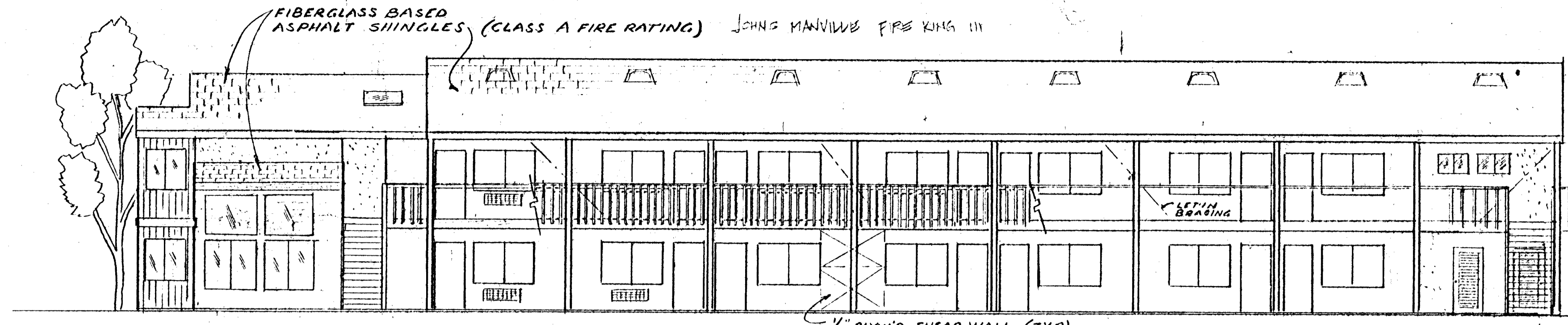
DRAFTING AND DESIGN BY
 JACOB SUMNER, INC.
 ARTESIA, CALIFORNIA 90701
 KEULEN & AYE
 COMMERCIAL AND RESIDENTIAL

62 UNIT MOTEL
 MANAGER & OFFICE PLANS

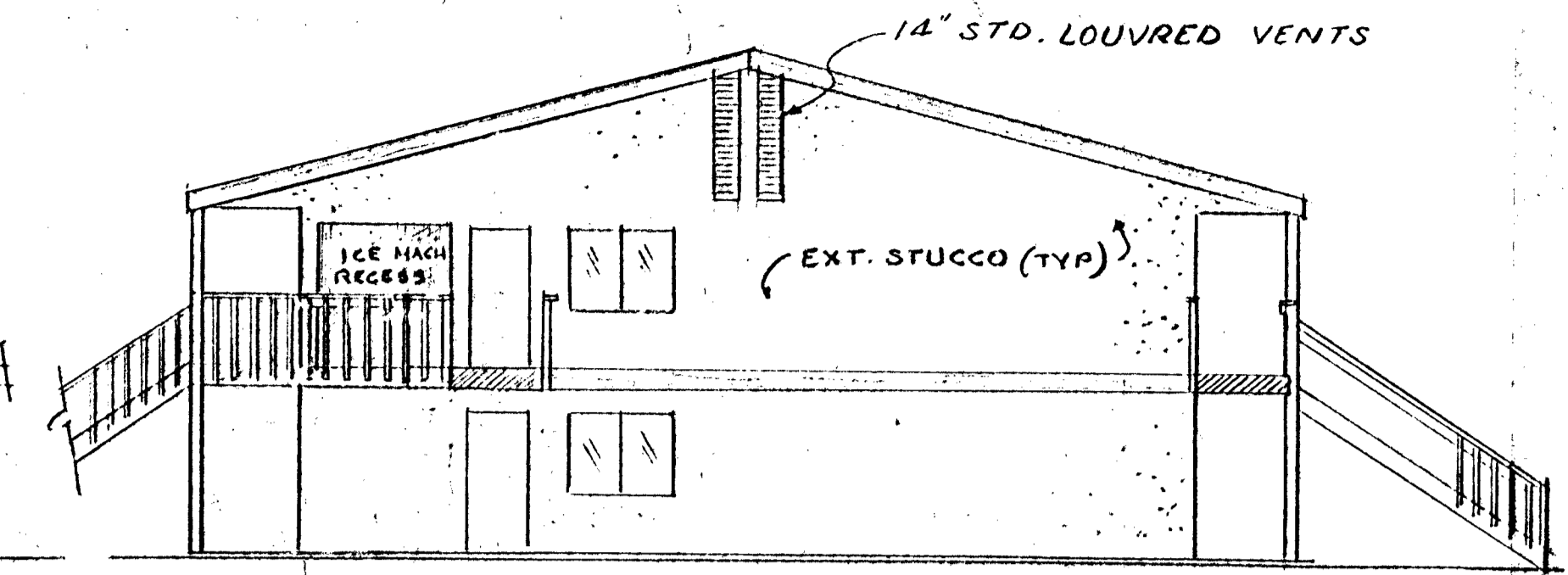
REVISION
12-28-82
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JDM
JULY '80
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K-155

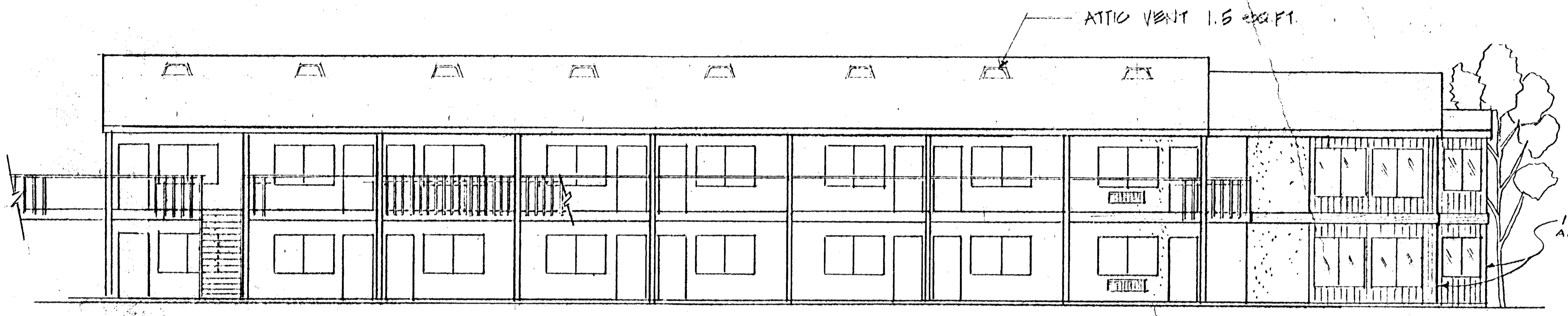
SHEET
A-7 OF 14



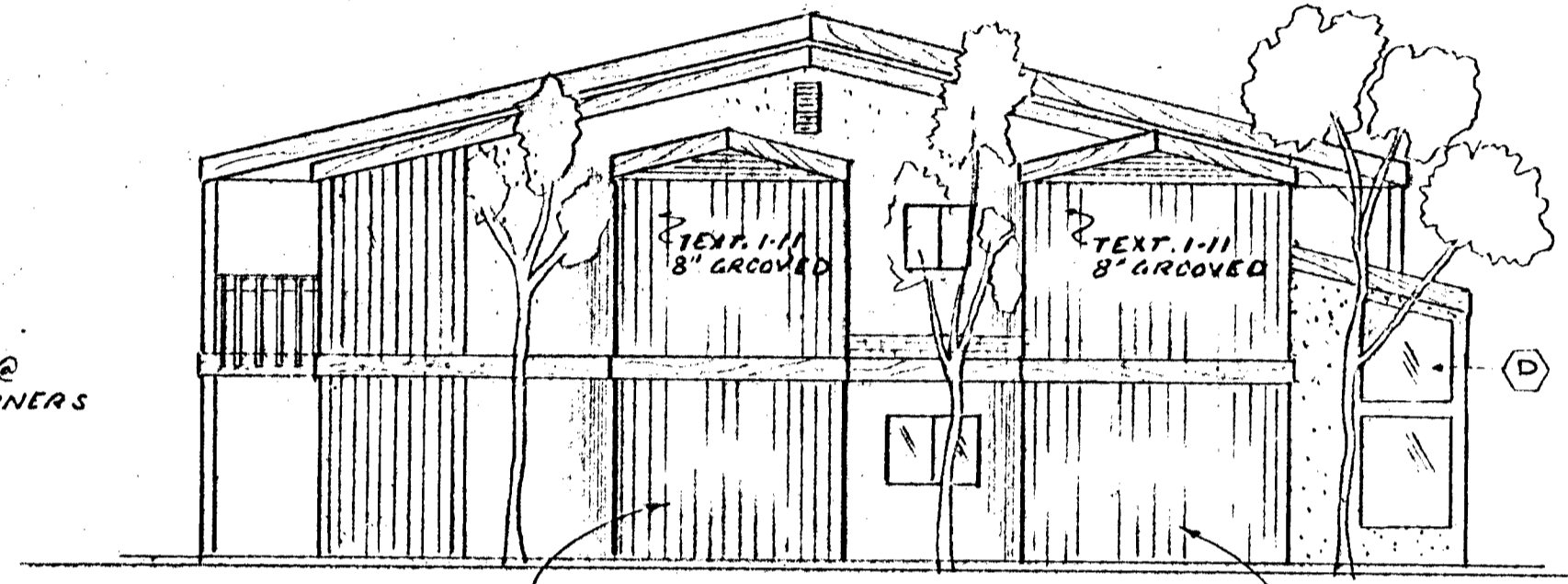
BLDG. #1 - WEST ELEVATION
SCALE 1/8" = 1'-0"



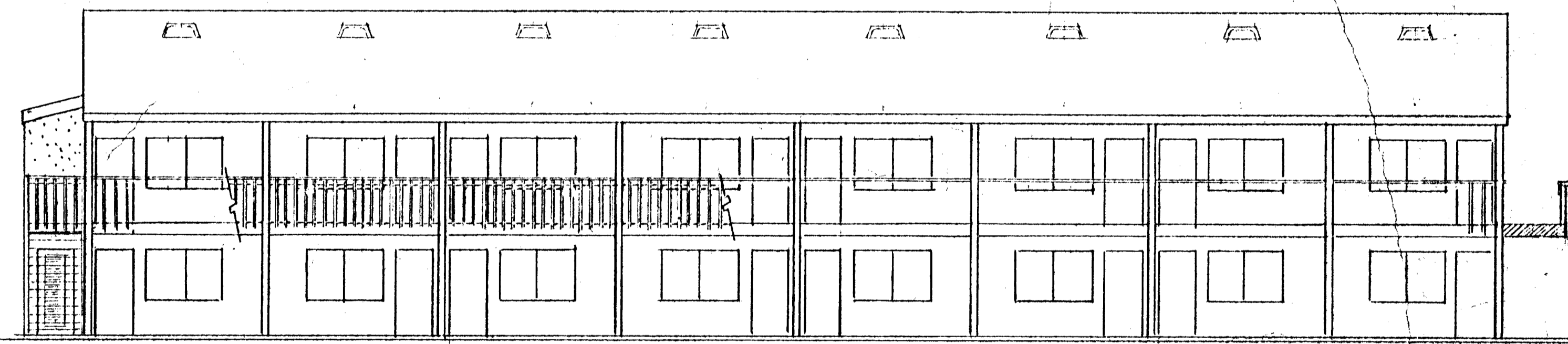
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SCALE 1/8" = 1'-0"



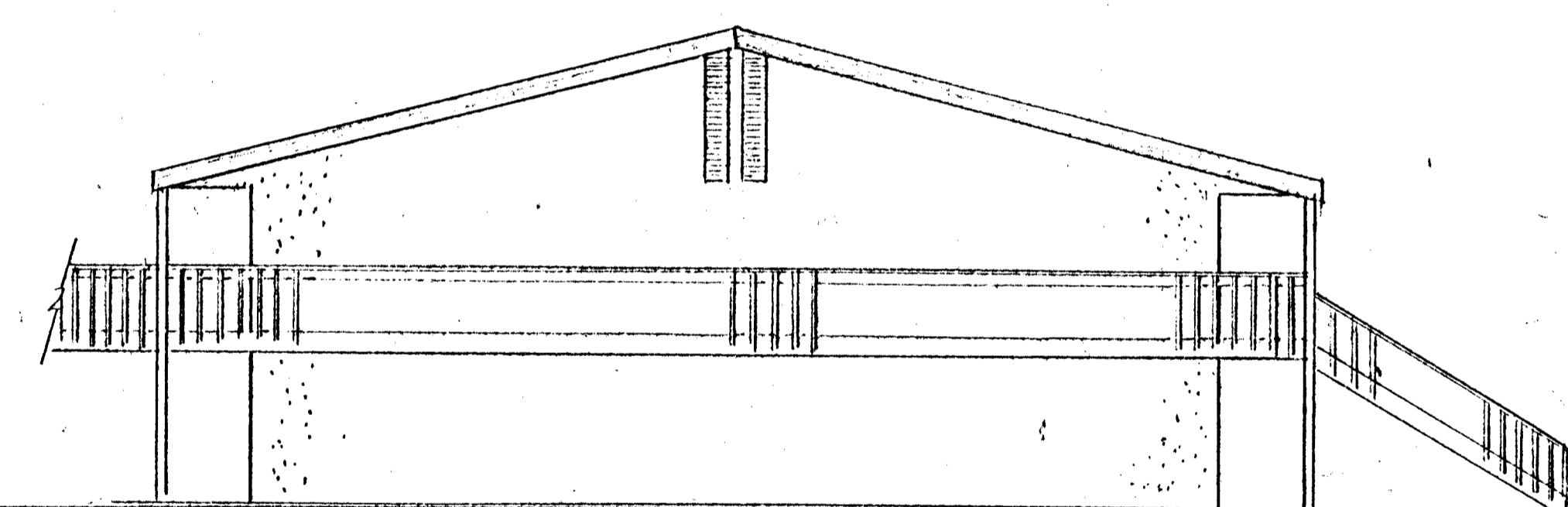
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SCALE 1/8" = 1'-0"



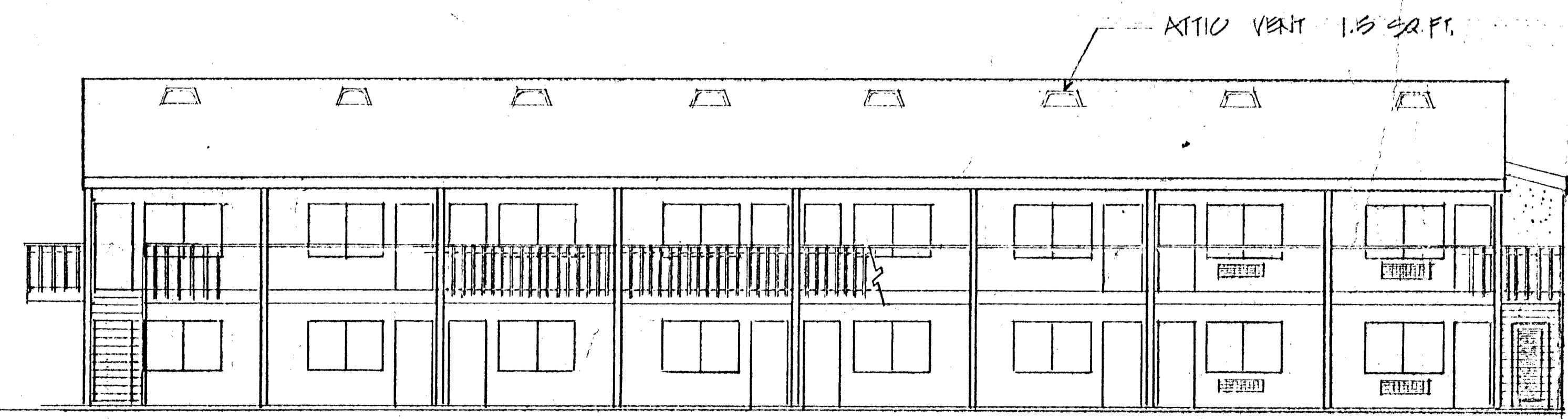
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SCALE 1/8" = 1'-0"



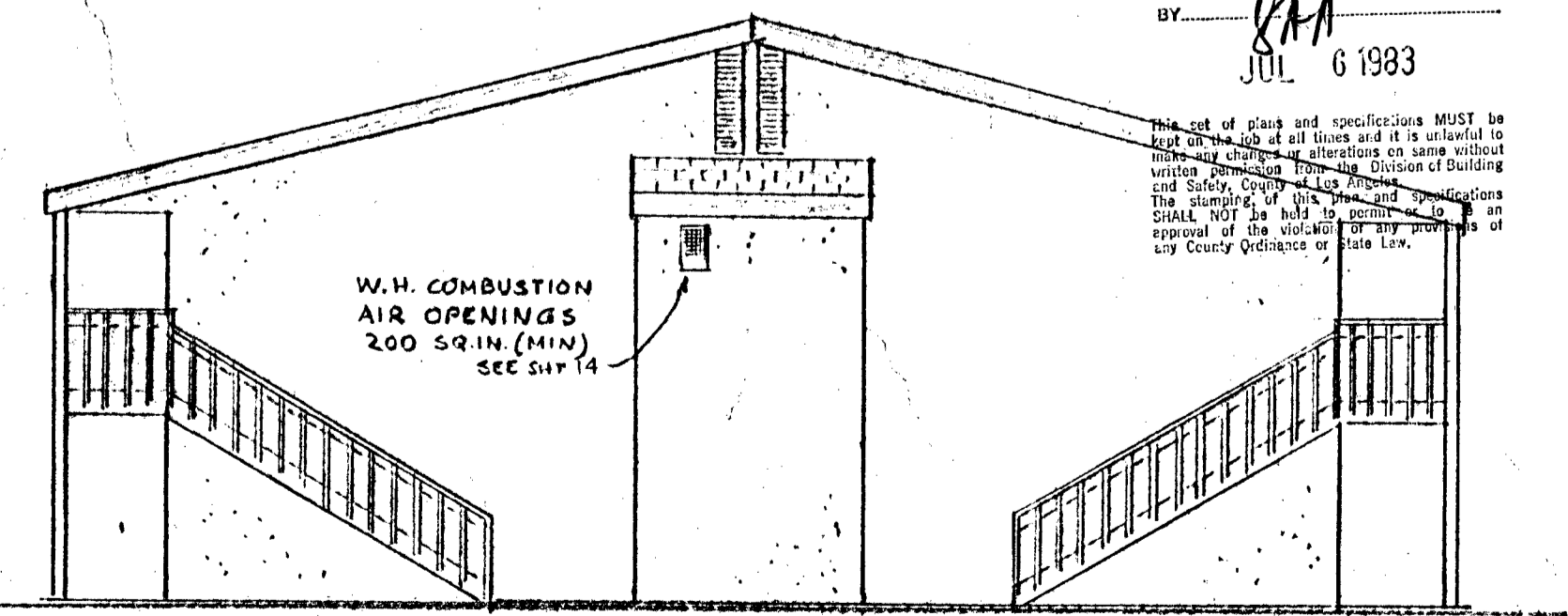
BLDG. #2 - NORTH ELEVATION
SCALE 1/8" = 1'-0"



