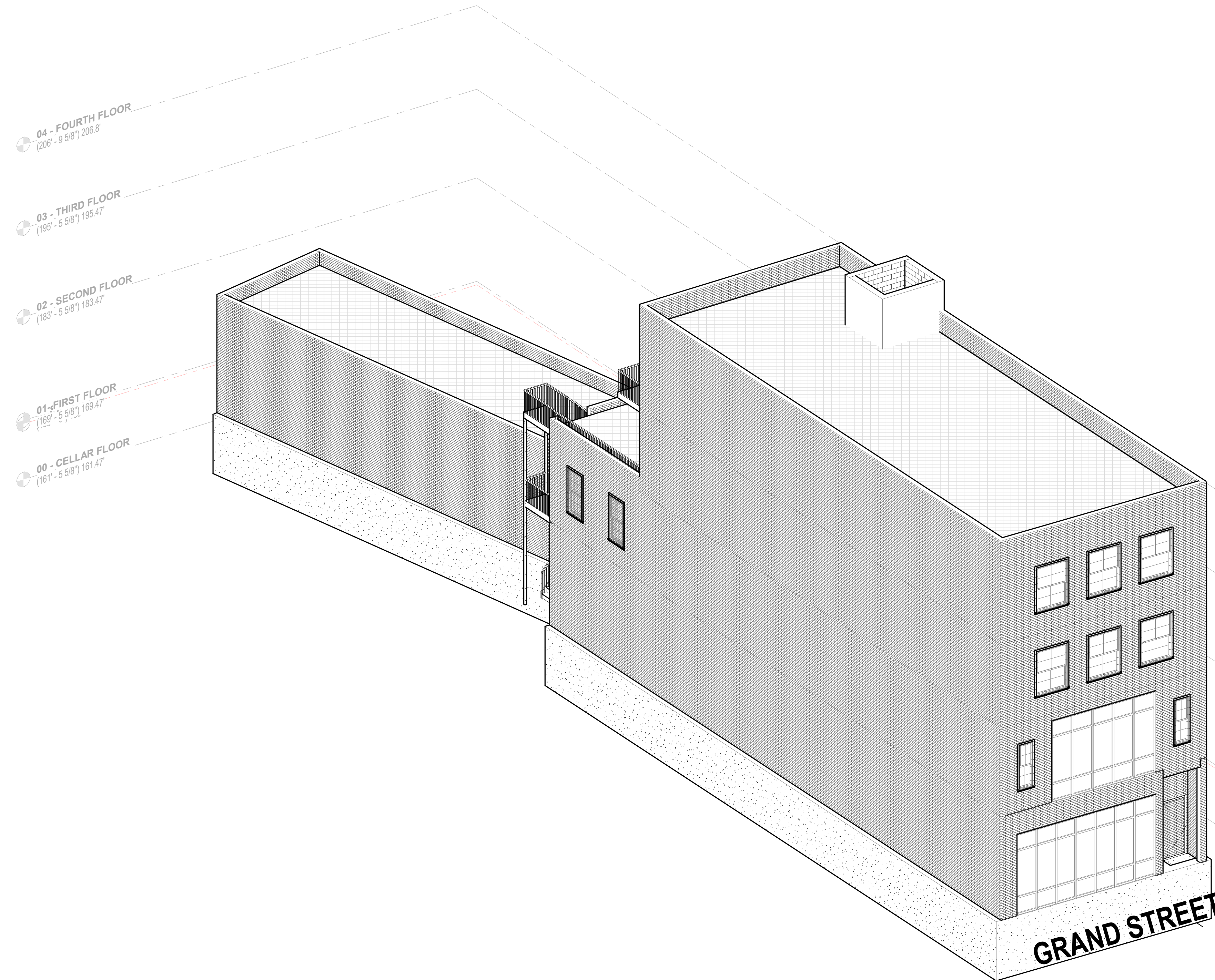


PROP. OFFICE COVERSION TO MULTI-FAMILY

158 GRAND STREET
WATERBURY, CT



3D VIEW

Scale:

GENERAL NOTES:

- 1) ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN IN WHICH THE PROJECT IS LOCATED AND THE 2021 IRC.
- 2) ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHEN SAME ARE AT VARIANCE.
- 3) THESE PLANS ARE TO BE USED FOR PERMITS AND CONSTRUCTION GUIDE ONLY, IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT UNLESS OTHERWISE INDICATED BY ARCHITECT.
- 4) CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
- 5) CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 6) ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
- 7) ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
- 8) ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
- 9) CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES. MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
- 10) ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
- 11) ALL CONSTRUCTION AND MATERIALS SHALL BE NEW, UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- 12) ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCIES.
- 13) NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
- 14) ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
- 15) PRIOR TO COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- 16) SEVEN DAYS PRIOR WRITTEN NOTICE OF INTENT TO EXCAVATE SHALL BE GIVEN TO OWNERS OF ALL ADJOINING LOTS WHICH MAY BE AFFECTED BY THE FOUNDATION WORK OR EARTH WORK OPERATIONS.
- 17) ALL DIMENSIONS ON PLAN ARE NOMINAL. CRITICAL DIMENSIONS ARE NOTED "HOLD". FINISH DIMENSIONS WILL VARY IN ACTUAL CONSTRUCTION.

SITE NOTES:

- 18) CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
- 19) ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS, WHICH ARE TO REMAIN.
- 20) EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER. EARTH UNDER CONCRETE SLABS TO BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE AND COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN THREE INCHES IN GREATEST DIMENSION.
- 21) DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING ARE INSTALLED. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7'-0" AND 10" CONCRETE BLOCK WALLS MAXIMUM 8'-0" ABOVE SLAB TO ADJACENT GRADE.
- 22) TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE OBJECTS.
- 23) GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPARTMENT RECORDS.
- 24) FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE. THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRYWELL.
- 25) FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
- 26) INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
- 27) INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
- 28) FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL BUILDING CODES.
- 29) ALL EXCAVATIONS SHALL BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.

MANETTA ARCHITECTURE
DESIGN PLLC

ma+d
Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER

MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611

OWNER:
MARIOLIS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

COVER SHEET
DRAWING TITLE:
PROJECT ADDRESS:
PROP. OFFICE COVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT

DRAWN BY: DRAWING TITLE:
CHECKED BY: TMM
JOB No: 26001
SCALE: As Noted
DATE: 06.03.2026

Description	Date



DOB APPROVAL:

DOB:
DRAWING No.: 1 OF 16

T-100.00

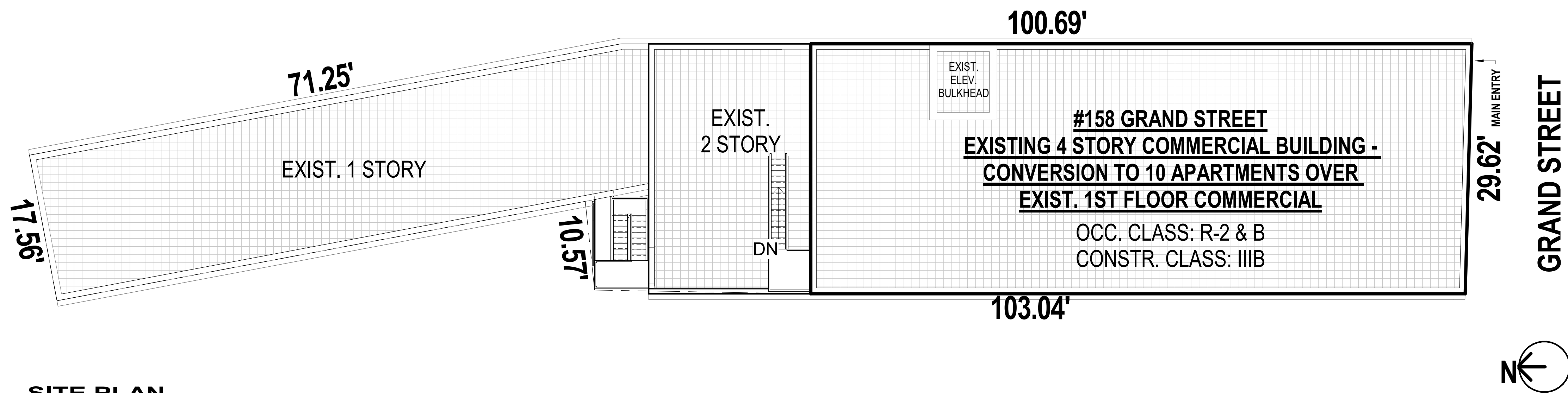
OWNER MARIOLIS 158 GRAND STREET LLC 11 FAMS DRIVE PLAINVIEW, NY 11803 o. 917-929-8412	ARCHITECT THOMAS M MANETTA, R.A., A.I.A. MANETTA ARCHITECTURE DESIGN PLLC 128-07 PEARL ROAD COLLEGE POINT, NY 11356 o. 646-398-019	STRUCTURAL ENGINEER STRUCTURAL ENGINEER --- --- ---	MEP ENGINEER MEP ENGINEER MASTROLUCA ENGINEERING 51 ZEPHYR RD. TRUMBULL, CT 06611	ENERGY CONSULTANT	HPD CONSULTANT	CIVIL ENGINEER - - - -
--	---	---	---	--------------------------	-----------------------	---

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

APARTMENT MIX BREAKDOWN

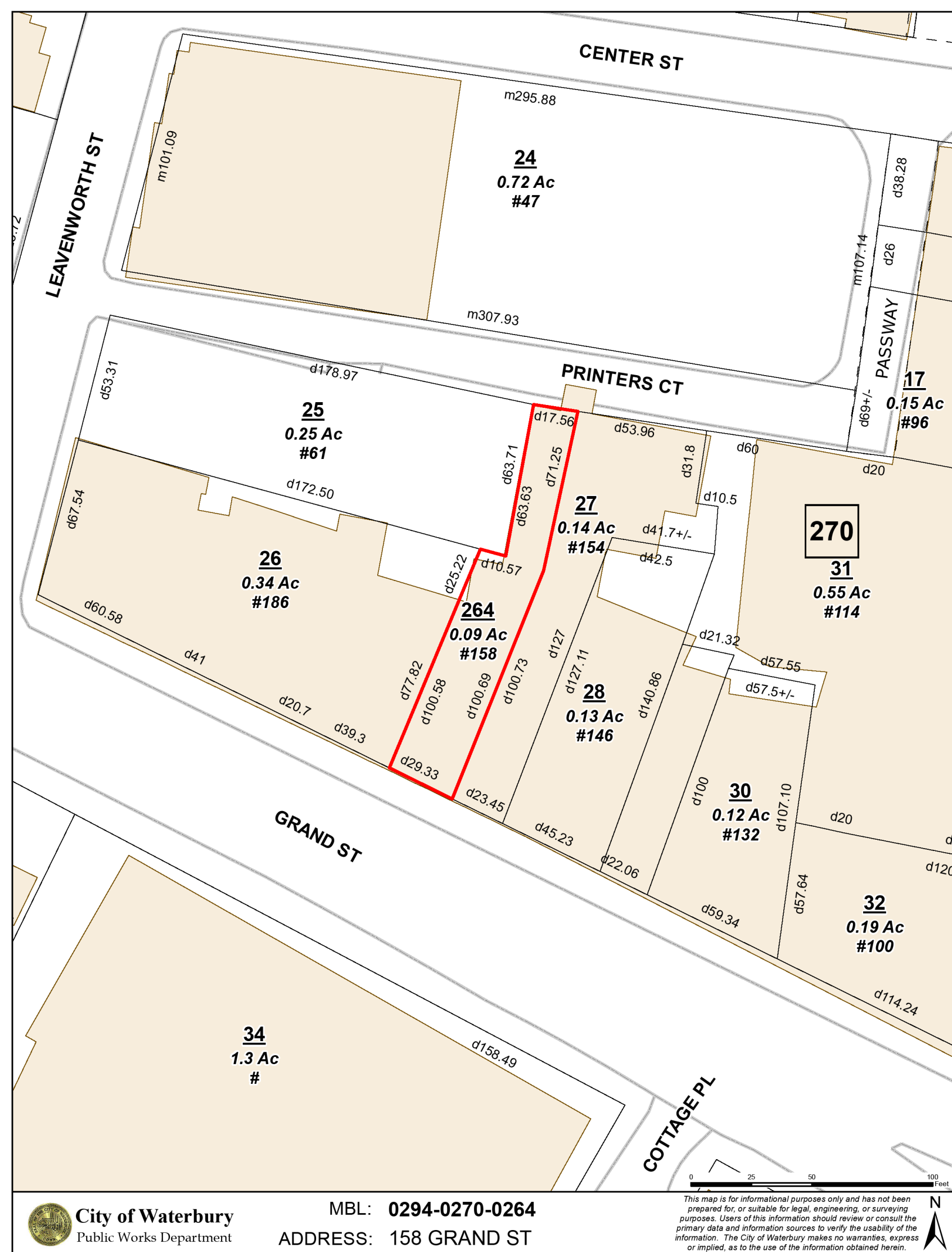
Count	Name
2	0-BR
7	1-BR
1	2-BR

Grand total: 10



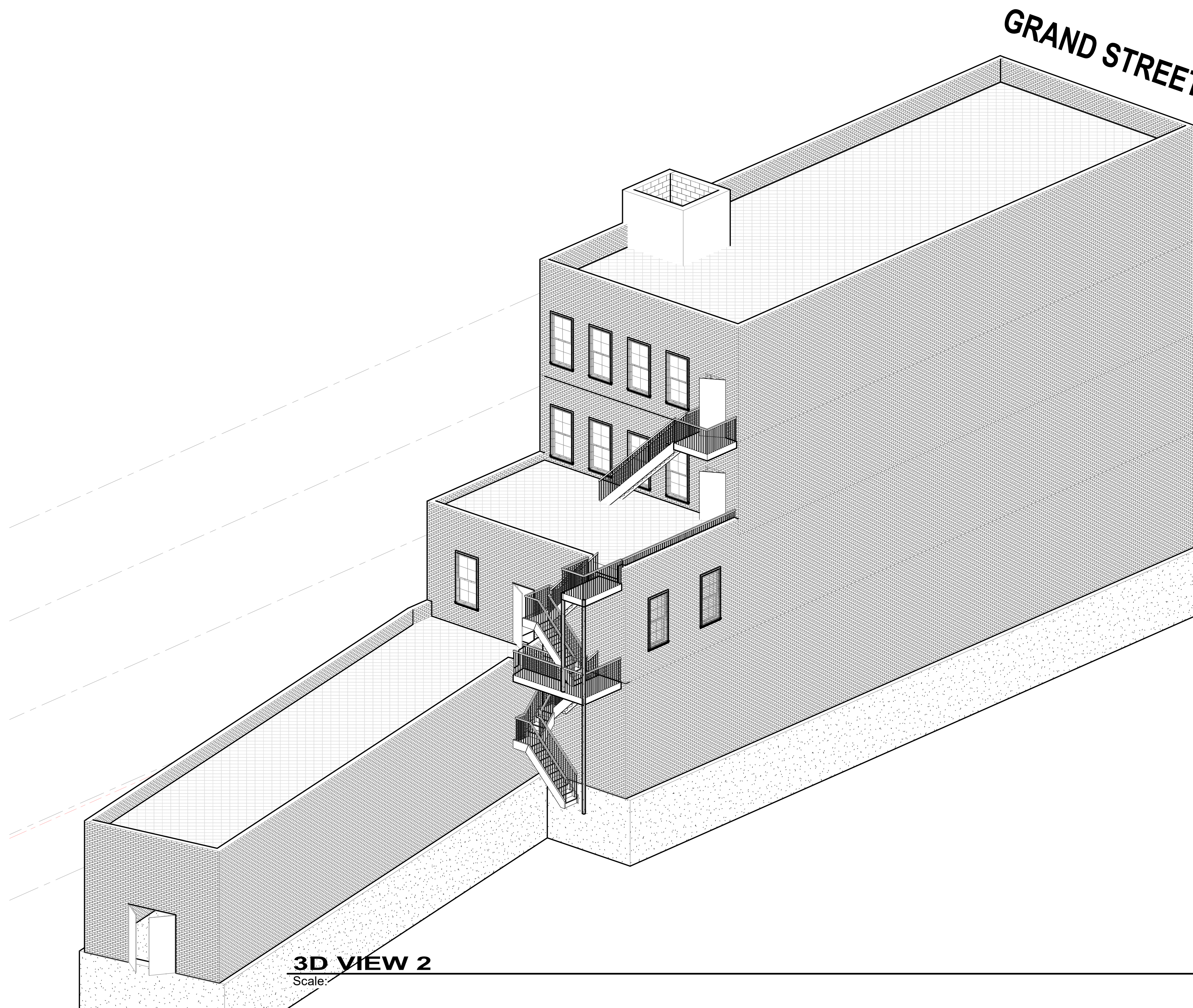
SITE PLAN

Scale: 1/8" = 1'-0"



