



# FOR SALE



2435 RTE 32  
NEW WINDSOR, NY

9,552 +/- SQ.FT  
SHOWROOM/WHSE

4.7 MILES TO NY 87 &  
I-84 EXIT 36

MUNICIPAL WATER &  
SEWER. NATURAL  
GAS

OPEN SHOWROOM & OFFICE ON  
UPPER FLOOR TOTALING 3,960 +/-  
SQ. FT. WITH OIL FIRED HVAC UNIT,  
DROP CEILINGS & 2, 1/2 BATHS .

LOWER FLOOR WHSE SPACE  
TOTALING 5,592 +/- SQ. FT. WITH  
OVERHEAD DOOR & LOADING DOCK.

**ASKING \$995,000.00**



ROBERT A VITANZA

NYS Licensed RE Associate Broker  
Office: 845-562-4835  
Cell: 845-926-6161  
Fax: 845-562-1006  
Email: [bob.vitanza@randcommercial.com](mailto:bob.vitanza@randcommercial.com)



[WWW.RANDCOMMERCIAL.COM](http://WWW.RANDCOMMERCIAL.COM)

## Fact Sheet

**LOCATION:** **2435 Rte 32, New Windsor, NY 12553**

**ACCESS:** **4.7 Miles to I-84, Exit 36 & NYS 87.**

**PARCEL:** **.55 +/- acres with 170 feet of frontage.**

**BUILDING:** **Two story 9,552 +/- sq. ft. block building. Upper-level totals 3,960 +/- sq. ft. consisting of showroom/office/retail space. Oil fired HVAC unit, drop ceilings & 2, ½ baths. Lower-level totals 5,592 +/- sq. ft., overhead door, loading dock & 8-15-foot ceilings.**

**WATER/**

**SEWER:** **Municipal water and sewer.**

**ELECTRIC/**

**GAS:**

**Electric Supplied by Central Hudson. Natural Gas available. Oil fired HVAC unit in the showroom/retail/office.**

**PARKING:** **On site, 10 car paved parking lot.**

**ZONING:** **HC ~ Highway Commercial.**

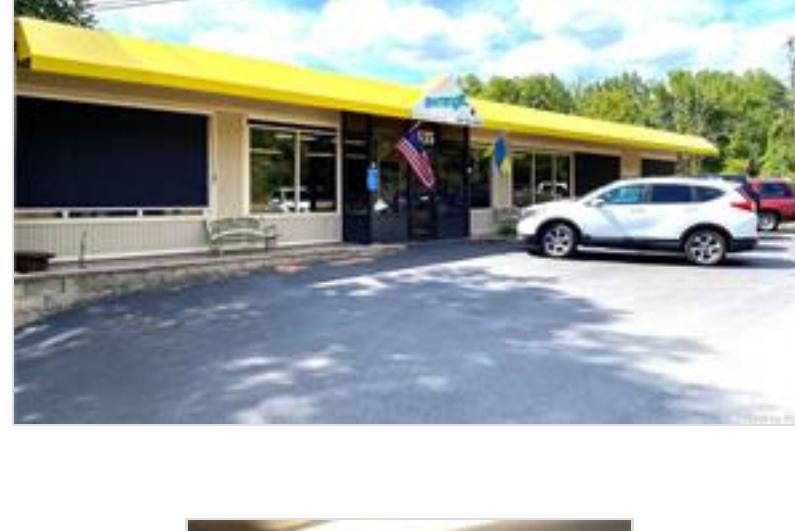
**ASSESSMENT:** **\$ 74,100.00 ~ Full Market Value \$613,400.00**

