

ARCHITECT:  
**GIAMPIETRO ARCHITECTS**  
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 FALMOUTH, MA 02540 EMAIL info@giampietroarchitects.com



ADDITIONS & ALTERATIONS TO:  
**CAPTAIN SCOTT'S RESTAURANT**  
 71 TUPPER ROAD  
 SANDWICH, MA 02563

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**SCHEDULE OF DRAWINGS**

- T1** TITLE SHEET (THIS SHEET)
- AB1** AS-BUILT ELEVATIONS & FLOOR PLAN
- A1** ELEVATIONS & FLOOR PLAN
- A2** FOUNDATION PLAN, FLOOR & ROOF FRAMING PLANS
- A3** CROSS SECTIONS & DETAILS
- A4** NEW TOILET ROOM FOUNDATION PLAN CROSS SECTIONS & DETAILS
- LI** SITE + PARKING PLAN

CONSULTANT  
 ARCHITECT  
 REGISTERED ARCHITECT - SEALS  
 NO. 4629  
 FALMOUTH, MA  
 COMMERCIAL  
 SIGNATURE

ADDITIONS & RENOVATIONS TO:  
**CAPT. SCOTT'S RESTAURANT**  
 71 TUPPER ROAD  
 SANDWICH, MASSACHUSETTS

**ABBREVIATIONS**

AB. ANCHOR BOLT	DET. DETAIL	FT. FOOT	MAT. MATERIAL	PART. PARTITION	T.O.F. TOP OF FOUNDATION
AF.F. ABOVE FINISH FLOOR	DIA. DIAMETER	FIG. FOOTING	MAX. MAXIMUM	PL. PLATE	T.O.W. TOP OF WALL
AGT. AGOUTICAL TILE	DIM. DIMENSION	FND. FOUNDATION	MECH. MECHANICAL	PLAS. PLASTER	T. TREAD
ALUM. ALUMINUM	DR. DOOR	FUR. FURRED(ING)	INSUL. INSULATION	P.LAM. PLASTIC LAMINATE	TYP. TYPICAL
ANOD. ANODIZED	DH. DOUBLEHUNG	G. GAS	INT. INTERIOR	PLBG. PLUMBING	UNFIN. UNFINISHED
@ AT	DWR. DRAWER	GALV. GALVANIZED	JOINT. JOINT	PLYWD. PLYWOOD	V.I.F. VEGETY IN FIELD
@ BMT. BASEMENT	DWG(S) DRAWING(S)	GC. GENERAL CONTRACTOR	JT. JOINT	P.T. PRESSURE TREATED	VIN. VINYL
BIF. BITUMINOUS	DF. DRINKING FOUNTAIN	GR. GRADING	LAM. LAMINATE	Q.T. QUARRY TILE	VCT. VINYL COMPOSITION TILE
BLK. BLOCK	DW. DRYWALL	GR. GRADING	LAV. LAVATORY	REQ'D. REQUIRED	VWC. VINYL WALL COVERING
BLKG. BLOCKING	ELEC. ELECTRIC(AL)	GYP.BD. GYPSUM BOARD	L. LENGTH	REF. REFRIGERATOR	WC. WATER CLOSET
BOTT. BOTTOM	EL. ELEVATION	HDBD. HARDBOARD	MFR. MANUFACTURER	REV. REVISIONS	W. WIDE/WIDTH
B.O.W. BOTTOM OF WALL	ELEV. ELEVATOR	HWD. HARDWOOD	M.O. MASONRY OPENING	R. RISER	W/ WITH
BM. BEAM	EMER. EMERGENCY	HVAC. HEATING, VENTILATING, & AIR CONDITIONING	MAT. MATERIAL	R.D. ROOF DRAIN	W/O. WITHOUT
BLDG. BUILDING	EQ. EQUAL	HDWR. HARDWARE	MAX. MAXIMUM	RM. ROOM	W/W. WINDOW
CPT. CARPET	EXIST. EXISTING	HOT. HEIGHT	MECH. MECHANICAL	R.O. ROUGH OPENING	W.W.M. WELDED WIRE MESH
CSMT. CASEMENT	EXG. OF EXG.	H.M. HOLLOW METAL	MIN. MINIMUM	SECT. SECTION	WD. WOOD
CK. CAULKING	EJ. EXPANSION JOINT	INSUL. INSULATION	MTD. MOUNTED	SCHED. SCHEDULE	
CLJ. CEILING	EXP. EXPOSED	INSUL. INSULATION	NO. NUMBER	SPEC. SPECIFICATIONS	
CLOS. CLOSET	EXT. EXTERIOR	INT. INTERIOR	NOM. NOMINAL	STD. STANDARD	
COL. COLUMN	FIN. FINISHED	JT. JOINT	N.I.C. NOT IN CONTRACT	S&P. SHELF&POLE	
CONC. CONCRETE	FA. FIRE ALARM	LAM. LAMINATE	N.T.S. NOT TO SCALE	STL. STEEL	
CMU. CONCRETE MASONRY UNIT	F.B.O. FURNISHED BY OWNER	LAV. LAVATORY	O.C. ON CENTER	SUSP. SUSPENDED	
CONST. CONSTRUCTION	FE. FIRE EXTINGUISHER	LAV. LAVATORY	OPNG. OPENING	THK. THICK	
CONT. CONTINUOUS	FL. FLOORING	MFR. MANUFACTURER	PTD. PAINTED	T&B. TOP&BOTTOM	
CT. CONTROL/CONSTR. JOINT	FLUOR. FLUORESCENT	M.O. MASONRY OPENING	PNL. PANEL	T&G. TOP&GROOVE	

**SYMBOLS**

**NORTH ARROW**

SECTION INDICATOR - LETTER IN TOP HALF OF CIRCLE INDICATES THE SPECIFIC SECTION. THE NUMBER AND LETTER IN THE BOTTOM HALF INDICATES THE DWG. ON WHICH THE SECTION APPEARS

NEW SPOT ELEVATION  
 EXISTING SPOT ELEVATION  
 NEW CONTOURS  
 EXISTING CONTOUR

ELEVATION MARK  
 COLUMN COORDINATES & REFERENCE GRID LINES  
 ROOM NUMBER  
 DOOR NUMBER  
 WINDOW TYPE  
 WALL TYPE

INTERIOR ELEVATION  
 NUMBERS INDICATE ELEVATION NUMBER & LETTER INDICATES THE DRAWING WHERE THE ELEVATIONS ARE LOCATED

CONCRETE - PLAN OR SECTION  
 BRICK - PLANS OR SECTIONS  
 CONCRETE BLOCK PLANS OR SECTIONS  
 PLYWOOD, LARGE SCALE  
 STEEL, LARGE SCALE  
 ROUGH LUMBER  
 FINISH LUMBER  
 INSULATION - RIGID  
 INSULATION - BATT  
 EARTH  
 COMPACT GRAVEL

WELDED WIRE MESH  
 PROPERTY LINE  
 CENTER LINE

**DO NOT SCALE FROM DRAWINGS**

THIS DRAWING IS PART OF A COMPLETE ARCHITECTURAL SET. THERE IS INFORMATION PERTAINING TO THIS DRAWING ON OTHER SHEETS. REFER TO T1 FOR COMPLETE SHEET LIST. DO NOT TAKE OFFS, BIDDING OR CONSTRUCTION ON THIS STRUCTURE WITHOUT A COMPLETE SET OF DRAWINGS

