



**Rand
Commercial**

FOR SALE



**2435 RTE 32
NEW WINDSOR, NY**

**9,552 +/- SQ.FT
SHOWROOM/WHSE**

**4.7 MILES TO NY 87 &
I-84 EXIT 36**

**MUNICIPAL WATER &
SEWER. NATURAL
GAS**

**OPEN SHOWROOM & OFFICE ON
UPPER FLOOR TOTALING 3,960 +/-
SQ. FT. WITH OIL FIRED HVAC UNIT,
DROP CEILINGS & 2, 1/2 BATHS .
LOWER FLOOR WHSE SPACE
TOTALING 5,592 +/- SQ. FT. WITH
OVERHEAD DOOR & LOADING DOCK.**

ASKING \$995,000.00



ROBERT A VITANZA

NYS Licensed RE Associate Broker

Office: 845-562-4835

Cell: 845-926-6161

Fax: 845-562-1006

Email: bob.vitanza@randcommercial.com



**Rand
Commercial**

WWW.RANDCOMMERCIAL.COM

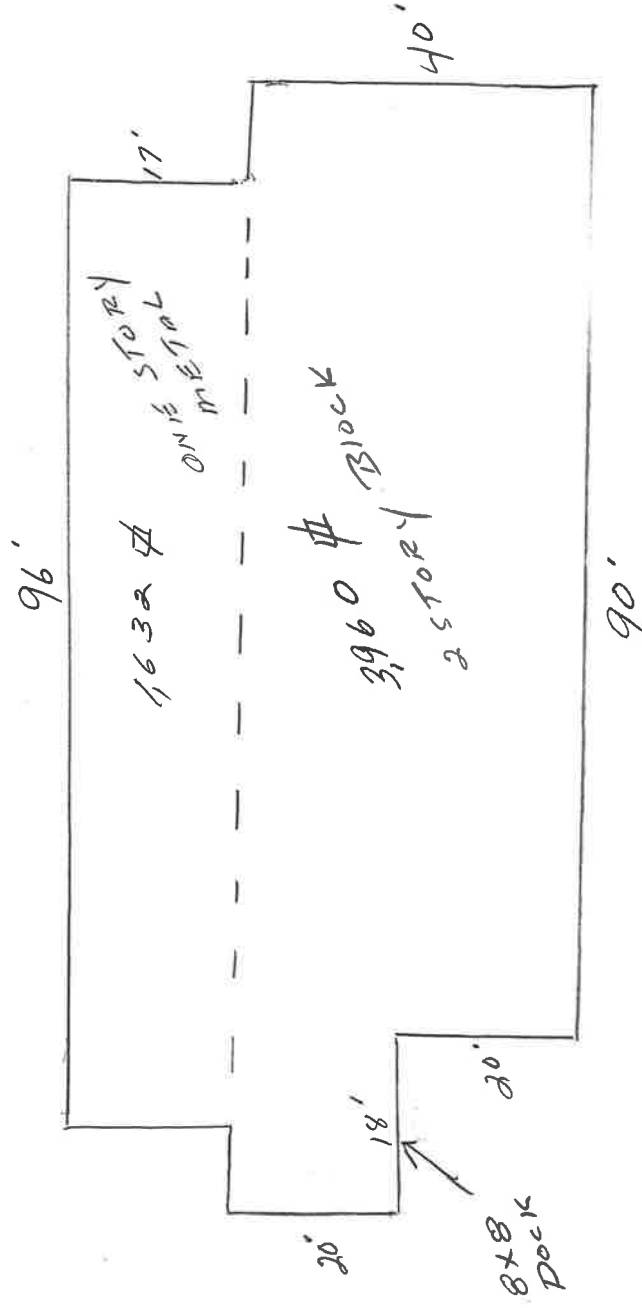
Fact Sheet

LOCATION:	2435 Rte 32, New Windsor, NY 12553
ACCESS:	4.7 Miles to I-84, Exit 36 & NYS 87.
PARCEL:	.55 +/- acres with 170 feet of frontage.
BUILDING:	Two story 9,552 +/- sq. ft. block building. Upper-level totals 3,960 +/- sq. ft. consisting of showroom/office/retail space. Oil fired HVAC unit, drop ceilings & 2, ½ baths. Lower-level totals 5,592 +/- sq. ft., overhead door, loading dock & 8–15-foot ceilings.
WATER/ SEWER:	Municipal water and sewer.
ELECTRIC/ GAS:	Electric Supplied by Central Hudson. Natural Gas available. Oil fired HVAC unit in the showroom/retail/office.
PARKING:	On site, 10 car paved parking lot.
ZONING:	HC ~ Highway Commercial.
ASSESSMENT:	\$ 74,100.00 ~ Full Market Value \$613,400.00
RE TAXES:	\$18,817.00
SALE PRICE:	\$995,000.00

For further information and/or inspection of property, contact:
Robert A Vitanza, NYS Licensed Associate Broker
Rand Commercial
845.926.6161