**RE TAXES:** **\$18,817.00**

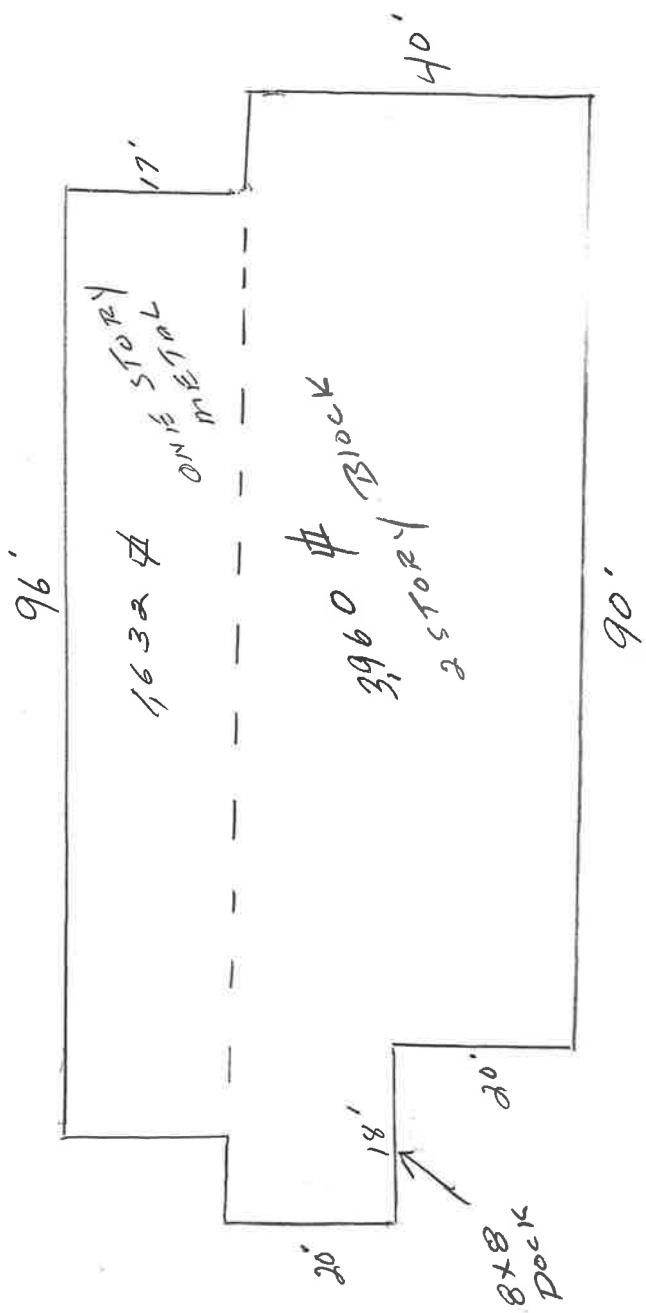
**SALE PRICE:** **\$995,000.00**

**For further information and/or inspection of property, contact:  
Robert A Vitanza, NYS Licensed Associate Broker  
Rand Commercial  
845.926.6161**