BLDG. #2 - WEST ELEVATION
SCALE 1/8" = 1'-0"



BLDG. #2 - SOUTH ELEVATION
SCALE 1/8" = 1'-0"



BLDG. #2 - EAST ELEVATION
SCALE 1/8" = 1'-0"



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Department of County Engineer
APPROVED
UNDER ORDINANCE NO. 2225 N.S.
BY: *[Signature]*
JUL 6 1983

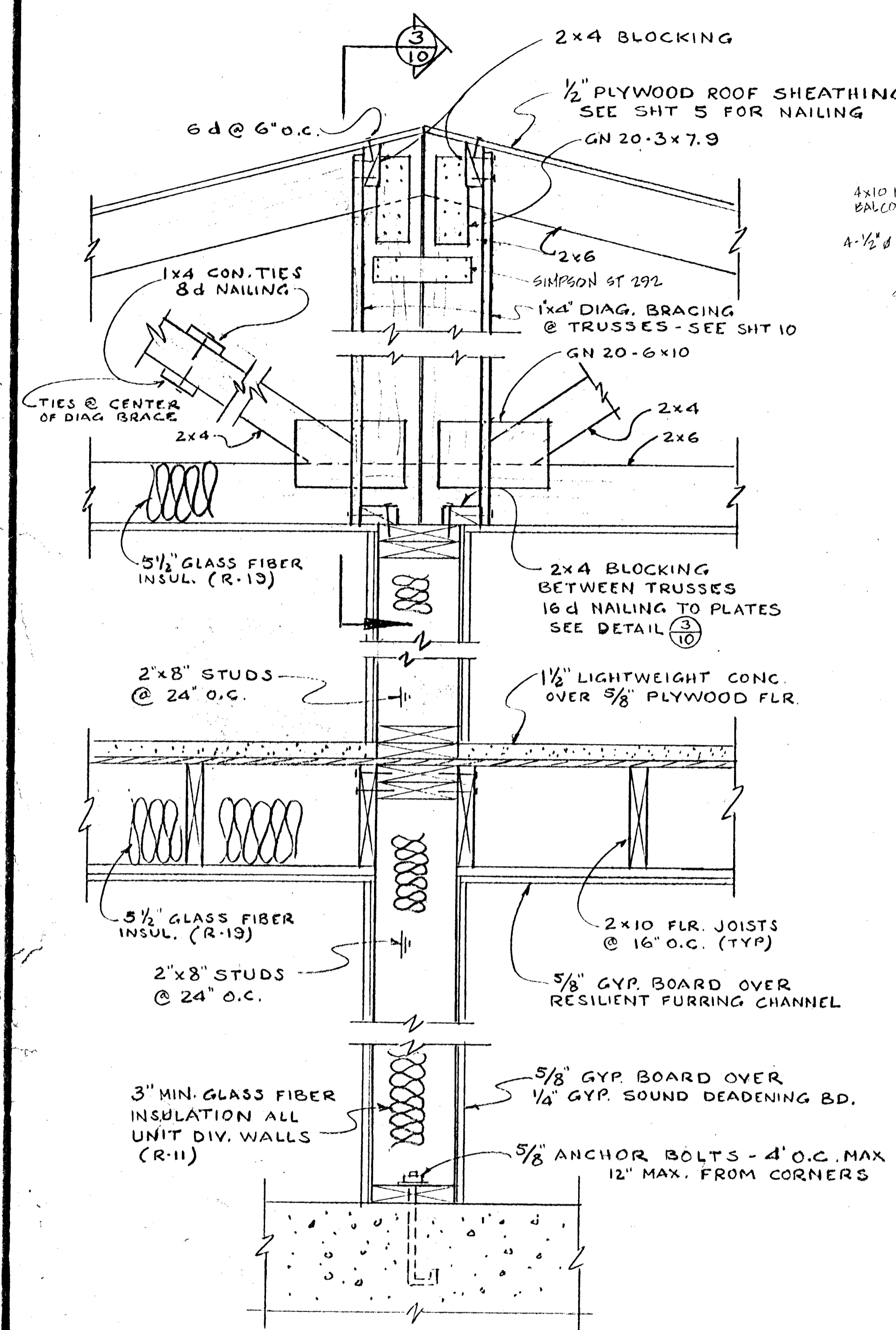
DRAFTING AND DESIGN BY 1800 SUNNER AVENUE
KEULEN & NYE ARTESIA, CALIFORNIA 90701
COMMERCIAL AND RESIDENTIAL PHONE (714) 865-2200

62 UNIT MOTEL
EXTERIOR ELEVATIONS

REVISION
7-28-82
JGK

DRAWN/DATE
JGK
JULY '80
DRAWING
K-155

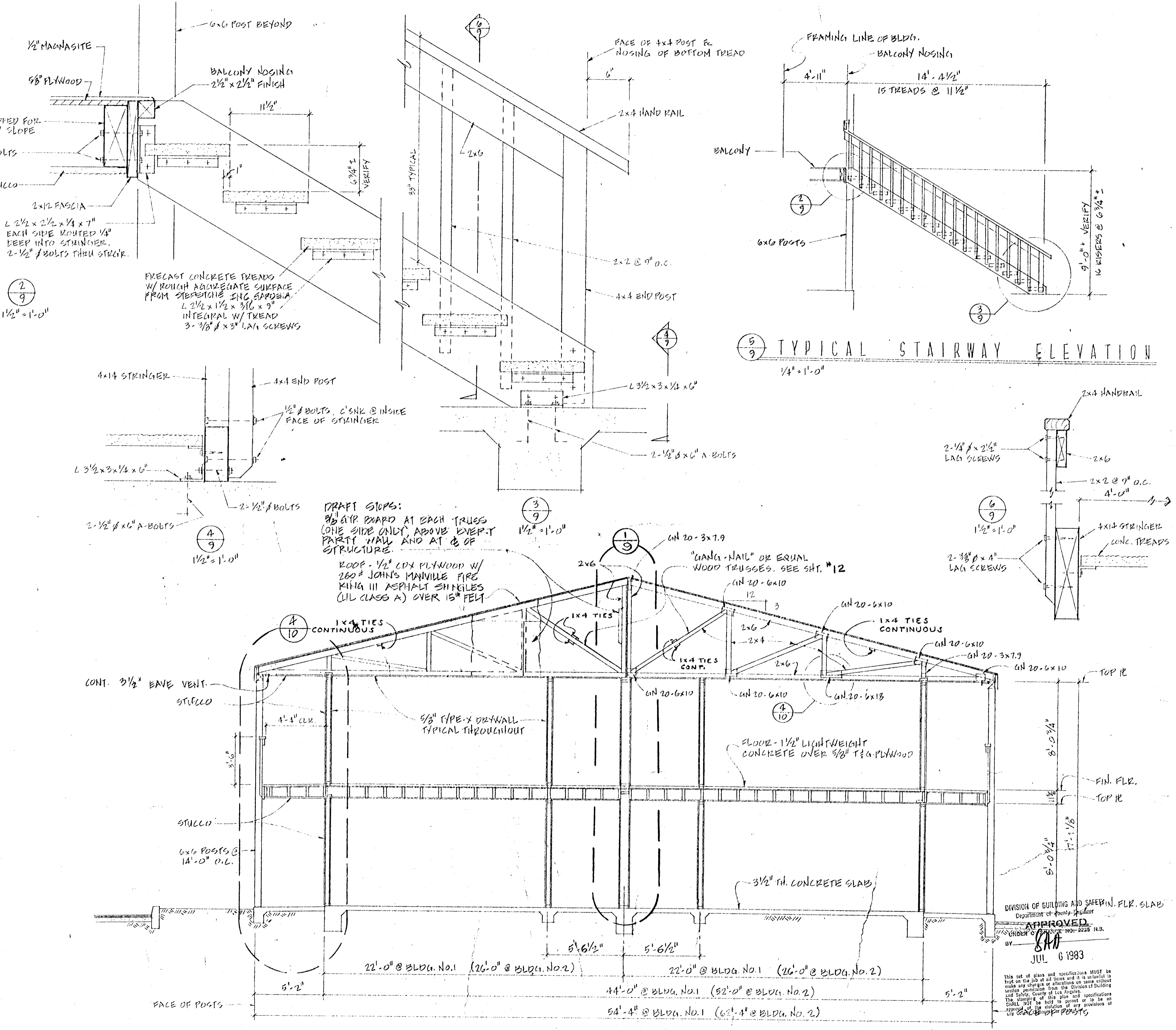
SHEET
A-8 OF 14



1/9 TYP. SECTION - CENTER WALL OF BLDG. #1 & #2
 SCALE 1 1/2" = 1'-0"

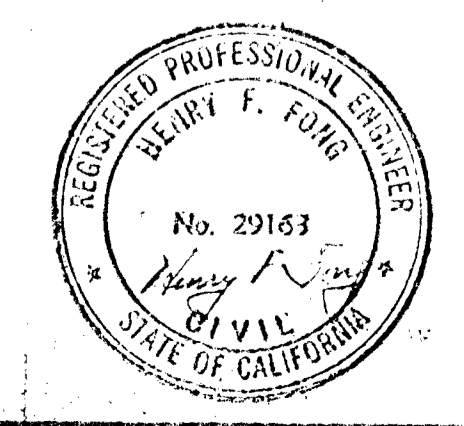
DOOR SCHEDULE			
SYM	SIZE	DESCRIPTION	REQ
1	3/0 x 6/8	SOLID CORE - EXT. STD GR.	77
2	2/8 x 6/8	HOLLOW CORE - INT	6
3	2/6 x 6/8	HOLLOW CORE - INT.	60
4	2/4 x 6/8	HOLLOW CORE - INT	2
5	2/6 x 6/8	HOLLOW CORE - 200" VENTS	2
6	3/0 x 6/8	TEMP GLASS-ALUM FRAME	1
7	3/0 x 6/8	SOLID CORE, FULLY LOUVERED	4
8	3/0 x 6/8	HOLLOW CORE INT.	3

ALL DOORS INTO HANDICAPPED UNITS AND DOOR #6 INTO OFFICE TO BE PROVIDED WITH SARGENT B100 SERIES HARDWARE LINE "LNE" OR EQUAL. SEE NOTES SHIT #13