CONSTRUCTION NOTES:

- 1) THE CONTRACTOR MUST CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- 2) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, AND APPROVALS.
- 3) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATIONS AND INFORMATION CONTAINED IN THESE PLANS PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER AND/OR ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION OR IMMEDIATELY AFTER DISCOVERED.
- 4) ALL PAVEMENT AREAS TO BE CONSTRUCTED PER THE PAVEMENT DETAILS SHOWN ON THE SITE IMPROVEMENT SHEETS.
- 5) ALL PARKING SPACES TO BE MARKED WITH CLEARLY VISIBLE STRIPING AT A MINIMUM OF 4" WIDE.
- 6) ALL REGULAR PARKING SPACES SHALL BE 9FT. WIDE BY 18FT. LONG UNLESS OTHERWISE NOTED.
- 7) OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR THE SELECTION OF SITE LIGHTING FIXTURES. FIXTURES MUST COMPLY WITH ARTICLE 11 SECTION 7.04.05 (d)3 OF THE TOWN OF MANCHESTER ZONING REGULATIONS.
- 8) ALL MONUMENTATION WILL BE SET AT LOCATIONS SHOWN ON THE PLANS AND MONUMENTATION DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESET PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 9) AN APPROVED EROSION CONTROL BOND IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- 10) AS PRE-CONSTRUCTION MEETING WITH THE TOWN OF MANCHESTER ENGINEERING DIVISION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- 11) ANY WORK WITHIN THE STATE OF CONNECTICUT RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT AND REVIEW THROUGH THE STATE OF CONNECTICUT DEPT. OF TRANSPORTATION.
- 12) ANY WORK WITHIN THE TOWN OF MANCHESTER RIGHT OF WAY MUST COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE CURRENT TOWN OF MANCHESTER PUBLIC IMPROVEMENT STANDARDS.
- 13) ANY EXISTING WATER OR SANITARY SEWER LATERAL NOT INTENDED TO BE REUSED AS PART OF THE DEVELOPMENT IS TO BE ABANDONED AT THE MAIN PER TOWN OF MANCHESTER WATER AND SEWER DEPARTMENT REQUIREMENTS.



3D VIEW 2

Scale:

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

MANETTA ARCHITECTURE DESIGN PLLC

mat+d

Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER

MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611

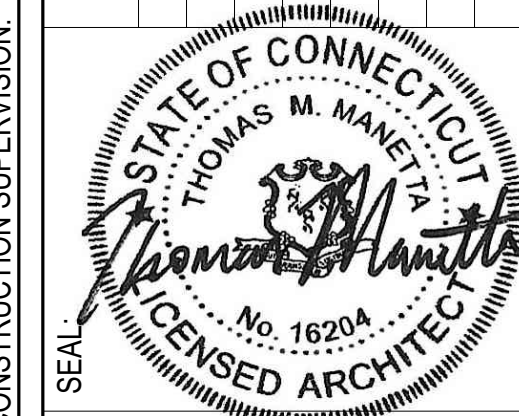
OWNER:
MARIOLIS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

SITE PLAN

DRAWN BY: DRAWING TITLE:
CHECKED BY: TMM
JOB No: 26001
SCALE: As Noted
DATE: 06.03.2026

PROJECT ADDRESS:
PROP. OFFICE CONVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT

DOB APPROVAL:



DOB: -

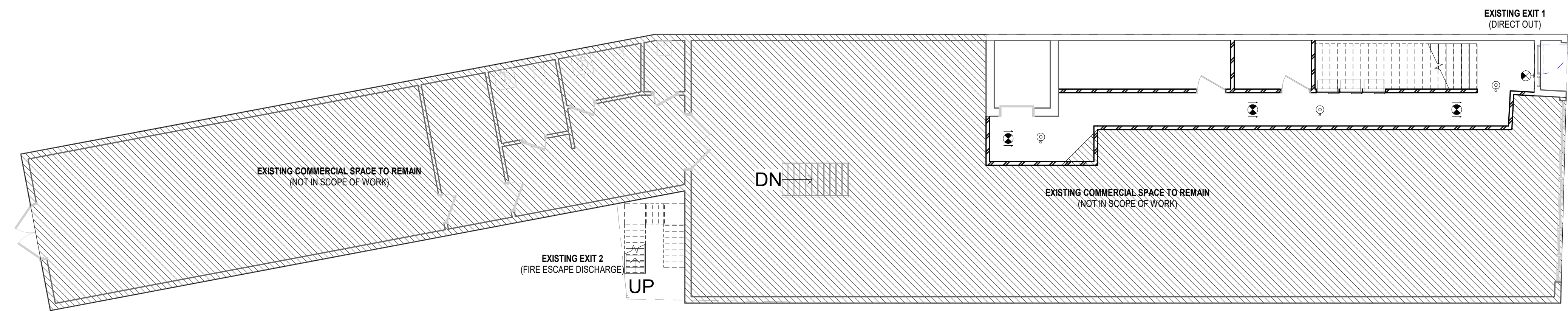
DRAWING No.: 2 OF 16

Z-001.00

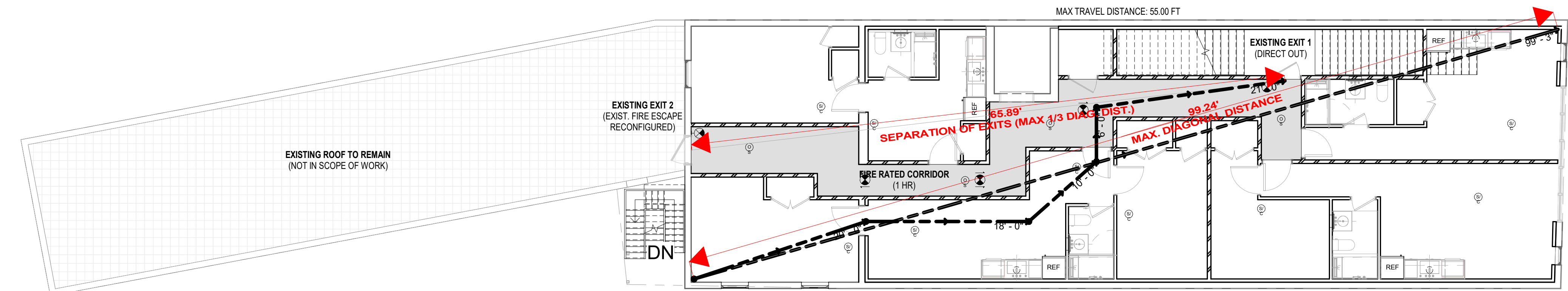
LEGEND			
1-HOUR RATED PARTITION			
2-HOUR RATED PARTITION			
3-HOUR RATED PARTITION			
TRAVEL DISTANCE & DEAD END CORRIDOR			
C.P. COMMON PATH OF EGRESS TRAVEL			
EXIT SIGN			
CARBON MONOXIDE/SMOKE DETECTORS			
SPRINKLER HEADS AS LOCATED IN PLAN			
PROVIDE HARDWIRED COMBINATION SMOKE/CARBONMONOXIDE CEILING MOUNTED DETECTOR WITHIN EACH ENCLOSED SLEEPING AREA AND WITHIN 15' OF SLEEPING AREA DOORS ON PATH OF EGRESS. ALL DEVICES IN EACH UNIT ARE INTERCONNECTED AT 120V.			
PARTITION REQUIREMENTS			
1. ALL SHAFTS - 2HRS			
2. CORRIDOR WALLS - 2HR			
3. DEMISING WALLS - 1HR			
4. MECHANICAL ROOM AND ELECTRICAL ROOM - 2HRS			
5. CELLAR TRASH ROOM - 3HRS			
OCCUPANCY TAG			
1.	1. ROOM NUMBER	1.	1. EXIT LOAD
2.	2. ROOM NAME	2.	2. EXIT CAPACITY
3.	3. USE CLASSIFICATION		
4.	4. FLOOR AREA		
5.	5. OCC. LOAD CRITERIA		
6.	6. OCCUPANT LOAD		
LIGHT AND AIR TAG		HABITABLE ROOM (AREA)	
H.R.	80 SF	H.R. = HABITABLE ROOM (NET SQUARE FOOT)	
R.L.	8.0 SF	R.L. = REQUIRED LIGHT (10% H.R.)	
P.L.	35.8 SF	P.L. = PROVIDED LIGHT (VARIES SEE WINDOW SCHEDULE)	
R.V.	4.0 SF	R.V. = REQUIRED VENT (5% H.R.) OR R.V.* = REQUIRED VENT (2.5% H.R.)	
P.V.	19.8 SF	P.V. = PROVIDED VENTILATION (VARIES SEE WINDOW SCHEDULE)	

OCCUPANT LOAD CRITERIA TABLE 1004.1.1		
USE	CLASSIFICATION	OCC. LOAD
RESIDENTIAL (WITHIN DWELLING UNITS)	R-2	200 GSF/P
EXERCISE	R-2	50 GSF/P
ACCESSORY MECHANICAL	F-2	300 GSF/P
ACCESSORY STORAGE	S-2	300 GSF/P

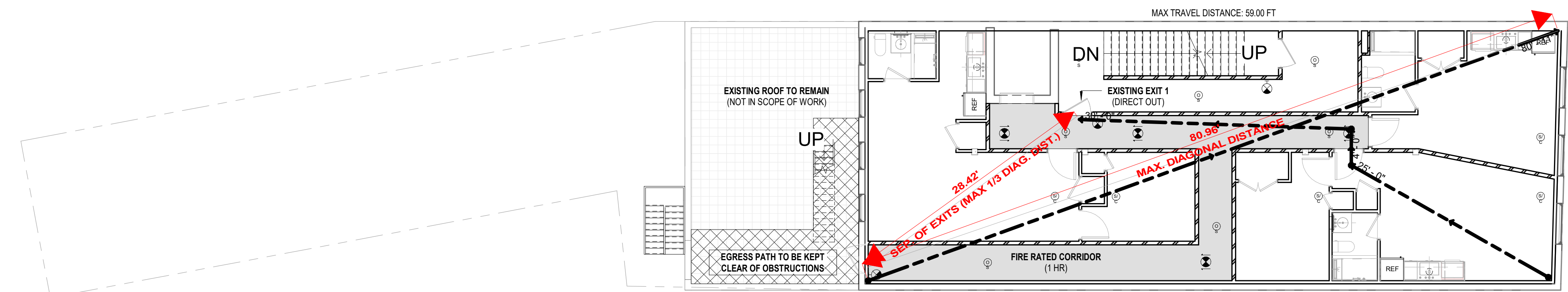
EXIT REQUIREMENTS	
MAX. TRAVEL DISTANCE SPRINKLERED (M)	200'-0"
MAX. TRAVEL DISTANCE SPRINKLERED (R-2)	200'-0"
MAX. TRAVEL DISTANCE SPRINKLERED (S-2/F-2)	250'-0"
CORRIDORS MAX. DEAD END (R-2)	40'-0" (80'-0" W/ 2HR CORRIDOR)
CORRIDORS MAX. DEAD END (M/B/F)	50'-0" FOR SPRINKLERED BLDGS
COMMON PATH OF EGRESS TRAVEL (R-2)	125'-0" FOR SPRINKLERED BLDGS
COMMON PATH OF EGRESS TRAVEL (M)	75'-0"
COMMON PATH OF EGRESS TRAVEL (B/F/S)	100'-0" FOR SPRINKLERED BLDGS
STAIRWAY WIDTH PER OCCUPANT	0.3'
DOOR/CORRIDOR WIDTH PER OCCUPANT	0.2'
CORRIDORS MIN. WIDTH	44"
STAIR MIN. WIDTH	44"
STAIR MAX. RISER HEIGHT (R-2)	7 3/4"
STAIR MAX. TREAD WIDTH (R-2)	9 1/2" PLUS NOSING
STAIR MAX. RISER HEIGHT (M)	7"
STAIR MAX. TREAD WIDTH (M)	11"



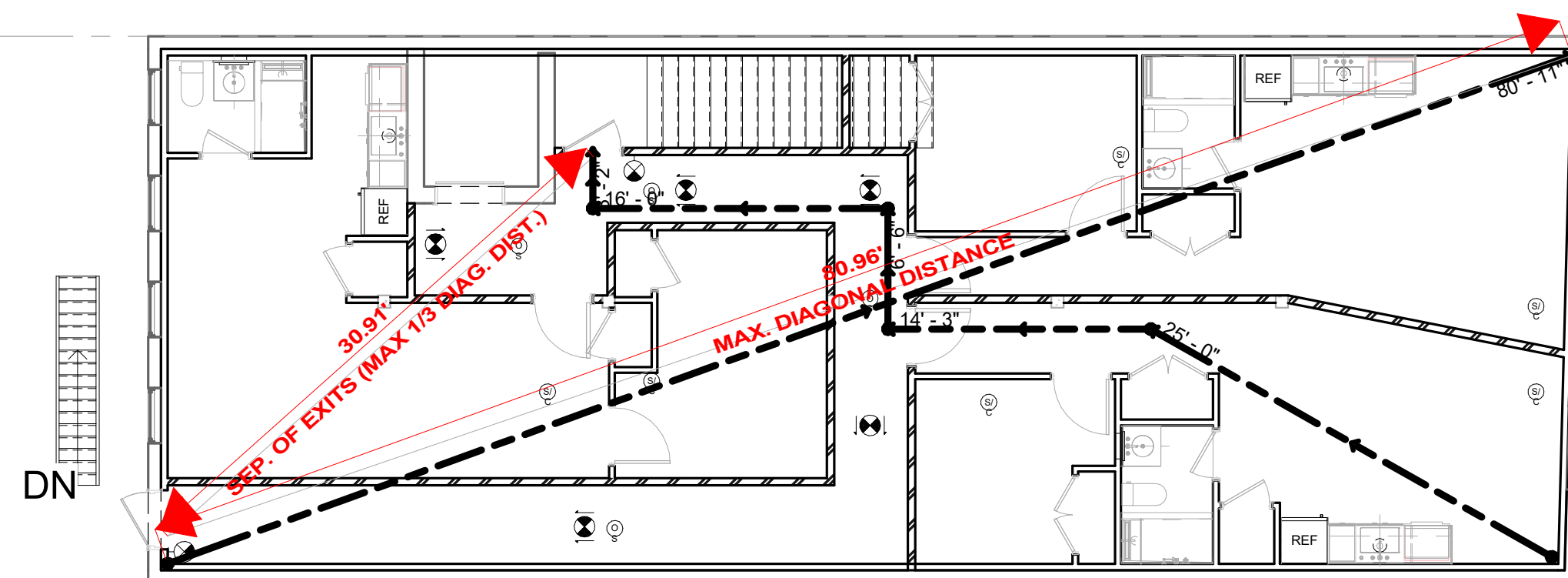
② 01 - FIRST FLOOR EGRESS PLAN
1/8" = 1'-0"