**GENERAL NOTES**

- The General Conditions state that the Contract Documents are complimentary.
- Provide the services of a Massachusetts Registered Surveyor to layout structure on site and establish existing elevations. Elevation of finished floor shall be established by Architect with elevation information provided by Surveyor.
- The General Contractor is responsible for all the work.
  - Build and install parts of the Work level, plumb, square and in correct position.
  - Make joints tight and neat. If such is impossible, apply moldings, sealant or other joint treatment as directed by Architect.
  - Under potentially damp conditions, provide galvanic insulation between different metals which are not adjacent on the galvanic scale.
  - Apply protective finish to parts of the Work before concealing them. For example, paint door tops, bottoms, glazing stops, glazing rabbets, and hardware cutouts before hanging doors, and paint corrodible mounting plates before installing parts over them.
  - Where accessories are required in order to install parts of the Work in usable form and to make the Work perform properly, provide such accessories. If special tools are required to maintain, adjust and repair products, provide them.
  - Follow manufacturer's instructions for assembling, installing and adjusting products. Do not install products in a manner contrary to the manufacturer's instructions unless authorized in writing by the Architect.
  - Adjust and operate all items of equipment, leaving them fully ready for use.
  - The division of the Documents into Architectural, Structural, Electrical, Mechanical, Plumbing and Civil components is not intended as division of the Work by trade or otherwise.
  - Provide utility installations from lot line to house including underground electrical, water, telephone and CATV to comply with all local codes and requirements.
  - Concrete shall have compressive strength of 3000 psi @ 28 days for walls and 4000 psi @ 28 days for slab work, and reinforcing rods & woven wire fabric (WWF) per drawings. Where noted, provide hard steel trowel finish on slabs. Dampproofing shall be factory manufactured semi-mastic consistency from asphalts and mineral fibers, and installed on all walls and footings. Piers for decks shall be concrete filled Sonotube forms.
- The General Contractor shall verify all dimensions at the site and shall notify the Architect of any discrepancies before proceeding with the Work or purchasing materials or equipment. Verify critical dimensions in the field before fabricating items which must fit adjoining construction.
- All details are typical unless otherwise noted and are not necessarily shown in the Documents at all locations where they occur.
- The Architectural Documents govern the location of all Electrical and Mechanical items installed as a part of the Work.
- Existing items which are not to be removed and are damaged or removed in the course of the Work shall be repaired and replaced in like new condition without cost.
- Existing surfaces disturbed during the course of the Work shall be reconstructed and finished to match adjoining surfaces. Patched areas shall be finished in such a manner as to provide visual and structural continuity across the entire affected surface.
- All voids created or surfaces disturbed resulting from cutting, removal or installation of elements as part of the Work shall be filled and finished to match adjoining construction.
- Except as provided in the Documents, no structural member or element shall be cut without written approval of the Architect. The General Contractor shall coordinate all cutting and shall advise the Architect of any potential conflicts with new or existing structure.
- Demolition work shall only be carried out once all temporary shoring and bracing is in place. Removal of all temporary supports shall be completed only after new work is secure and complete.
- All materials, equipment and workmanship shall conform to the requirements of authorities having jurisdiction of the Work.
- All materials and equipment shall comply with the Occupational Safety and Health Act, including all amendments.
- All materials and equipment shall conform to the requirements of authorities having jurisdiction regarding not using or installing asbestos or asbestos-containing materials.
- All paint used on all products and assemblies shall conform to A.N.S.I. Z66.1. Specifications for Paints and Coatings Accessible to Children to Minimize Dry Film Toxicity.
- The General Contractor shall submit to the Architect for review and approval, shop drawings for all manufactured structural elements (i.e.: steel beams & columns, LVL beams, truss joists, wood roof trusses, steel joists, etc.) in accordance with 780 OMR Section 116.2.2 entitled "Architect/Engineer responsibilities during construction".
- The General Contractor shall notify the Architect / Engineer of required inspections at least two (2) days in advance.
- All warranties, guarantees and service maintenance agreements shall commence with the issuance of the occupancy permit so that the Owner may receive full use of the item for the guarantee or warranty period.
- GENERAL WORK TO BE PERFORMED AS PART OF THE GENERAL CONSTRUCTION:
  - Seal cracks and openings to make the exterior skin of the building tight to water and air entry.
  - Provide adequate blocking, bracing, nailers, fastenings and other supports to install parts of the work securely. Blocking, bracing, nailers, fastenings and other supports shall be of a type not subject to deterioration or weakening as the result of environmental conditions or aging.
  - Perform cutting and patching for all trades. Patch holes where ducts, conduit, pipes and other products pass through or are being removed from existing construction.
  - Provide chases, furred spaces, trenches, covers, pits, foundations and other construction required in conjunction with the Work. If such construction is not shown on the Drawings, coordinate with Architect for sizes and placement.
  - Provide and coordinate access doors and panels as required for access to equipment requiring adjustment, inspection, maintenance or other access and as required for access to spaces not otherwise accessible, such as attics and crawl spaces.
  - Check Drawings and manufacturers' literature for requirements for bases, pads, and other supporting structures. Provide such structures. Remove supporting structures associated with removed equipment and patch remaining surfaces.
  - As part of one year warranty specified in the General Conditions, repair cracks and other damage which occur as a result of settlement and shrinkage during the first year after Substantial Completion.
- All work shall conform to the applicable sections of the Ninth Edition of the Massachusetts State Building Code (Basic/Commercial)

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DRAWING TITLE:  
**TITLE SHEET**