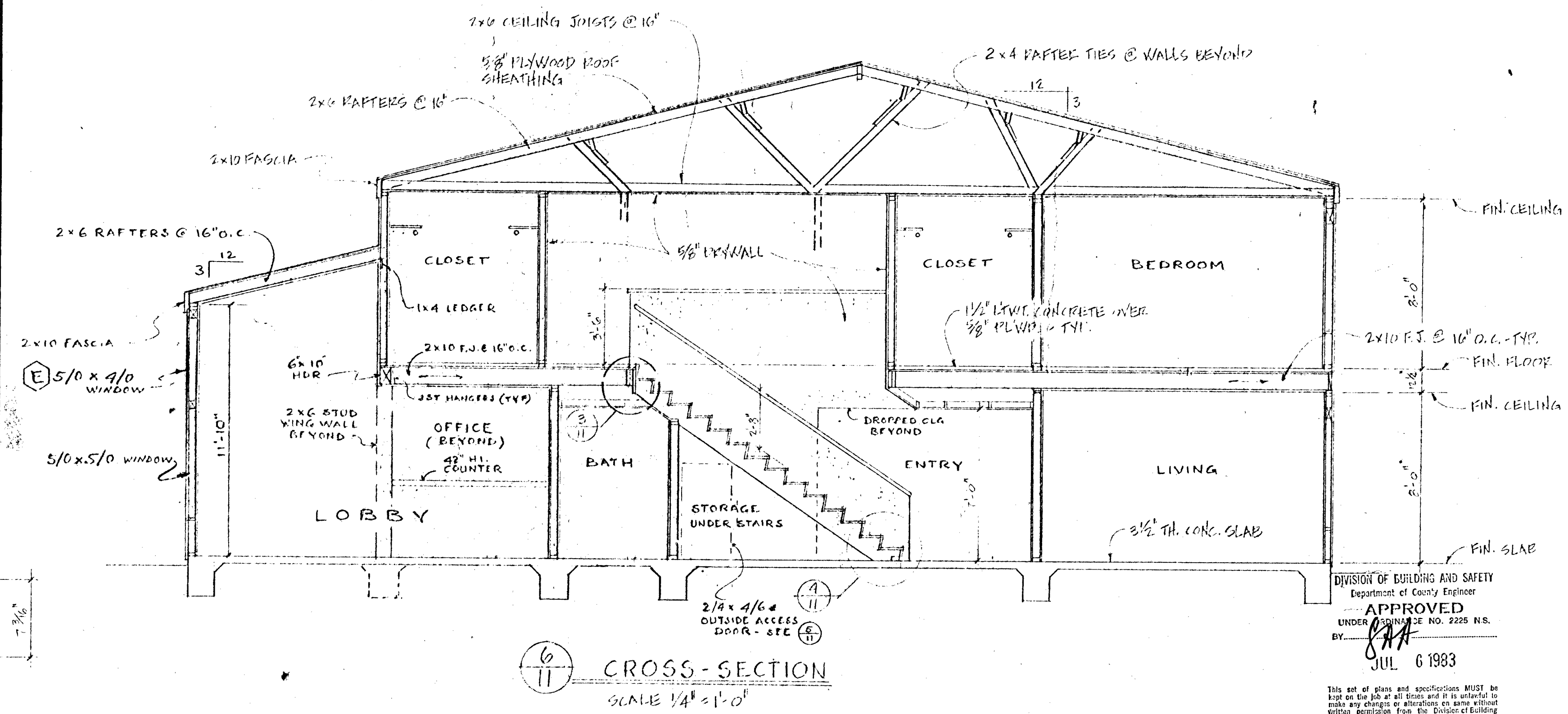
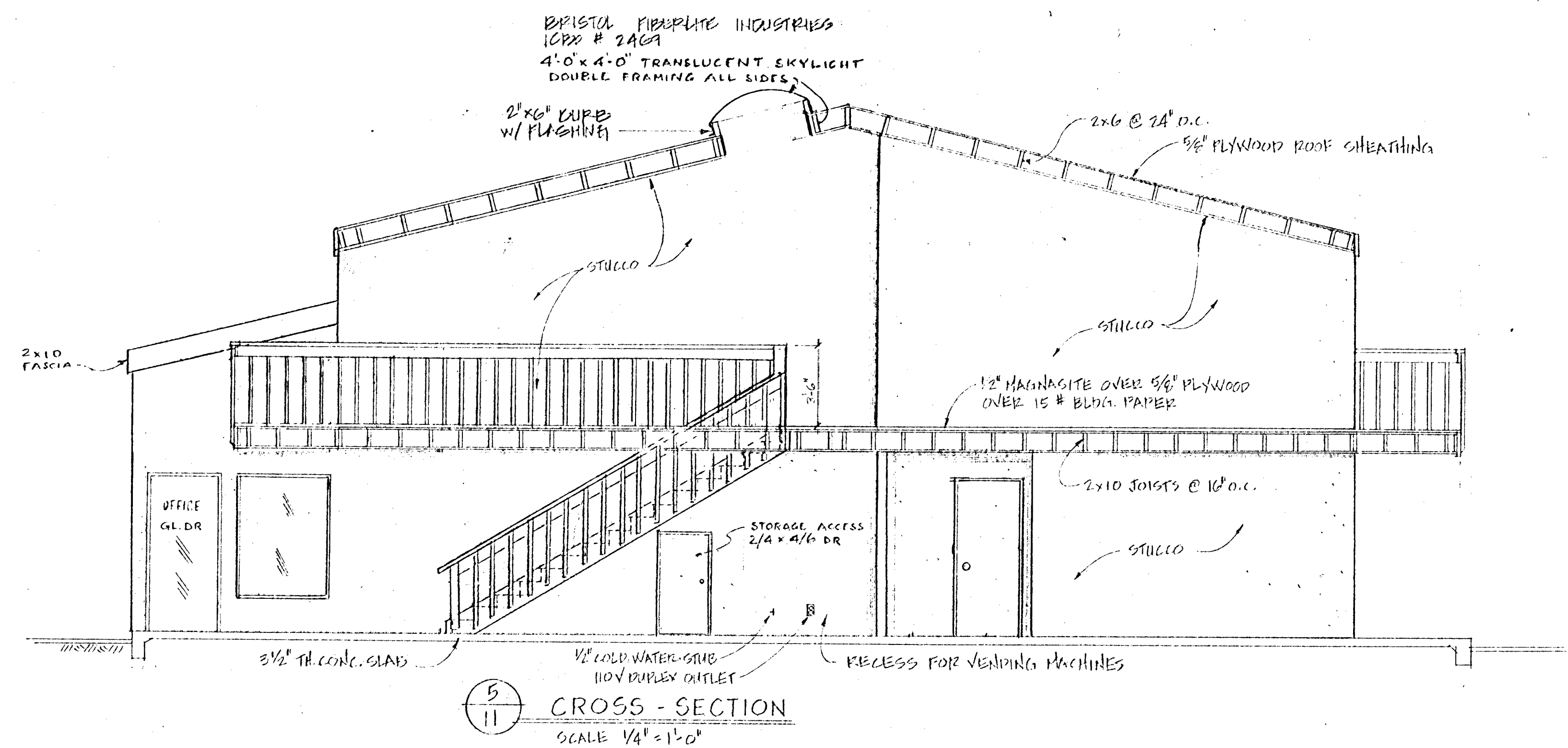
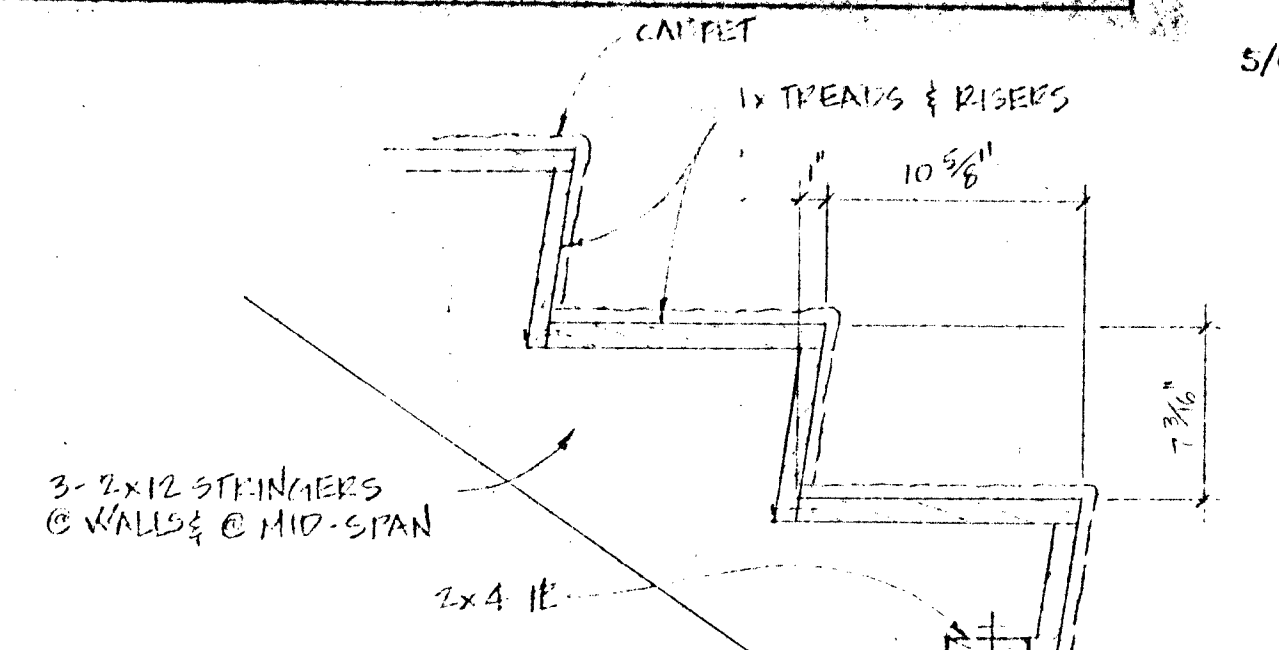
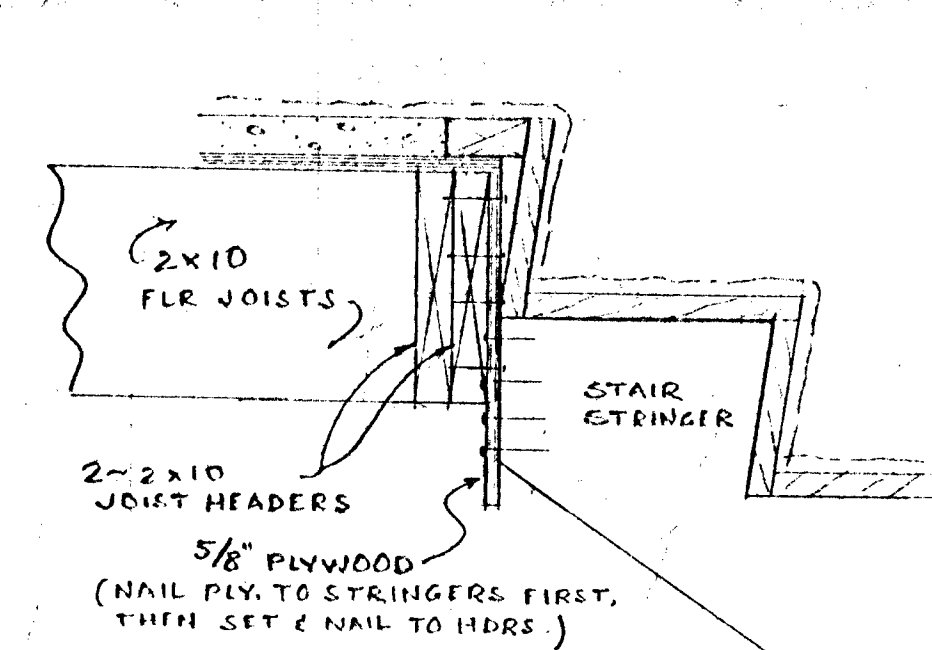
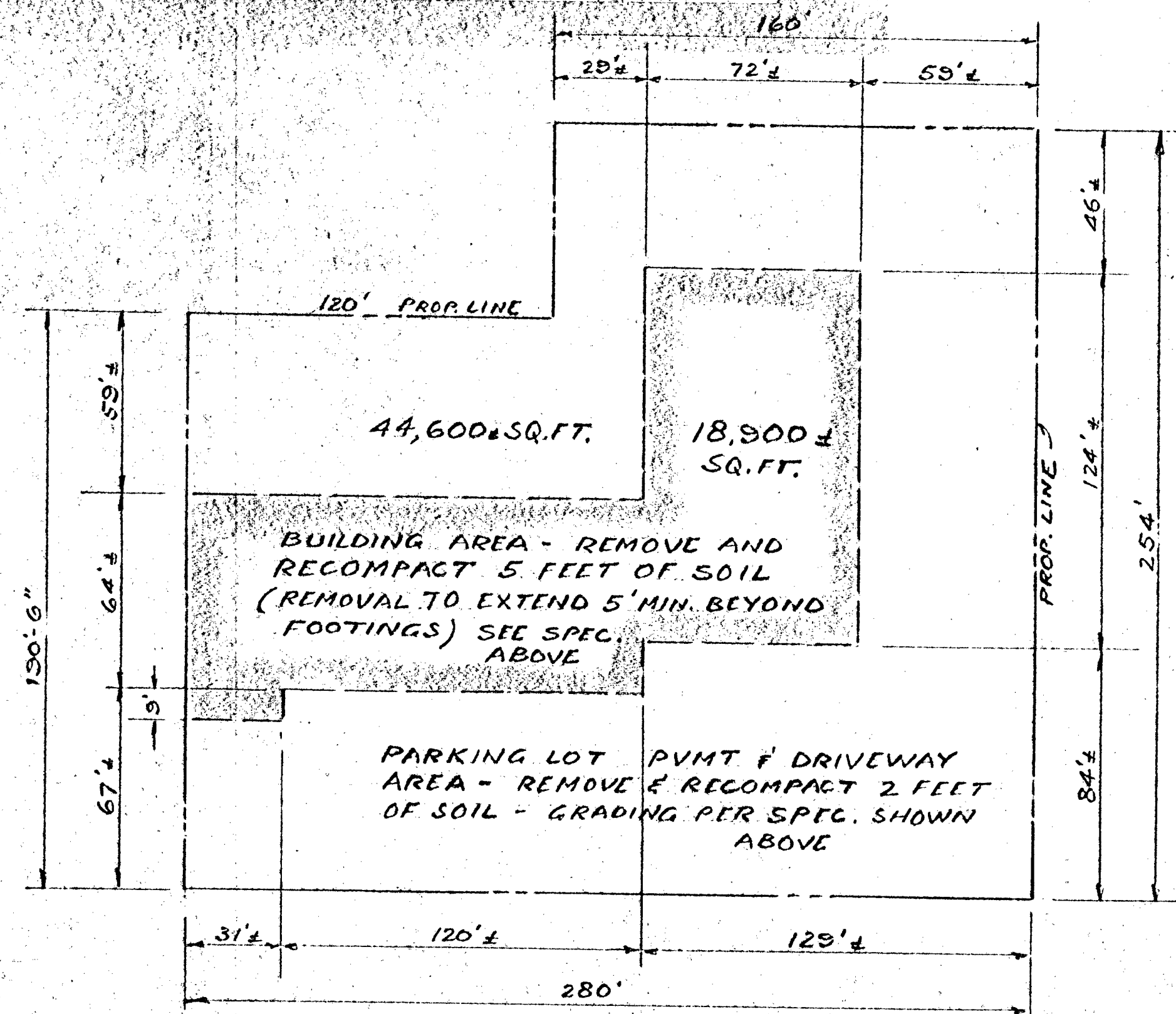
7/9 CROSS SECTION
 1/4" = 1'-0"

DIVISION OF BUILDING AND SAFETY
 Department of Public Safety
 APPROVED
 JUL 6 1983



GENERAL SPECIFICATIONS FOR SITE GRADING AND EXCAVATIONS

1. All existing fill, near surface soft soils, vegetation, debris, and disturbed soils in structure, slab, or pavement areas shall be excavated. The excavated areas shall be observed by the Soil Engineer.
2. Areas to receive compacted fill shall be scarified to a depth of at least six inches and moistened, as required, to obtain optimum moisture. The scarified areas shall be compacted to 90% of the maximum laboratory density, as determined by the ASTM D 1557-70 compaction method.
3. Loose pockets of soils below the proposed bottoms of excavation planes shall be excavated and recompacted. The excavated areas shall be inspected and approved by the soils engineer prior to placing controlled compacted fill.
4. Fill, consisting of soil approved by the Soil Engineer, shall be placed in controlled layers with approved compaction equipment. Each layer shall be compacted to at least 90% of the maximum laboratory density for the material used. The field density shall be determined by the ASTM 1556-64 method or equivalent.
5. The excavated, on-site clean fill material is considered satisfactory for reuse in the controlled fill. All imported fill shall be nonexpansive and approved by the Soil Engineer prior to use in controlled fill areas. Rocks larger than six inches in diameter shall not be used, unless they are sufficiently broken down.
6. Observation and field tests shall be carried on during grading by the Soil Engineer to assist the contractor in obtaining the required degree of compaction and the proper moisture content. Where compaction of less than 90% is indicated, additional compactive effort shall be made with adjustment of the moisture content as necessary until 90% compaction is obtained.



DIVISION OF BUILDING AND SAFETY
Department of County Engineer
APPROVED
UNDER LICENSE NO. 2225 N.S.
BY: [Signature]
JUL 6 1983

This set of plans and specifications MUST be kept on the job at all times and if it is altered in any way, changes or alterations, or same without written permission from the Division of Building and Safety, County of Los Angeles. The changing of this plan and specifications SHALL NOT be held in permit or be an approval of the violation of any provisions of any County Ordinance or State Law.



DRAFTING AND DESIGN BY 1810 SUMNER AVENUE
ARTESIA, CALIFORNIA, 90701
KEULEN & NYE (310) 885-2300
COMMERCIAL AND RESIDENTIAL PHONE (310) 885-4100

62 UNIT MOTEL
MANAGER, ELEVATION & FRAMING

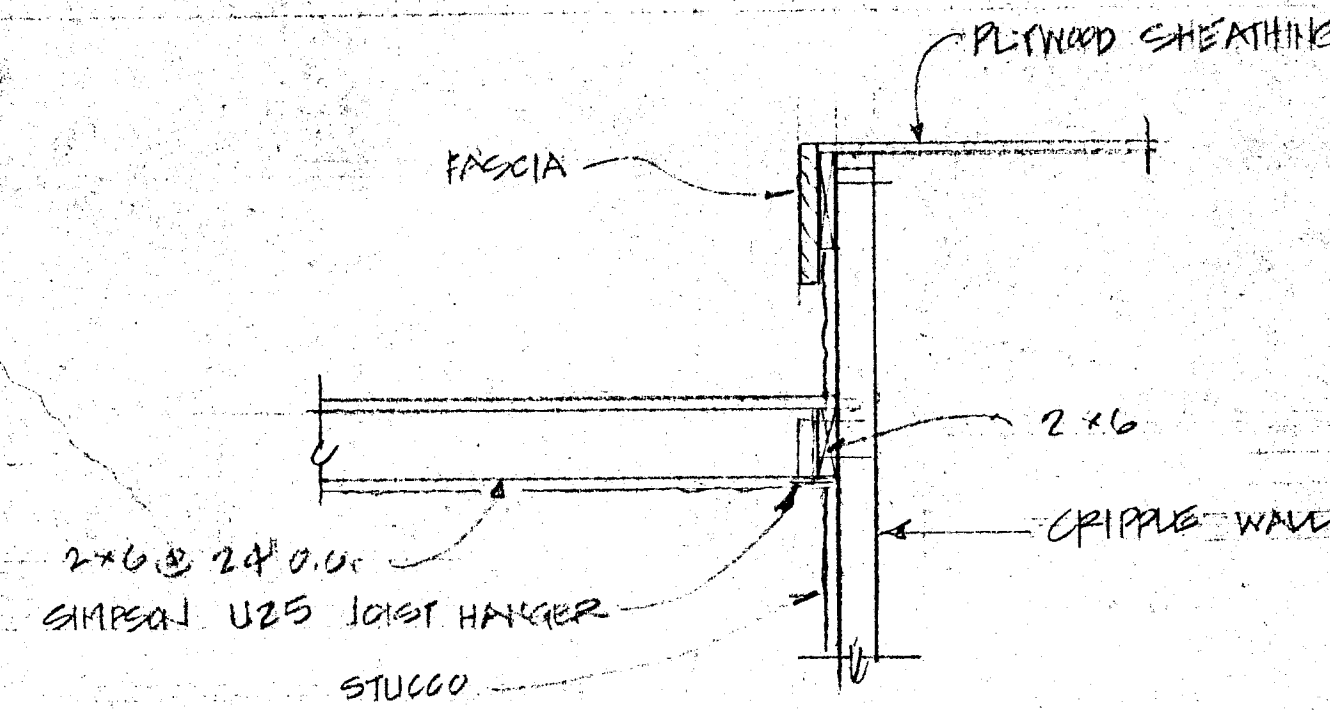
REVISION
12-28-82
JCK

DRAWN/DATE
JDM & JCK
AUG. '80

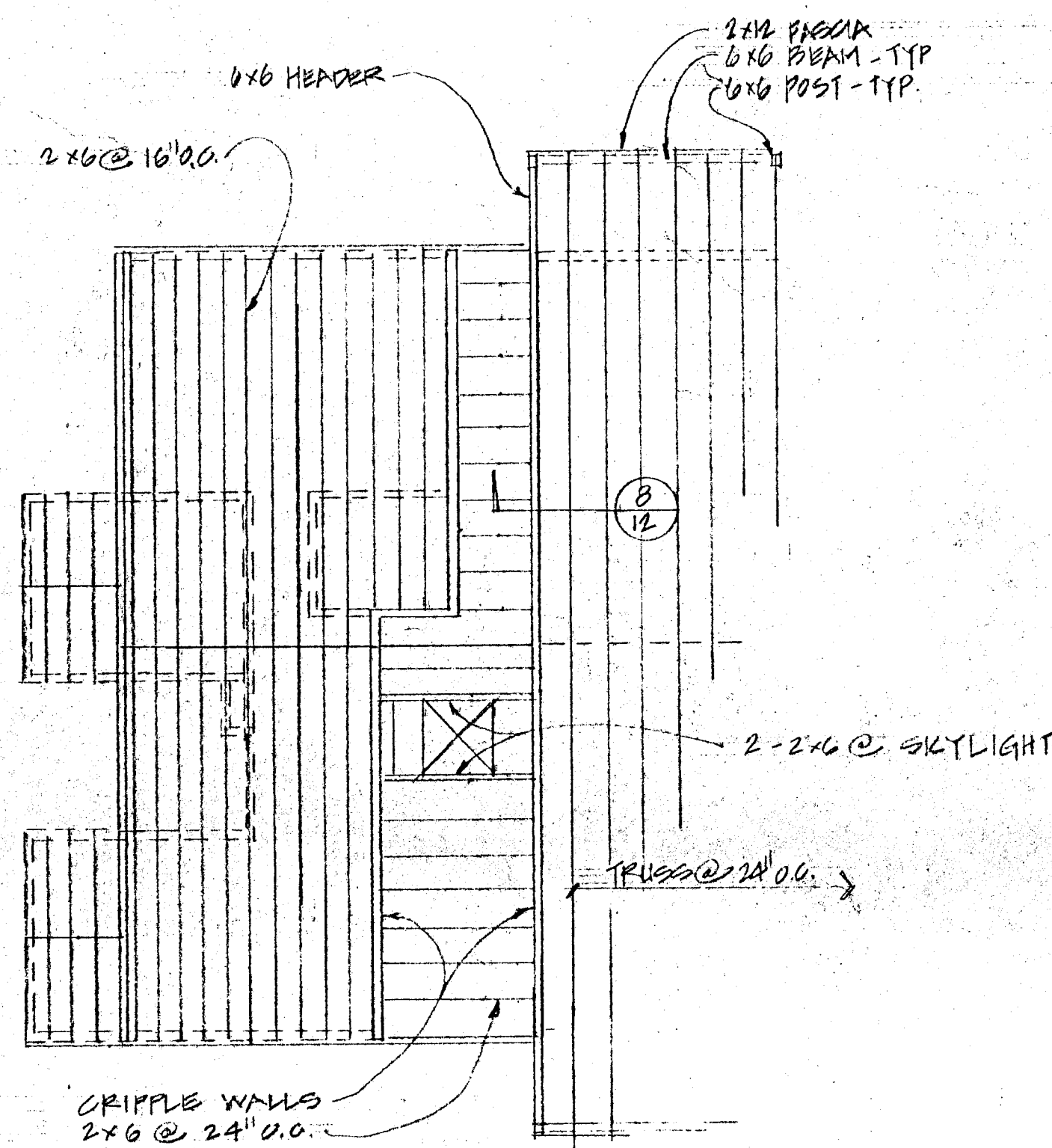
DRAWING
K-155
SHEET
A-11 OF 14

1. SIZE AND BTU/ELECT. RATING FOR UNIT
2. COMPARTMENT DIMENSIONS SHALL HAVE 3" MIN. CLEARANCE ON SIDES AND BACK 6" MIN. CLEAR. FROM FRONT OF EQUIP. TO COMBUSTION AIR INTAKE
3. AREA OF COMBUSTION AIR OPENINGS OF 1 SQ IN PER 1000 BTU (100 SQ IN MIN.) / 2 SQ IN PER 1000 BTU (200 SQ IN MIN.) IS REQUIRED INTO COMPARTMENT, HALF THE AREA WITHIN 12 INCHES OF CEILING AND HALF WITHIN 12 INCHES OF FLOOR
4. COMBUSTION AIR FROM ATTIC THROUGH 26 GA. GALV STEEL SLEEVE EXTENDING 6 INCHES MIN. ABOVE CEILING JOISTS AND NOT SCREENED. ATTIC TO HAVE ADEQUATE OPENINGS
5. COMBUSTION AIR FROM OUTSIDE TO COMPARTMENT WITH 14" SCREEN AT OUTSIDE OPENING
6. SEPARATE DUCTS FOR UPPER & LOWER COMBUSTION AIR SUPPLY OPENINGS
7. CIRCULATING AIR SUPPLY OPENING OR DUCT OF 2 SQ IN PER 1000 BTU IS REQ.