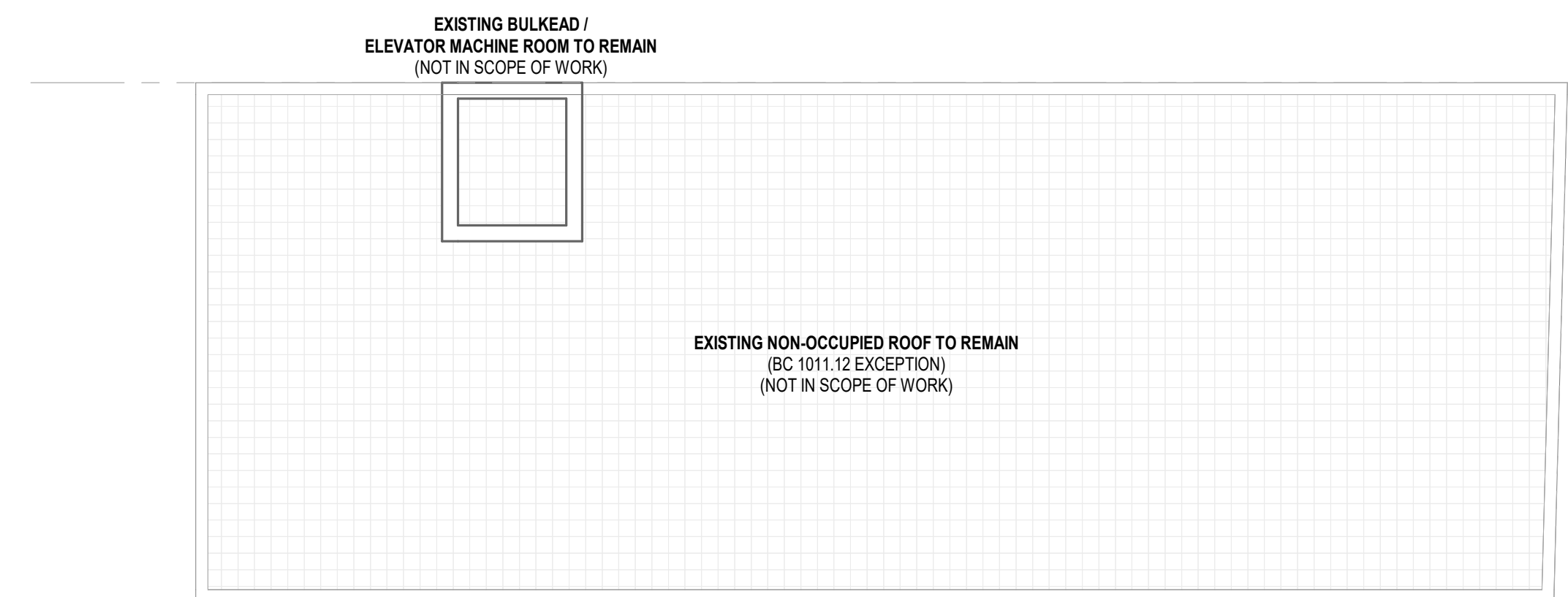
③ 02 - SECOND FLOOR EGRESS PLAN
1/8" = 1'-0"



① 03 - THIRD FLOOR EGRESS PLAN
1/8" = 1'-0"



④ 04 - FOURTH FLOOR EGRESS PLAN
1/8" = 1'-0"



⑤ T.O. ROOF EGRESS PLAN
1/8" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

MANETTA ARCHITECTURE DESIGN PLLC
 Tel. (646) 398-0194
 thomas@manettaarchitecture.com

CONSULTANTS:
 STRUCTURAL ENGINEER
 MEP ENGINEER
 MASTROLUCA ENGINEERING
 51 ZEPHYR RD.
 TRUMBULL, CT 06611

OWNER:
 MARIOLIS
 158 GRAND STREET LLC
 11 FAMS DRIVE
 PLAINVIEW, NY 11803

DRAWING TITLE: LIFE SAFETY CELLAR FLOOR
 PROJECT ADDRESS:
 PROP. OFFICE CONVERSION TO MULTI-FAMILY
 158 GRAND STREET
 WATERBURY, CT

Description	Date

SEAL: THOMAS M. MANETTA, LICENSED ARCHITECT, No. 16204

DOB APPROVAL:
 DOB: _____

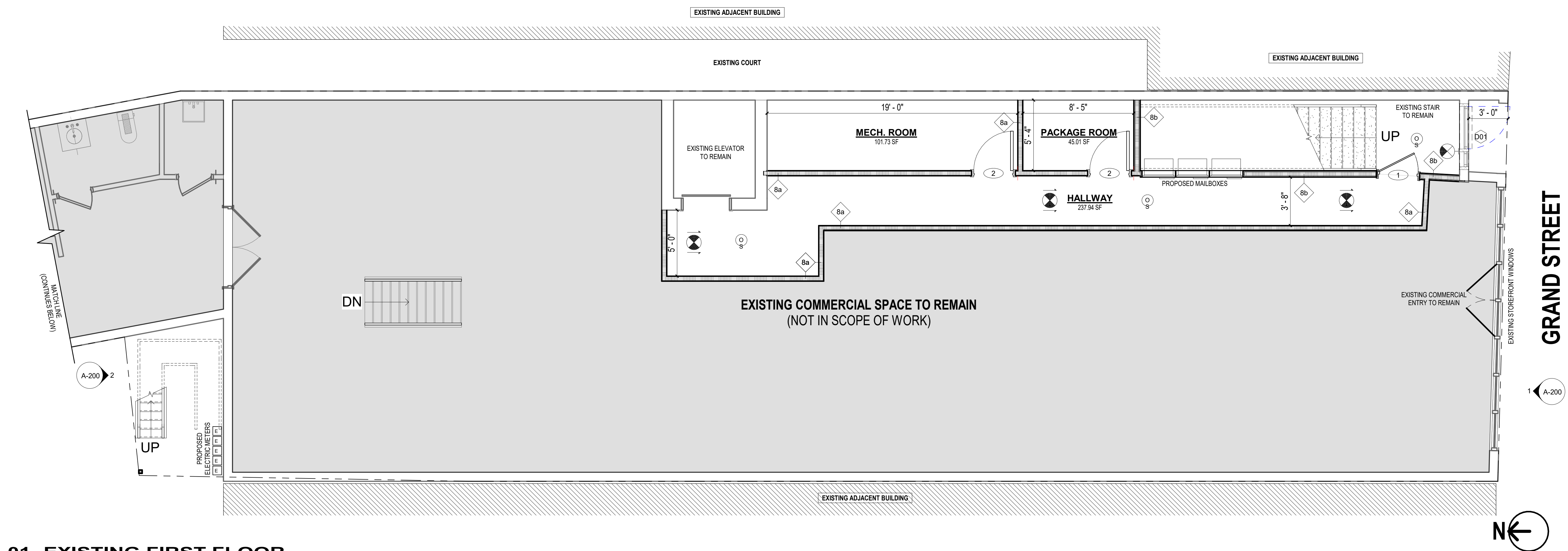
DRAWING No.: 4 OF 16

A-001 00

APARTMENT MIX BREAKDOWN

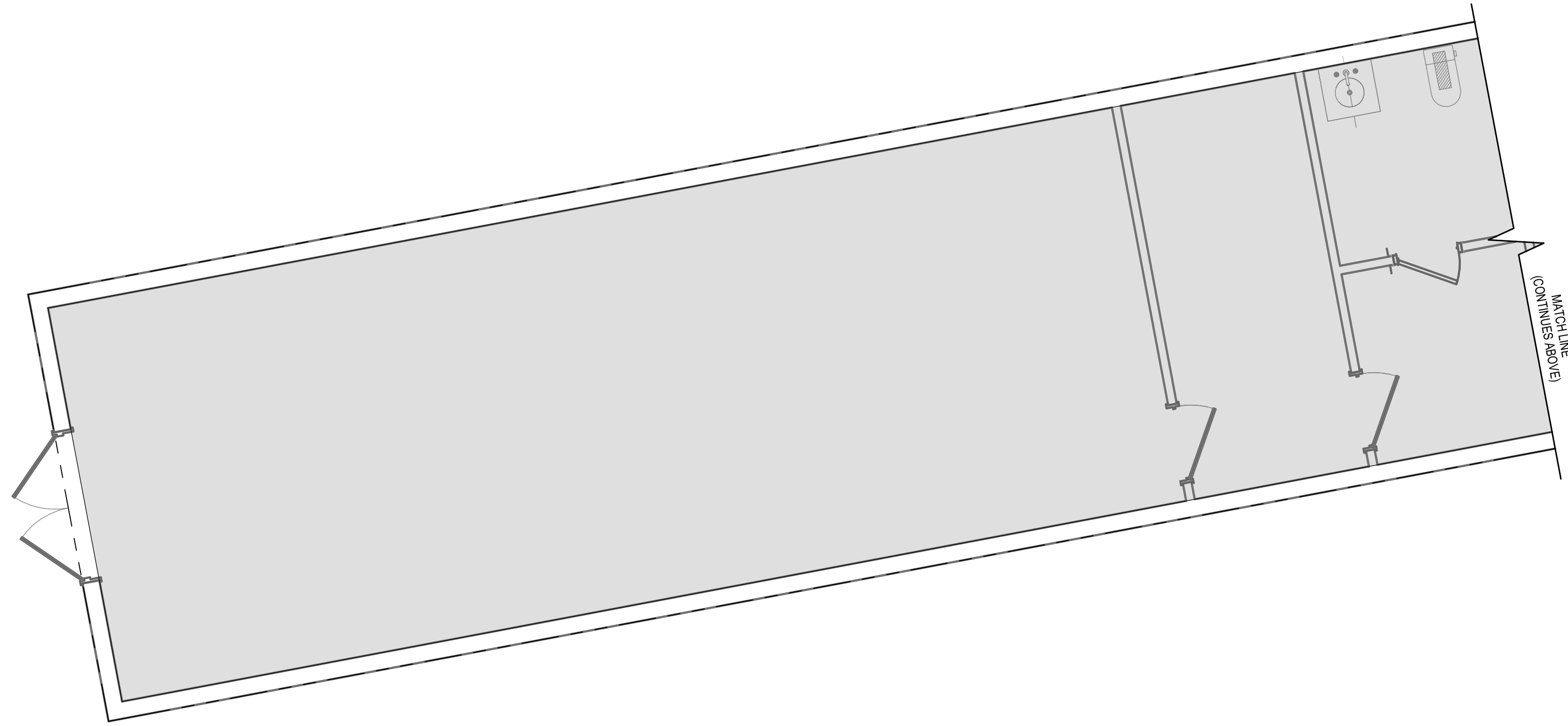
Count	Name
2	0-BR
7	1-BR
1	2-BR

Grand total: 10



01- EXISTING FIRST FLOOR

Scale: 1/4" = 1'-0"



01- EXISTING FIRST FLOOR REAR

Scale: 1/4" = 1'-0"

WINDOW SCHEDULE			
Type Mark	Width	Height	Count
D01	5'-0"	9'-2"	1
D05	2'-0"	6'-0"	2
W12	3'-0"	6'-0"	11
W23	4'-6"	6'-0"	6
Grand total: 20			

DOOR SCHEDULE				
Mark	Width	Height	Fire Rating	Count
1	3'-0"	7'-0"	1 1/2 HR	9
2	3'-0"	6'-6"	1/3 HR	13
3	3'-0"	6'-6"	-	8
4	2'-6"	6'-6"	-	19
5	1'-6"	6'-6"	-	2
6	4'-0"	6'-6"	-	9
7	2'-0"	6'-6"	-	1

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

MANETTA ARCHITECTURE DESIGN PLLC

matd
Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER
MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611
OWNER:
MARIOLIS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

FIRST FLOOR PLAN
PROJECT ADDRESS:
PROP. OFFICE CONVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT

DRAWN BY: DRAWING TITLE:
CHECKED BY: TMM
JOB No: 26001
SCALE: As Noted
DATE: 06.03.2026

SEAL: STATE OF CONNECTICUT
THOMAS M. MANETTA
LICENSED ARCHITECT
No. 16204

DOB APPROVAL:
DOB: .

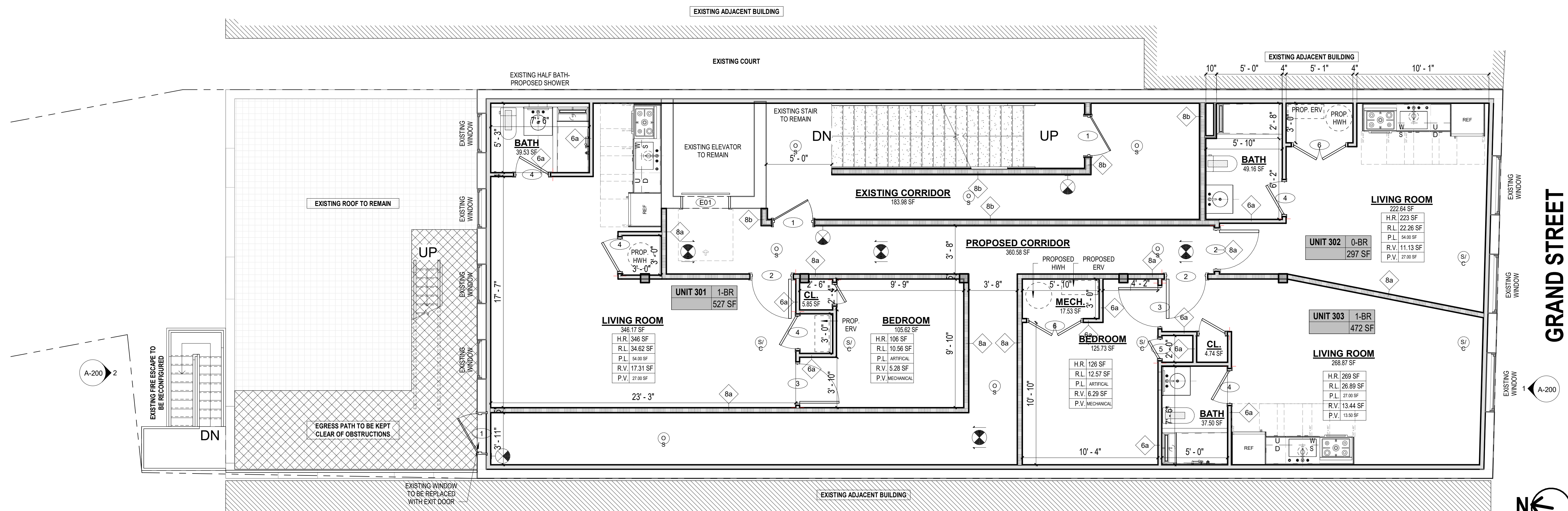
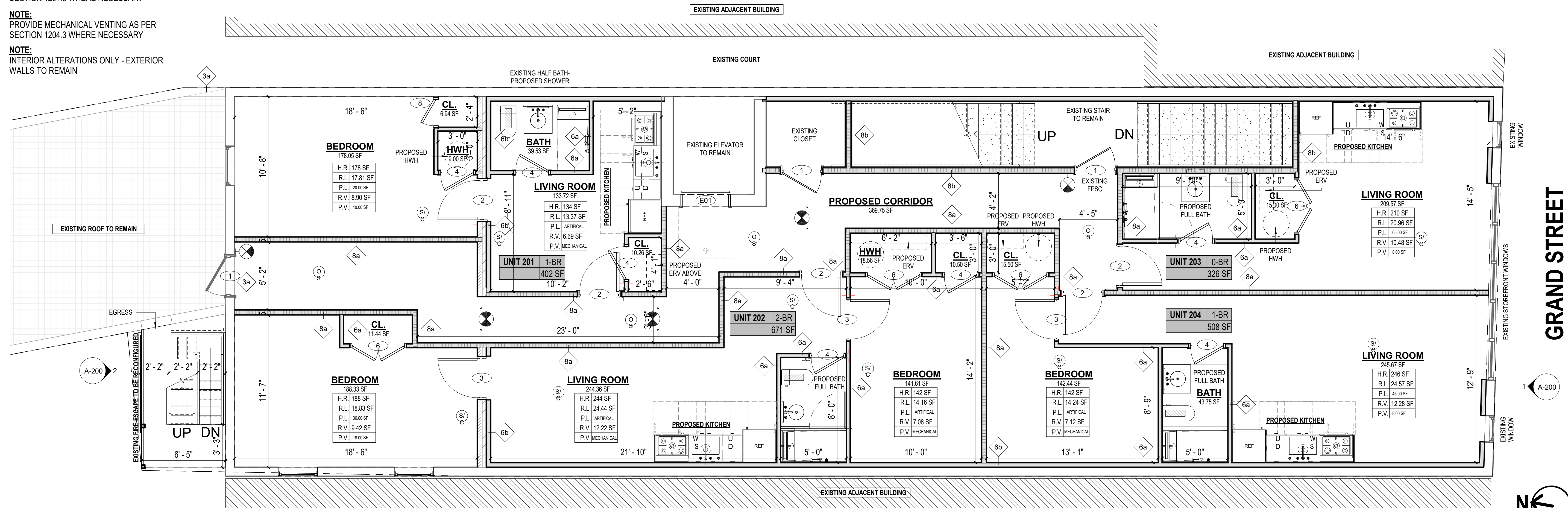
DRAWING No.: 6 OF 16

