



# 414-420

## LESSER STREET OAKLAND, CA 94601

a **collaboration-oriented** suite available **for lease**

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NORTHERN  
CALIFORNIA

**AVISON  
YOUNG**

All information contained herein was made based upon information furnished to us by the owner or from sources we believe are reliable. While we do not doubt its accuracy, we have not verified it and we do not make any guarantee, warranty or representation about it. The property offered is subject to prior sale, lease, change of price or withdrawal from the market without notice.

# BUILDING HIGHLIGHTS

**Green Zone location**

**63,406 SF industrial building**

**Onsite analytical lab, distributors & delivery**

**All industries welcome**

**Collaborative coworking areas & restrooms**

**2" water supply**

**Heavy power (3,000 amps @ 277/480 Volts)**

**18'-20' clear height**

**Onsite 24-hr security & surveillance cameras**

**Easy access to SF/Bay Bridge & Oakland International Airport**

**Instant access to I-880 Freeway & Port of Oakland**

**4 dock loading positions & 4 grade level doors**

**Free rent concessions for qualified tenants**

**Highly attractive lease rates – contact us for information**

## ZONING – GREEN ZONE APPROVED

**D-CE-6 Central Estuary District Industrial Zone – 6:** This zone allows industrial and manufacturing uses, transportation facilities, warehousing and distribution, and similar related supporting uses. Cannabis-related business include: Type 7 Volatile substances, Type 6 Non-Volatile substances, cultivation, manufacturing, commercial kitchen, laboratory, co-packing, and delivery-only dispensary.

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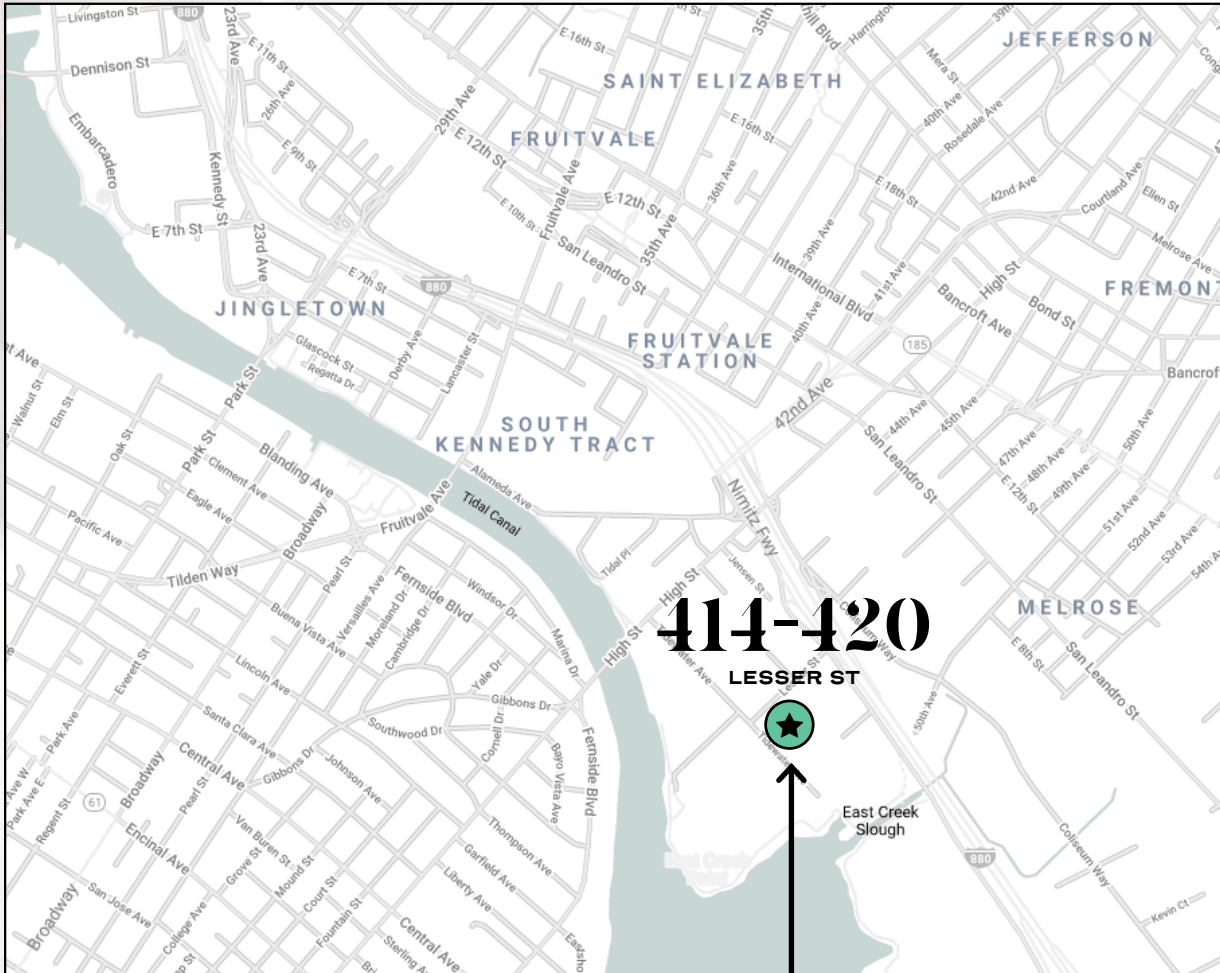
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# LOCATION