1. SCUTTLE 30x30" NOT OVER 20 FT FROM EQUIP.
2. UNOBSTRUCTED PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM SCUTTLE TO EQUIP. AND ITS CONTROLS
3. UNOBSTRUCTED WORK SPACE OF 30" MIN DEPTH IN FRONT OF EQUIP.
4. LIGHT OVER EQUIPMENT WITH SWITCH AT SCUTTLE
5. CIRCULATING AIR SUPPLY OPENING OR DUCT OF 2 SQ IN PER 1000 BTU IS REQUIRED
6. VENT THROUGH ROOF A MIN. OF 5 FT ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES.
7. A FRAMING SECTION THROUGH COMPARTMENT/APPLIANCE SPACE IN ATTIC/UNDER FLOOR
8. FOR OPEN TOP BOILER UNIT SHOW DETAILS OF MECHANICAL EXHAUST SYSTEM/DUCT/HOOD/HOVR SHAFT WHEN PENETRATING CEILING OF FLOOR
9. CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO 14" WITH 2 ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION REDUCE THIS LENGTH BY 2 FT. FOR EVERY ELBOW IN EXCESS OF 2.



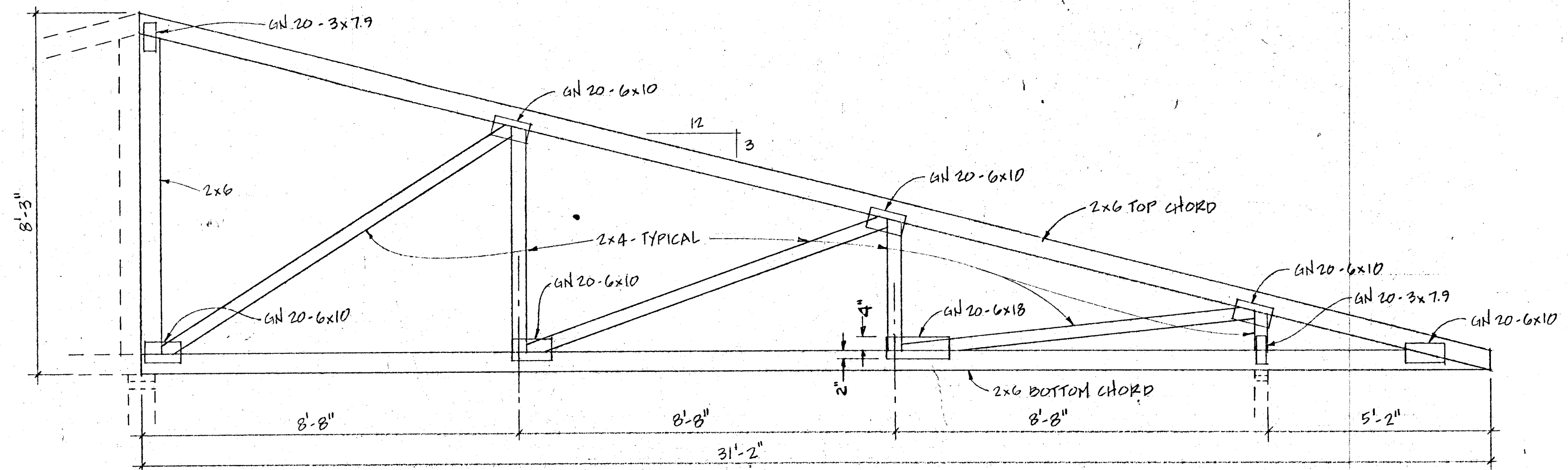
8/12
3/4" = 1'-0"



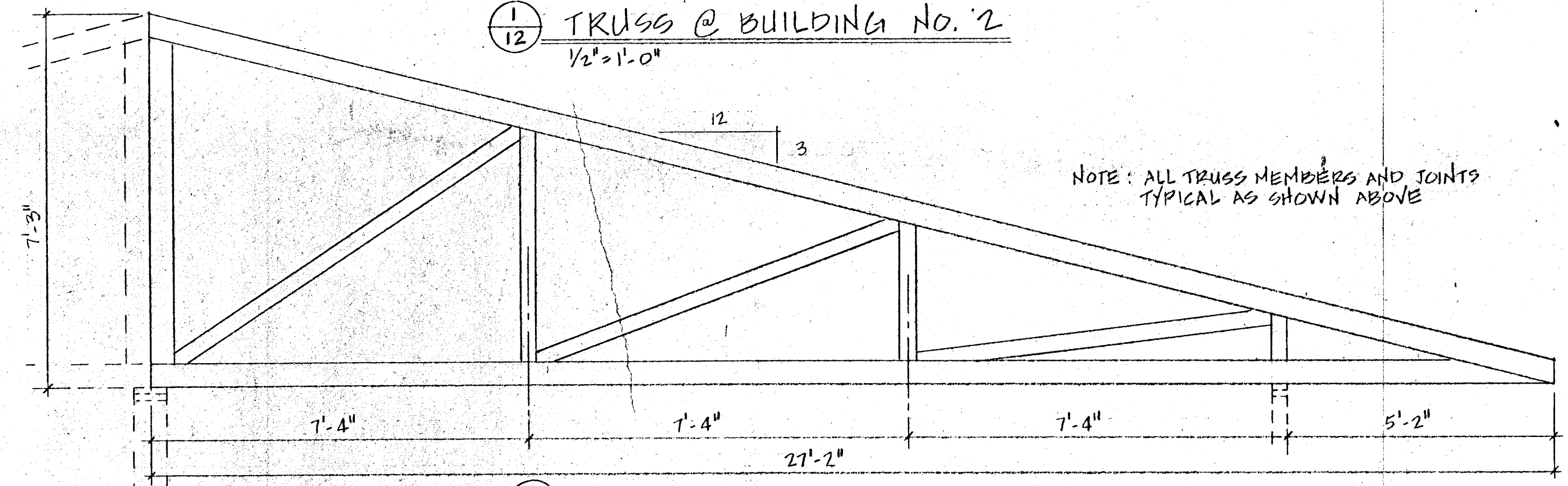
7/12
1/8" = 1'-0"

NOTE!

ROOF TRUSSES SHALL BE MANUFACTURED BY AN APPROVED MANUFACTURER OR SPECIAL INSPECTION WILL BE REQUIRED FOR FABRICATION. SUBMIT MANUFACTURER'S REFERENCE CATALOG OR SIMILAR MATERIAL FOR GANGL NAIL CONNECTORS.

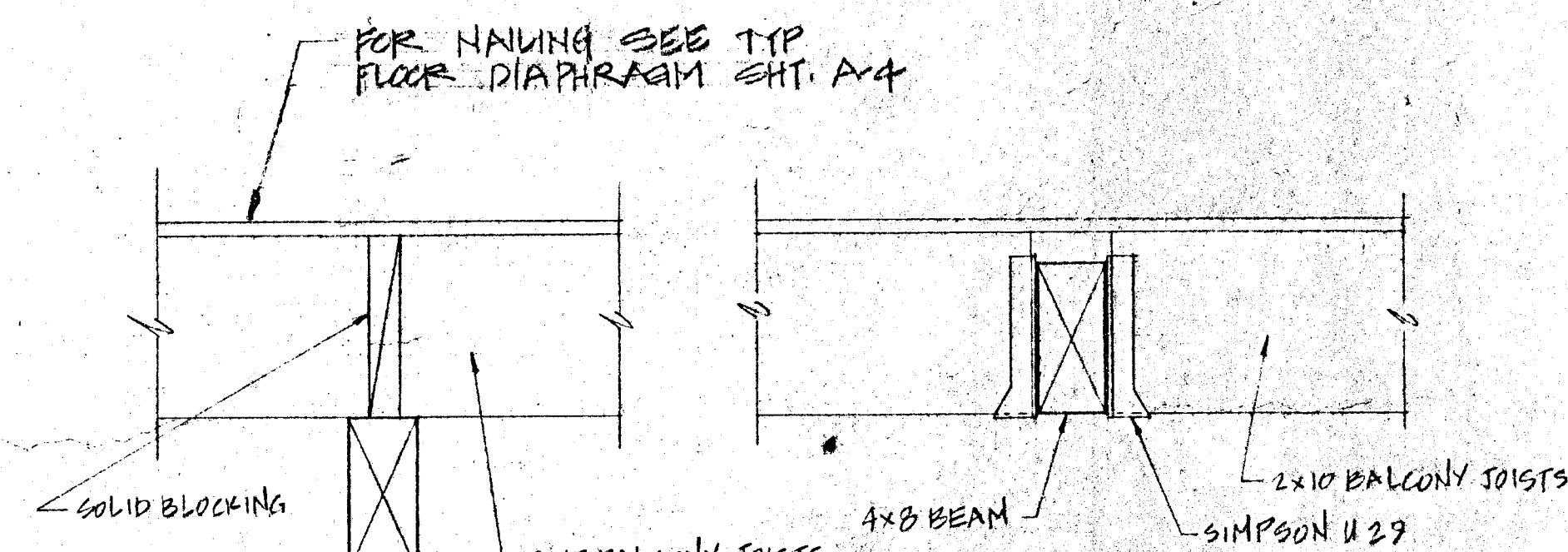


1/12 TRUSS @ BUILDING NO. 2
1/2" = 1'-0"

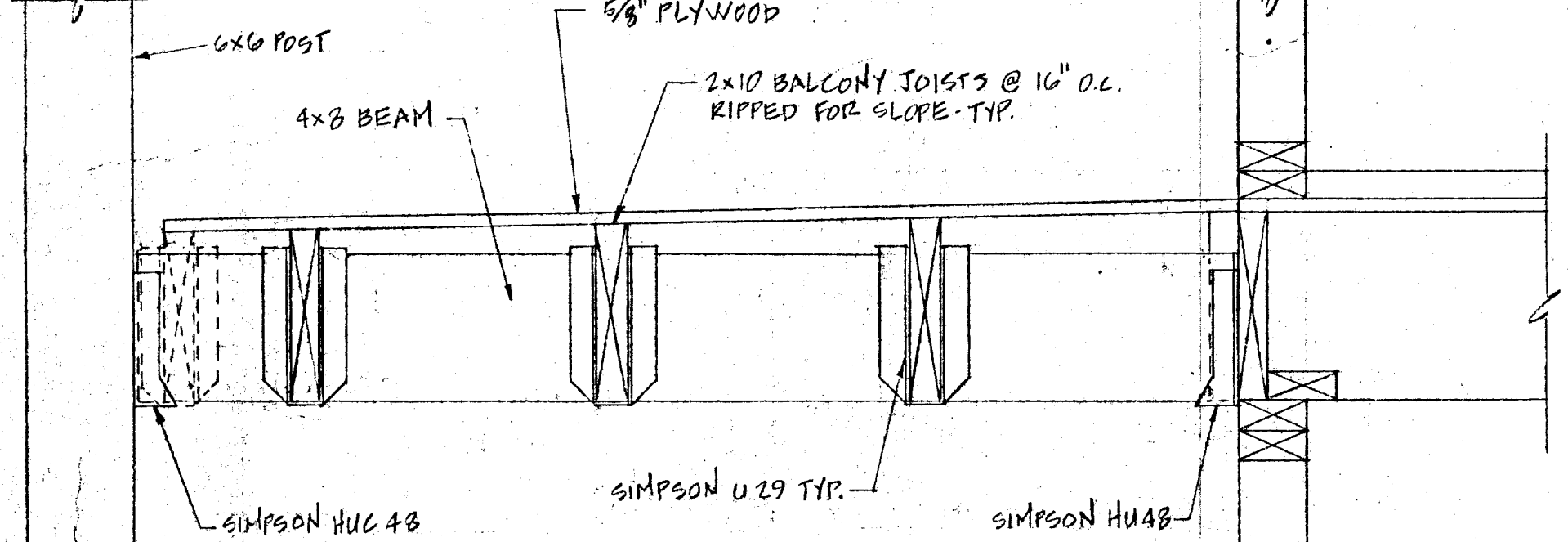


2/12 TRUSS @ BUILDING NO. 1
1/2" = 1'-0"

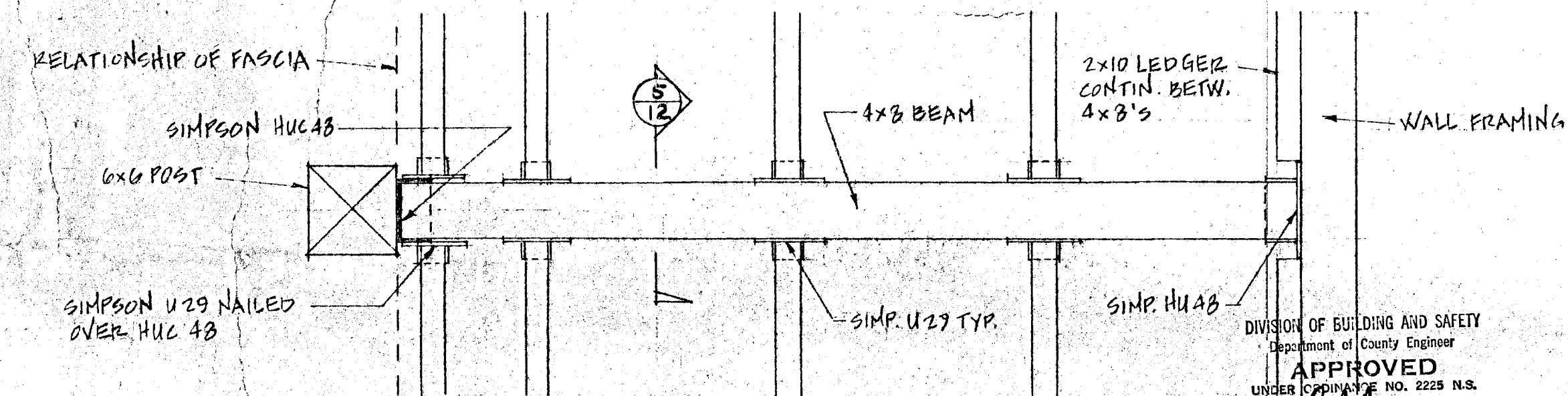
NOTE: ALL TRUSS MEMBERS AND JOINTS TYPICAL AS SHOWN ABOVE



6/12 TYPICAL END BALCONY BEAM
1/2" = 1'-0"



3/12 FRAMING SECTION @ BALCONY BEAM
1/2" = 1'-0"



4/12 FRAMING PLAN @ BALCONY BEAM
1/2" = 1'-0"

DIVISION OF BUILDING AND SAFETY
Department of County Engineer
APPROVED
UNDER AUTHORITY OF NO. 2229 N.S.
BY: [Signature]
JUL 6 1983

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS OR OMISSIONS WITHOUT WRITTEN PERMISSION FROM THE DIVISION OF BUILDING AND SAFETY, COUNTY OF LOS ANGELES. THE SIGNATURE OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE VALID OR PERMITTED TO BE IN ANY MANNER WITHOUT THE APPROVAL OF THE DIVISION OF BUILDING AND SAFETY, COUNTY OF LOS ANGELES.