A-101 00

NOTE:
PROVIDE ADDITIONAL LIGHT AS PER SECTION 1204.3 WHERE NECESSARY

NOTE:
PROVIDE MECHANICAL VENTING AS PER SECTION 1204.3 WHERE NECESSARY

NOTE:
INTERIOR ALTERATIONS ONLY - EXTERIOR WALLS TO REMAIN



THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

**MANETTA ARCHITECTURE
DESIGN PLLC**

Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER

MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611

OWNER:
MARIUS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

02 + 03 PROPOSED FLOOR PLANS
PROP. OFFICE CONVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT

DRAWN BY: TMM
CHECKED BY: TMM
JOB No: 26001
SCALE: As Noted
DATE: 06.03.2026

PROJECT ADDRESS:
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

DOB APPROVAL:

DOB:

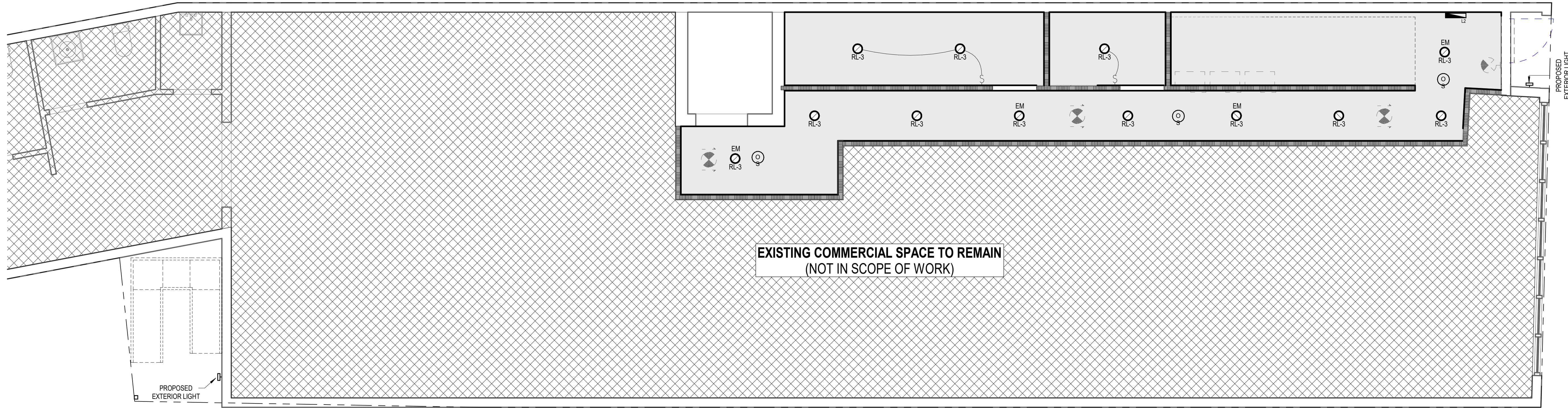
DRAWING No.: 7 OF 16

A-102 00



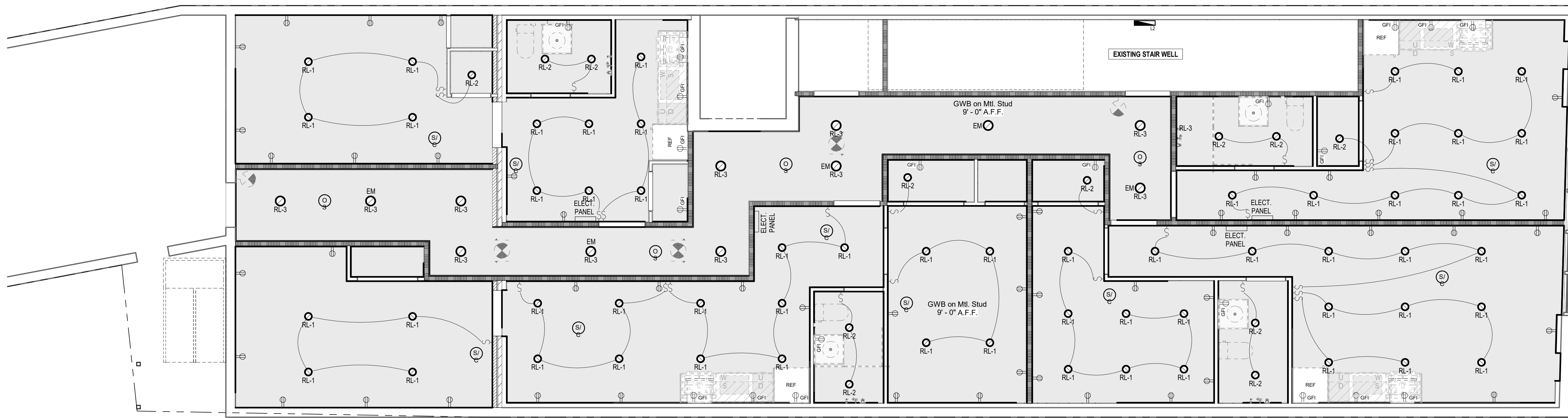
GRAND STREET

GRAND STREET



01 - FIRST FLOOR - RCP

Scale: 1/4" = 1'-0"



02 - SECOND FLOOR - RCP

Scale: 1/4" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL/EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

**MANETTA ARCHITECTURE
DESIGN PLLC**

manetta
Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER
MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611
OWNER:
MARIUS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

DRAWING TITLE: **001-002 FLOORS RCP**
PROJECT ADDRESS:
**PROP. OFFICE COVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT**

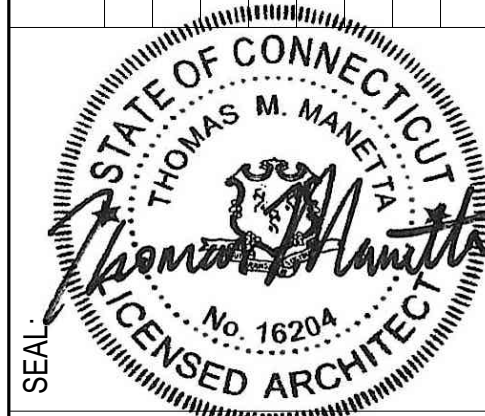
DRAWN BY: TMM
CHECKED BY: TMM
JOB No.: 26001
SCALE: As Noted
DATE: 06.03.2026

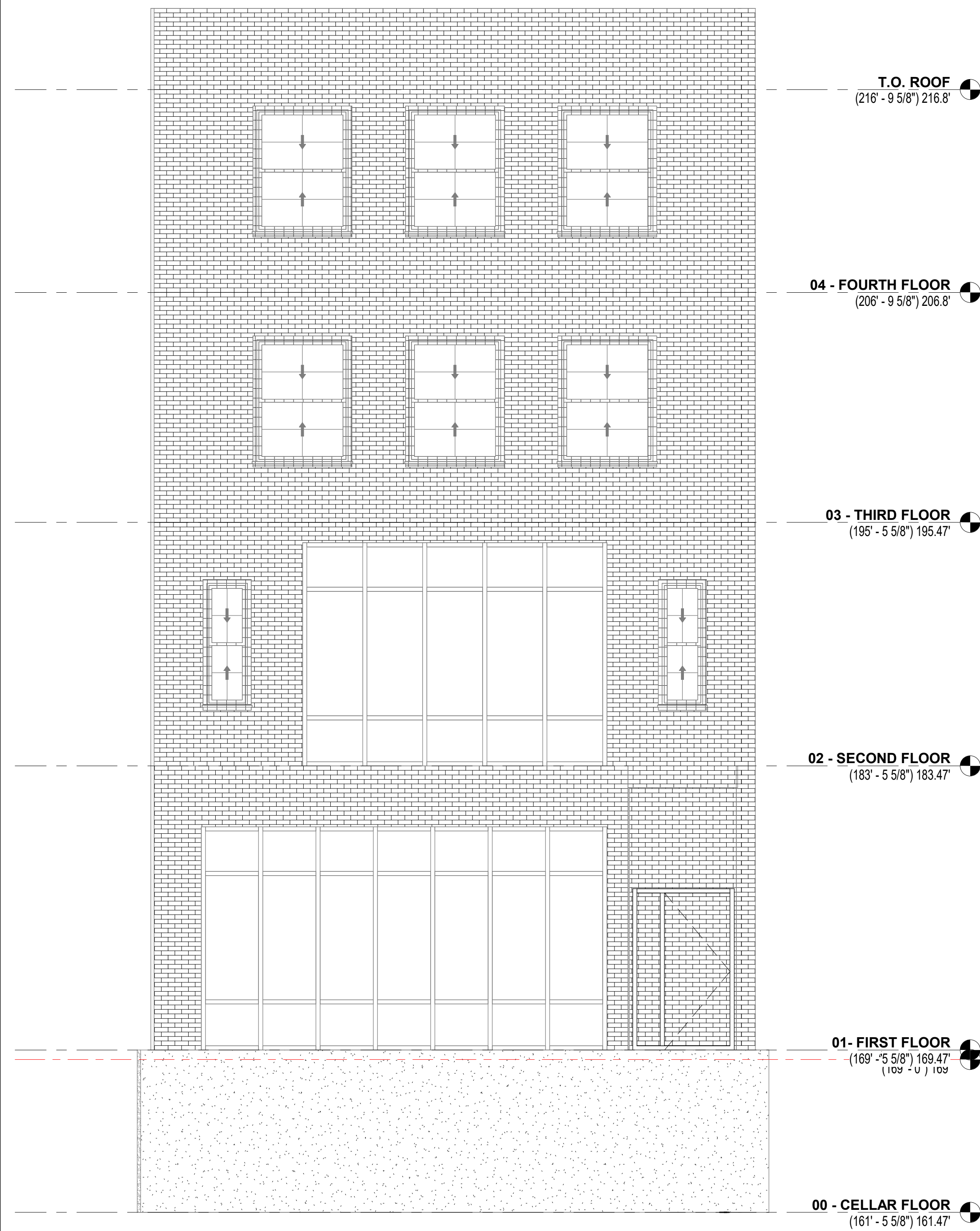
Description	Date

DOB APPROVAL:
DOB: _____

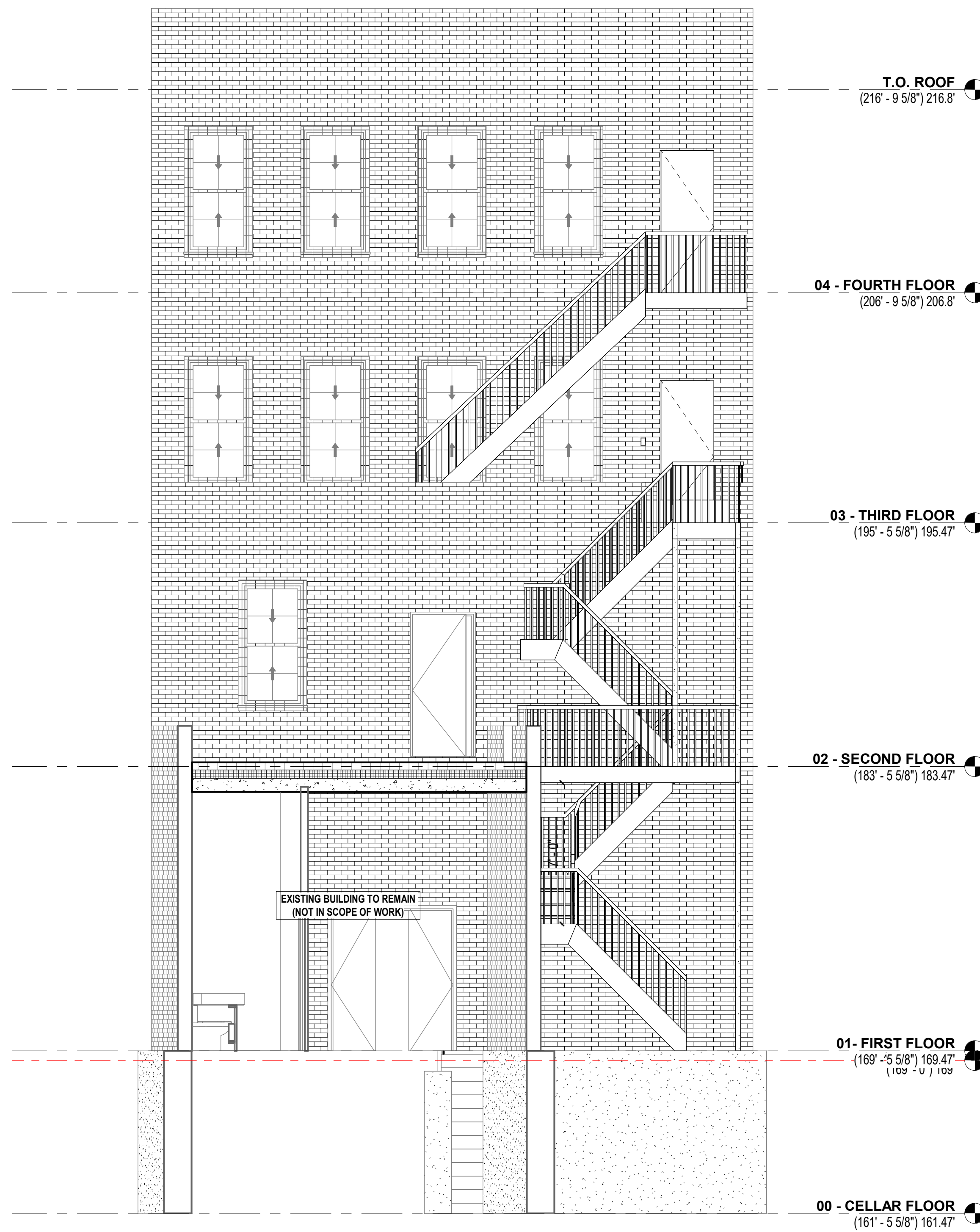
DRAWING No.: 9 OF 16

A-11000



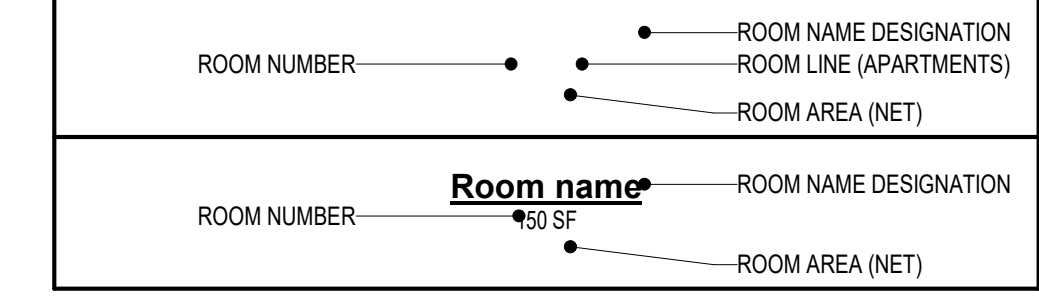
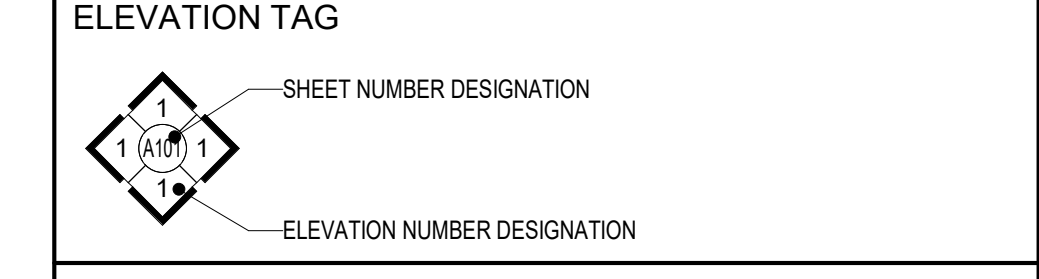
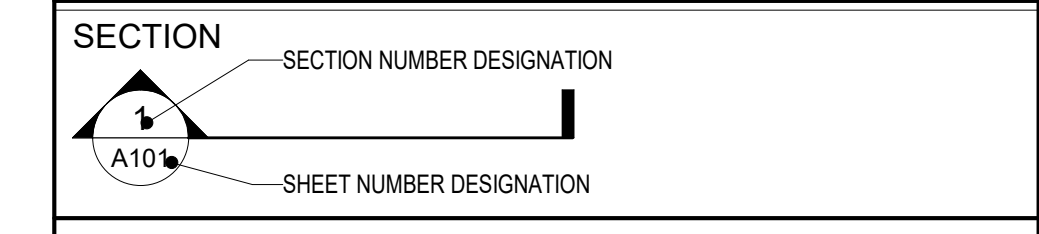