**GREEN ZONE  
APPROVED**



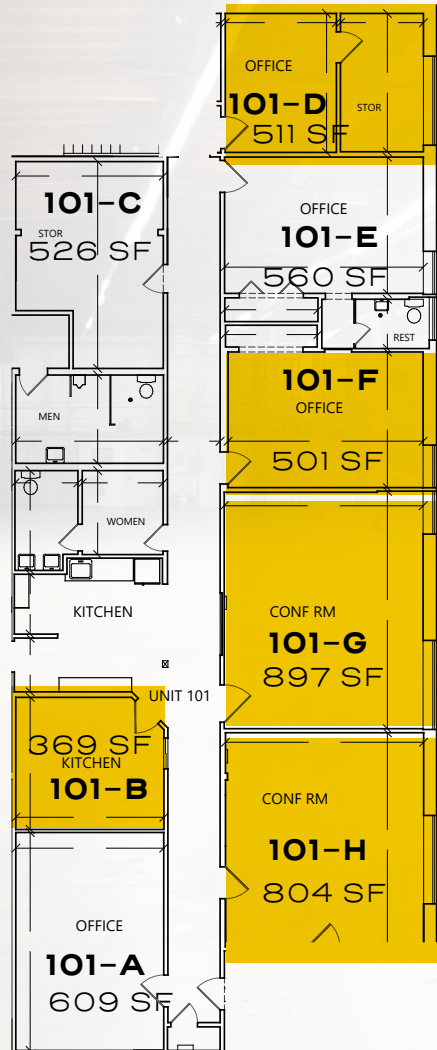
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# AVAILABLE SPACES



## FOR LEASE | SUITE 101

- » 4,778 SF available
- » DCC compliant
- » Cameras & security
- » Separate private offices for lease
- » Shared kitchen area
- » Great for collaboration
- » Private entrance upon building entrance and side entrance
- » Floor Area: Offices and open breakroom
- » Base Rent: Negotiable
- » CAMs: \$0.86/SF + prorata share of security + electricity (based on usage)
- » Security: \$0.43/SF
- » Permitted Use: Cannabis Delivery, Type 6, Distribution (license required) & General Office