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1981A SUMNER AUBURN
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KEULEN & NYE
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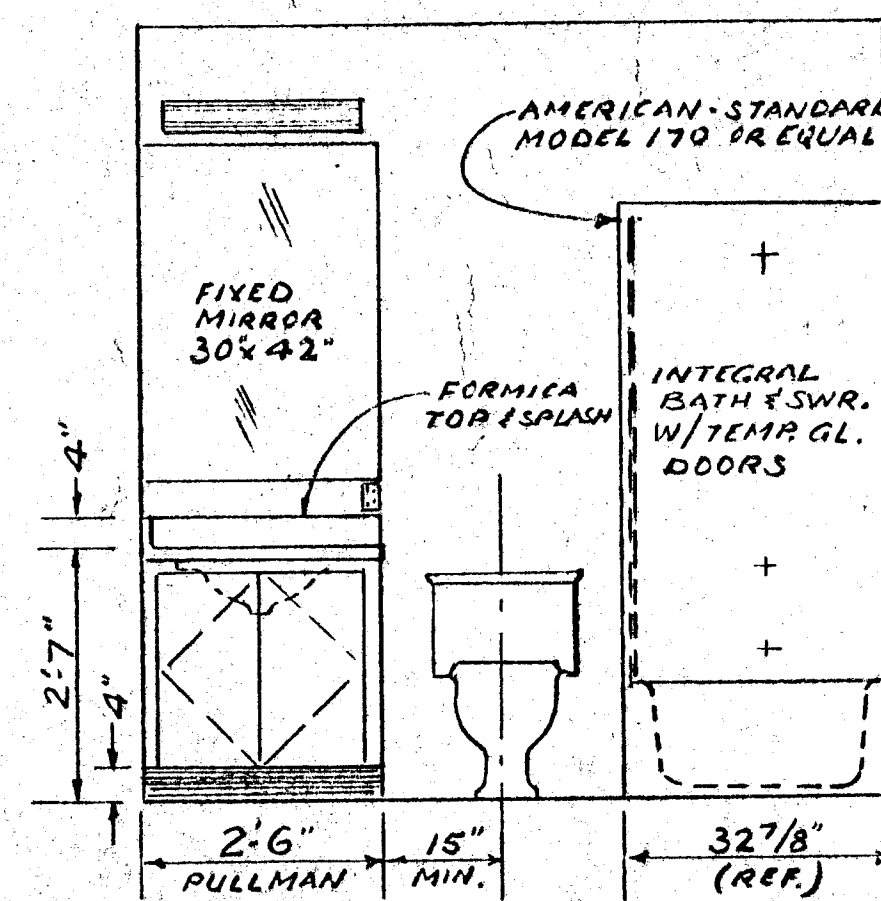
62 UNIT MOTEL
FRAMING DETAILS

REVISION

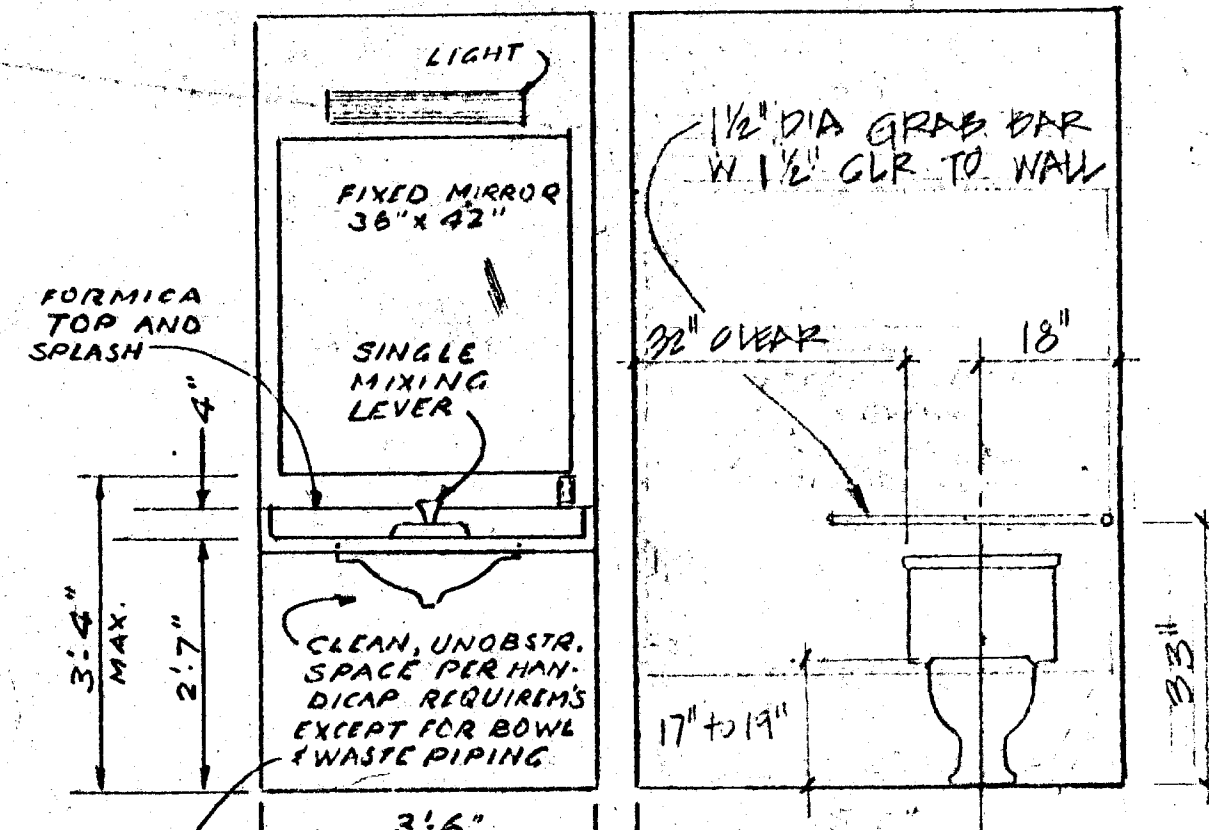
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K-155

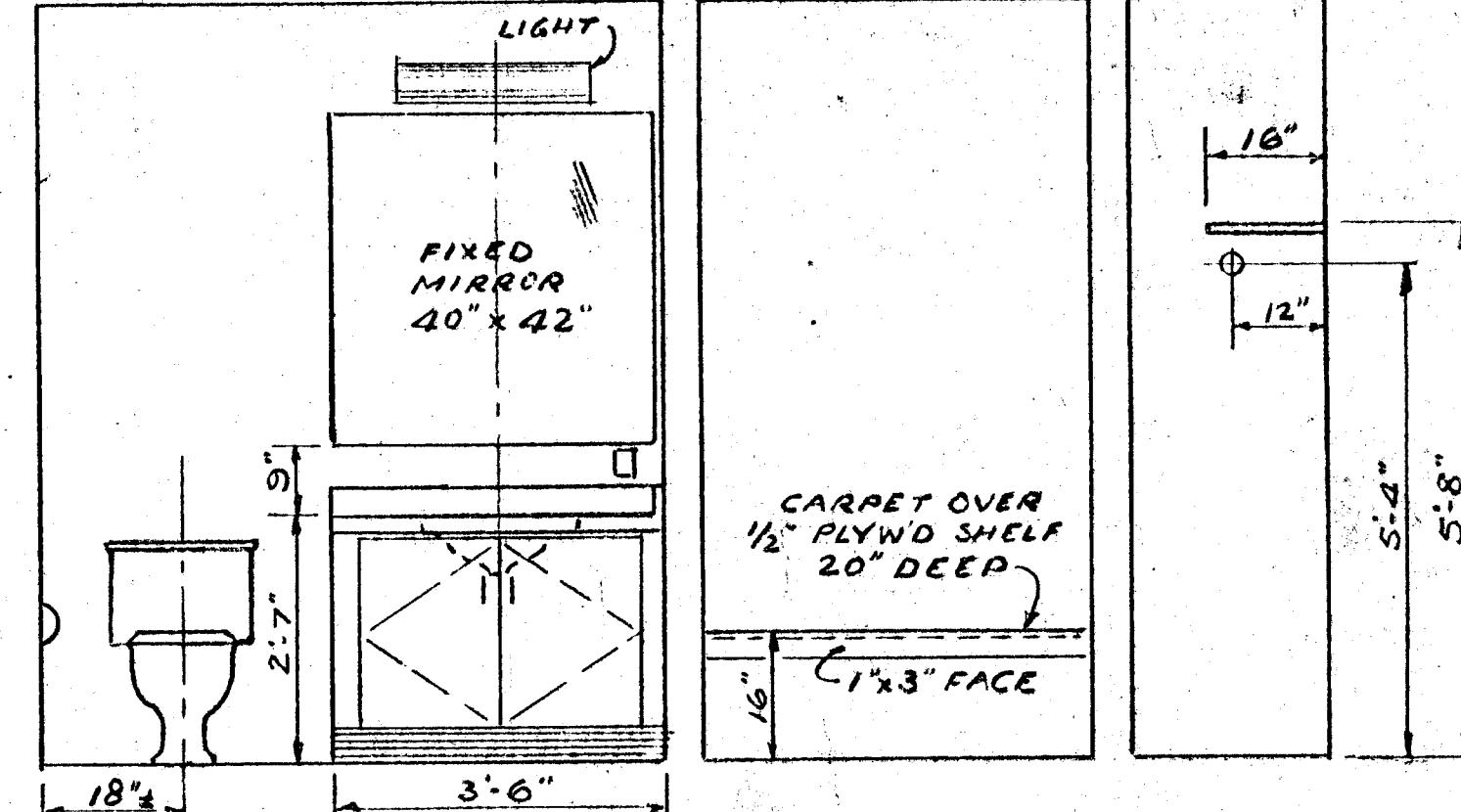
SHEET
A-12 OF 14



BATH
BLDG #1-UNIT "A"



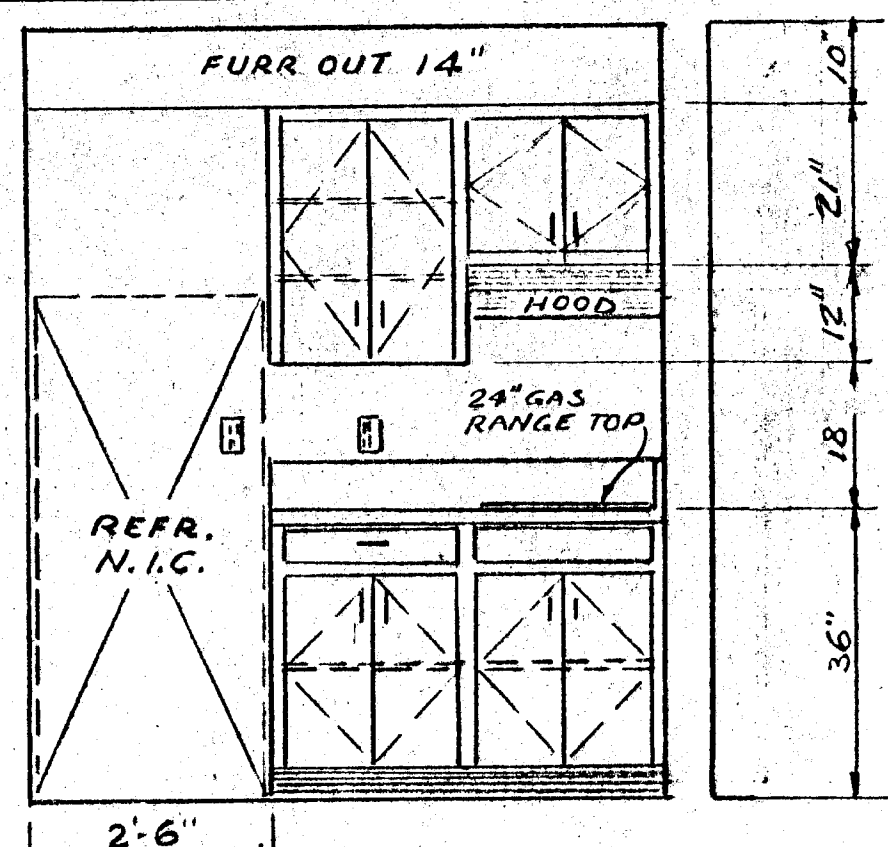
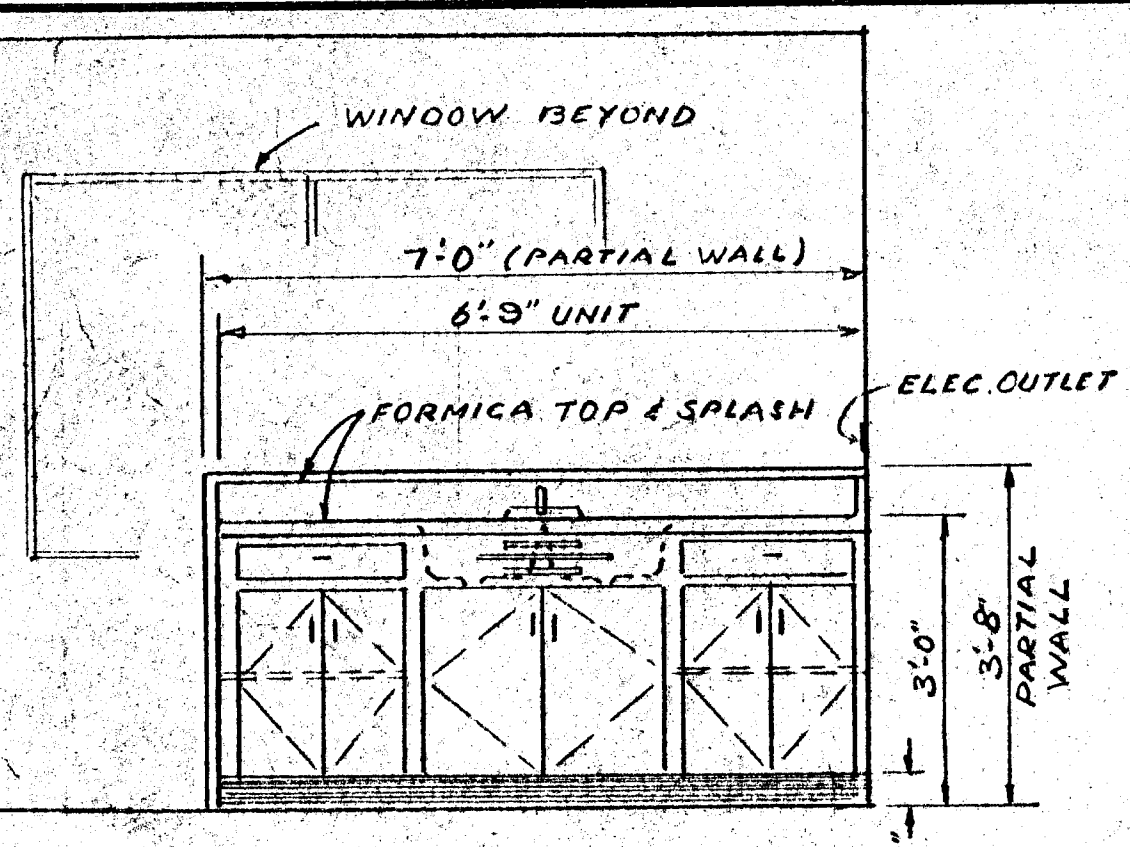
BATH
BLDG #1-UNIT "B" &
BLDG #2-UNIT "D"



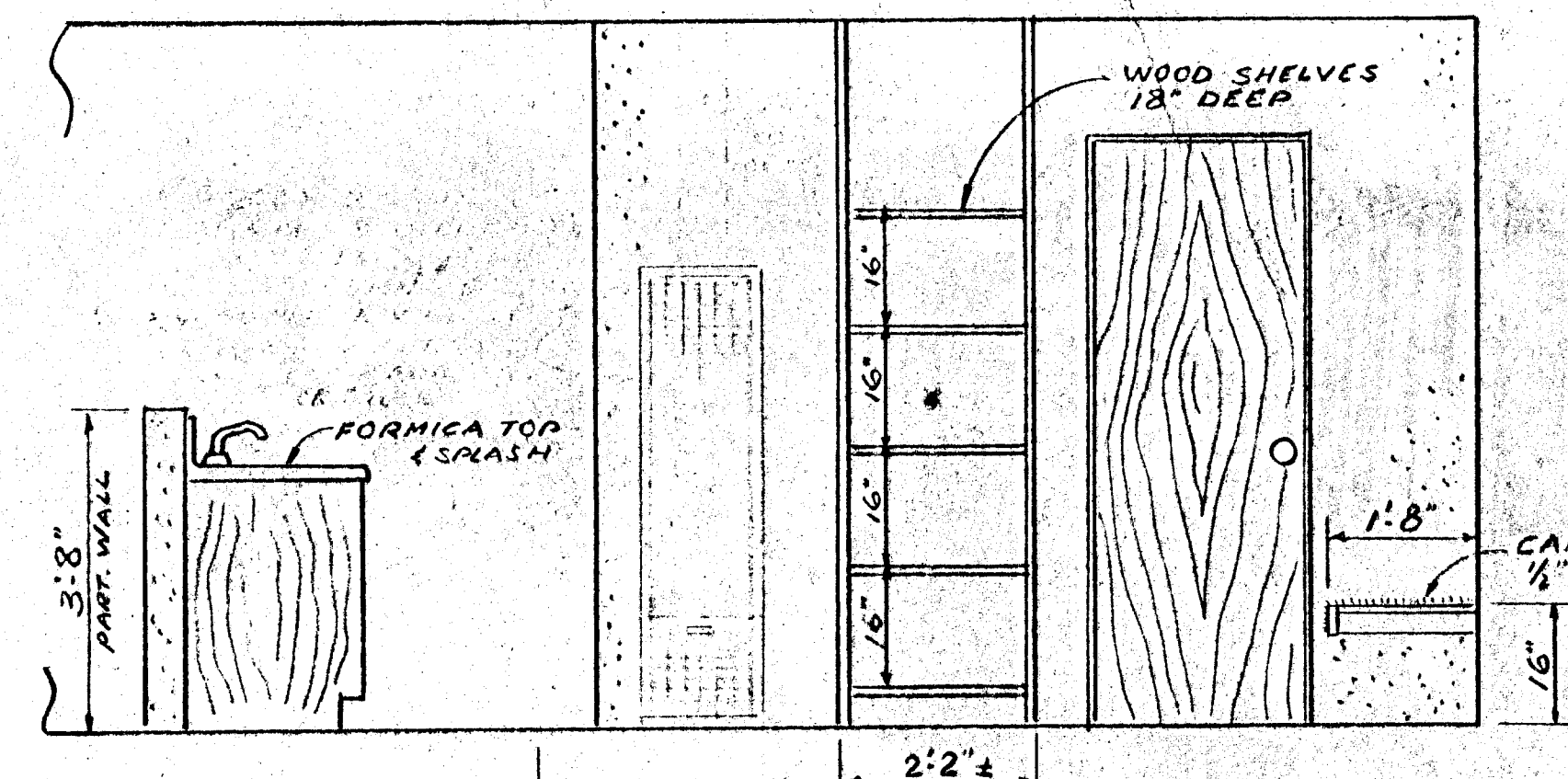
BATH & LUGGAGE AREA
BLDG #2-UNIT "C" & "E"

HANDICAPPED SIGNS:
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED PERSONS:
2. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND.
3. CONTRACTED GRADE BRAILLE SHALL BE USED WHERE BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. IT SHALL BE 0.1 INCH ON CENTERS IN EACH CELL WITH 0.2 INCH BETWEEN CELLS. PITS SHALL BE RAISED A MINIMUM OF 0.025 INCH ABOVE THE BACKGROUND.
4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.
5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

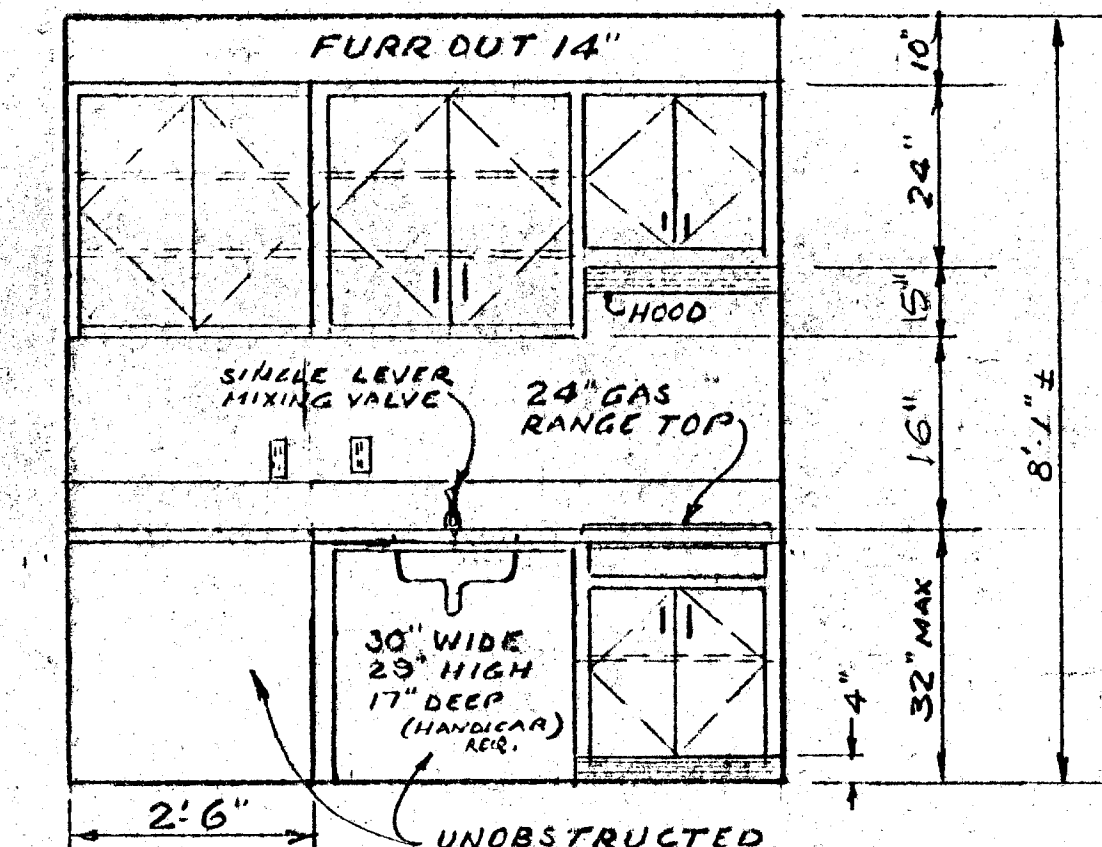
6) WHEN RAISED OR RECESSED CHARACTERS OR SYMBOLS ARE USED, THEY SHALL CONFORM TO THE FOLLOWING:
1) LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR RECESSED 1/8 INCH MINIMUM AND SHALL BE SPAN SET-CHEM CHARACTERS.
2) RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8 INCH HIGH. RECESSED CHARACTERS OR SYMBOLS SHALL HAVE A 3/4 INCH MINIMUM STROKE WIDTH.
3) ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.