1 FRONT ELEVATION (GRAND STREET)
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

SYMBOLS LEGEND	
SYMBOL	SYMBOL DESCRIPTION
	WATER METER
	ELECTRIC METER
	GAS METER
	FOIL FACED BATT INSULATION. SEE PLANS FOR ACTUAL R-VALUE.
	MECHANICAL EXHAUST VENT 50 CFM FOR ALL BATHROOMS
	WINDOW TAG DESIGNATION. REFER TO WINDOW SCHEDULE FOR DESCRIPTION.
	DOOR TAG DESIGNATION. REFER TO WINDOW SCHEDULE FOR DESCRIPTION.
	WALL TAG DESIGNATION. REFER TO WALL STYLES FOR DESCRIPTION.
	PARKING TAG: VEHICLES & BICYCLES
	NEW YORK CITY APPROVED TYPE. SMOKE DETECTOR & CARBON MONOXIDE DETECTOR HARD WIRED. SMOKE DETECTORS REQUIRED IN EACH BEDROOM, ONE IN COMMON AREA, AND ONE ON EACH FLOOR
	CONDITION ABOVE
	STEEL - SEE STRUCTURAL DRAWINGS FOR SIZING / INSTALLATION
	B.S.A. APPROVED - DIRECTIONAL EXIT SIGN W/ BATTERY BACK-UP
	FD = FLOOR DRAIN, AD = OUTSIDE AREA DRAIN, RD = ROOF DRAIN
	PROPERTY LINE



NOTES

- PROVIDE MINIMUM 32" CLEAR OPENING WIDTH AT ALL TERRACE DOORS WITH MAX 1/2" SILL FOR HANDICAP ACCESSIBILITY (TYP.). CLEAR OPENING TO BE MEASURED WITH DOOR OPEN 90 DEGREES.
- ALL TERRACE DOORS TO HAVE FULLY TEMPERED GLASS
- ALL OPERABLE WINDOWS IN ROOMS OR SPACES IN THE DWELLING SPACES SHALL HAVE OPERABLE PARTS COMPLYING WITH SECTION 309 OF ICC A117.1. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305 SHALL BE PROVIDED; OPERABLE PARTS OF WINDOW SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES SPECIFIED IN SECTION 308 (BETWEEN 15'-48" WITH UNOBSTRUCTED FORWARD REACH). OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5LBS MAXIMUM
- PROVIDE HEAT-STRENGTHENED GLASS WHERE SAFETY GLASS IS NOT REQUIRED, TYP
- ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED. PROVIDE FLASHING, WINDOW DAMS, EXPANDABLE FOAM SEALANT AND CAULKING AT ROUGH OPENING / WINDOW / SKYLIGHT FRAME JOINTS AND ALL SEAMS TO CREATE A CONTINUOUS AIR BARRIER WITH SURROUNDING WALL SYSTEM.
- MANUFACTURED PENETRATION PRODUCTS MUST BE LABELLED FOR U-FACTOR ACCORDING TO APPROVED PROCEDURES. EACH PANE OF SAFETY GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A LABEL SPECIFYING LABELER, WHETHER THE MANUFACTURER OR INSTALLER, AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES.

EXTERIOR GLAZING LEGEND*				
SYMB.	TYPE	DESCRIPTION	BUILD UP	PERFORMANCE (IGU ONLY)
	GL-1.0	VISION GLASS (FIXED) AT NORTH AND EAST ELEVATIONS	<ul style="list-style-type: none"> 3/8" GLASS (CLEAR) - OUTSIDE 1/2" AIR/ARGON (10/90) FILLED CAVITY 1/4" GLASS (CLEAR) - INSIDE LOW-E 0.02 (2) 	U = 0.27 BTU/H*12°F SHGC = 0.22 Operable OITC = 35 Fixed OITC = 42 Operable STC = 41 Fixed STC = 49 VT = 0.50
	GL-2.0	STOREFRONT	<ul style="list-style-type: none"> 3/8" GLASS (CLEAR) - OUTSIDE 1/2" AIR/ARGON FILLED CAVITY 3/8" GLASS (CLEAR) - INSIDE LOW-E COATING ON #2 SURFACE 	U = 0.27 BTU/H*12°F SHGC = 0.60 OITC = 42 STC = 49 VT = 80%
	DR-1.0	TERRACE DOORS		U = 0.27 BTU/H*12°F SHGC = 0.22 OITC = 42 STC = 49 VT = 0.50
	DR-1.0	COMMERCIAL DOORS		U = 0.27 BTU/H*12°F SHGC = 0.22 OITC = 36 STC = 43 VT = 0.50

SPANDREL PANEL AREA USED FOR LEGAL LIGHT *LEGEND PROVIDED FOR REFERENCE ONLY ALWAYS REFER TO SPECIFICATIONS FOR FULL PRODUCT SCHEDULE DESCRIPTIONS

MANETTA ARCHITECTURE DESIGN PLLC
 Tel. (646) 398-0194
 thomas@manettaarchitecture.com

CONSULTANTS:
 STRUCTURAL ENGINEER

MEP ENGINEER
 MASTROLUCA ENGINEERING
 51 ZEPHYR RD.
 TRUMBULL, CT 06611

OWNER:
 MARIUS
 158 GRAND STREET LLC
 11 FAMS DRIVE
 PLAINVIEW, NY 11803

BUILDING ELEVATIONS

PROJECT ADDRESS:
 PROP. OFFICE CONVERSION TO MULTI-FAMILY
 158 GRAND STREET
 WATERBURY, CT

DRAWN BY: TMM
CHECKED BY: TMM
JOB No.: 26001
SCALE: As Noted
DATE: 06.03.2026

STATE OF CONNECTICUT
 THOMAS M. MANETTA
 No. 16204
 LICENSED ARCHITECT

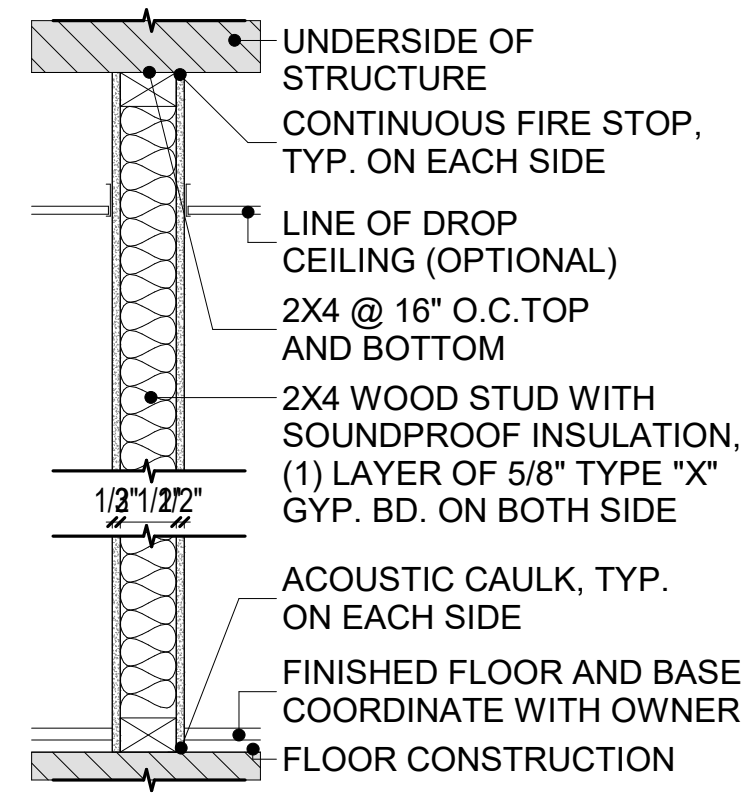
DOB APPROVAL:

DOB:

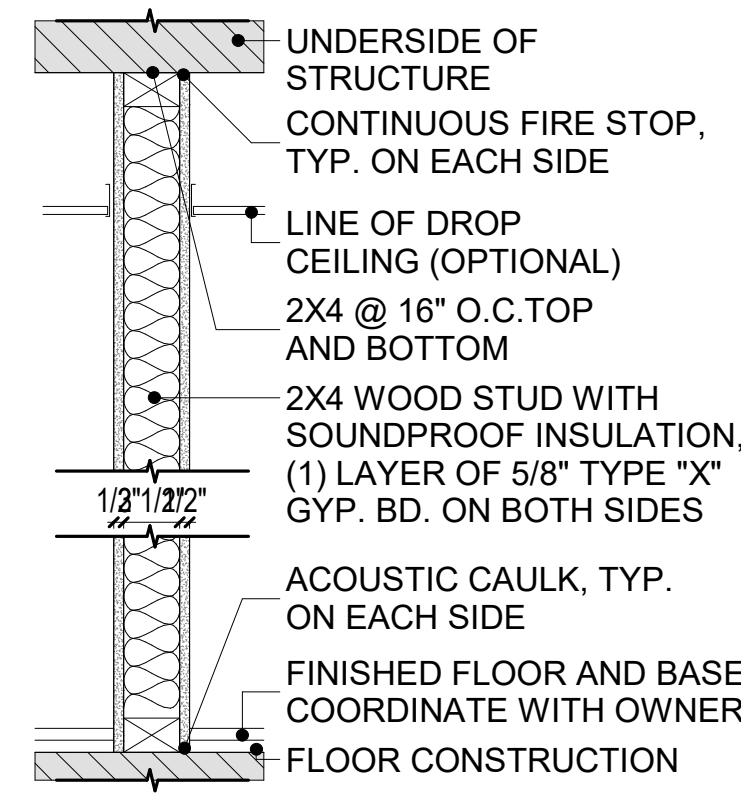
DRAWING No.: 11 OF 16

A-200 00

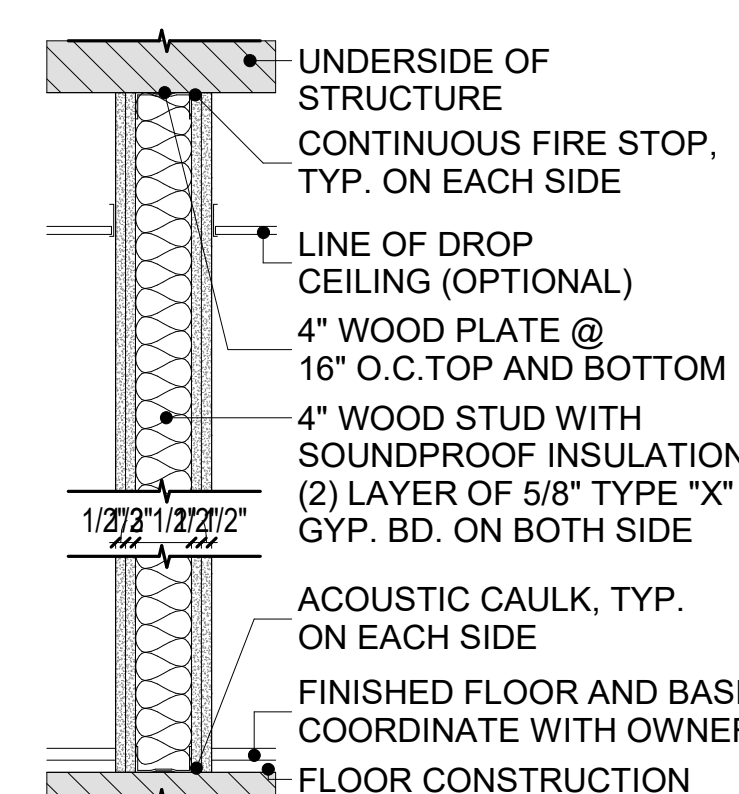
THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.



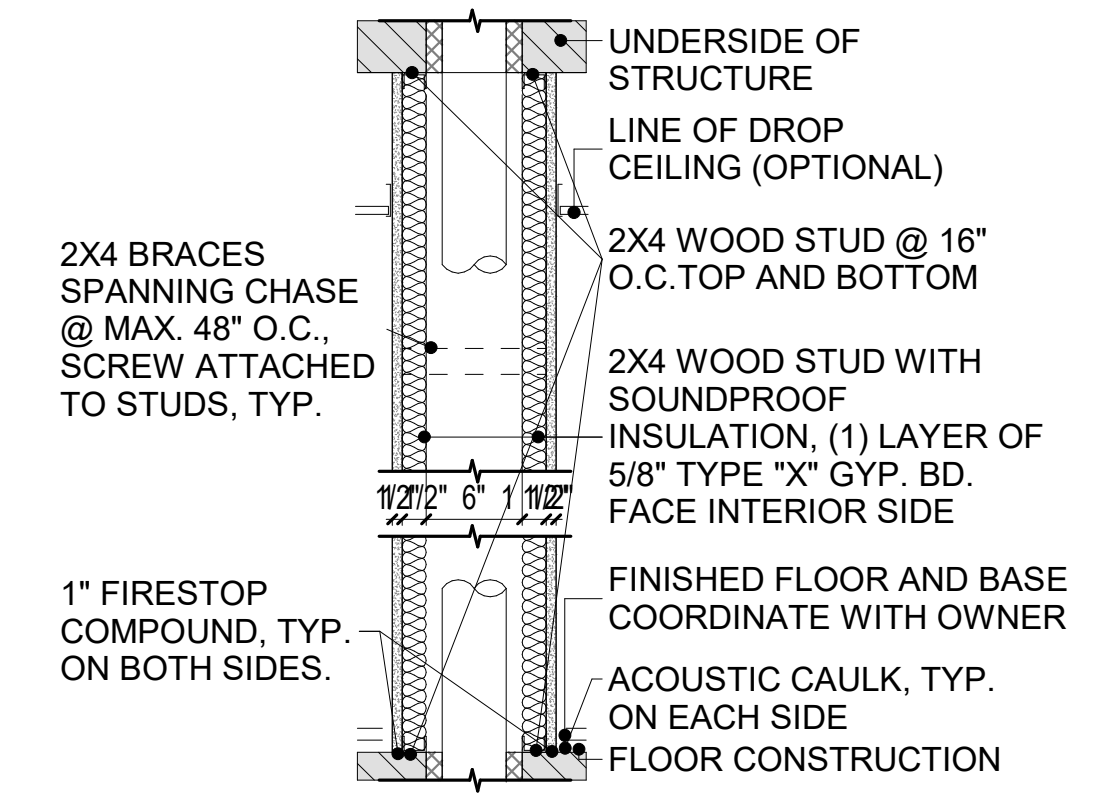
UL U419
STC 49: SA-870-717
ALTERNATE: (1) LAYER GWB REPLACED BY WP
GWB ON BATHROOM SIDE & DUROCK (CEMENT
BD.) ON ALL TUB AND SHOWER SURROUNDS.



UL U419
STC 51
ALTERNATE: (1) LAYER GWB REPLACED BY WP
GWB ON BATHROOM SIDE & DUROCK (CEMENT
BD.) ON ALL TUB AND SHOWER SURROUNDS.



UL : U411
STC 52: NGC 2018113
ALTERNATE: (1) LAYER GWB REPLACED BY WP
GWB ON BATHROOM SIDE & DUROCK (CEMENT
BD.) ON ALL TUB AND SHOWER SURROUNDS.



UL U420
STC 52: RAL-TL-76-162
ALTERNATE: (1) LAYER GWB REPLACED BY WP
GWB ON BATHROOM SIDE & DUROCK (CEMENT
BD.) ON ALL TUB AND SHOWER SURROUNDS.