## Thumbnails · Album

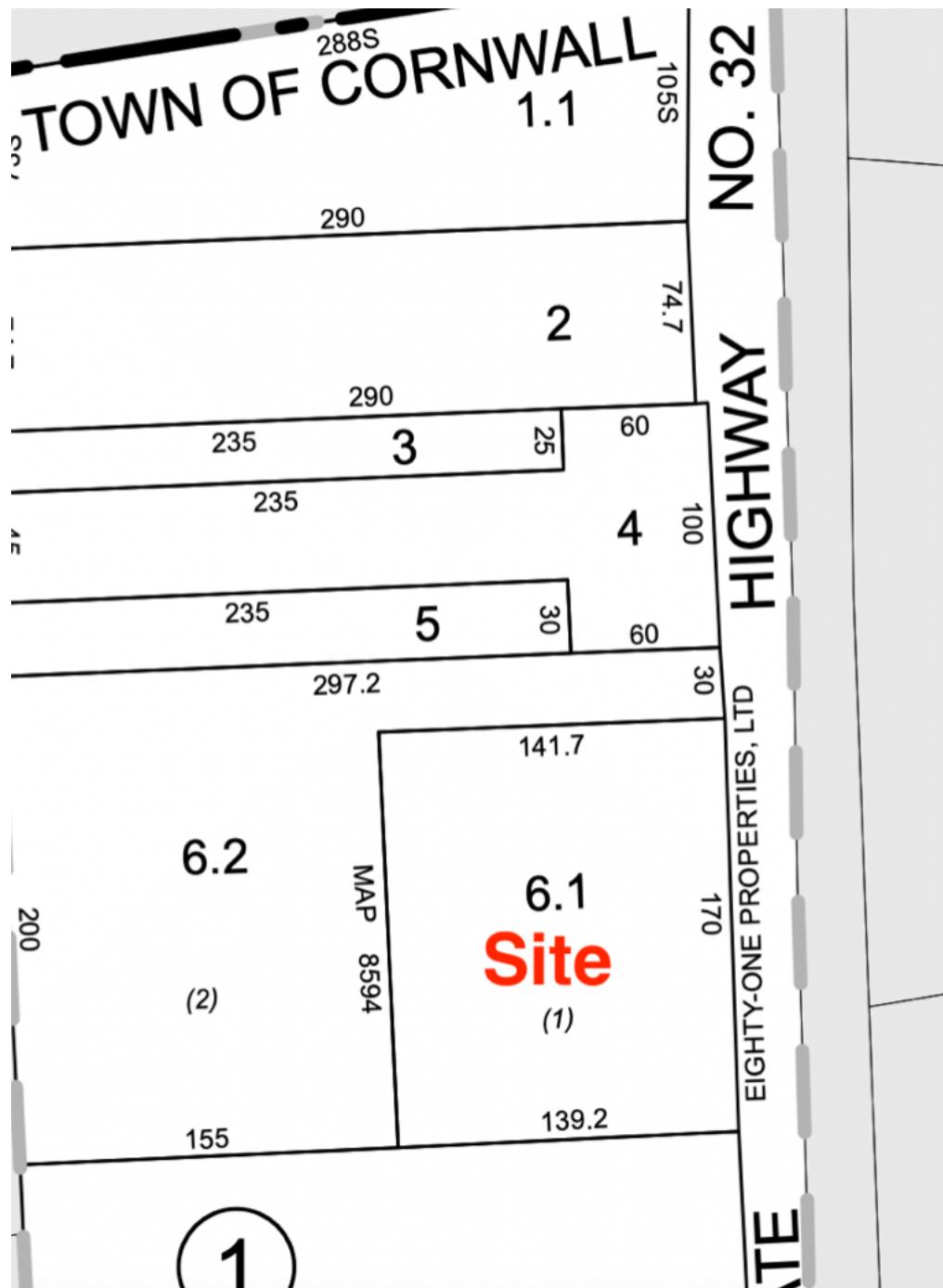


Approx. 9552  $\neq$  Not to scale

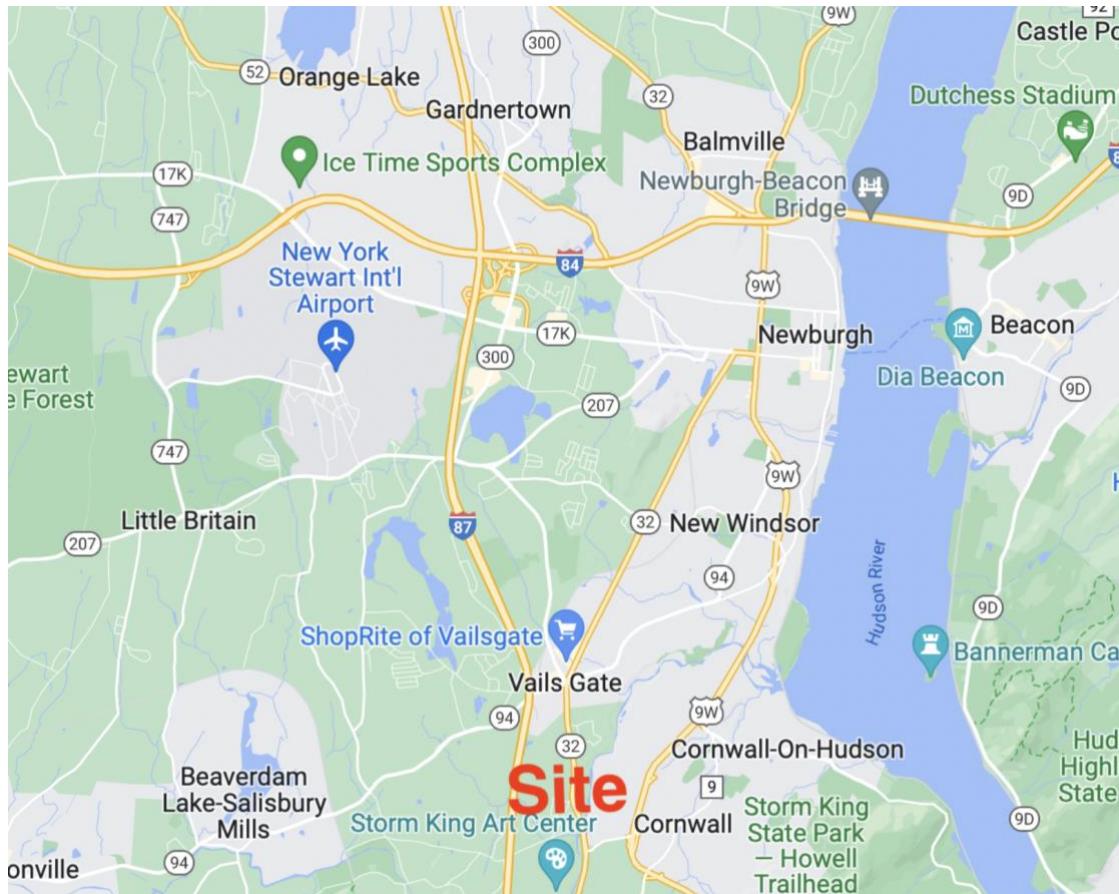


2435 RTG 32

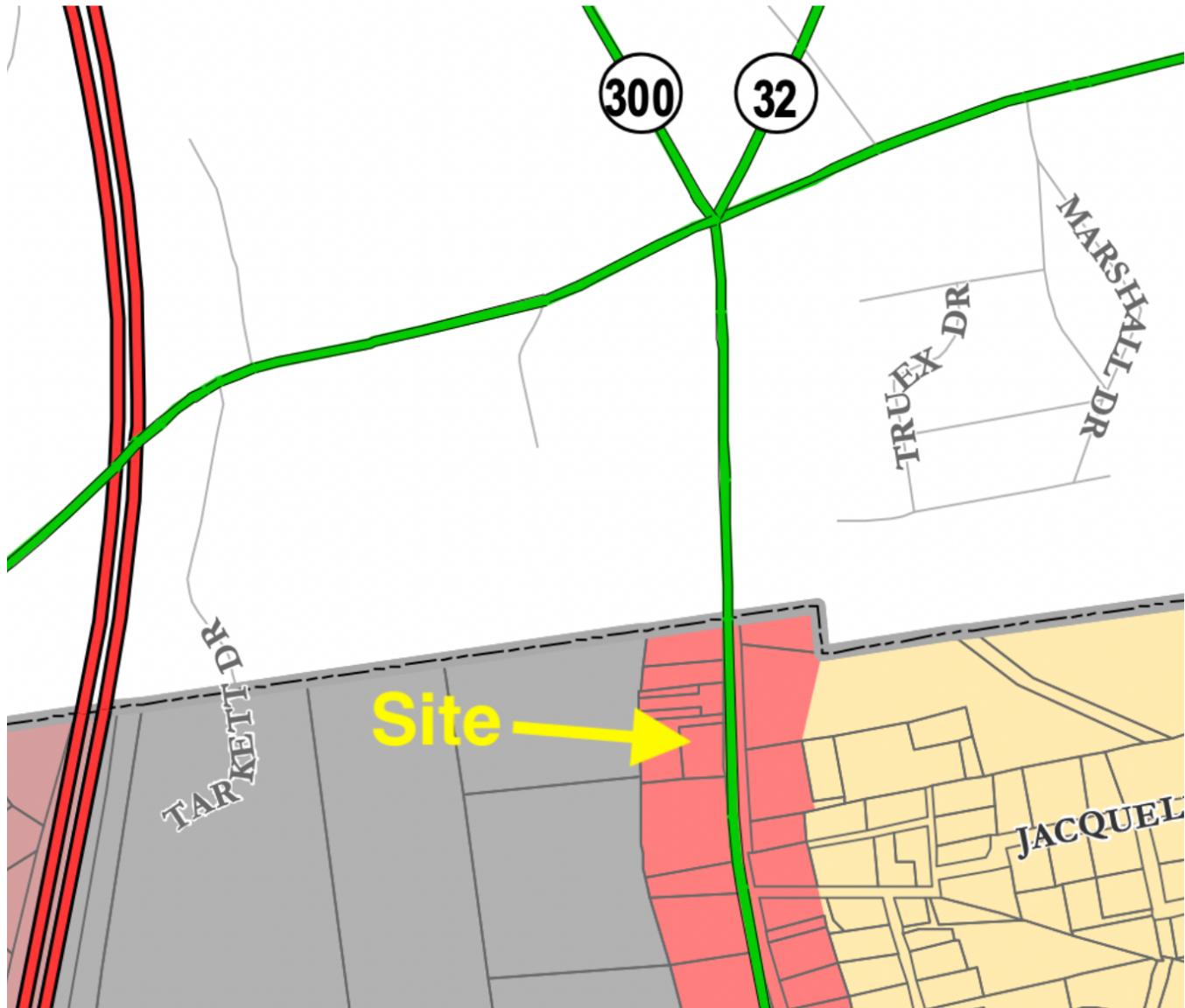
## TAX MAP



## AREA MAP



## ZONING MAP



## ZONING LEGEND

### LEGEND

-  Municipal Boundary
-  Parcels
-  Hudson River
- Roads**
  -  Interstate
  -  Federal Highway
  -  State Route
  -  County Road

 ARR	 Agricultural Rural Residence
 MCR	 Mountain and Conservation Residence
 SLR	 Suburban Low-Density Residence
 SR-1	 Suburban Residence
 SR-2	 Suburban Residence
 PRD	 Planned Residential District

### Zoning Districts

 MR	 Mixed Residence
 LS	 Local Shopping
 GC	 General Commercial
 HC	 Highway Commercial
 PCD	 Planned Commercial District
 PIO	 Planned Industrial / Office
 Ridge Preservation Overlay	
 Schunnemunk Agricultural Scenic Overlay	

## ZONING

158 *Attachment*

[Amended 12-5-2002 by L.L. No. 6-2002; 6-13-2005 by L.L. No. 3-2005; 9-12-2016 by L.L. No. 6-2016; 2-12-2020 by L.L. No. 1-2020; 10-4-2021 by L.L. No. 3-2021] Table of General Use Regulations, HIC District