DRAWN BY: *JFL*

CHECKED BY: *LFB*

DATE: *5/26/2021*

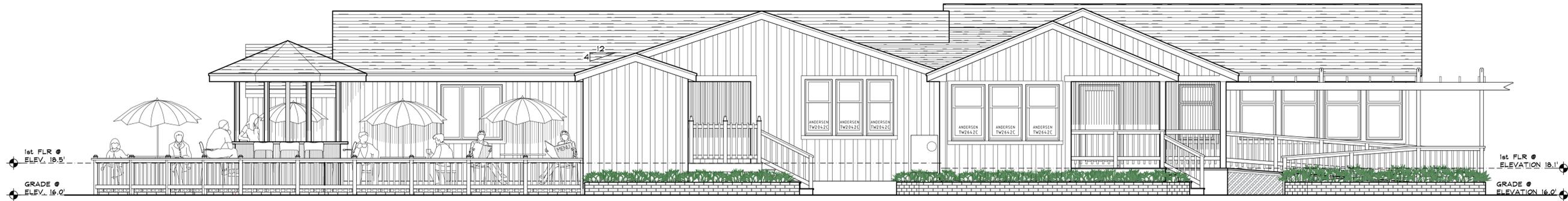
REVISIONS: *6/1/2021*

PROJECT No. **2034**

SHEET No. **T1**

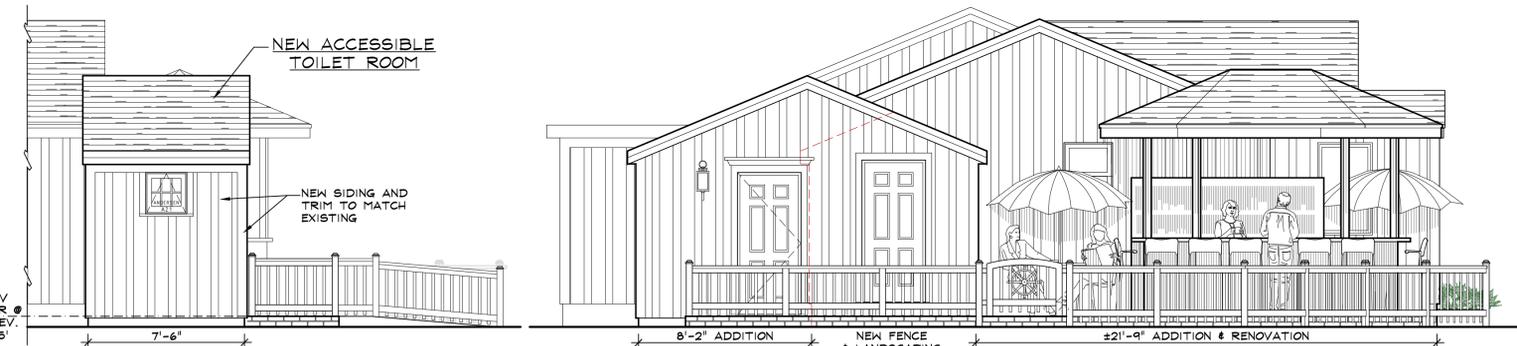
TITLE SHEET

**DO NOT SCALE FROM DRAWINGS**



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**FIRE PROTECTION SYMBOL LEGEND:**

- DOUBLE HEAD EMERGENCY LIGHT
- SINGLE HEAD EMERGENCY LIGHT WP = WATERPROOF
- CEILING MOUNTED EMERGENCY LIGHT
- EXIT SIGN ARROW INDICATES DIRECTION TO EXIT
- STROBE ALERT w/HORN
- FIRE ALARM PULL
- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- VENT FAN

**ANDERSEN 400 SERIES**  
Tilt-Wash Double-Hung Full-Frame Cottage Windows - TW 2042 C

**ROUGH OPENING**  
WIDTH: 2'-2 1/2"  
UNIT DIMENSION ALWAYS REFERS TO OUTSIDE FRAME TO FRAME DIMENSION.  
REFER TO MANUFACTURER FOR OVERALL ROUGH OPENING

**ANDERSEN AWNING - A21**  
w/FROSTED GLASS

**ROUGH OPENING**  
WIDTH: 2'-0"  
UNIT DIMENSION ALWAYS REFERS TO OUTSIDE FRAME TO FRAME DIMENSION.  
REFER TO MANUFACTURER FOR OVERALL ROUGH OPENING

\* 'ROUGH OPENING' DIMENSIONS MAY NEED TO BE INCREASED TO ALLOW FOR USE OF BUILDING WRAPS, FLASHING, BILL PANNING, BRACKETS, FASTENERS OR OTHER ITEMS.  
\* INDICATES THAT WINDOW SIZE MEETS EGRESS REQUIREMENTS

**SEATING CAPACITY:**

111 CUSTOMERS  
+ 9 STAFF  
120 TOTAL

120 ÷ 3 = 40 PARKING SPACES REQUIRED

**CONSTRUCTION LEGEND:**

EXISTING TO REMAIN

NEW PARTITION

EXISTING TO BE REMOVED

**ANDERSEN 400 SERIES**  
Tilt-Wash Double-Hung Full-Frame Cottage Windows - TW 2642 C

**ROUGH OPENING**  
WIDTH: 2'-8"  
UNIT DIMENSION ALWAYS REFERS TO OUTSIDE FRAME TO FRAME DIMENSION.  
REFER TO MANUFACTURER FOR OVERALL ROUGH OPENING

\* 'ROUGH OPENING' DIMENSIONS MAY NEED TO BE INCREASED TO ALLOW FOR USE OF BUILDING WRAPS, FLASHING, BILL PANNING, BRACKETS, FASTENERS OR OTHER ITEMS.  
\* INDICATES THAT WINDOW SIZE MEETS EGRESS REQUIREMENTS



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

CONSULTANT

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ADDITIONS & RENOVATIONS TO:  
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71 TUPPER ROAD  
SANDWICH, MA 02563

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**DRAWING TITLE:**  
ELEVATION AND FLOOR PLAN

**DRAWN BY:** LFB, JFM

**CHECKED BY:** LFB

**DATE:** 5/26/2021

**REVISIONS:** 6/1/2021

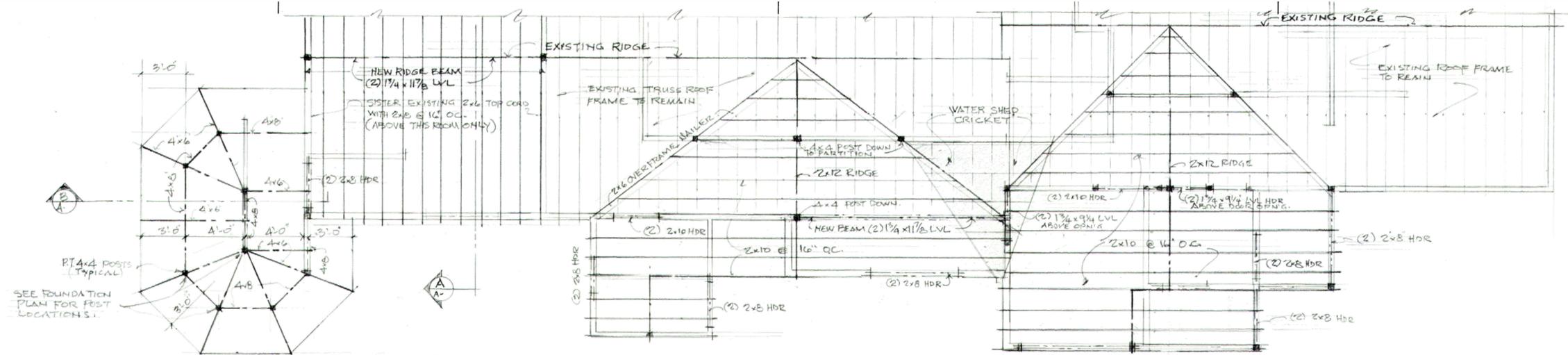
**PROJECT No.** 2034

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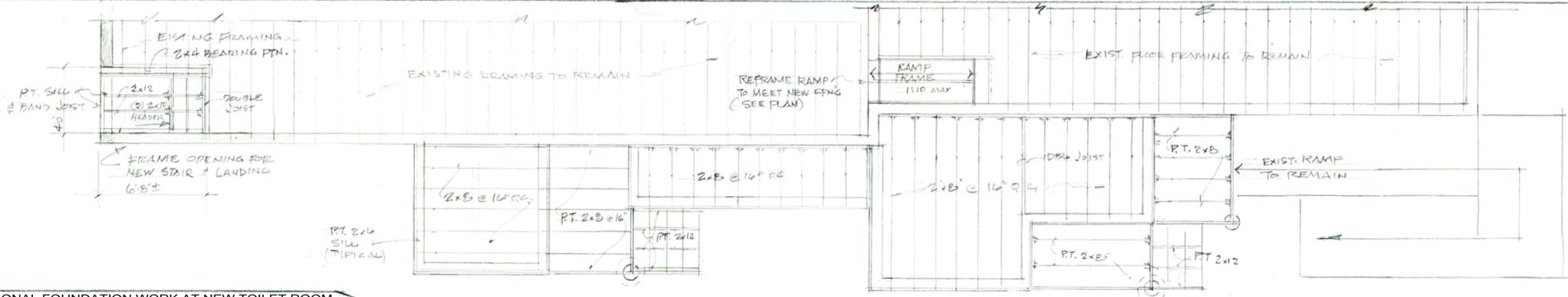
**SHEET No.**

**A1**

CONSTRUCTION DOC.