6a **NON-RATED 4" INTERIOR PARTITION** SCALE: 1" = 1'-0"

8a **1HR-RATED INTERIOR PARTITION** SCALE: 1" = 1'-0"

8b **2HR-RATED 4" INTERIOR PARTITION** SCALE: 1" = 1'-0"

8c **1HR-RATED CHASE WALL** SCALE: 1" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL/EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

MANETTA ARCHITECTURE
DESIGN PLLC

matd
Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER
MEP ENGINEER
MASTROLUCA ENGINEERING
51 ZEPHYR RD.
TRUMBULL, CT 06611

OWNER:
MARIOLIS
158 GRAND STREET LLC
11 FAMS DRIVE
PLAINVIEW, NY 11803

DRAWING TITLE: **WALL DETAILS**

PROJECT ADDRESS: **PROJ. OFFICE CONVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT**

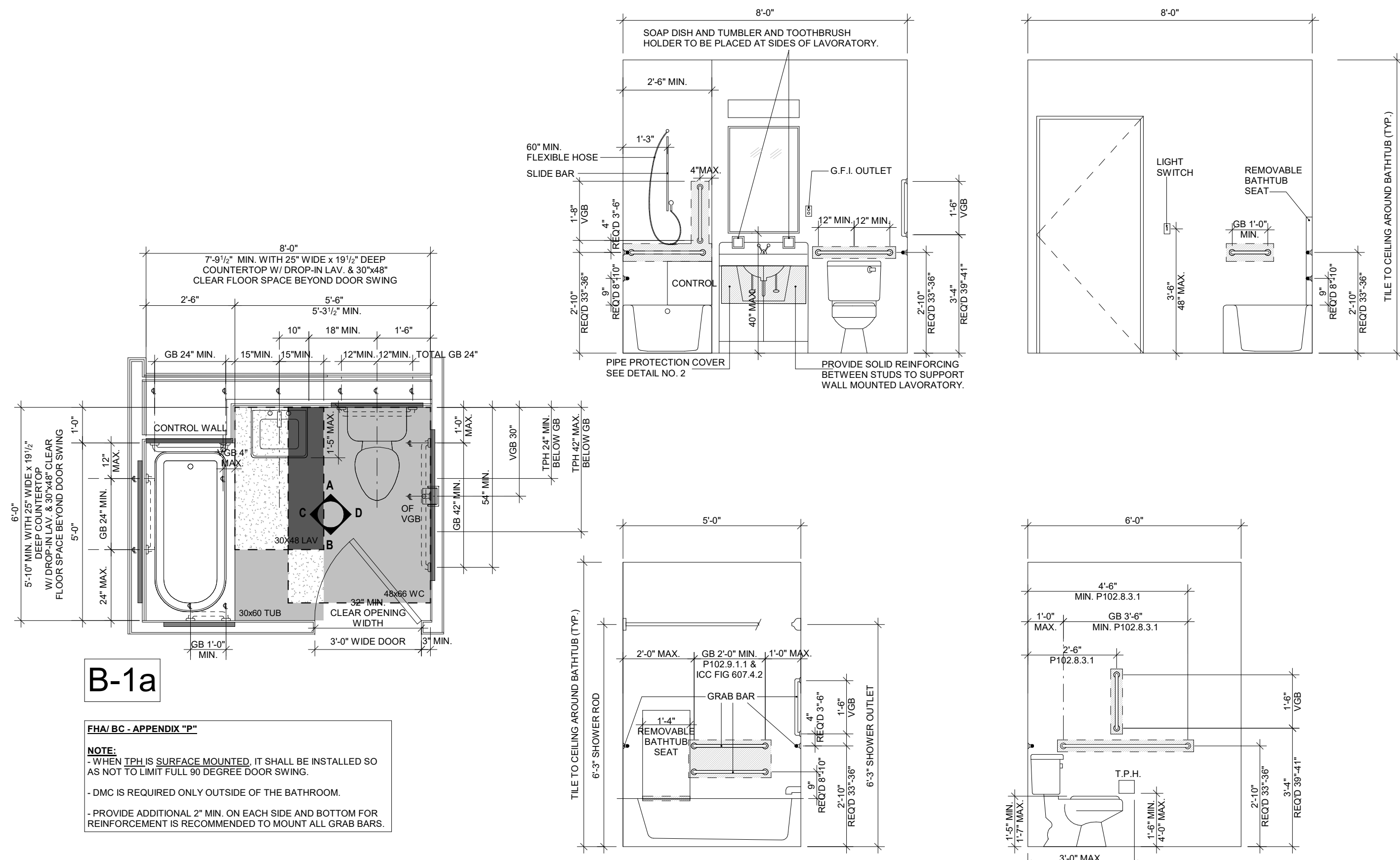


DOB APPROVAL:

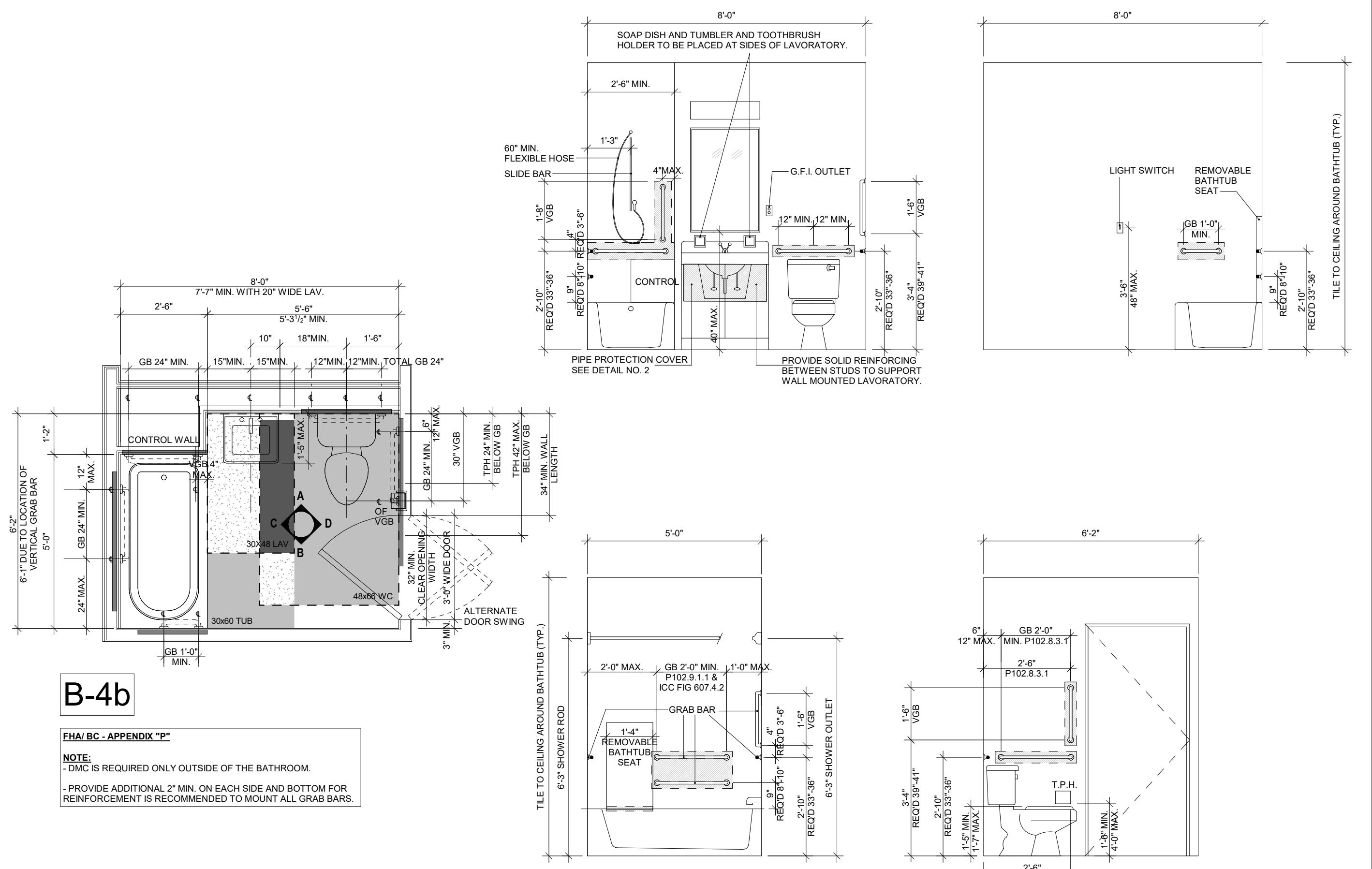
DOB:

DRAWING No.: 12 OF 16

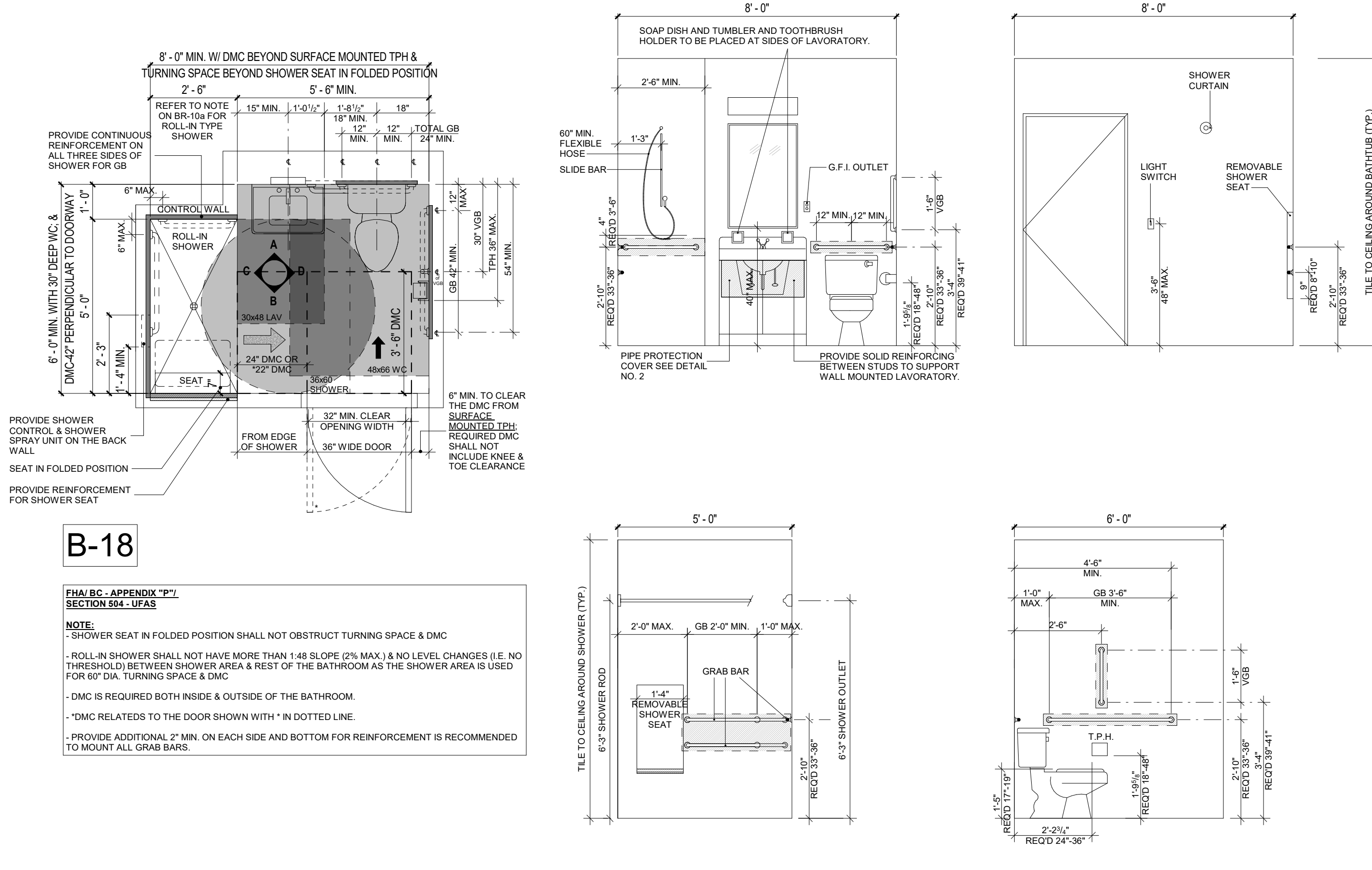
A-400.00



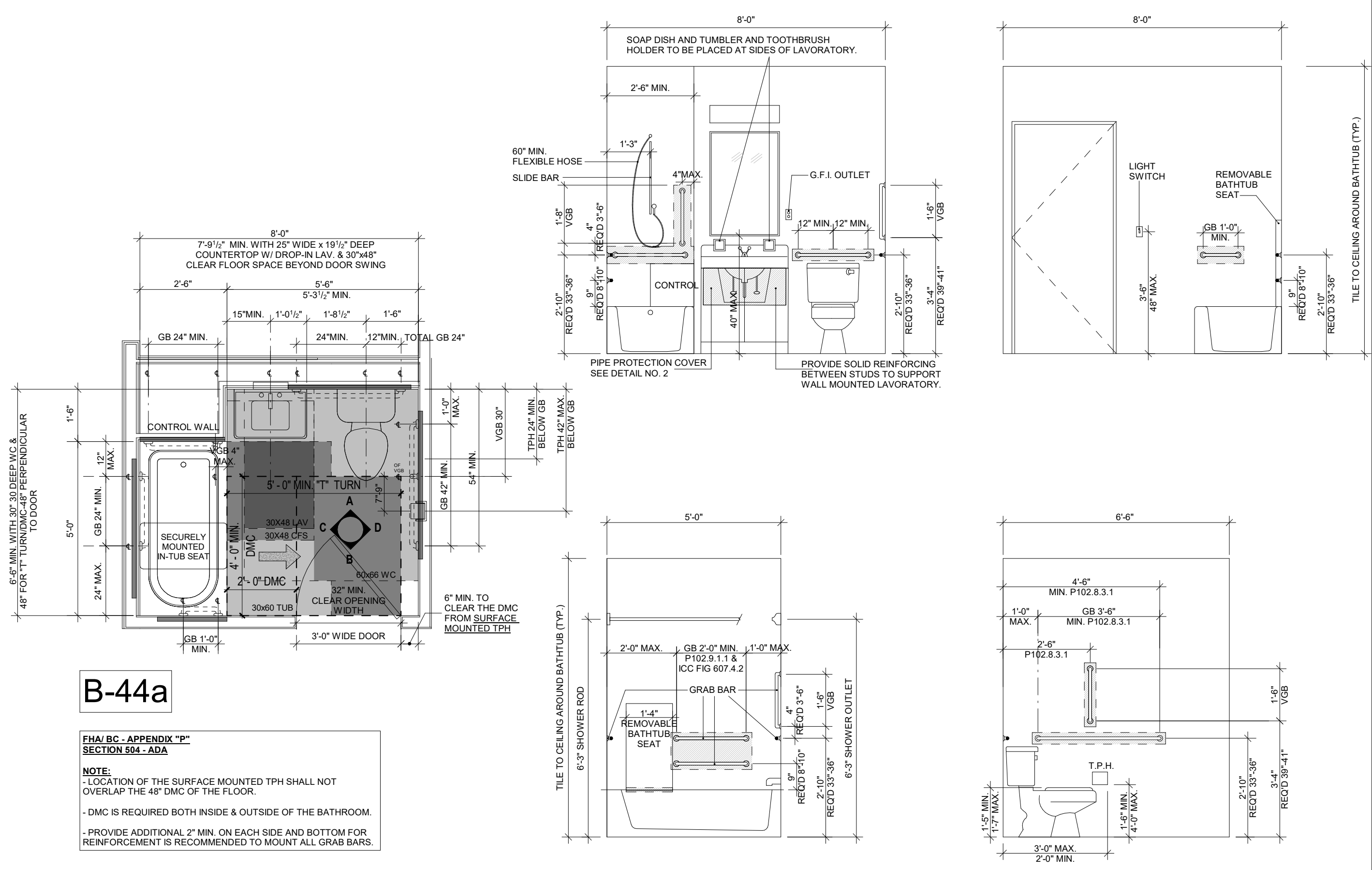
BATHROOM - DU - B-1a
Scale: 3/8" = 1'-0"



BATHROOM - DU - B-4a
Scale: 3/8" = 1'-0"



BATHROOM - DU - B-18
Scale: 3/8" = 1'-0"