## Own of Cornwall

District	Use Permitted by Right (See Notes)		Use	Permitted Accessory Uses
	Group	Uses by Special Permit (See Notes)		
1	1. 1-family detached dwelling, not exceeding 1 dwelling on each lot with driveway access to a public or private road, subject to the same bulk regulations the same use would be in the SLR District.	1. Earth operations as defined herein. No washing, screening, crushing, or other processing is permitted.	1. Accessory parking, subject to §§ 158-16A and B.	
2	Community facilities, buildings, and uses operated by the Town of Cornwall or an agency thereof.	2. Outdoor recreation facilities, including golf courses, tennis courts, public swimming pools, and ponds, parks, playgrounds, nature conserves, picnic pavilions and the like subject to § 158-21O, but specifically excluding commercial recreation facilities elsewhere identified herein.	2. Accessory loading, subject to §§ 158-16C.	
3	The following uses:		3. Storage of boats, trailers or recreational vehicles subject to § 158-16I.	
4	(a) Offices	(d) Personal service shop, such as, but not limited to, barbershop, beauty shop, beauty parlor, nail shop, shoe repair shop.	4. Storage signs subject to §§ 158-18.	
	(b) Retail sales of furs, dry goods, food, hardware, stationery, tobacco and related items.	(e) Pick-up and delivery store for dry cleaning and laundry establishment, provided that no dry cleaning or laundry work be done on premises.	5. Temporary structures for storage of equipment and materials used in connection with the construction of a permitted use, not to exceed a period of 1 year limited to two 6-month renewals, subject to § 158-16H(3).	
	(c) Eating and drinking establishments.	(f) Accessory dwelling units. See residential accessory tables for applicable requirements.	6. Private swimming pools accessory to a residential use subject to § 158-21K.	
	(g) In a building containing any permitted commercial use, 2 dwelling units above a first-floor commercial use. Building must conform to all current building and fire codes for any new use.	(g) On-site alcoholic beverage licenses, discoteques, cabarets, dance or live entertainment establishments, whether or not incidental or accessory to some other permitted use.*	7. Keeping of domestic animals, except pigs, horses and cattle, limited as follows: not more than 2 dogs over 1 year old, not more than 1 or any other domestic animals over 1 year old.	
	5. Medical and dental clinics for outpatient care.	7. Mechanical automobile washing establishments, subject to § 158-21D.	8. Day-care centers.	
	6. Automobile repair facilities, other than service stations.	8. Bed-and-breakfast inn.	9. Bed-and-breakfast residence, subject to underlying residential bulk requirements.	
	7. Undertaking and funeral establishments.	9. Bed-and-breakfast residence, subject to underlying residential bulk requirements.	10. Building contractors yards, lumber and building material supply yards, except facilities for bulk concrete mixing and batching.	
	8. Sale of automotive supplies and equipment, except sales of parts from week-end vehicles which are on the premises. Subject to § 158-15	10. Building contractors yards, lumber and building material supply yards, except facilities for bulk concrete mixing and batching.	11. New and used car sales and showrooms.	
	9. Landmarks not exceeding 30 machines* capacity.	11. New and used car sales and showrooms.	12. Parking lots and parking garages.	
	10. Social hall for fraternal organization, meeting rooms and catering facilities.	12. Parking lots and parking garages.	13. Pawn shops. This use is not considered to be a "home occupation."	
	11. Business which combine office space with a warehouse or distribution center for distribution of products wherein such warehouse or distribution center is incidental to the main purpose of the business. Subject to § 158-15	14. Campmills, circuses, and amusement parks on temporary license from the Town Board.*	15. Hotels and motels, subject to § 158-21E.	
	12. Dry cleaning and laundry establishments.	15. Hotels and motels, subject to § 158-21E.	16. Accessory auto sales use shall be limited to not more than 4 vehicles on the repair shop site at any one time. All such vehicles shall have valid registration and a current inspection sticker.	