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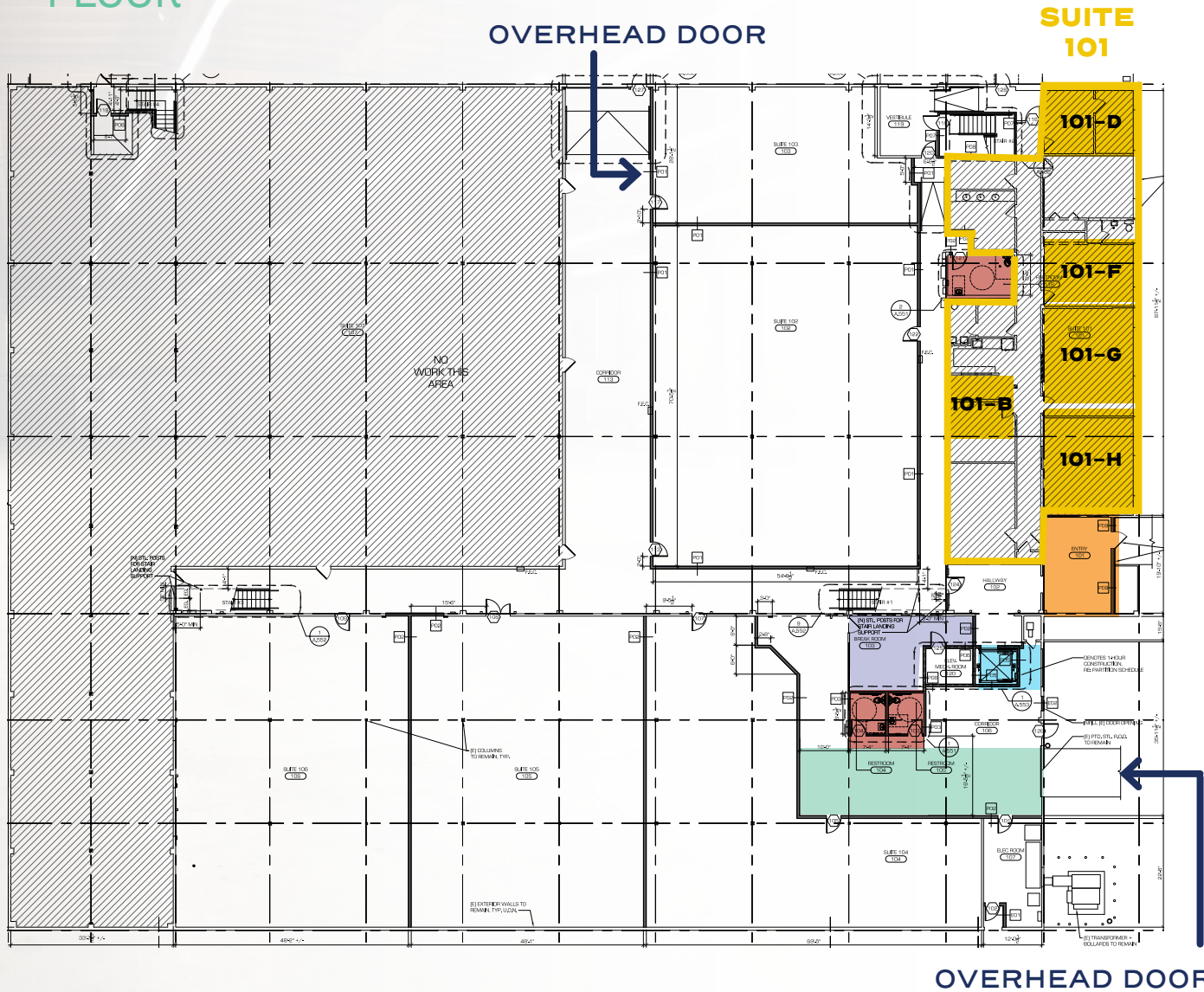
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# FLOOR PLAN