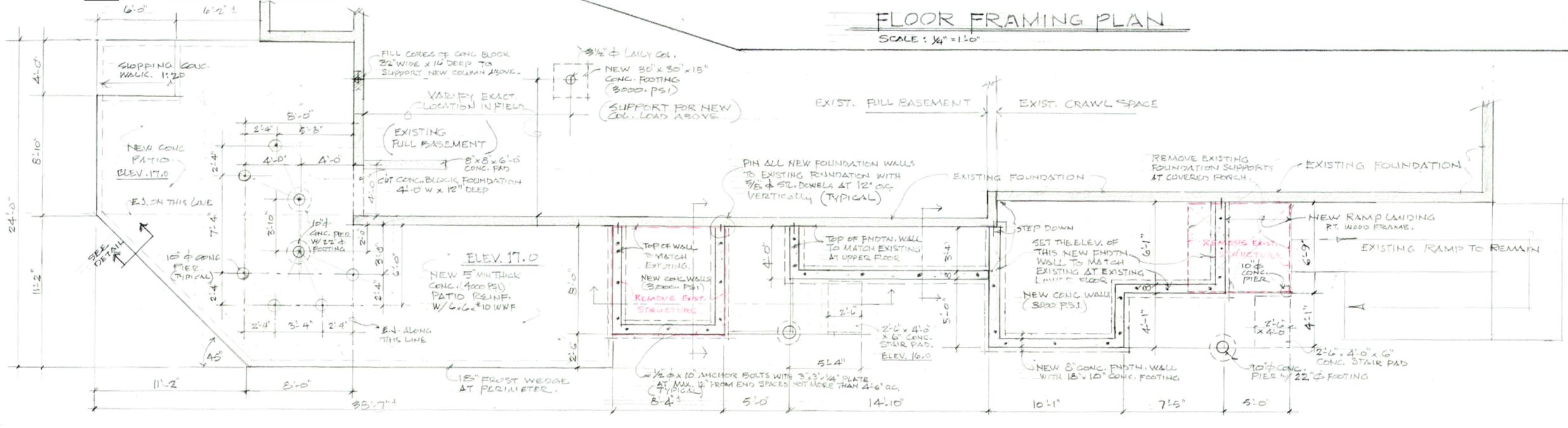


**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

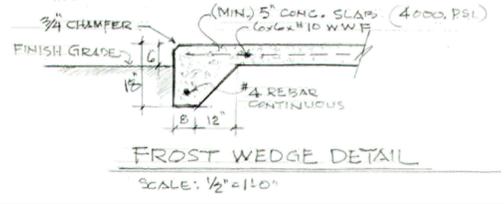


**FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

NOTE: SEE SHEET A4 FOR ADDITIONAL FOUNDATION WORK AT NEW TOILET ROOM



**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



**FROST WEDGE DETAIL**  
SCALE: 1/2" = 1'-0"

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DRAWING TITLE:  