	13. Light manufacturing subject to § 158-21G.	17. Light manufacturing subject to § 158-21G.	17. All accessory auto sales vehicles shall be parked within approved parking spaces shown on the site plan.	
	14. Shopping centers, department stores or retail facilities exceeding in aggregate 20,000 square feet of gross floor area.	18. Shopping centers, department stores or retail facilities exceeding in aggregate 20,000 square feet of gross floor area.	18. Accessory business communications towers for use by a business entity in the course of carrying out its business within the Town shall be permitted in the HIC and P10 Districts subject to site plan approval and other provisions of Chapter 158.	
	15. Automobile food concessions, including diners, fast-food processing, drive-in restaurants or other facilities where food is prepared and packaged for off-premises consumption.	19. Automobile food concessions, including diners, fast-food processing, drive-in restaurants or other facilities where food is prepared and packaged for off-premises consumption.	19. Accessory to 1-family detached dwelling, home daycare.	
	20. Filling station, subject to § 158-21C, provided that such facility is located not closer than 1,000 feet to any existing facility measured from the property line of such facility to the property line of the proposed facility, unless such facility shall derive access to a roadway, on which such other facility shall not have access, and the distance via such traveled way is in excess of 5,000 feet.	20. Filling station, subject to § 158-21M.	20. Repair garage, subject to § 158-21M.	
	21. Trainers for business office and commercial use not exceeding a period of 6 months and nonrenewable, except as set forth in § 158-6H(3).	21. Trainers for business office and commercial use not exceeding a period of 6 months and nonrenewable, except as set forth in § 158-6H(3).	21. Trainers for business office and commercial use not exceeding a period of 6 months and nonrenewable, except as set forth in § 158-6H(3).	
	22. Commercial recreation facilities, including bowling alleys, indoor skating rinks, tennis clubs, miniature golf courses, but excluding open air theaters and automobile food concession restaurants (fast food), excluding any kind of vehicular track for use of equipment including, but not limited to, cars, trucks, motorcycles, minibikes, cars, minibikes, snowmobiles, all-terrain vehicles and off-road vehicles, and further excluding outdoor shooting facilities of any kind. Subject to § 158-21O.	22. Commercial recreation facilities, including bowling alleys, indoor skating rinks, tennis clubs, miniature golf courses, but excluding open air theaters and automobile food concession restaurants (fast food), excluding any kind of vehicular track for use of equipment including, but not limited to, cars, trucks, motorcycles, minibikes, cars, minibikes, snowmobiles, all-terrain vehicles and off-road vehicles, and further excluding outdoor shooting facilities of any kind. Subject to § 158-21O.	22. Commercial recreation facilities, including bowling alleys, indoor skating rinks, tennis clubs, miniature golf courses, but excluding open air theaters and automobile food concession restaurants (fast food), excluding any kind of vehicular track for use of equipment including, but not limited to, cars, trucks, motorcycles, minibikes, cars, minibikes, snowmobiles, all-terrain vehicles and off-road vehicles, and further excluding outdoor shooting facilities of any kind. Subject to § 158-21O.	
	23. Radio towers and antennas, and other public communications utility towers and equipment mounted thereon, subject to § 158-22.	23. Radio towers and antennas, and other public communications utility towers and equipment mounted thereon, subject to § 158-22.	23. Radio towers and antennas, and other public communications utility towers and equipment mounted thereon, subject to § 158-22.	
	24. Churches or other similar places of worship.	24. Churches or other similar places of worship.	24. Churches or other similar places of worship.	