1<sup>ST</sup> FLOOR



## LEGEND

- SUITE 101**  
FOR LEASE  
4,778 (DIVISIBLE) SF
- COMMON AREA  
BREAK ROOM
- SECURED LOADING  
ZONE AREA
- ELEVATOR
- 24-HR  
SECURITY LOBBY
- RESTROOMS
- OVERHEAD DOORS

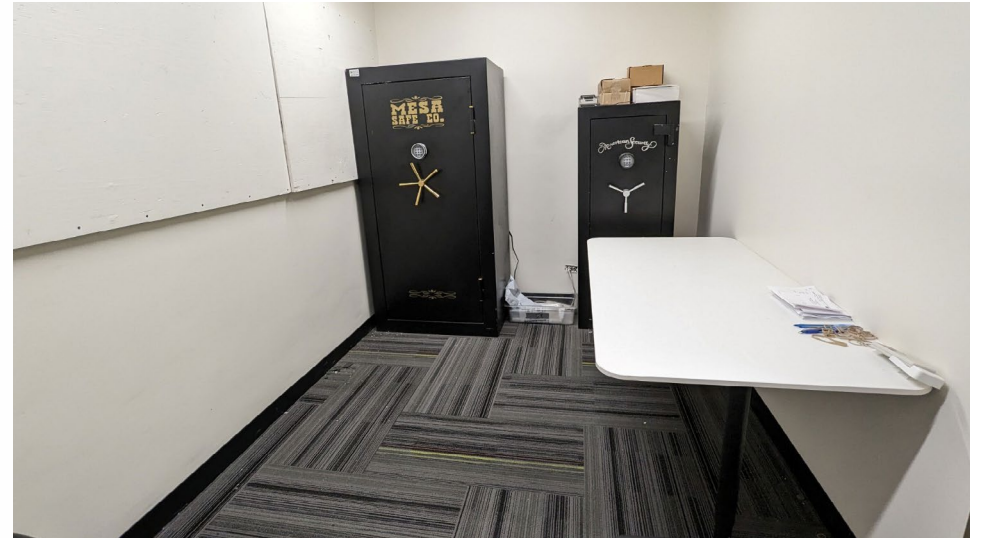
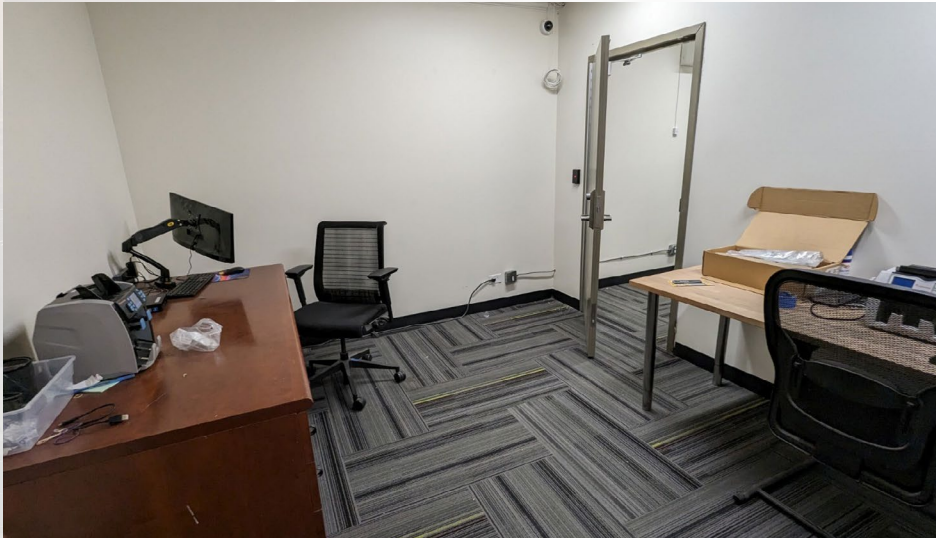
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# PHOTO GALLERY



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LESSER ST

Lesser is **more.**

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