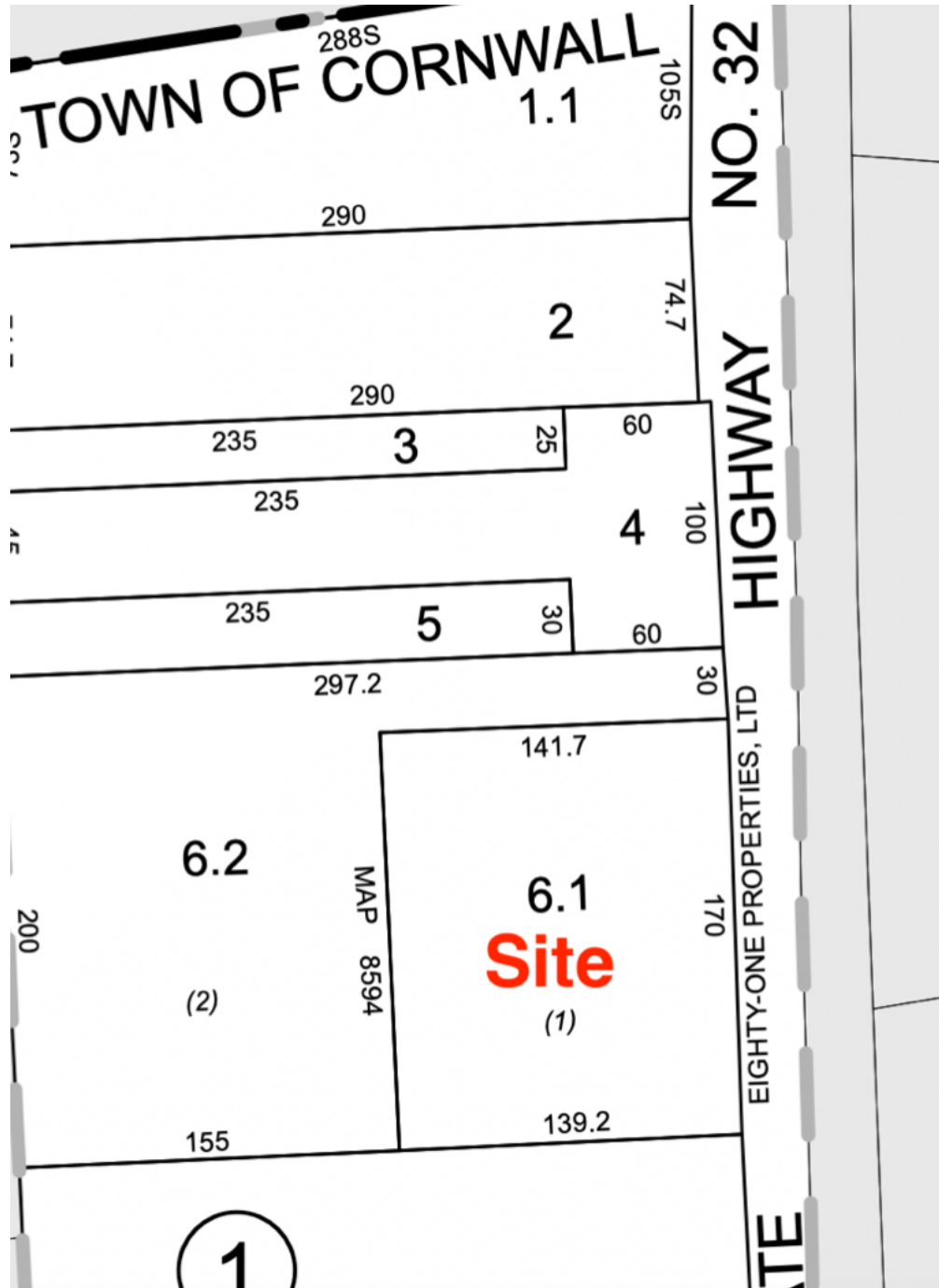


Approx. 9,552 ϕ NOT TO SCALE

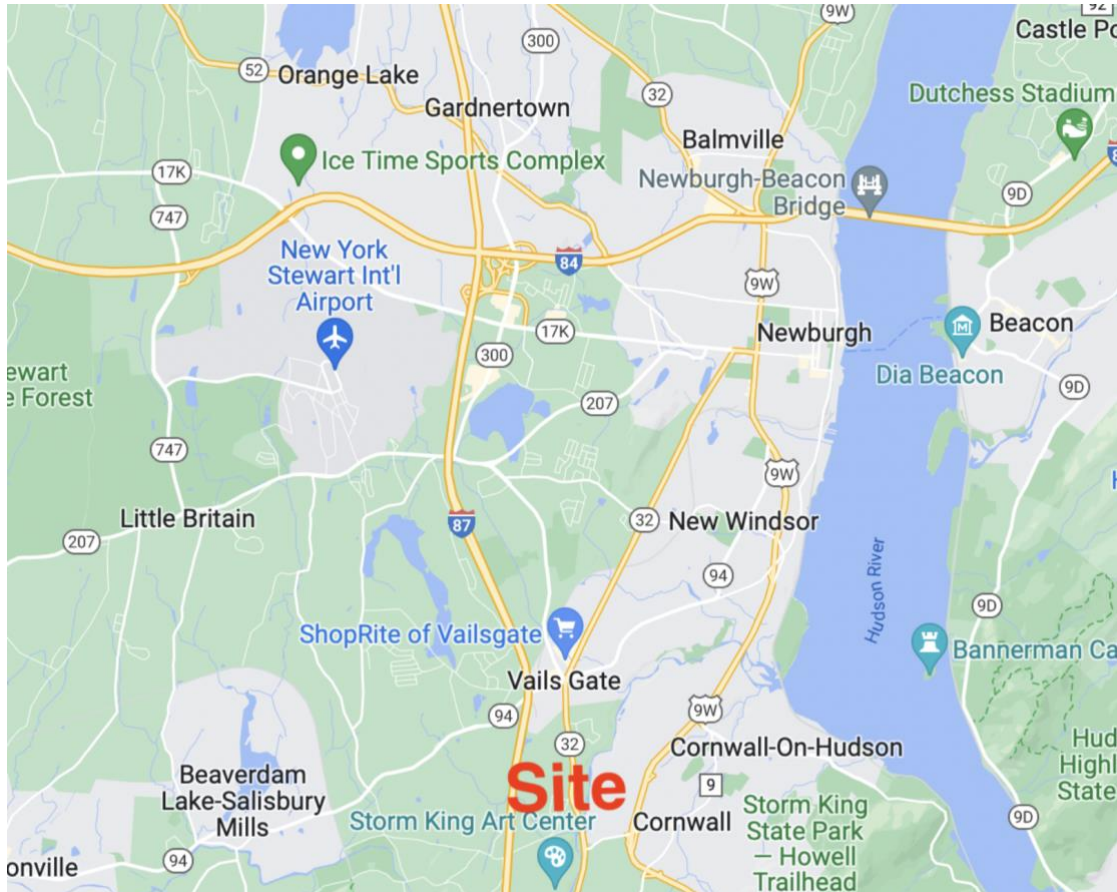


2435 RTE 32

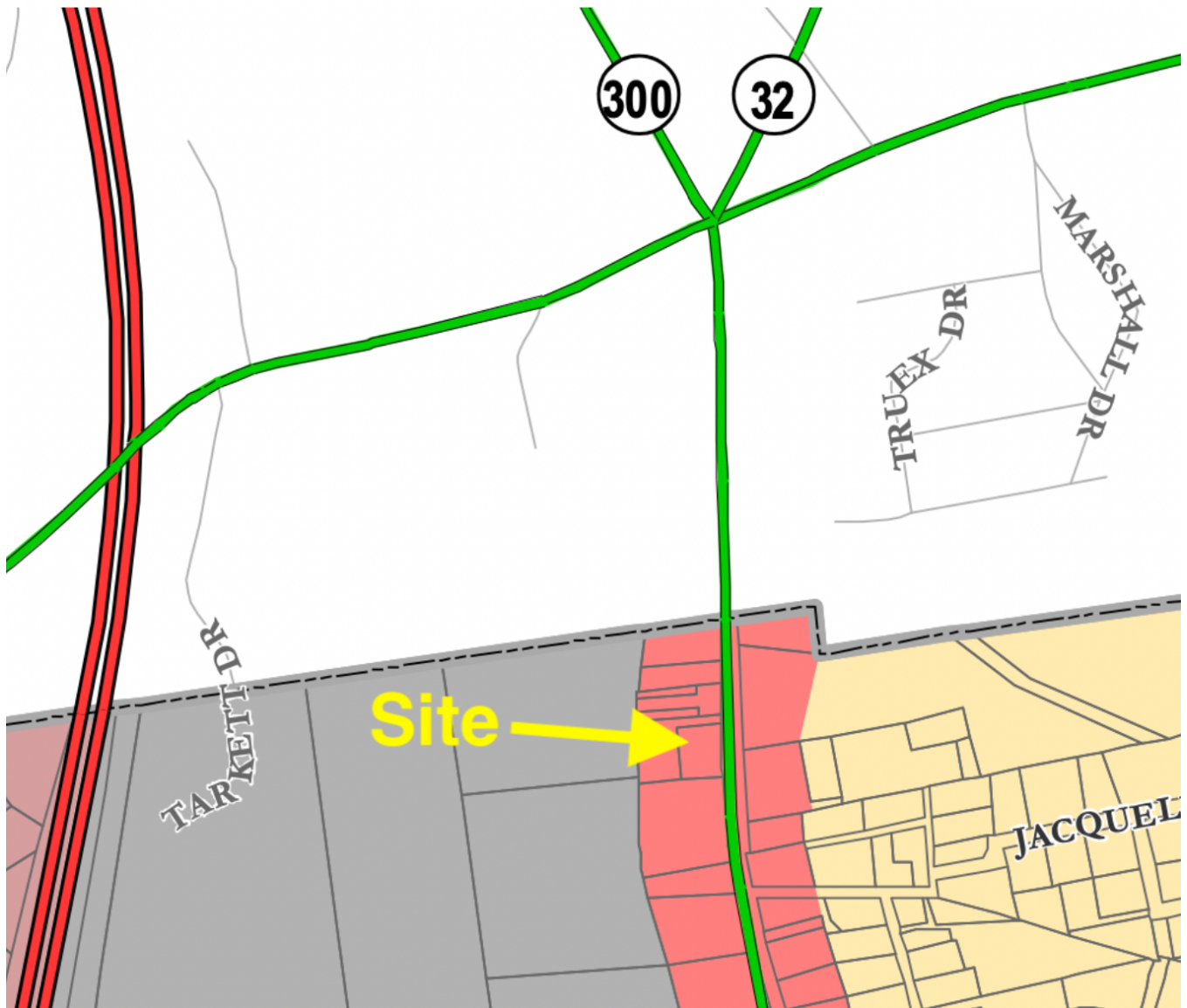
TAX MAP
























AREA MAP



ZONING MAP



ZONING LEGEND

L E G E N D			Zoning Districts	
	Municipal Boundary	ARR		Agricultural Rural Residence
	Parcels	MCR		Mountain and Conservation Residence
	Hudson River	SLR		Suburban Low-Density Residence
Roads		SR-1		Suburban Residence
	Interstate	SR-2		Suburban Residence
	Federal Highway	PRD		Planned Residential District
	State Route			
	County Road			
		MR		Mixed Residence
		LS		Local Shopping
		GC		General Commercial
		HC		Highway Commercial
		PCD		Planned Commercial District
		PIO		Planned Industrial / Office
				Ridge Preservation Overlay
				Schunnemunk Agricultural Scenic Overlay