NC

1. Uses followed by an asterisk (\*) are by special permit of the Town Board pursuant to § 158.40.
2. Site plan approval is required, except for single-family detached and two-family detached dwellings.

ZONING

158 Attachment 12

Town of Cornwall

**Bulk Requirements - Nonresidential Districts**  
**[Amended 12-3-2002 by L.L. No. 8-2002; 6-13-2005 by L.L. No. 3-2005; 8-6-2007 by L.L. No. 1-2007; 2-12-2020 by L.L. No. 1-2020; 10-4-2021 by L.L. No. 3-2021]**

1	2	3	4	5	6	7	8	9	10	11	12
District	Use Group	Minimum Usable Lot Area	Required Lot Width (feet)	Minimum Front Yard Depth (feet)	Required Side Yards (feet)	Minimum Rear Yard (feet)	Required Road Frontage (feet)	Maximum Building Height (feet)	Maximum Development Coverage	Maximum Building Coverage	Floor Area Ratio
LS	A	none									
	B	10,000 sq. ft.	50	30	none	none	50	35	100%	50%	0.50
	C	20,000 sq. ft.	200	50	50/100	20	200	25	70%	10%	0.10
	D	40,000 sq. ft.	200	55	35/70	75		35	70%	40%	0.7
	E	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	none									
B	B	5,000 sq. ft.	50	30	none	none	50	55	100%	50%	0.50
	D	10,000 sq. ft.	100	30	none	none	100	55	100%	70%	1.00
	E	60,000 sq. ft. (400 per accommodation unit)	200	35	20/40	75	200	60	50%	35%	1.40
	F	25,000 sq. ft.	200	35	25/50	75	100	55	70%	35%	0.70
	G	15,000 sq. ft.	100	35	20/40	75	100	55	70%	35%	0.70
	H	25,000 sq. ft.	200	50	50/100	20	200	55	70%	10%	1.00
GC	I	none	none	30	20/40	40	15	55	35%	35%	0.70
	J	5 acres	300	75	50/100	50	200	40	65%	25%	1.15
	K	60,000 sq. ft.	200	50	50/100	50	100	40	65%	15%	0.30
	L	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	10,000 sq. ft.	100	55	20/40	35	100	35	70%	35%	0.70
	B	25,000 sq. ft.	100	55	20/50	35	100	35	60%	35%	0.70
HC	C	10,000 sq. ft.	50	55	10/40	35	50	35	80%	30%	0.60
	D	25,000 sq. ft.	200	55	20/40	75	200	35	60%	30%	0.60
	E	40,000 sq. ft.	200	55	20/40	75	200	35	60%	30%	0.60
	F	20,000 sq. ft.	200	45	20/40	50	200	35	70%	15%	0.15

**CORNWALL CODE**

1	2	3	4	5	6	7	8	9	10	11	12
District	Use Group	Minimum Usable Lot Area	Required Lot Width (feet)	Minimum Front Yard Depth (feet)	Required Minimum Side/Yard (feet)	Required Rear Yard (feet)	Minimum Road Frontage (feet)	Maximum Building Height (feet)	Maximum Development Coverage	Maximum Building Coverage	Floor Area Ratio
	G	60,000 sq. ft.	350	65	60/120	60	100	35	70%	45%	0.45
	H	65,000 sq. ft.	350	100	20/40	30	250	40	80%	20%	0.30
	I	20,000 sq. ft.	150	55	30/60	60	150	25	80%	10%	0.10
	J	25,000 sq. ft.	150	55	30/60	50	150	25	70%	10%	0.10
HC	K	5 acres	200	70	70/140	70	150	40	15%	4%	0.08
	L				As specified in the special permit therefore						
	M	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	65,000 sq. ft.	350	100	40/80	40	100	40	70%	35%	0.70
	B	3 acres	500	100	50/100	50	100	40	70%	35%	0.70
	C	80,000 sq. ft.	400	100	50/100	50	400	40	70%	35%	0.70
PCD	D	5 acres	200	70	70/140	70	150	40	15%	4/08	N/A
	E	none									
	F	160,000 sq. ft.	200	50	30/100	50	150	40	10%	5%	0.05
	G				As specified in the special permit therefore						
	H	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	65,000 sq. ft.	350	100	40/80	40	100	40	70%	35%	0.70
	B	3 acres	500	100	50/100	50	100	40	70%	35%	0.70
	C	80,000 sq. ft.	400	100	50/100	50	400	40	70%	35%	0.70
	E	none									
PIO	G	10,000 sq. ft.	50	55	10/40	35	50	35	80%	30%	0.60
	H	160,000 sq. ft.	200	50	30/100	50	150	40	10%	5%	0.05
	I	5 acres	200	70	70/140	70	150	40	15%	4%	0.08
	J				As specified in the special permit therefore						
	K	5 acres	300	50	100/200	100	200	40	12%	5%	0.05
	N	65,000 sq. ft.	350	100	20/40	30	250	40	80%	20%	0.30
	O	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15

**NOTES:**

1. In connection with the granting of a special use permit and site plan approval for nursing home or senior citizen housing in the GC Zone, Use Group B, the Planning Board may, upon a finding of the appropriateness, increase the allowable floor area ratio by 35%, not to exceed a total floor area ratio of 85%.