KITCHENETTE DETAILS
BLDG #2-UNIT "C"

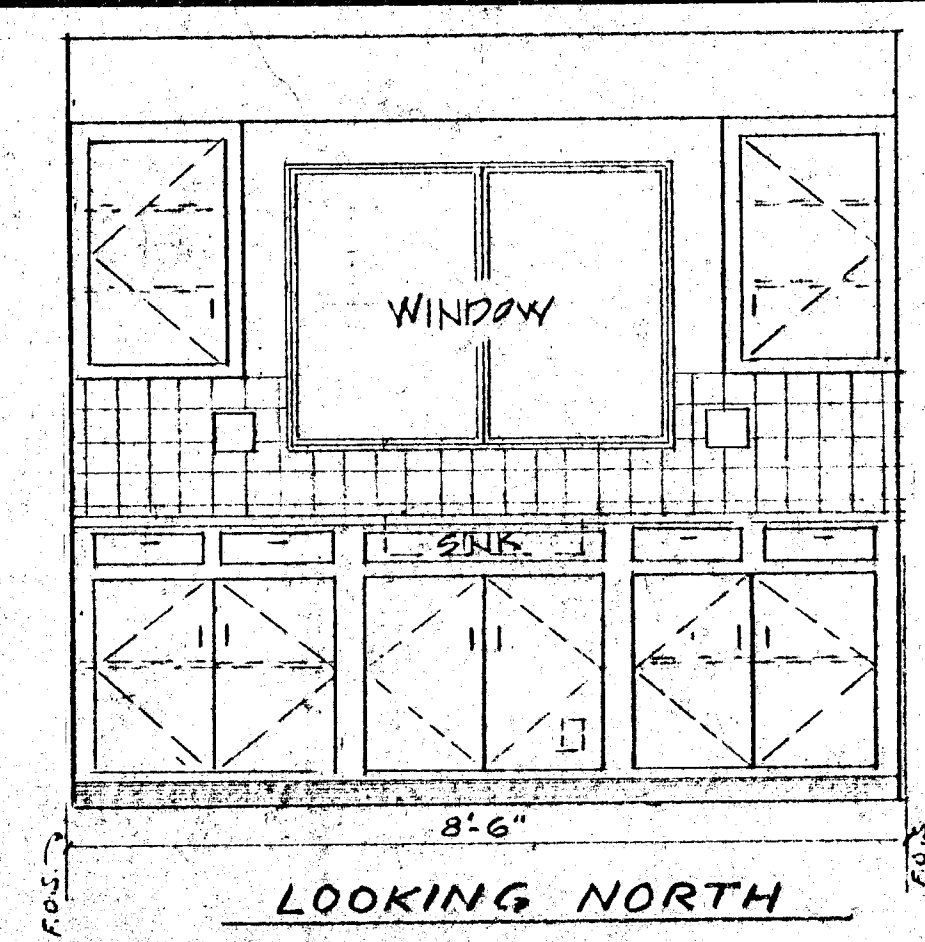


THIS DETAIL APPLICABLE
UNITS "C" & "E"

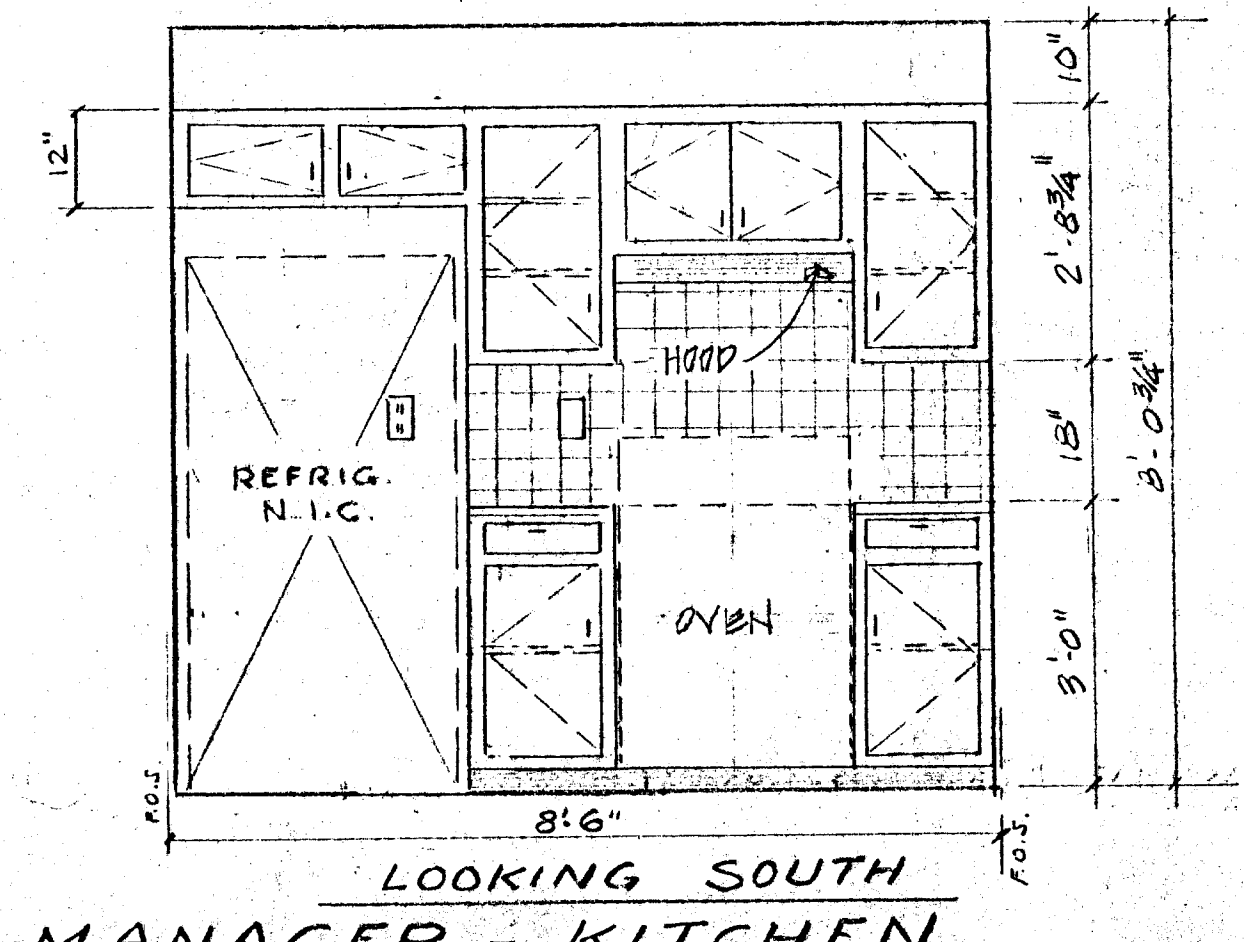


KITCHENETTE
BLDG #2-UNIT "D"

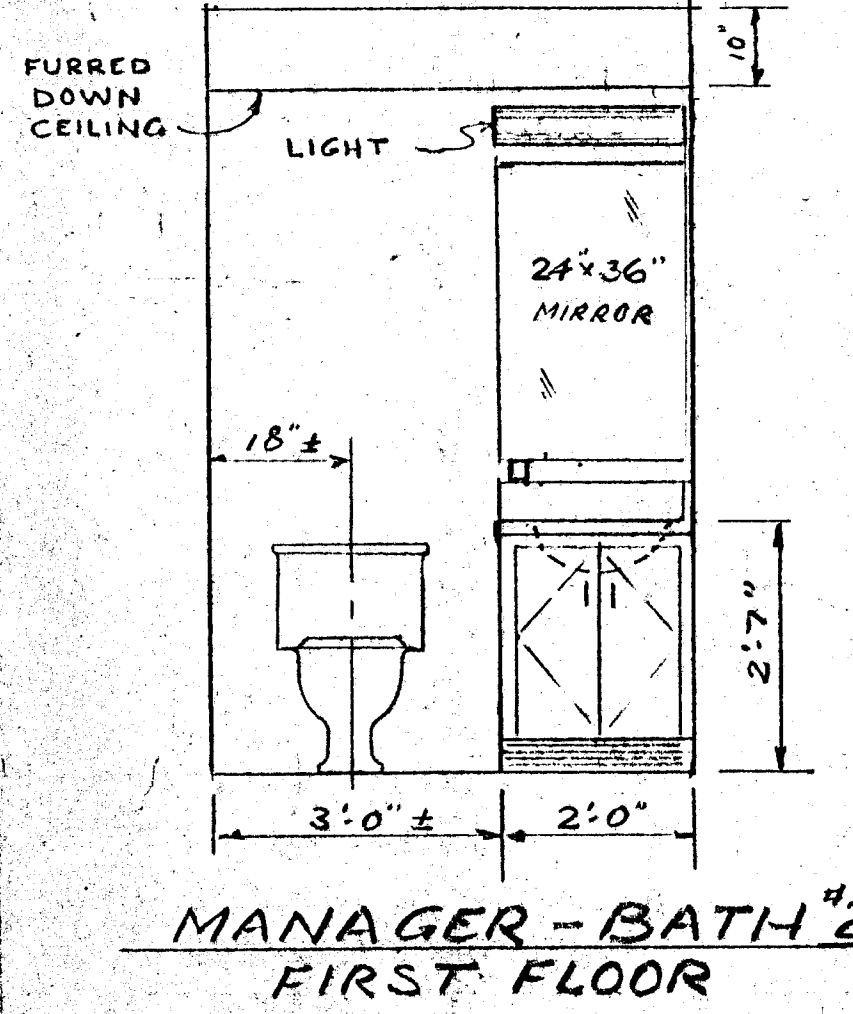
ALL INTERIOR
ELEVATIONS
AT SCALE OF
1/2" = 1'-0"