**FLOOR & ROOF FRAMING PLANS & FOUNDATION PLAN**

DRAWN BY: **LFJ, JLU**

CHECKED BY: **LFJ**

DATE: **5/26/2021**

REVISIONS: **6/1/2021**

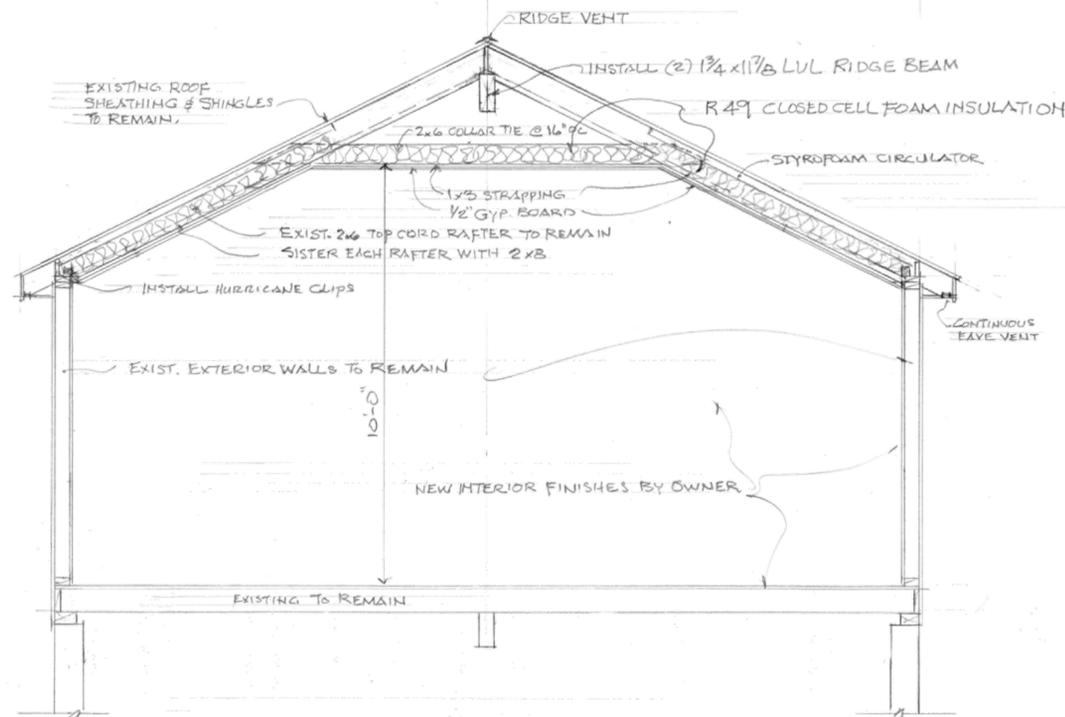
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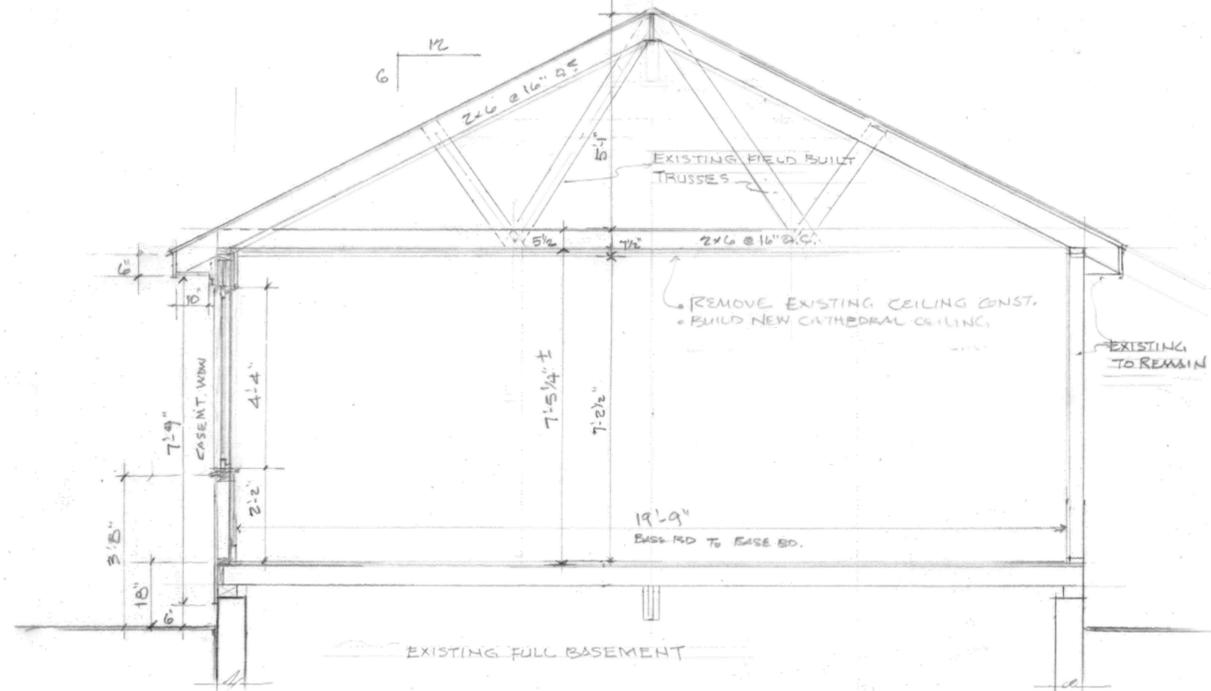
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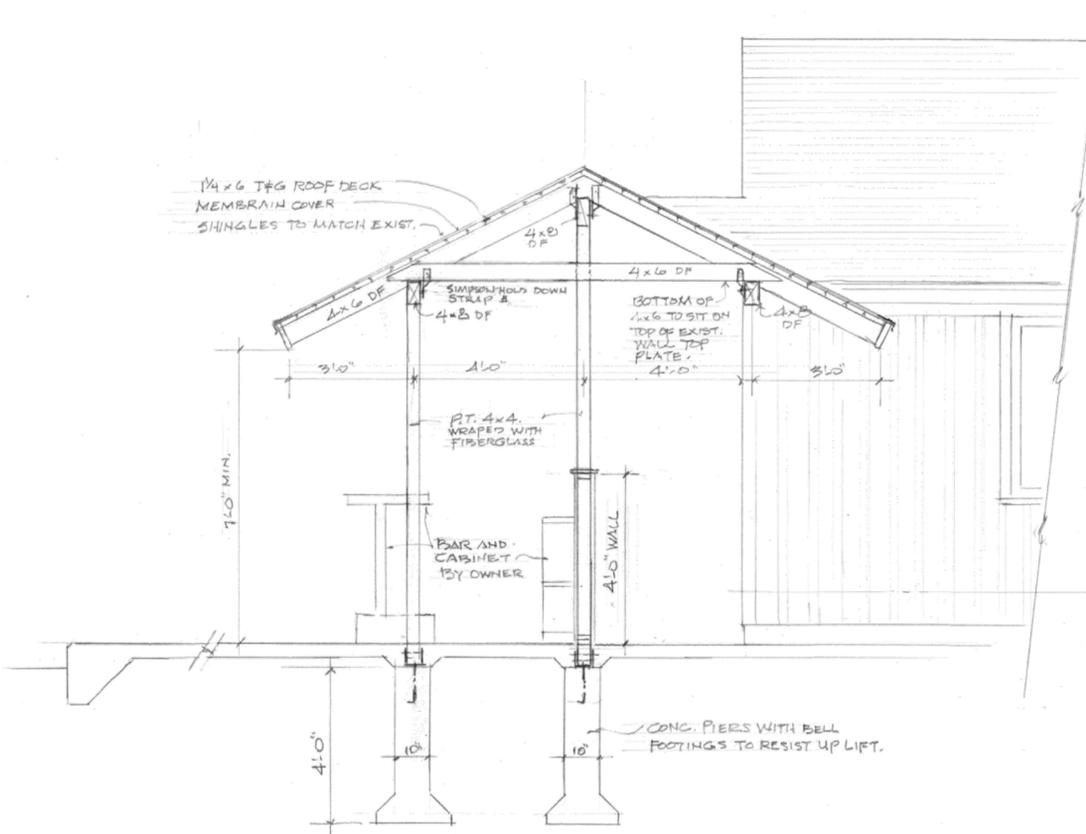
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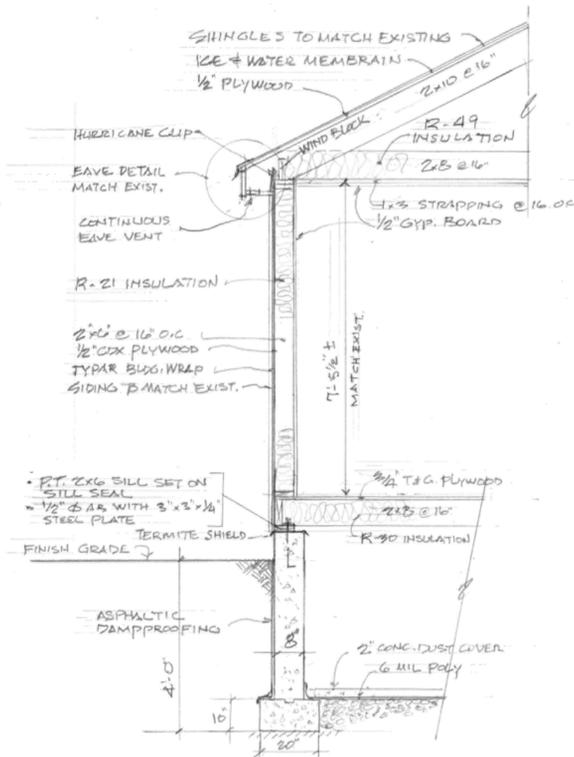
SECTION A-A THRU. NEW WORK  
SCALE: 1/2" = 1'-0"