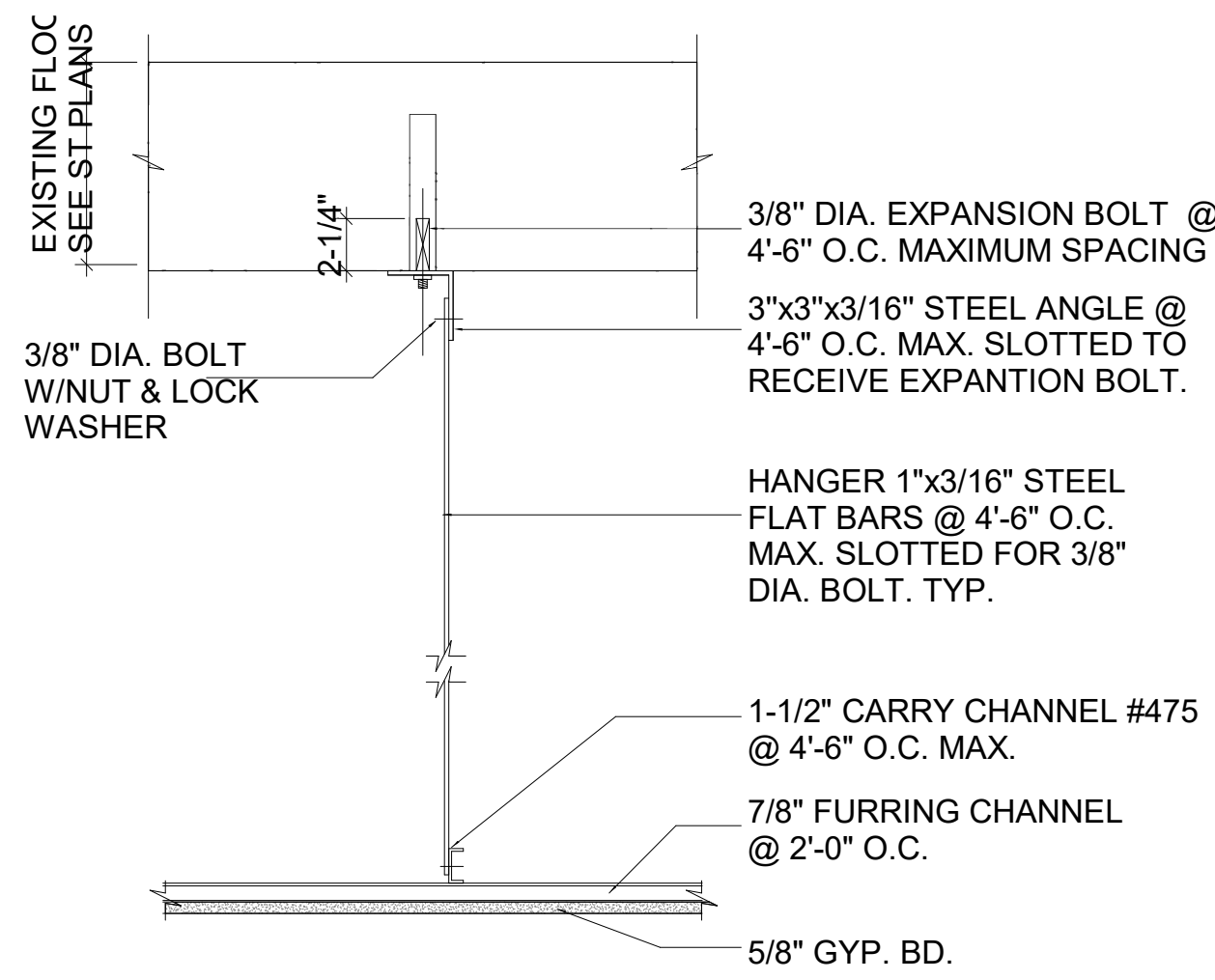


BATHROOM - DU - B-44a
Scale: 3/8" = 1'-0"

SEAL	DATE	DESCRIPTION	DRAWN BY:	TITLE:
			TM	ACCESSIBILITY DETAILS - BATHROOM
			TM	PROJECT ADDRESS:
			TM	PROP. OFFICE CONVERSION TO MULTI-FAMILY
			TM	158 GRAND STREET
			TM	WATERBURY, CT
			TM	SCALE: AS NOTED
			TM	DATE: 12.15.2025

DOB APPROVAL:	
DOB:	
DRAWING No.:	14 OF 16

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.



NOTE:
FOR ANCHORAGE TO STRUCTURE
ABOVE-SEE TYP. DETAIL 8 THIS SHEET

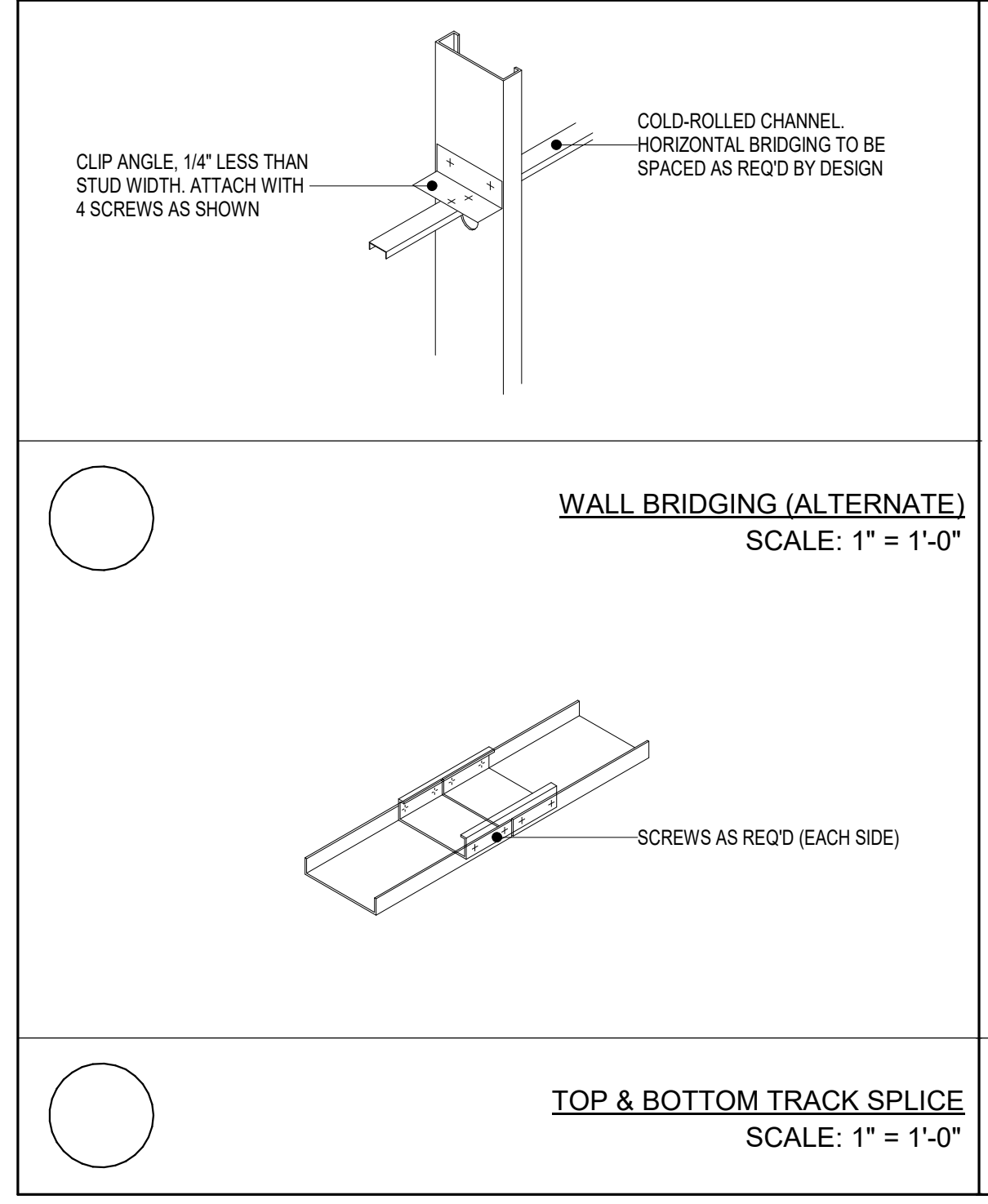
HANGER 1"x3/16" GALV.
STL. FLAT BAR FASTENED
TO EXISTING STRUCT.

1 1/2" CH. @ 2'-0" O.C.

7/8" HAT CH. @ 16" O.C.

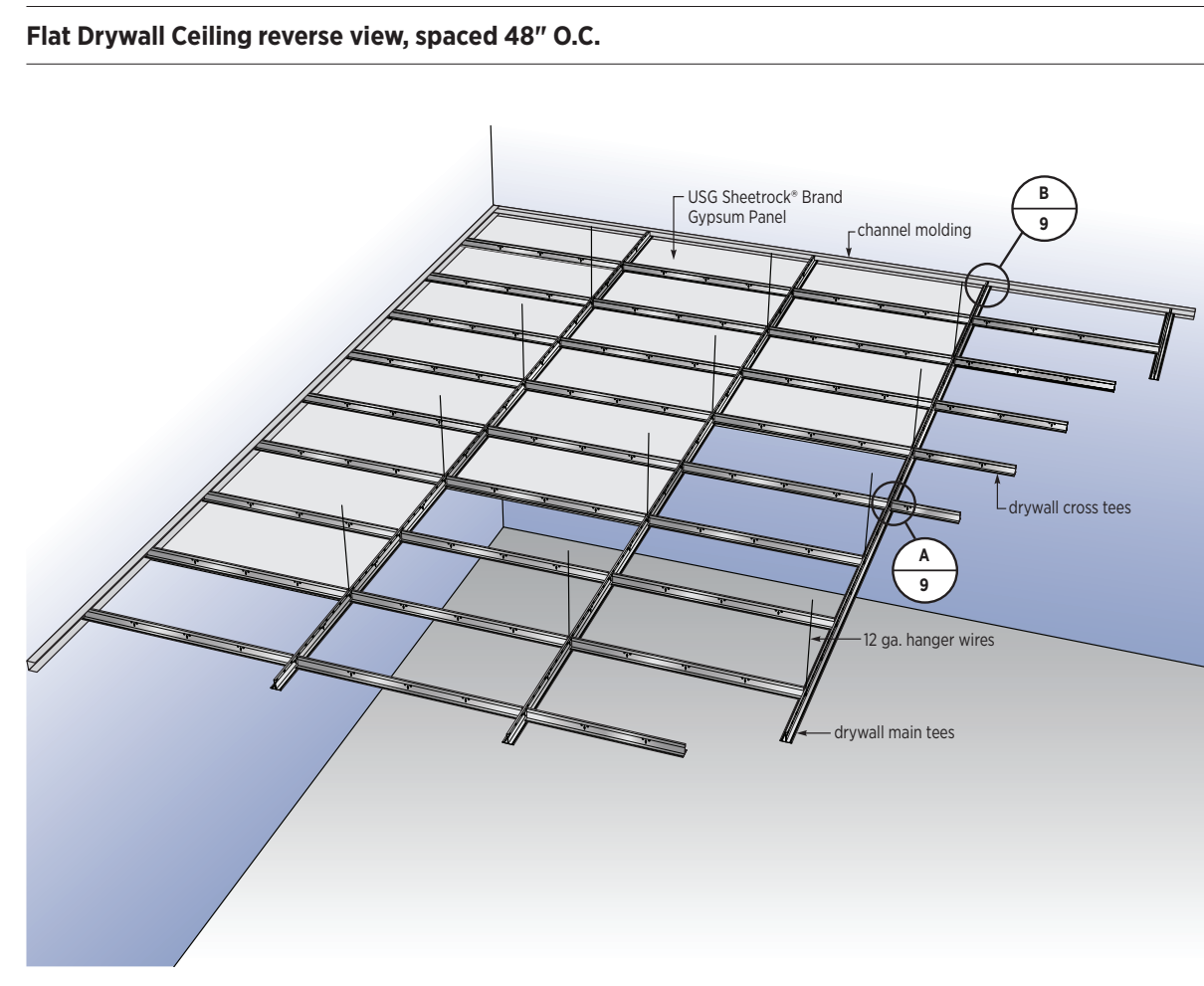
5/8" G.W.B.

FINISH WALL; SEE
WALL DETAILS



NOTES:
1. FLANGES SHALL NOT BE NOTCHED OR CUT.
2. CAPACITY VERIFICATION BY DESIGN IS REQD FOR ANY OPENINGS
LOCATED AT CONCENTRATED LOADS AND BEARING ENDS.
3. FOR PUNCHED MEMBERS CONSULT THE MANUFACTURER.

FLAT DRYWALL CEILINGS



Notes:
• Hanger wire and Cross Tee spacing layout can be spaced at 16" or 24" on center with a 4' system.
• Using a Wall Molding or Channel Molding at the perimeter is acceptable.

These renderings and details are provided for illustrative purposes only and are not a substitute for certified architectural and engineering drawings, nor do they necessarily reflect national and local building code requirements.