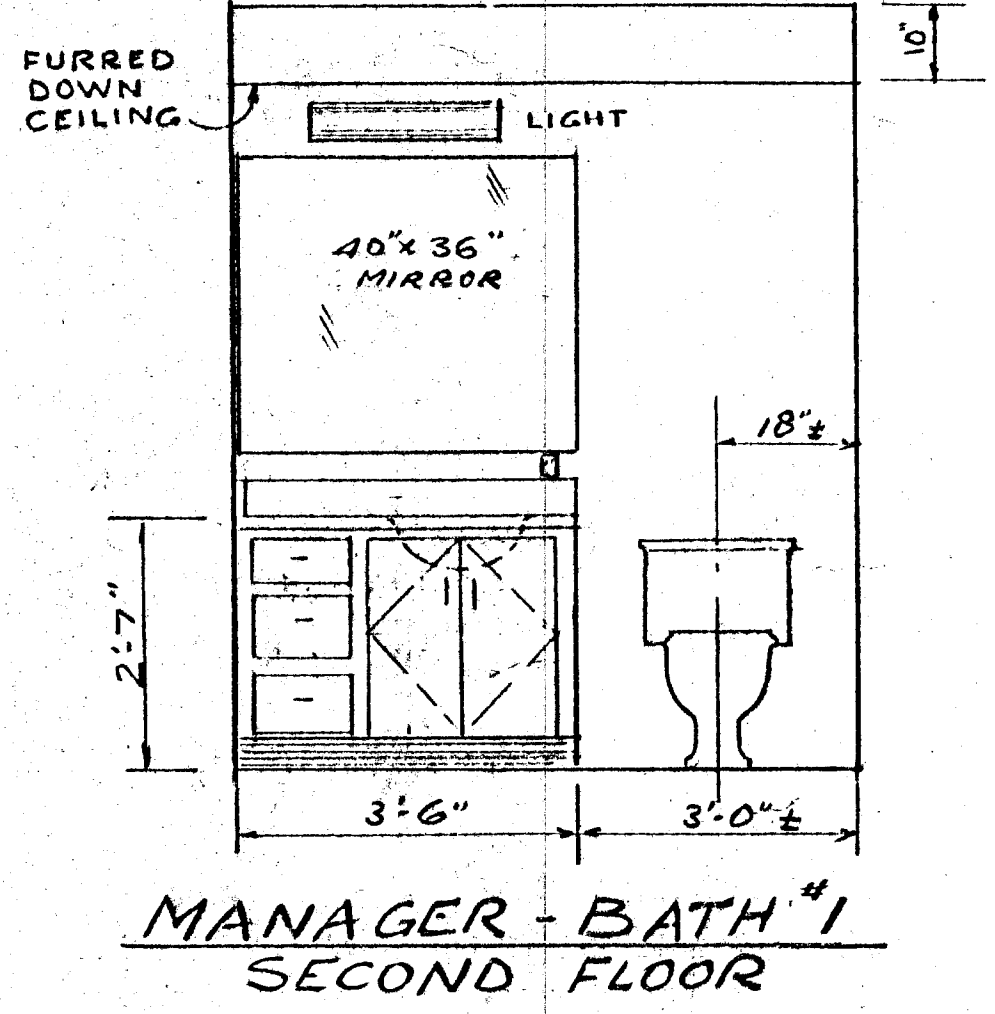
LOOKING NORTH



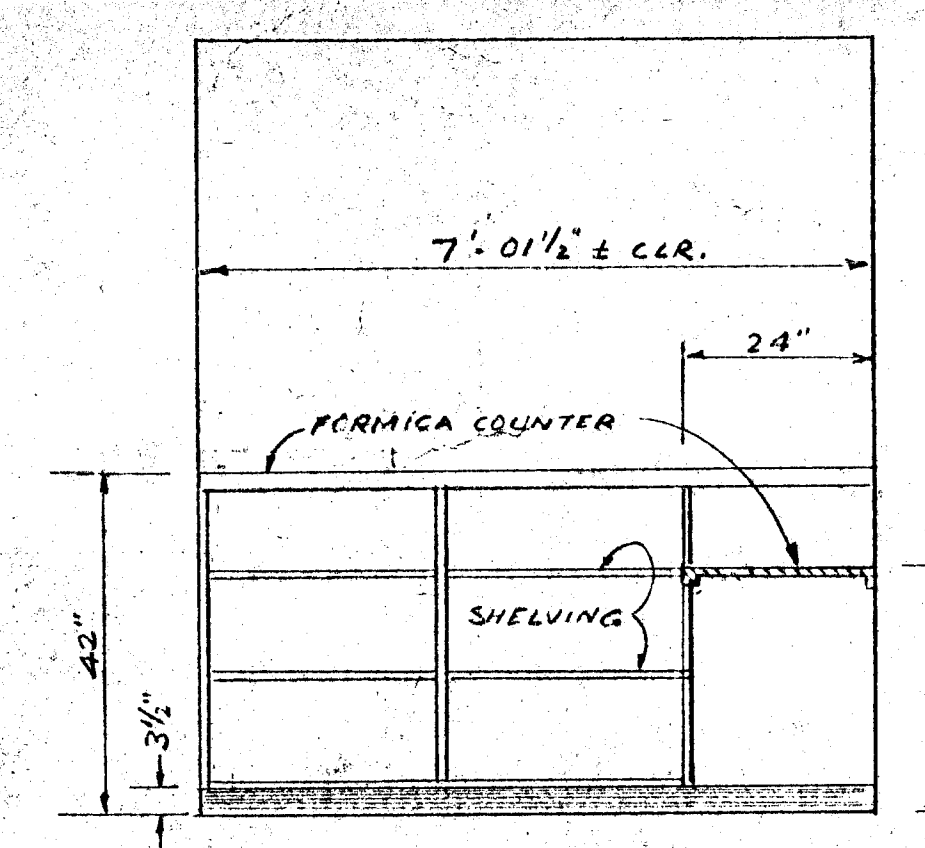
LOOKING SOUTH
MANAGER - KITCHEN



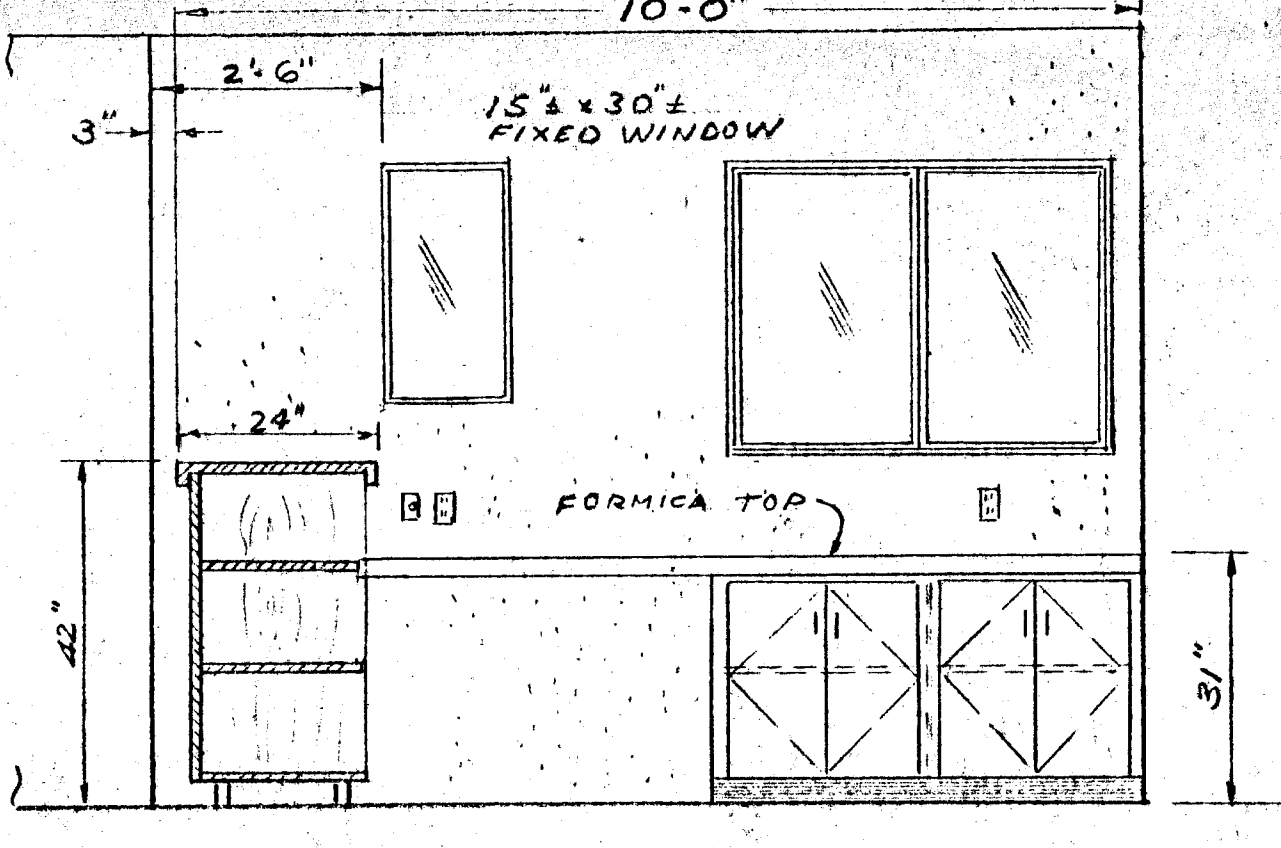
MANAGER - BATH #2
FIRST FLOOR



MANAGER - BATH #1
SECOND FLOOR



LOOKING SOUTH

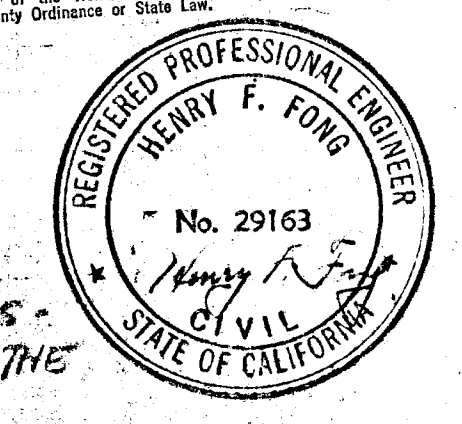


LOOKING WEST

MANAGER - OFFICE

HANDICAPPED PARKING
1. EACH HANDICAPPED PARKING SPACE SHALL BE IDENTIFIED BY A 70-94 IN. REFLECTORIZED SIGN CONSTRUCTED OF PORCELAIN ON STEEL, BEADED TEXT, WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. IT IS TO BE CENTERED ON THE STALL 50 IN. HIGH.
2. THE SURFACE OF EACH PARKING STALL SHALL HAVE THE SYMBOL OF ACCESSIBILITY IN BLUE PAINT, 3 FEET SQ.
3. POST A SIGN AT EACH ENTRANCE TO THE OFF-STREET PARKING, 17 IN. BY 22 IN., WITH LETTERING ONE INCH IN HEIGHT WHICH CLEARLY STATES:
"UNAUTHORIZED VEHICLES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY HANDICAPPED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE."
DOORS (HANDICAPPED UNITS)
1. DOOR HARDWARE SHALL BE MOUNTED 30 TO 44" ABOVE FLOOR AND BE SARGENT 8100 SERIES LINE "LNE" OR EQUAL.
2. THE BOTTOM 10" OF DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
3. MAX. HEIGHT OF THRESHOLD TO BE 1/2" MAX. VERT. CHANGE AT EDGE 1/4" WITH MAX. BEVEL OF 45°

CURB RAMPS
1. CURB RAMPS TO BE 4 FEET WIDE.
2. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERT. TO 12 HOR., THE SLOPE OF FLARED SIDES SHALL NOT EXCEED 1 VERT. TO 8 HOR.
3. THE LOWER END OF CURB RAMP SHALL HAVE A 1/2" LIP BEVELED AT 45°.
4. THE SURFACE OF RAMPS AND APPROVED SHALL BE SLIP RESISTANT.
5. THE SURFACE SHALL BE OF CONTRASTING FINISH FROM THAT OF ADJACENT SIDEWALK.
6. PROVIDE HERRINGBONE PATTERN 1/2" DEEP BY 1/4" WIDE, 1 1/2" APART IN CENTER LOCATED IN MIDDLE OF CURB RETURN.
7. PROVIDE A GROOVED BORDER 1/2" WIDE (3/4" ON CENTER) AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE.
8. PROVIDE A GROOVED BORDER AT THE LEVEL SURFACE OF SIDEWALK FOR CURB RAMPS CONTIGUOUS BETWEEN THE FACE OF THE CURB AND THE STREET.



DRAFTING AND DESIGN BY
K. KULEN S. N.Y.E
COMMERCIAL AND RESIDENTIAL

62 UNIT MOTEL
INTERIOR ELEVATIONS

REVISION
REV. 12-15-82
J.G.K.
DRAWN/DATE
J.G.K.
JULY '80
DRAWING
K-155
SHEET
A-13 OF 14

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS ON JOB SITE. DIMENSIONS HAVE PREFERENCE OVER SCALE.
- ALL WORK & MATERIAL PER UNIFORM BUILDING CODE 1982 & LOCAL ORDINANCE OF COUNTY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY.
- SEE PLOT PLAN - SHEET 1 FOR USE ZONE AND FIRE REQUIREMENTS.

FRAMING AND NAILING

- HORIZONTAL FRAMING LUMBER SHALL BE #1 DOUGLAS FIR.
- VERTICAL FRAMING LUMBER SHALL BE #2 COMMON OR BETTER DOUGLAS FIR.
- PROVIDE A 15# BUILDING FELT UNDER ALL EXTERIOR WALL COVERINGS.
- FLASH ALL EXTERIOR OPENINGS WITH AN APPROVED FLASHING PER U.B.C. SECT. 1707.
- PROVIDE 1"x6" LET-IN BRACE OR EQUIVALENT PLYWOOD PANEL FOR EVERY 25' LINEAL FEET OF WALL - BRACE SHALL EXTEND FROM PLATE TO PLATE - SEE SHEAR DETAILS.
- BRIDGE OR BLOCK ALL JOISTS AND RAFTERS @ 8'-0" MAX. INTERVAL.
- FIRE BLOCK STUD WALLS AND PARTITIONS AT FLOOR, CEILING, SOFFITS, MID-HEIGHT OF WALLS AND IN STUD SPACES ALONG AND IN LINE WITH STAIR STRINGERS (MANAGER'S UNIT).
- ALL FRAMING NAILING PER U.B.C. SCHEDULE 25-Q SEE SHT A-10.
- 5/8" GYPSUM BOARD NAILING IN NON-SHEAR AREAS (INT. WALLS WITHIN UNITS) NO. 13 GAUGE, 1 5/8" LONG, 3/4" HEAD, 7" MAX. SPACING (TABLE 47-G).
- 3/8" GYPSUM BOARD NAILING AT ALL WALLS EXCEPT INT. WALLS WITHIN UNITS: 6d COOLER NAILS, BLOCKED, 4" MAX. SPACING (TABLE 47-I).
- DOUBLE LAYER 5/8" GYPSUM BOARD NAILING AT 2-HR FIREWALLS: BASE PLY: 6d COOLER NAILS - 3" MAX. SPACING (47-I); FACE PLY: 8d COOLER NAILS - 7" MAX. SPACING (47-I).
- EXPANDED METAL LATH NAILING: 1 1/2" NO. 11 GAUGE, 7/16" HEAD, BARBED - 6" MAX. SPACING (VERT. OR HOR.) OR #16 GAUGE STAPLES WITH 7/8" LEGS.
- PLASTERED SURFACES ON WALLS, CEILING AND ROOF SOFFITS EXPOSED TO THE WEATHER SHALL HAVE EXTERIOR LATH & PLASTER CONFORMING TO U.B.C. SECT. 4706 AND 4708.
- INSPECTION IS REQUIRED FOR ALL INTERIOR AND EXTERIOR IN-PLACE LATH AND/OR WALLBOARD BEFORE ANY PLASTERING IS APPLIED OR ANY JOINTS AND FASTENERS HAVE BEEN TAPED AND FINISHED (UBC SEC. 305, PAR. 4).
- ALL PLYWOOD PANEL & DIAPHRAGM NAILING AS NOTED ON PLANS.

DOORS AND WINDOWS

- ALL EXTERIOR DOORS (EXCEPT SLIDING @ MANAGER'S 2ND FLR) SHALL BE EQUIPPED WITH A DEADBOLT AND A DEAD LOCKING LATCH, BOTH KEY OPERATED FROM THE OUTSIDE. DEADBOLT SHALL HAVE A HARDENED INSERT, 1" MIN. THROW AND 5/8" MIN. EMBEDMENT INTO JAMB.
- ALL WOOD DOORS SHALL BE NOT LESS THAN 1 3/8" THICK.
- ALL EXTERIOR WOOD DOORS SHALL HAVE A SOLID CORE.
- ALL EXTERIOR DOORS & WINDOWS TO BE WEATHERSTRIPPED SEE ENERGY INSULATION REQUIREMENTS (CENTER COLUMN).
- DOOR STOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE-PIECE CONSTRUCTION OR JOINED BY RABBET.
- GLAZING WITHIN 40" INCHES OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED.
- ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTIONS 6706 AND 6707 OF THE L.A. COUNTY BUILDING CODE AND SHALL BEAR "FORCED ENTRY RESISTANT" LABELS.

LIGHTING

- INDOOR LIGHTING AS SHOWN ON PLANS.
- OUTDOOR LIGHTING AS FOLLOWS AND SHOWN ON PLANS: PROVIDE EXT. LIGHT FIXTURE AT 7 FT. HEIGHT ON WALLS BETWEEN ALL UNIT DOORS OR ADJACENT DOORS ON END WALLS.
- PROVIDE LIGHTING AT CORNER EACH BUILDING - FIRST FLR - SEE SHT A-4.
- PROVIDE ONE "EXIT" LIGHT AT EACH CORNER OF 2ND FLR ROOF SOFFIT AS SHOWN SHT. A-5, BUILDING #1 & #2.
- TOTAL 8 REQUIRED.
- PROVIDE AREA LIGHTING BY FOUR 20'-25' HI. LIGHT POLES INSTALLED IN PLANTER BOXES AS SHOWN ON SHT. A-1.
- TWO HIGH PRESSURE SODIUM (MIN. 100W) LIGHT UNITS ON EACH POLE PROPERLY ANGLED PER MANUFACTURER'S INSTRUCTIONS - MASTER SWITCH AT OFFICE.

STATE ENERGY INSULATION REQUIREMENTS

- THERMAL DESIGN STANDARDS FOR CEILINGS AND WALLS TO BE MET AS FOLLOWS:
 - CEILINGS - R-19 OR BETTER (5 1/2" GLASS FIBER INSULATION)
 - EXTERIOR WALLS - R-11 OR BETTER (3 1/2" GLASS FIBER INSULATION)
- INTERIOR WALLS SEPARATING GUEST ROOMS TO BE INSULATED TO R-11 RATING (3 1/2" GLASS FIBER BATTS).
- ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR SHALL BE FULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT INFILTRATION.
- ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDS OF THE 1972 AMERICAN NATIONAL STANDARDS INSTITUTE ASTM E-283-73 WITH A PRESSURE DIFFERENTIAL OF 1.57 LBS/FT² AND SHALL BE CERTIFIED AND LABELED.
- INSULATION COMPLIANCE CARD SHALL BE POSTED AT CONSPICUOUS LOCATION WITHIN BUILDING.

ROOM VENTING & SMOKE DETECTION

- EACH GUEST ROOM, LAUNDRY & STORAGE ROOMS AND MANAGER'S DWELLING SHALL BE PROVIDED WITH AN APPROVED SMOKE DETECTION SENSOR. THE DETECTOR SHALL BE CENTRALLY LOCATED ON THE CEILING OF THE GUEST UNIT'S SLEEPING ROOM, IN MANAGER'S DWELLING ON UPPER LEVEL ABOVE STAIRWAY (SECT. 1210).
- PROVIDE MECHANICAL VENTS IN ALL ROOMS AND BATHROOMS WITHOUT OPENABLE WINDOWS - VENTS CAPABLE OF PRODUCING CHANGE OF AIR EVERY 12 MINUTES (5 PER HOUR).
- PROVIDE 400 SQ. INCHES OF COMBUSTION AIR OPENINGS TO COMPARTMENTS HOUSING WATER HEATERS IN BLDG. #1 & #2, MANAGER'S DWELLING 200 SQ. IN. HALF OF REQUIRED AREA TO BE WITHIN 12 INCHES OF CEILING AND HALF WITHIN 12 INCHES OF FLOOR - OUTSIDE OPENINGS TO BE 1/4" SCREENED.

PLUMBING HEATING & COOLING

- ABS PIPE MAY BE USED FOR SEWER PIPING, EXCEPT UNDER BUILDINGS WHERE CAST IRON SHALL BE USED.
- HOT WATER HEATERS TO OPERATE ON NATURAL GAS AND WATER HEATERS FOR BUILDINGS #1 & #2 SHALL BE COMMERCIAL TYPE AND AGA CERTIFIED FOR 180°F OPERATION AND OF THE AUTOMATIC CIRCULATING TYPE WITH E.C.O. (ENERGY CUTOFF) & HIGH LIMIT.
- HOT WATER CIRCULATING LOOP TO BE INSULATED (EXCEPT WHERE UNDERGROUND).
- BUILDING #1 (30 UNITS) WATER HEATER TO BE 100 ± GALLON CAPACITY WITH 199,000 ± BTU INPUT PER HOUR OR BETTER. RECOVERY RATE 168 GA. PER HOUR FOR 100° RISE.
- BUILDING #2 (32 UNITS, INC. 12 KITCHENETTES) WATER HEATER TO BE 100 ± GALLON CAPACITY WITH 260,000 ± BTU INPUT PER HOUR OR BETTER. RECOVERY RATE 218 ± GA. PER HOUR FOR 100° F. RISE.
- MAX. SHOWER HEAD FLOW RATE NOT TO EXCEED 3 GALLONS PER MIN.

AMBIENT HEATING & COOLING

- ALL GUEST ROOMS (62 UNITS) SHALL HAVE AN INDIVIDUAL THRU-WALL UNDER WINDOW HEATING-COOLING SYSTEM WITH A HEATING CAPACITY (REVERSE CYCLE) OF 8,800 BTUH (MIN) AND A COOLING CAPACITY OF 9,000 BTUH (MIN).
- RECOMMENDED UNIT: GENERAL ELECTRIC ZONELINE III EXTENDED RANGE HEAT PUMP MODEL NUMBER: A3B588D, VOLTAGE: 230/208 V. OR EQUAL.
- VERIFY ROUGH-IN DIMENSIONS WITH MANUFACTURER.
- MANAGER UNIT SHALL HAVE A FORCED-AIR UNIT AS SHOWN ON SHT A-7.

PHYSICALLY HANDICAPPED REQUIREMENTS

- TWO (2) UNITS OF BUILDING #1 SHALL BE FULLY ACCESSIBLE FOR THE HANDICAPPED.
- ONE (1) UNIT OF BUILDING #2 (KITCHENETTE UNIT) SHALL BE FULLY ACCESSIBLE.
- HANDICAPPED REQUIREMENTS IN THE THREE UNITS SHALL MEET UBC SECT. #511 AND TABLE 33-A AND AS SHOWN ON PLANS.
- BATH ROOMS: INSTALL GRAB BARS @ WATER CLOSET STOOL 33" ABOVE FLR. AS SHOWN FOR UNITS "B" & "D".
- EXCEPT FOR PROJECTION OF BOWLS AND WASTE PIPING, A CLEAN UNOBSTRUCTED SPACE 30 IN. WIDE, 29 IN. HIGH AND 17 IN. DEEP SHALL BE PROVIDED UNDER LAVATORY.
- THE BOTTOM OF THE MIRROR SHALL BE WITHIN 40 IN. OF THE FLOOR.
- TOWEL & DISPOSAL FIXTURES SHALL BE WITHIN 40 IN. OF THE FLOOR.
- KITCHENETTE: KITCHEN COUNTER HEIGHT SHALL NOT EXCEED 32 INCHES.
- UNOBSTRUCTED SPACE UNDER SINK IDENTICAL TO BATH RM. NOTED ABOVE.
- ALL HOT WATER & DRAIN PIPES IN BATH RMS. AND KITCHEN UNDER ACCESSIBLE SINK SPACES ARE TO BE INSULATED.
- DOORS: ALL DOORS IN HANDICAPPED UNITS SHALL HAVE KICK PLATES EXTENDING FROM THE BOTTOM OF THE DOOR TO 18" FROM THE FLOOR.