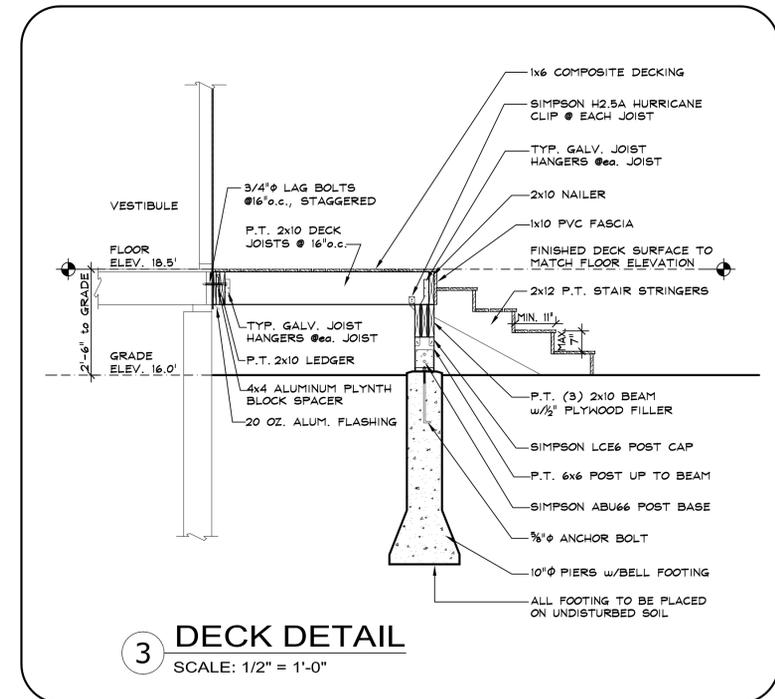
SECTION A-A THRU. EXISTING BUILDING  
SCALE: 1/2" = 1'-0"



SECTION B-B  
SCALE: 1/2" = 1'-0"



TYPICAL WALL SECTION AT NEW CONSTRUCTION  
SCALE: 1/2" = 1'-0"



3 DECK DETAIL  
SCALE: 1/2" = 1'-0"

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DRAWING TITLE:  
**CROSS SECTIONS AND DETAILS**

DRAWN BY: **LFJ, JFM**

CHECKED BY: **LFJ**

DATE: **5/26/2021**

REVISIONS:

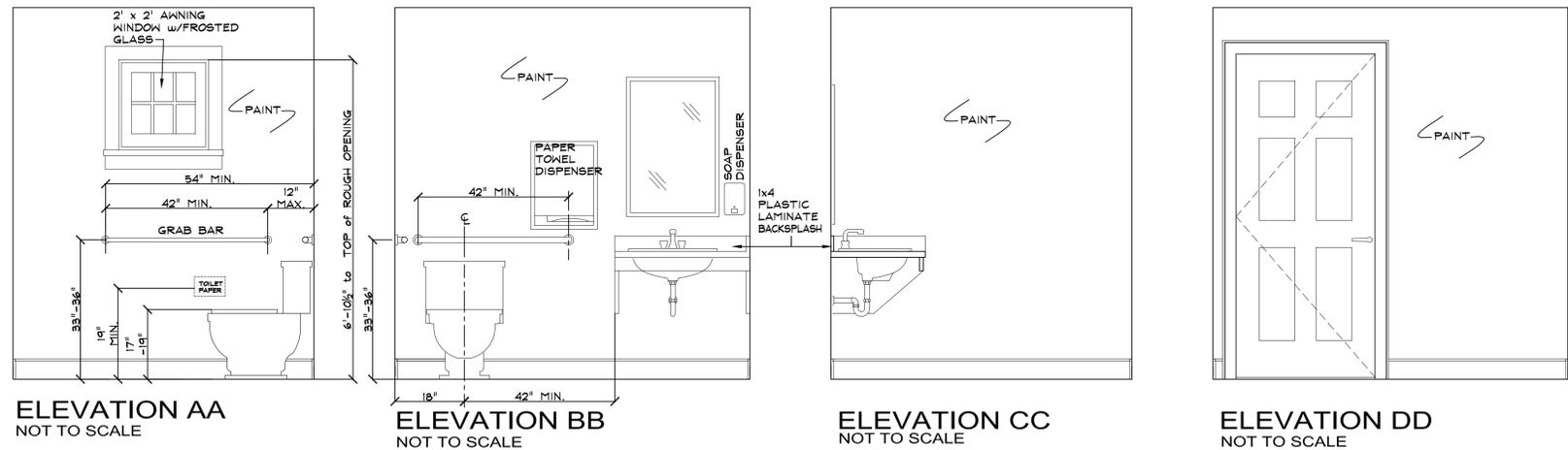
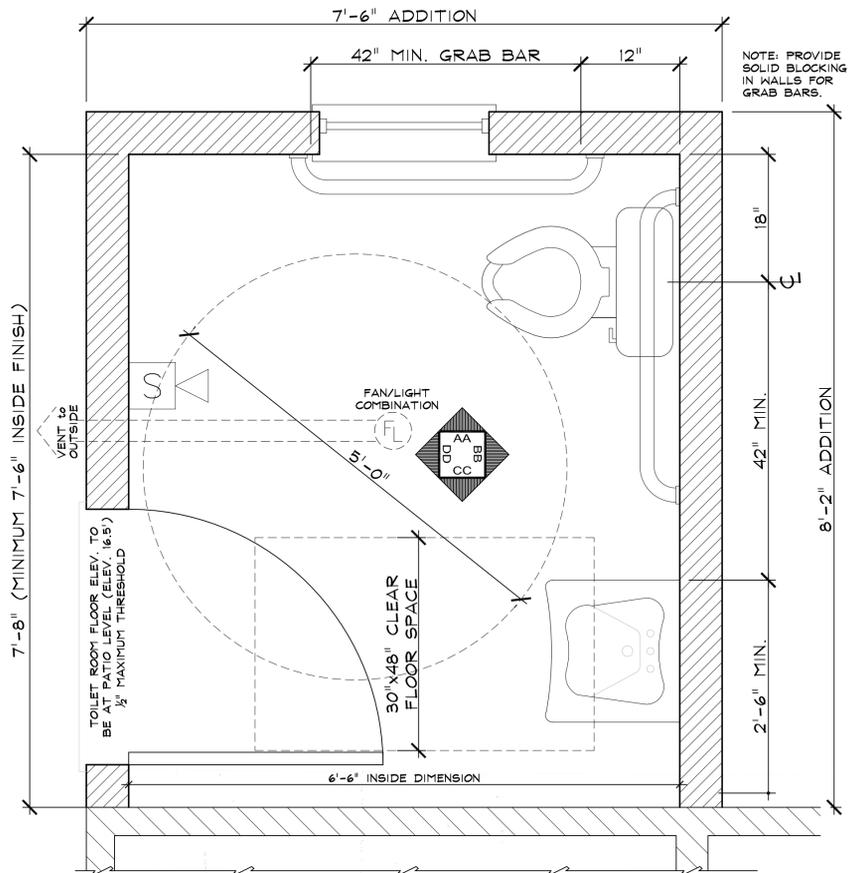

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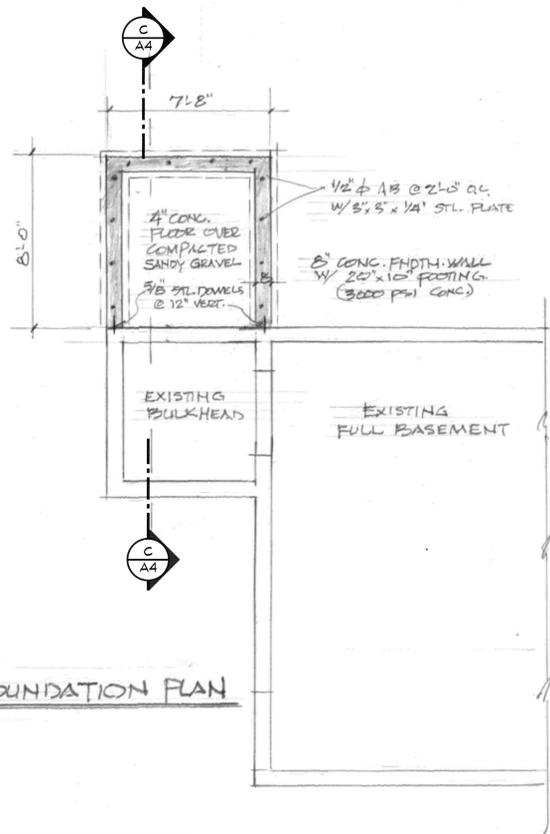
SHEET No.