DEMOLITION BY HAND NOTES

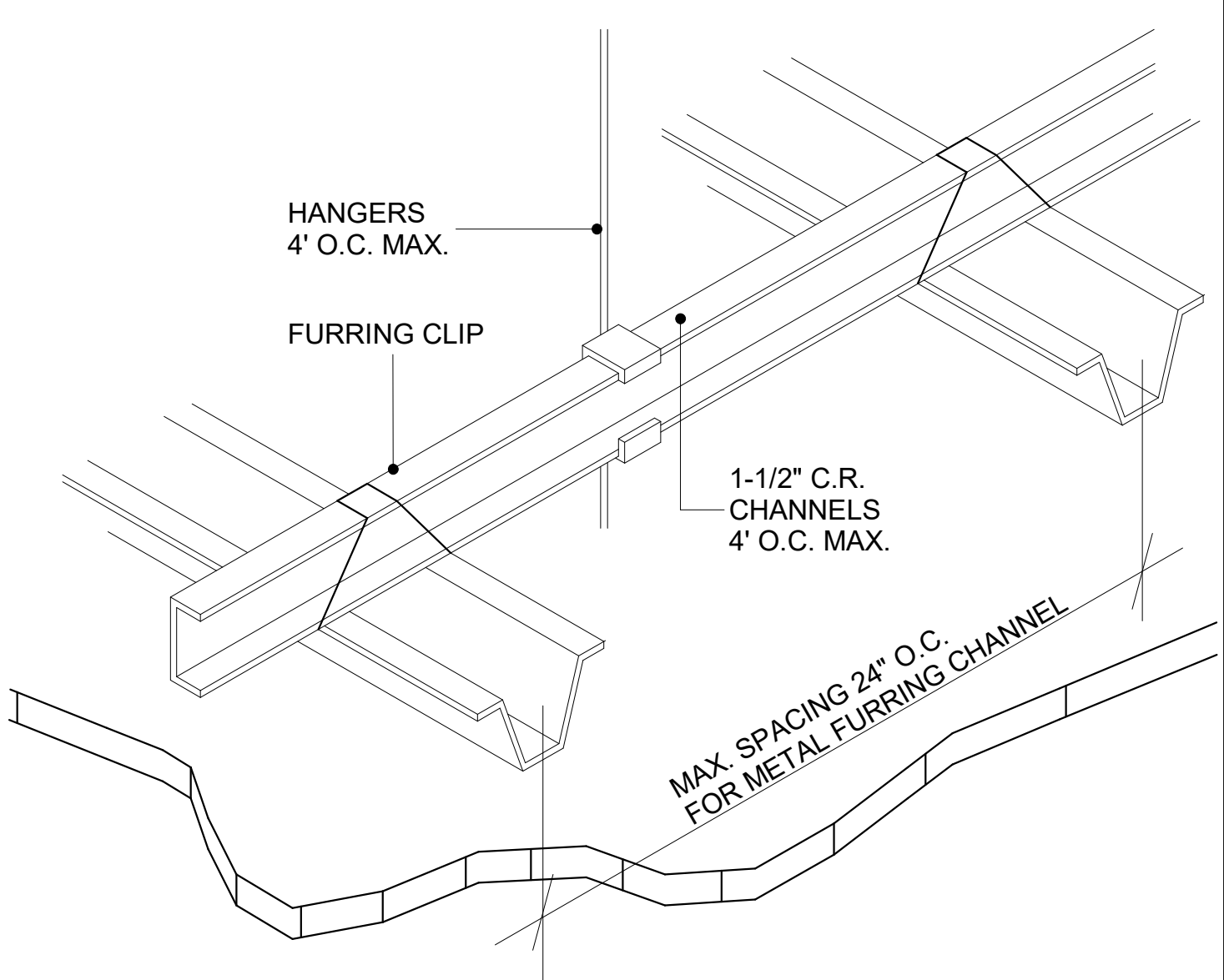
- (A) APPLICATION: THE PROVISION OF THIS SECTION SHALL NOT APPLY TO MECHANICAL MEANS OF DEMOLITION.
- (B) DEMOLITION OF WALLS AND PARTITIONS SHALL PROCEED IN A SYSTEMATIC MANNER AND ALL DEMOLITION WORK ABOVE EACH TIER OF FLOOR BEAMS SHALL BE COMPLETED BEFORE ANY DEMOLITION WORK IS PERFORMED ON THE SUPPORTS OF SUCH FLOOR BEAMS.
- (2) MASONRY SHALL NOT BE LOOSENED NOR PERMITTED TO FALL IN SUCH MASSES AS TO ENDANGER THE STRUCTURAL STABILITY OF ANY FLOOR OR STRUCTURAL SUPPORT WHICH SUCH MASONRY MAY STRIKE IN FALLING.
- (3) WALLS, CHIMNEYS AND OTHER PARTS OF ANY BUILDING OR OTHER STRUCTURE SHALL NOT BE LEFT UNGUARDED IN SUCH A CONDITION THAT SUCH PARTS MAY FALL, COLLAPSE OR BE WEAKENED BY WIND PRESSURE OR VIBRATION.
- (4) EMPLOYERS SHALL NOT SUFFER OR PERMIT ANY PERSON TO WORK WHILE SUCH PERSON IS STANDING ON TOP OF A WALL OR ANY SIMILAR ELEVATED STRUCTURE OF SMALL AREA.
- (5) IN THE DEMOLITION BY HAND OF EXTERIOR WALLS, ALL PERSONS PERFORMING SUCH WORK SHALL BE PROVIDED WITH SAFE FOOTING IN THE FORM OF SOLID FLOORING OR SCAFFOLDS CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THIS PART (RULE).
- (6) WALLS OR PARTITIONS WHICH ARE BEING DEMOLISHED BY HAND SHALL NOT BE LEFT STANDING MORE THAN ONE STORY OR 15 FEET, WHICHEVER IS LESS, ABOVE THE UPPERMOST FLOOR ON WHICH PERSONS ARE WORKING. SUCH WALLS OR PARTITIONS SHALL BE REMOVED BEFORE THE AGGREGATE AREA OF THE OPENINGS EXCEEDS 25 PERCENT OF THE TOTAL FLOOR AREA.
- (K) STORAGE OF MATERIALS.
- (1) GENERAL.
- (i) MATERIALS SHALL NOT BE STORED ON CATCH PLATFORMS, SCAFFOLD PLATFORMS, FLOORS OR STAIRWAYS OF ANY BUILDING OR OTHER STRUCTURE BEING DEMOLISHED, EXCEPT THAT ANY SUCH FLOOR MAY BE USED FOR THE TEMPORARY STORAGE OF MATERIALS WHEN SUCH FLOOR IS OF STRENGTH AS TO SAFELY SUPPORT THE LOAD TO BE IMPOSED.
- (ii) STORAGE AREAS SHALL NOT INTERFERE WITH ACCESS TO ANY STAIRWAY OR PASSAGEWAY USED BY ANY PERSON AS A MEANS OF INGRESS OR EGRESS. SUITABLE BARRICADES SHALL BE PROVIDED TO PREVENT STORED MATERIALS FROM SLIDING OR REBOUNDING INTO ANY AREA WHERE A PERSON IS LOCATED OR PASSING. ALL MATERIALS SHALL BE SAFELY PILED IN SUCH LOCATIONS AS WILL NOT INTERFERE WITH ANY WORK OPERATIONS NOR PRESENT ANY HAZARD TO ANY PERSON EMPLOYED AT OR FREQUENTING THE DEMOLITION SITE.
- (2) STORAGE OF DEBRIS OR MATERIALS IN CELLARS: WHEN DEBRIS OR MATERIALS ARE STORED IN THE CELLAR OR BASEMENT OF ANY BUILDING OR OTHER STRUCTURE BEING DEMOLISHED SUCH DEBRIS OR MATERIALS SHALL NOT BE PILES WHICH EXTEND HIGHER THAN THE TOP OF THE FOUNDATION WALL. THE PERSON IN CHARGE OF THE DEMOLITION OPERATIONS SHALL PROVIDE SHEET-PILING, SHORING, BRACING OR SUCH OTHER MEANS AS MAY BE NECESSARY TO INSURE THE STABILITY OF SUCH FOUNDATION WALLS AND TO PREVENT ANY SUCH WALL FROM COLLAPSING DUE TO THE ACCUMULATED DEBRIS OR MATERIALS.
- (L) SAFE FOOTING REQUIRED: ANY PERSON WORKING ABOVE THE FIRST FLOOR OR GROUND LEVEL IN THE DEMOLITION OF ANY BUILDING OR OTHER STRUCTURE SHALL NOT BE SUFFERED OR PERMITTED TO USE ACCUMULATED DEBRIS OR PILED MATERIALS AS A FOOTING IN THE PERFORMANCE OF HIS WORK. EVERY PERSON SHALL BE PROVIDED WITH SAFE FOOTING CONSISTING OF SOLID FLOORING, PLANKING NOT LESS THAN TWO INCHES THICK IN FULL SIZE, ADEQUATELY SUPPORTED EXTERIOR GRADE PLYWOOD AT LEAST THREE-QUARTERS INCH THICK OR MATERIAL OF EQUIVALENT STRENGTH.
- (M) CATCH PLATFORM REQUIRED: DURING THE DEMOLITION OF ANY EXTERIOR MASONRY WALL OR A ROOF FROM A POINT MORE THAN 74 FEET ABOVE THE ADJOINING GROUND, GRADE OR EQUIVALENT LEVEL WHERE PERSONS ARE EXPOSED TO FALLING DEBRIS, MATERIALS OR OBJECTS, A CATCH PLATFORM SHALL BE CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THIS PART (RULE). SUCH CATCH PLATFORM SHALL BE LOCATED NO MORE THAN 20 FEET BELOW THE WORKING LEVEL.
- EXCEPTIONS:
- (1) A CATCH PLATFORM IS NOT REQUIRED WHERE A CHIMNEY IS BEING DEMOLISHED.
- (2) A CATCH PLATFORM IS NOT REQUIRED WHERE A SCAFFOLD, CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THIS PART (RULE), PROVIDE EQUIVALENT PROTECTION.
- HEIGHT LIMITATION: THE BUILDING OR OTHER STRUCTURE OR ANY REMAINING PORTION THEREOF SHALL BE NOT MORE THAN 80 FEET IN HEIGHT ABOVE THE GROUND, GRADE OR EQUIVALENT SURFACE.
- STRUCTURAL STABILITY: WALLS, CHIMNEYS AND OTHER PARTS OF THE BUILDING OR OTHER STRUCTURE SHALL NOT BE LEFT UNSUPPORTED OR UNREGULATED IN SUCH CONDITION THAT SUCH PARTS MAY FALL COLLAPSE OR BE WEAKENED BY WIND PRESSURE OR VIBRATION.
- ONLY PERSONS ESSENTIAL TO THE OPERATION OF THE DEMOLITION DEVICES OR EQUIPMENT SHALL BE SUFFERED OR PERMITTED TO ENTER ANY ZONE OF DEMOLITION.
- SUBSTANTIAL BARRICADES CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THIS PART (RULE) SHALL BE ERRECTED WHEREVER THERE IS THE LIKELIHOOD OF ANY PERSON ENTERING A ZONE OF DEMOLITION OTHER THAN THE PERSONS ESSENTIAL FOR OPERATION OF THE DEMOLITION DEVICES OR EQUIPMENT.

ADDITIONAL NOTES

- ALL ASBESTOS REMOVAL AND DISPOSAL SHALL BE PERFORMED PRIOR TO ANY DEMOLITION OR CONSTRUCTION WORK AS PER SPECIFIC REQUIREMENTS SECTION 1A.14. ASBESTOS REMOVAL.
- THE ALTERATION WORK WILL NOT REQUIRE THE RELOCATION OF ANY UTILITY PIPING OR CONDUIT IN ANY CASE. ALL UNDERGROUND UTILITY SERVICES SHALL BE PROTECTED.
- ALL PLUMBING WORK MUST BE PERFORMED BY A LICENSED PLUMBER AND FILED WITH THE PLUMBING DIVISION AT THE DEPARTMENT OF BUILDINGS. WHERE NEW PLUMBING FIXTURES ARE INSTALLED IN THE SAME LOCATION EXISTING OR WHERE BRANCH PIPING IS OTHERWISE EXPOSED, THE REPLACEMENT WILL BE FROM THE FIXTURE TO THE BUILDING'S RISERS AND STACKS AND THE REPLACEMENT OF LOCAL RISER SHUT-OFF VALVES AS MAY BE REQUIRED. NEW WATER OR GAS PIPING SHALL RUN IN THE FLOOR.
- G.C. TO INSTALL A CHECK VALVE AND ACCESSIBLE SHUT-OFF VALVES FOR WASHER/DRYER (IF EXISTING) ALSO, G.C. TO INSTALL WASHER/DRYER OVER A WATERPROOF CONTINUOUS IMPERVIOUS PAN WITH AN AUTOMATIC WATER SENSOR SHUT-OFF VALVE FOR WASHER/DRYER.
- G.C. TO INSTALL THE WATERPROOF MEMBRANE AS ABOVE MENTIONED & EXTEND THE WATERPROOF MEMBRANE UNDER THE ENTIRE KITCHEN FLOOR. WATER PROOF PAN SHALL BE INSTALLED OVER SOUND PROOFING.
- THE ELECTRICAL WORK MUST BE FILED BY THE CONTRACTOR WITH THE BUREAU OF ELECTRICAL CONTROL AND CERTIFICATE OF ELECTRICAL INSPECTION MUST BE PROVIDED.
- ELECTRICAL CONTRACTOR TO PREPARE AN ELECTRICAL LOAD TABLE SHOWING ELECTRICAL SERVICE CAPACITY OF EXISTING ELECTRICAL SERVICE AND WHAT IS THE NEW ELECTRICAL REQUIREMENT INDICATE SIZE & AMPERAGE REQUIRED FOR NEW ELECTRICAL PANEL & HOW SERVICE WILL BE BROUGHT TO THE BUILDING (IF APPLICABLE).
- REMOVE ALL SURFACE MOUNTED WIRE MOLDS & OUTLETS AS REQUIRED. REMOVE ALL ELECTRICAL OUTLET BOXES & SWITCHES AS REQUIRED. PROVIDE AND INSTALL NEW OUTLETS, SWITCHED AND DIMMERS AS REQUIRED. REFER TO POWER/TELE. PLAN FOR SPECIFICATIONS.
- IF STRUCTURAL SYSTEM NEED TO BE REPAIR OR REPLACE NOTIFY ARCHITECTS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- REMOVE ALL EXISTING TEMPORARY MASONRY, SHEET METAL, AND WOOD SECURITY CLOSURES AT ALL COURTS, YARDS, STOREFRONTS, DOORS AND WINDOWS [WHEN APPLICABLE].
- EXISTING CEILINGS AND FLOORS FINISHED TO BE REPLACED AS REQUIRED.

TYPICAL SUSPENDED GYPSUM CEILING ATTACHMENT DETAIL

SCALE: 3" = 1'-0"



TYPICAL SUSPENDED GYPSUM CEILING

SCALE: 1-1/2" = 1'-0"

SPECIAL DEMOLITION NOTES

- THIS WORK IS SUBJECT TO THE PROVISIONS OF SPECIFICATIONS, INCLUDING GENERAL, SPECIFIC, AND SUPPLEMENTAL REQUIREMENTS. ALL WORK SHALL CONFORM TO THE CONNECTICUT BUILDING CODE, LATEST EDITION.
- DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER OF ANY DISCREPANCY(IES) IN THE PLANS AND FROM THE CONTRACT DOCUMENTS, INCLUDING FIELD CONDITIONS, CONSTRUCTION DETAILS AND OR SPECIFICATIONS, AND AWAIT INSTRUCTIONS FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- NON STRUCTURAL PARTITIONS MAY BE DEMOLISHED. OWNER/CONTRACTOR SHALL COORDINATE THE EXTENT OF DEMOLITION ON THE JOB SITE PRIOR TO ANY WORK. DEMOLITION OF PARTITIONS OR OTHER ELEMENTS NOT SO INDICATED ON THE DEMOLITION PLANS ARE NOT PERMITTED.
- OWNER/CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE BUILDING, SINCE NO BUILDING SYSTEM WILL BE DEMOLISHED OR DAMAGED DURING DEMOLITION, INCLUDING BUT NOT LIMITED TO VENTILATION AND FIRE-RATED SHAFTS, ELECTRICAL AND PLUMBING RISERS.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE, REMOVE AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEM IS PERMITTED.
- THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS DO NOT REMOVE ANY ITEM WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- CONTRACTOR SHALL PROVIDE A TEMPORARY SIDEWALK BRIDGE FOR THE DURATION OF CONSTRUCTION CONTRACT WORK AS SPECIFIED UNDER SECTION 1A.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS FOR EXISTING STRUCTURES AS REQUIRED BY DEMOLITION WORK OR NEW CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. TEMPORARY BRACING AND SHORING SHALL BE AS PER THE CONNECTICUT STATE BUILDING CODE.
- IS HERE REITERATE THAT INTERIOR DEMOLITION OF BEARING PARTITION SHALL BE USING NON-MECHANICAL MEANS.

SEQUENCE, MEANS, + METHODS

- PARTIAL DEMOLITION: (AS PER CT BC & BC)
- MEANS:
- HAND HELD EQUIPMENT:
- ELECTRIC JACK HAMMER
 - SAWZAL, (RECIPROCATING SAW, CIRCULAR SAW, CHOPSAW, CHIPPING HAMMER OR SIMILAR SPECIAL EQUIPMENT AS BY TASK)
- HAND TOOLS:
- CHISELS
 - CROW BARS
 - 6 lbs. SLEDGE HAMMERS
 - 8 LBS. SLEDGE HAMMERS
- SEQUENCE:
- ALL INTERIOR WOOD AND GYPSUM BOARD PARTITIONS AS WELL AS METAL TIES (IF ANY) WILL BE REMOVED WITH CROW BARS AND 6 lbs. SLEDGE HAMMERS.
 - TEMPORARY 2" @ 16" O.C. AND 2" @ 24" FOR FLOOR AND CEILING BRACING WITH LATERAL AND HORIZONTAL REINFORCEMENT WILL BE BUILT (AS INDICATES ON FLOOR PLANS) ON EACH FLOOR.
 - EXTERIOR REAR WINDOW WILL BE REMOVED FROM THE WALL WITH CHISELS AND CROWBARS.
 - EXTERIOR DOORS WILL BE REPLACED, AFTER FIRE DAMAGE, WITH CHISELS AND CROWBARS. WHERE NEW WINDOWS WILL BE PLACED, PARTS OF EXTERIOR NON-BEARING WALLS WILL BE REMOVED DOWN WITH ELECTRIC JACK HAMMER.
 - ROOF WILL BE REMOVED WITH DOWN WITH ELECTRIC JACK HAMMER.
 - ALL THE DEBRIS WILL BE BRING OUT OF THE PROPERTY BY MEANS OF BUCKETS TO THE CONTAINER OR DUMP TRUCK (AS PER CONTRACTOR'S PREFERENCE) ON THE STREET.

MANETTA ARCHITECTURE DESIGN PLLC

Thomas M. Manetta
Tel. (646) 398-0194
thomas@manettaarchitecture.com

CONSULTANTS:
STRUCTURAL ENGINEER

MEP ENGINEER

OWNER:

DRAWING BY: TMM
CHECKED BY: TMM
JOB No: 28001
SCALE: As Noted
DATE: 04.11.28

TITLE: MISCELLANEOUS DETAILS

PROJECT ADDRESS:
PROP. OFFICE CONVERSION TO MULTI-FAMILY
158 GRAND STREET
WATERBURY, CT

STATE OF CONNECTICUT
THOMAS M. MANETTA
No. 16204
LICENSED ARCHITECT

DOB APPROVAL:

DOB:

DRAWING No.: 16 OF 16

A-670.00

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTIONS WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. MANETTA ARCHITECTURE DESIGN PLLC AND ITS PRINCIPAL EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.