

217 Corporate Place

6600 SW 105TH AVENUE, BEAVERTON, OR 97008

\$3/SF BROKER BONUS!
5 YEAR LEASE MINIMUM - SIGNED BY 4/1/26

\$100 BROKER TOUR BONUS - CALL FOR REQUIREMENTS

- ONE SPACE LEFT! -

Joe Kappler
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All of the information contained herein was obtained either from the owner or other parties we consider reliable. We have no reason to doubt its accuracy, however we do not guarantee it.



FOR LEASE



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PROPERTY DESCRIPTION

50,446 SF class A suburban office building located just off Highway 217. Second floor space is move in ready measuring 10,563 RSF. The suite can be demised down to 4,148 RSF. The space offer a balanced layout with a mix of open space, private offices and a large training room. Building signage is available for any tenant leasing the 10,563 SF space. Local ownership and on-site management creates a convenient and efficient office experience. The building is exceptionally maintained and the tenant mix includes corporate neighbors.

PROPERTY HIGHLIGHTS

- Owned and managed by Pacific NW Properties, a local landlord who prioritizes tenants and is open to creative deal structures
- Building signage available.
- 4/1000 Free Parking ratio
- Quick access to Hwy 217
- Save on property taxes outside of Multnomah County
- Washington County/ City of Beaverton jurisdiction
- New Tenant Amenities: Outdoor furniture, showers, & fitness center

OFFERING SUMMARY

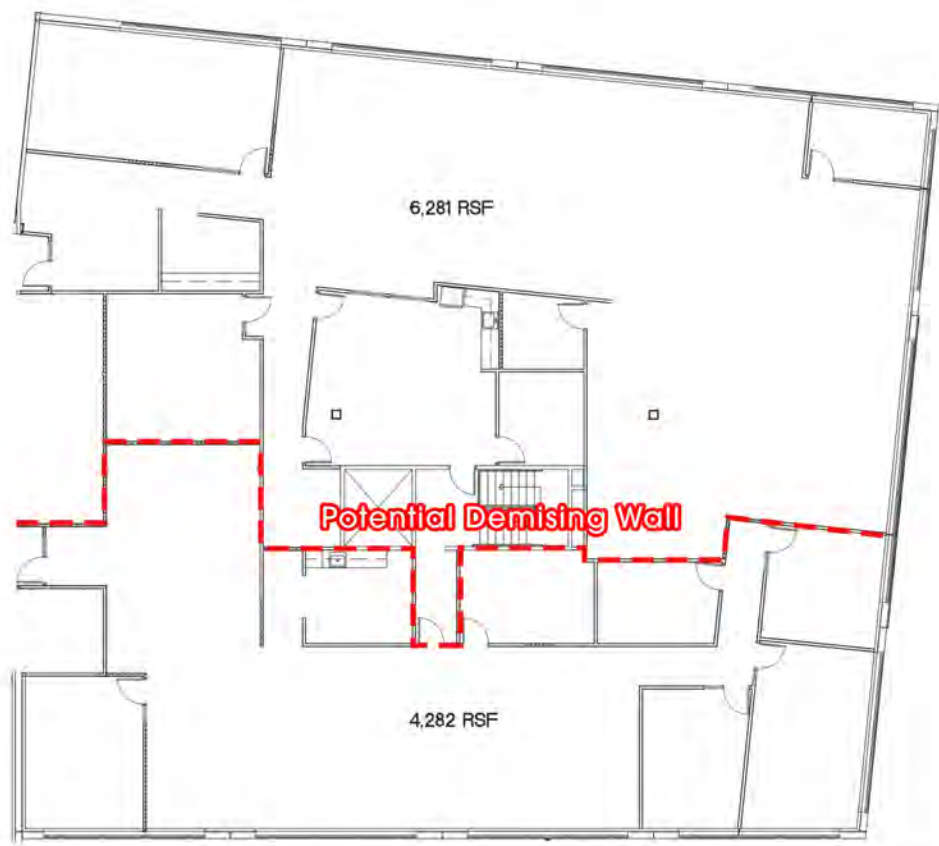
Lease Rate:	\$19.50 SF/yr (NNN)
Available SF:	4,148 - 10,563 SF
Building Size:	50,446 SF
Parking Ratio:	4.0



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AVAILABLE SPACES

SUITE	SIZE (SF)	LEASE TYPE	LEASE RATE	DESCRIPTION
■ Suite 200	4,148 - 10,563 SF	NNN	\$19.50 SF/yr	2025 NNN \$11.97/SF



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Solar panels



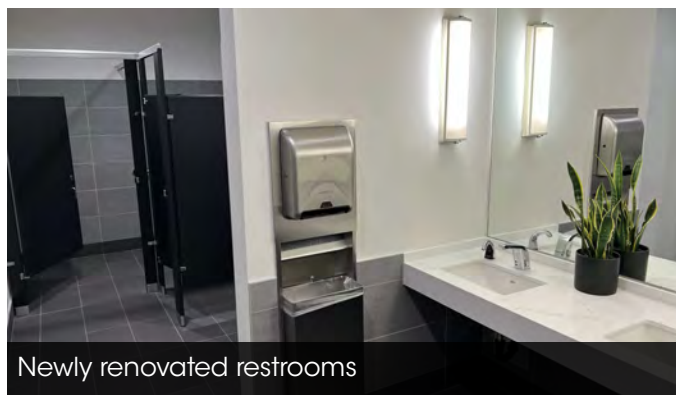
Newly remodeled lobby



New Outdoor Area



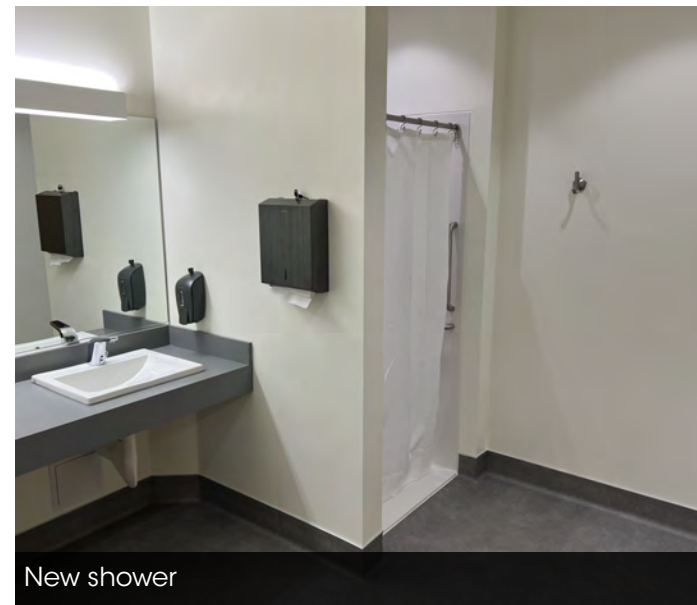
New collaboration pods



Newly renovated restrooms



New gym



New shower



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WASHINGTON COUNTY TAX SAVINGS

Approximate tax savings compared to tax costs within Multnomah County:



Businesses producing \$1M pre-tax income
SAVE \$40,000/year



Businesses producing \$5M pre-tax income
SAVE \$121,500/year

SAVE MONEY WITH FREE PARKING

Approximate savings compared to parking costs within Downtown Portland:



SAVE \$250/month
per vehicle



SAVE \$3,000/year
per employee



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LOCATION OVERVIEW

Amazing location with Highway 217 frontage and signage opportunities. Only 3 miles from Highway 26, 4.5 Miles to I-5, and only one exit north of Washington Square.



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