**A3**

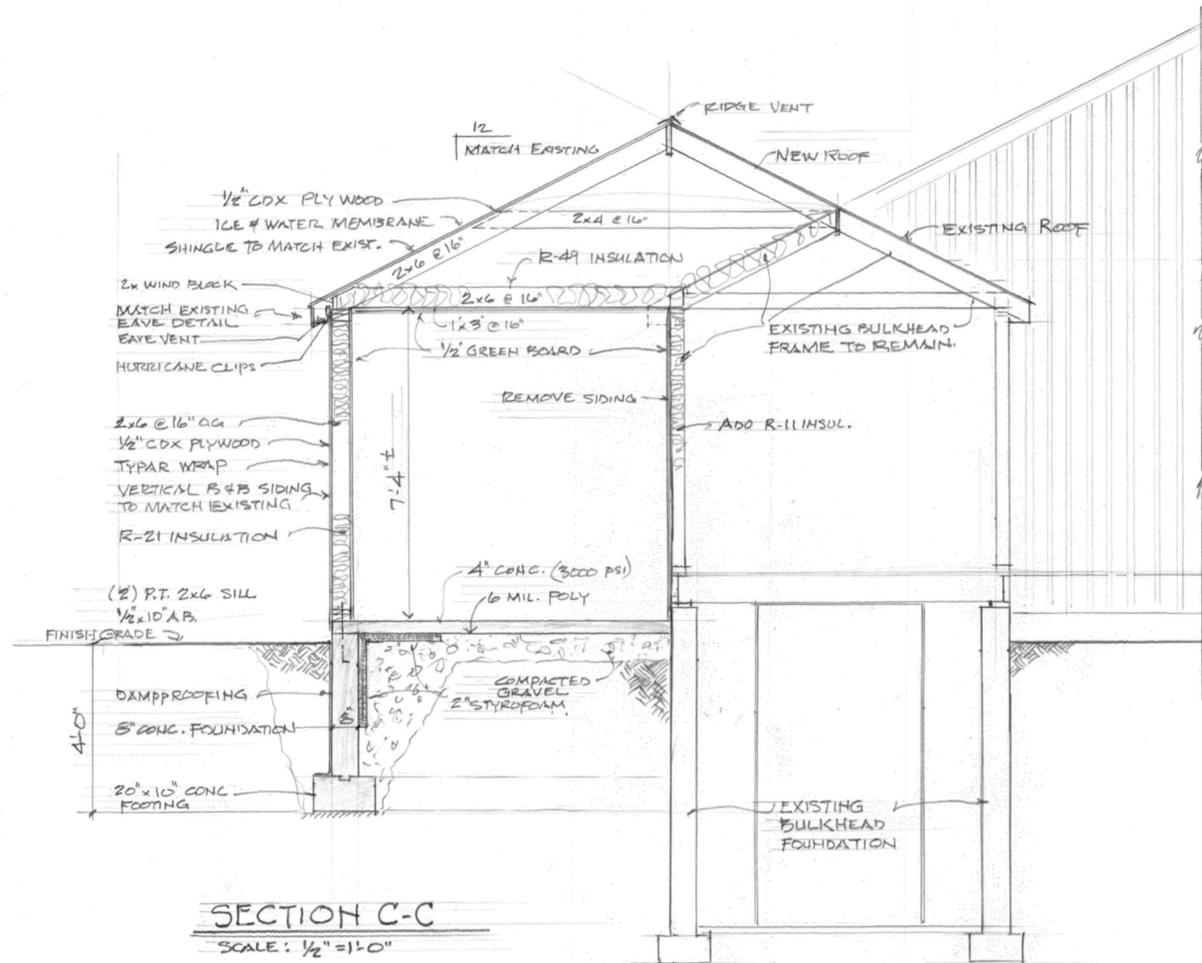
CONSTRUCTION DOC.



**NEW HANDICAP LAV MAAB 521 CMR COMPLIANT**  
SCALE: 1" = 1'-0"



**TOILET ROOM FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**SECTION C-C**  
SCALE: 1/2" = 1'-0"

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DRAWING TITLE:  
**TOILET ROOM  
FND. PLAN &  
CROSS SECTION**

DRAWN BY: **LFJ, JLM**

CHECKED BY: **LFJ**

DATE: **5/26/2021**

REVISIONS:  
**6/1/2021**

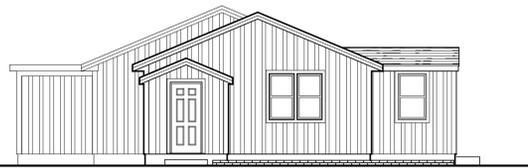
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SHEET No.