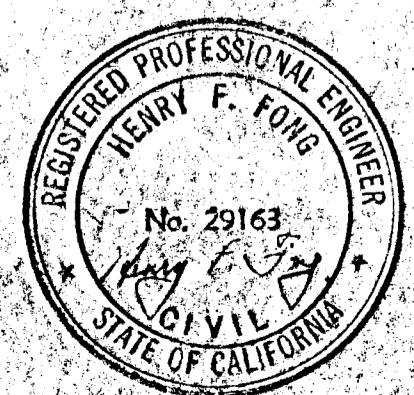
FIRE ALARM REQUIREMENTS

- PROVIDE WEATHERPROOF MANUALLY OPERABLE FIRE ALARM BOXES AS SHOWN ON PLANS (SHT 415) AT 5'-6" ± HEIGHT (6'-0" MAX) FROM FLOOR.
- SUGGESTED UNIT: GFW GAMEWELL - CATALOG NO. 9109 C (GULF & WESTERN SYSTEMS CO.) OR EQUAL.
- INSTALLATION, INSPECTION AND MAINTENANCE OF THE LOCAL PROTECTIVE SIGNALING SYSTEM SHALL BE ACCORDING TO THE STANDARDS SET FORTH IN NFPA PAMPHLET NO. 72-A AND AS FOLLOWS.
- EXACT LOCATION AND NUMBER OF AUDIBLE ALARM DEVICES (BELLS, BUZZERS OR OTHER) TO BE PER INSTRUCTIONS AND SUPERVISION OF LOCAL FIRE DEPARTMENT REPRESENTATIVE.
- ENTIRE INSTALLATION SHALL BE TESTED TO THE SATISFACTION OF THE FIRE DEPARTMENT REPRESENTATIVE UPON COMPLETION.

ACOUSTICAL REQUIREMENTS

- A NON-HARDENING AND RESILIENT STRIP OR TUBE CAULKING SHALL BE UTILIZED UNDER THE FLOOR PLATES OF PARTY WALL TO EFFECT AN AIRTIGHT SEAL.
- AFTER THE DRYWALL IS INSTALLED ON THE PARTY WALL, BUT BEFORE TAPING, THE PERIMETER OF THE PARTY WALL SHALL BE VISUALLY CHECKED AND PHYSICALLY PROBED TO LOCATE OPENINGS AT THE INTERFACES BETWEEN THE PARTY WALL AND INTERSECTING WALLS THAT ARE POTENTIAL SOUND LEAKAGE PATHS. ANY OPENINGS SHOULD BE SEALED WITH A QUALITY ACRYLIC CAULKING PRIOR TO TAPING.
- ANY OPENINGS IN THE REAR OF SIDES OF ELECTRICAL BOXES MOUNTED ON THE PARTY WALL SHALL BE SEALED WITH DUCT SEAL OR ELECTRICAL BOX SEALING PADS. CUT-OUTS IN THE DRYWALL ACCOMMODATING THESE ELECTRICAL FIXTURES SHALL BE SEALED WITH EXTERIOR CAULKING. ELECTRICAL BOXES SERVING OPPOSITE SIDES OF THE PARTY WALL SHALL HAVE AT LEAST ONE STUD BAY BETWEEN THEM.
- WALL TELEPHONES OR OTHER SOUND PRODUCING EQUIPMENT, LIKE BELLS, DOOR CHIMES, OR INTERCOMS SHALL NOT BE MOUNTED ON PARTY WALLS.
- INSULATION USED IN SOUND CONTROL ASSEMBLIES MAY BE EITHER FIBERGLASS OR MINERAL WOOL, BUT SHALL HAVE ONE OPEN FACE DRYWALL SHALL BE INSTALLED BEHIND TUBS OR SHOWERS WHICH ARE MOUNTED ON PARTY WALLS. THE CAVITY BEHIND THE REAR SURFACE OF THESE FIXTURES SHALL BE PACKED WITH INSULATION.
- ALL HOT AND COLD WATER SUPPLY LINES SHALL BE ISOLATED FROM THE FRAMING MEMBERS WITH 1/4" INCH THICK COLLARS SUCH AS NIECO PIPE ISOLATORS OR ACOUSTA PLUMB ISOLATORS.
- THE CAVITY SURROUNDING THE PIPES SHALL BE FILLED WITH OPEN-FACED INSULATION OR SPRAYED WITH CELLULOSE INSULATION.
- OPENINGS IN THE DRYWALL AROUND A FIXTURE FEET PROVED SHALL BE CUT OVERSIZE TO ACCOMMODATE A 1/4" INCH BEAD OF CELLULOSE INSULATION.
- IF THE WASTE LINES ABOVE THE SLAB ARE PLASTIC PIPE THEY SHALL BE WRAPPED WITH FIBERGLASS INSULATION. IF THEY ARE METAL PIPE THEY SHALL BE WRAPPED WITH AN ADHESIVE CELLULOSE PRODUCT. A PLASTIC WASTE BEND BELOW A TOILET IN UPPER LEVEL UNITS SHOULD BE ISOLATED FROM ANY POSITIONING BLOCKS WITH FELT OR CARPET PADDING AND SHALL BE WRAPPED WITH INSULATION.

62 UNIT MOTEL
GENERAL NOTES

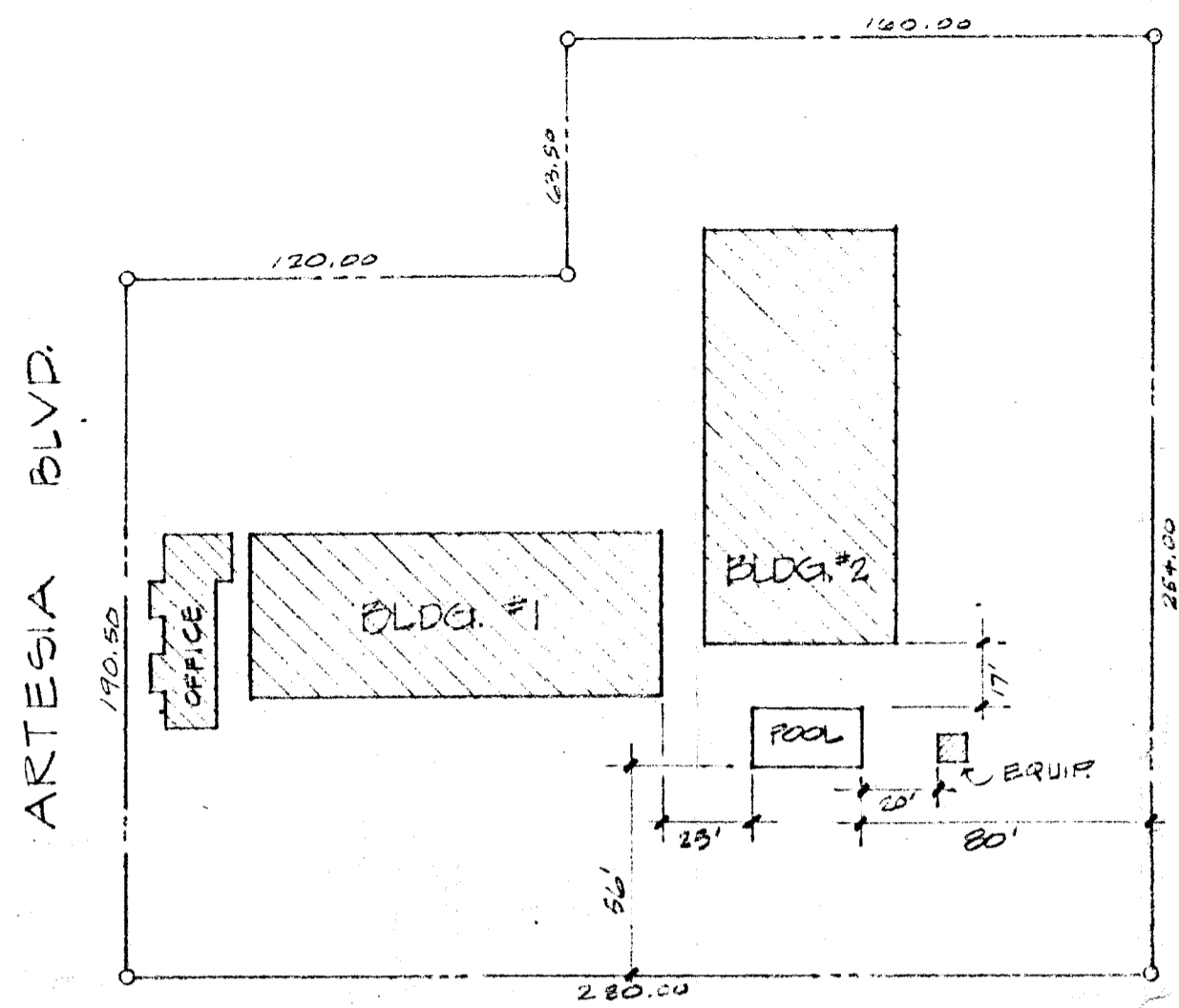


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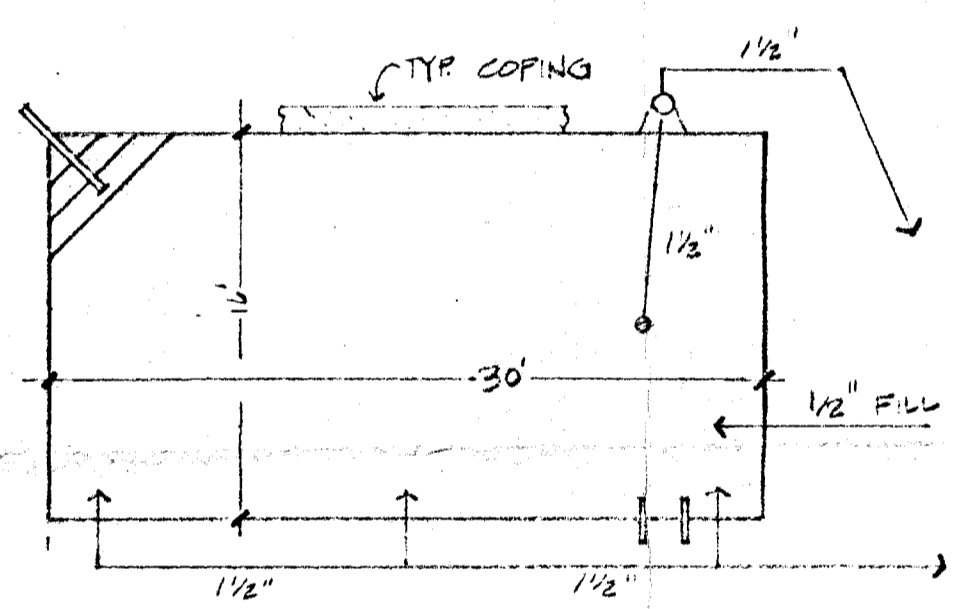
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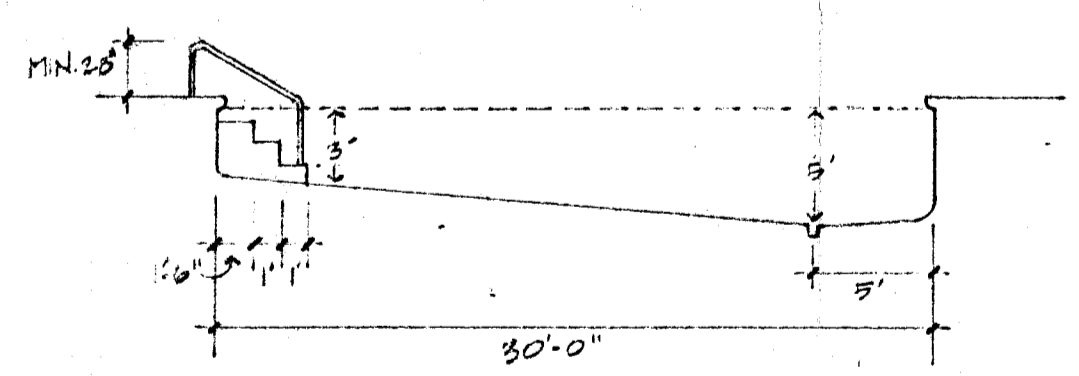
SHEET
A-14 OF 14



SITE PLAN
SCALE 1" = 30'-0"



PLAN
SCALE 1/8" = 1'-0"



STEPS: TYP. RISERS 12"
SECTION
SCALE 1/8" = 1'-0"

POOL DATA:

- 16' x 30', 480 ϕ , 92 PF, 3'-5" DEEP,
- PUMP: (1) AQUAFLO 1 HP
 - FILTER: (1) PUREX SMBW 2043
 - HEATER: (1) LAARS B4 250,000 BTU
 - FLOWMETER: BW P300 2"
 - CHLORINATOR: (1) EZ CLOR
 - HANDRAIL: ONE
 - GRABRAIL: ONE
 - LIGHT: (1) 500 WATT
 - EKIMMER: (1) SWIMQUIP U-3
 - INF & EFF GAUGES
- TILE: 6' GROUP II
 - COPING: STD. WHITE BULLNOSE
 - DEPTH MARKERS: GROUP II TILE @ WATER LINE
 - FILL LINE: 1/2" W/ A/S VALVE
 - BACKWASH: TO P. TRAP
 - MAINDRAIN: ABE 64
 - PLASTER: WHITE
 - PLUMBING: PVC W/ COPPER @ HTR.
 - TIMER: (1) FOR CIRC. PUMP

SIGNS: NO DIVING, OCCUPANCY, NO LIFE GUARD, ART. RESCUE, & PHONE NO.'S
MISC: POLE BRUSH & LEAF EKIMMER, POLE & HOOK, TEST KIT, LIFE RING ROPE & FLOATS, MASTIC.

BY OWNER

WATER CURE GUNITE 7 DAYS. ALL FENCING, GATES, DECK DRAINS, & DECKING PER CODE. EXCAVATED DIRT REMAINS ON SITE. DRINKING FOUNTAIN & HOSE 3'3" IN POOL AREA. WATER, GAS, ELECTRICAL PROVIDED TO EQUIP ROOM. 30 MIN. TIMER FOR SPA JETS. EMERGENCY CUT OFF SWITCH (FOR SPA CIRC. PUMP) NEAR SPA CLEARLY LABELED (SEC. 3.680-15)

NOTE: CONCRETE CONTRACTOR: CONCRETE DECKING SHALL HAVE 1/2" MINIMUM SEPERATION BETWEEN DECKING & BOND BEAM-COPING, SKIMMERS TO BE ISOLATED FROM DECKING W/ 1/2" EXPANSION JOINTS FOR FULL DEPTH OF DECKING.
BUILDING PERMIT SHALL NOT EXCEED \$10,000

CITY OF BELLFLOWER
PLOT PLAN APPROVAL
FOR: Swimming Pool
DATE: 3-12-04
This approval valid for 90 days from above date.
Jae Whittenberg
Planning Office
Conditions of Sewer Reconstruction
Ord. 153 Met NONE

Wm. G. McConnell by *Me* 3/12/04

COUNTY OF LOS ANGELES HEALTH DEPARTMENT
ENVIRONMENTAL MANAGEMENT
The proposed construction/equipment installation is approved, except as noted below, for: (Type of establishment/use) Pool
The approval does not authorize the violation of any law, ordinance, or regulation.
Los Angeles County Health Officer
Approved 2/1/04 (date) By: *[Signature]*

POST SIGN
NO DIVING
Min 4" Letters required

POOL CONTRACTOR	JOB SITE	OWNER
ATLAS POOLS 1165 N. GLASSSELL ORANGE, CA. 92667 714.639.8811 LIC.# 303995	8730 ARTESIA AVE. BELLFLOWER, CA.	HSIN HSING KEE CONSTRUCTION CO. INC. 7481 LA PALMA AVE. BUENA PARK, CA. 90620 714.523.7640

2-27-04

IMPORTANT!
Two Community Health Services inspections are required for completion of this pool:
1) At least two working days prior to guniting or backfilling pool.
2) At least two working days prior to placing pool in operation.
HENRY LEVIN, SENIOR SAN.
Notify LAKEWOOD SUBCENTER
5110 N. CLARK AVE., LAKEWOOD
At 865-7011 EXT. 331

JOHN HILLIARD AND ASSOCIATES

ACOUSTICAL AND ENERGY CONSULTANTS
(714) 835-3877

JOHN K. HILLIARD
CECIL R. CABLE
NED L. OLTHOFF

January 9, 1984

84/030

Mr. Armand Wang, P.E.
Hsin Hsing Kee Construction Co., Inc.
7481 La Palma Avenue
Buena Park, CA 90620

Subject: Acoustical Evaluation of the 62 Unit Motel at 8730 Artesia in Bellflower.


Dear Mr. Wang:

1933

Because bathrooms are not considered "Habitable Living Areas" under the guidelines of the California Noise Insulation Standards (Title 25), it is **not** necessary to wrap with insulation the bathroom vents that pass through the interior wall of the bathroom. However, if the vents pass along the interior wall of a sleeping area it will be necessary to place a R-11 batt of insulation in that single stud bay that surrounds the vent. Because of the space limitations it is not necessary to wrap the vents.

Please call if you have any questions.

Sincerely,


Richard Colia
Senior Engineer

BUILDING AND SAFETY DIVISION
Department of County Engineer
APPROVED
UNDER ORDINANCE NO. 2225 N. S.
BY.....

JAN 9 1984

This set of plans and specifications **MUST** be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Building and Safety Division, County of Los Angeles.
The stamping of this plan and specifications **SHALL NOT** be held to permit or to be an approval of the violation of any provisions of any County Ordinance or State Law.

FRANKLIN SQUARE
1538 EAST FOURTH STREET
SANTA ANA, CALIFORNIA 92701