**A4**

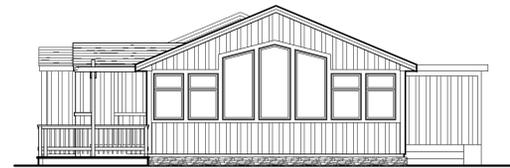
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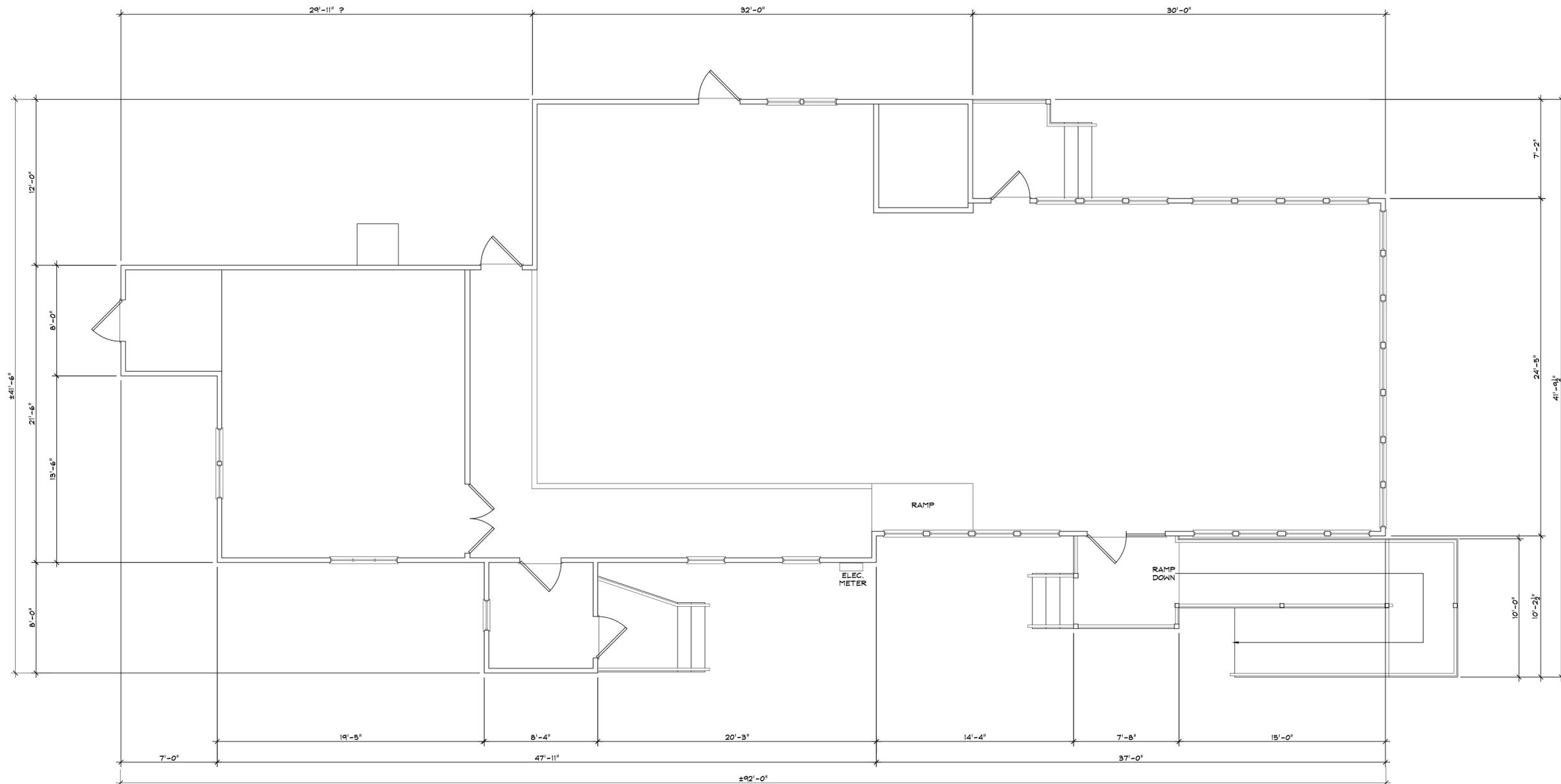
**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



CONSULTANT



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SIGNATURE

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DRAWING TITLE:  
**AS-BUILT SURVEY NOTES**

DRAWN BY: *JFM*

CHECKED BY: *LFB*

DATE: 5/26/2021

REVISIONS:

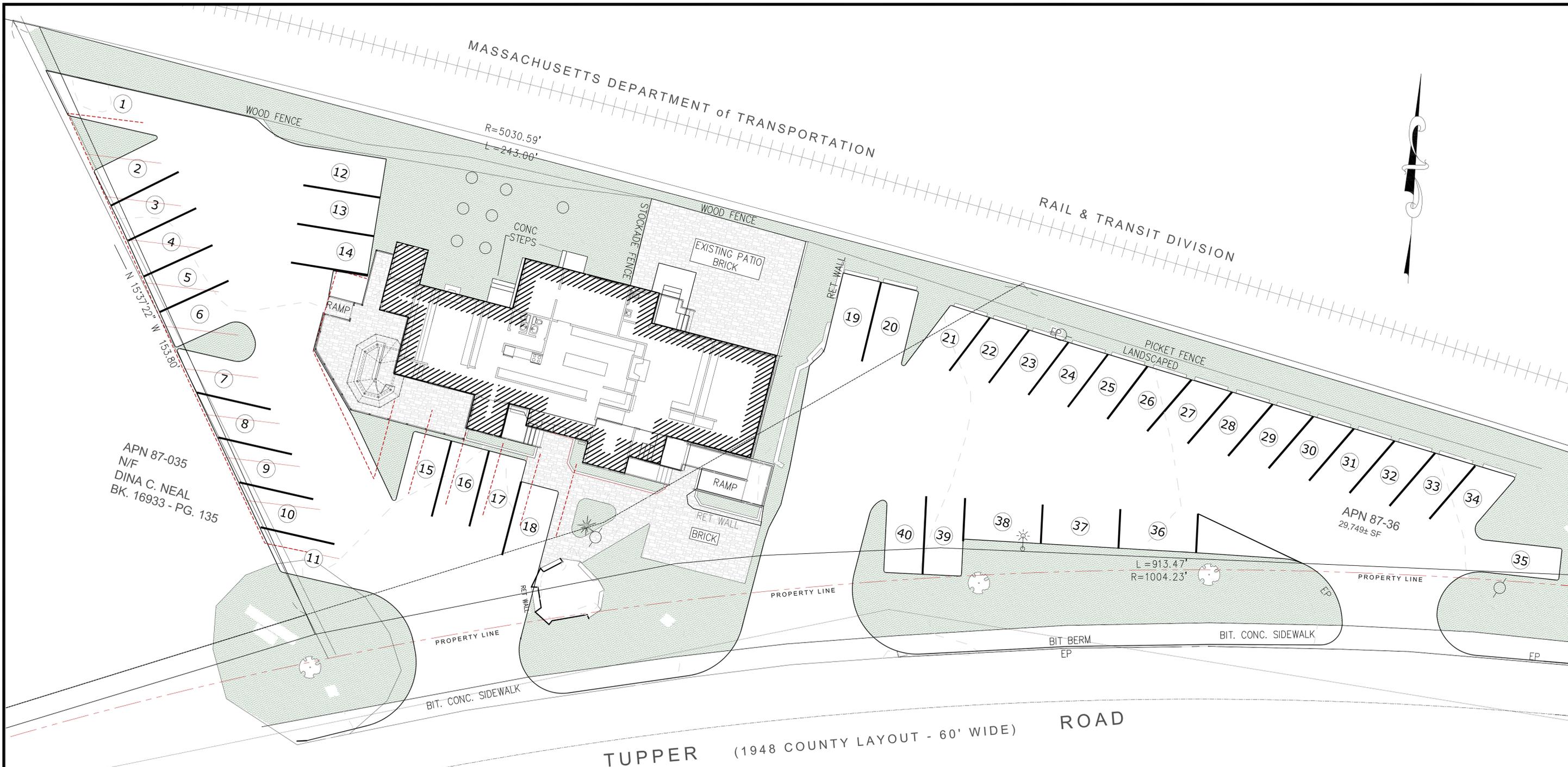
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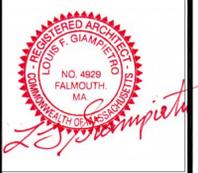
SHEET No.

**AB1**

AS-BUILT



**PARKING & LANDSCAPE PLAN**  
 SCALE: 3/32" = 1'-0"



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**CAPT. SCOTT'S RESTAURANT**  
 71 TUPPER ROAD  
 SANDWICH, MA 02563

DRAWING TITLE: <b>PARKING &amp; LANDSCAPE PLAN</b>	DRAWN BY: <i>ggm</i>	PROJECT No. 2034	SHEET No.
	CHECKED BY: <i>LF8</i>		<b>L1</b>
	DATE: 3/5/2021		
	REVISIONS: 6/1/2021		
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