ZONING

158 Attachment 8

**Town of Cornwall
Table of General Use Regulations HC District
[Amended 12-5-2002 by L.L. No. 6-2002; 6-13-2005 by L.L. No. 3-2005; 9-12-2016 by L.L. No. 6-2016; 2-12-2020 by L.L. No. 1-2020; 10-4-2021 by L.L. No. 3-2021]**

1	2	3	4	
District	Uses Permitted by Right (See Notes)	Uses by Special Permit (See Notes)	Permitted Accessory Uses	
Use Group	Use Group	Use Group		
	<div>1. 1-family detached dwelling, not to exceed 1 dwelling on each lot with driveway access to a public or private road, subject to the same bulk regulations as the same use would be in the S1-R District.</div> <div>2. Community facilities, buildings, and uses operated by the Town of Cornwall or an agency thereof.</div> <div>3. Essential services.</div> <div>4. The following uses:<div><div>(a) Offices</div><div>(b) Retail sales of drugs, dry goods, food, hardware, stationery, tobacco and related items.</div><div>(c) Pick-up and delivery store for dry cleaning and laundry work establishment, provided that no dry cleaning or laundry will be done on premises.</div><div>(d) Personal service shop, such as, but not limited to, barbershop, beauty shop, beauty parlor, tailor shop, shoe repair shop.</div><div>(e) Shops for service of household appliances.</div><div>(f) Eating and drinking establishments.</div><div>(g) In a building containing any permitted commercial use, 2 dwelling units above a first-floor commercial use. Building must conform to all current building and fire codes for any new use.</div></div></div> <div>5. Medical and dental clinics for outpatient care.</div> <div>6. Automobile repair facilities, other than service stations.</div> <div>7. Underwriting and financial establishments.</div> <div>8. Sale of automotive supplies and equipment, except sales of parts from wrecked vehicles which are on the premises. Subject to § 158-15.</div> <div>9. Landscaping not exceeding 30 machines' capacity.</div> <div>10. Social hall for fraternal organization, meeting rooms and catering facilities.</div> <div>11. Business which combine office space with a warehouse or center for distribution of products wherein such warehouse or distribution center is incidental to the main purpose of the business. Subject to § 158-15.</div>	<div>1. Earth operations as defined herein. No washing, screening, crushing, or other processing is permitted.</div> <div>2. Outdoor recreation facilities, including golf courses, tennis courts, public swimming pools and ponds, parks, playfields, nature centers, picnic pavilions and the like subject to § 158-210, but specifically excluding commercial recreation facilities elsewhere identified herein.</div> <div>3. Accessory dwelling units. See residential accessory index for applicable requirements.</div> <div>4. Essential services.</div> <div>5. Schools of special instruction.</div> <div>6. On-site alcoholic beverage licenses, discoteques, cabarets, dance or live entertainment establishments, whether or not incidental or accessory to some other permitted use. *</div> <div>7. Mechanical automobile washing establishments, subject to § 158-21D.</div> <div>8. Day-care centers.</div> <div>9A. Bed-and-breakfast, inn.</div> <div>9B. Bed-and-breakfast residence, subject to underlying residential bulk requirements.</div> <div>10. Building contractors yards, lumber and building material supply yards, except facilities for bulk concrete mixing and batching.</div> <div>11. New and used car sales and showrooms.</div> <div>12. Parking lots and parking garages.</div> <div>13. Pawn shops. This use is not considered to be a "home occupation."</div> <div>14. Carnivals, circuses, and amusement parks on temporary license from the Town Board.</div> <div>15. Hotels and motels, subject to § 158-21E.</div> <div>16. Dry cleaning and laundry establishments.</div> <div>17. Light manufacturing subject to § 158-21G.</div> <div>18. Shopping centers, department stores or retail facilities exceeding in aggregate 20,000 square feet of gross floor area.</div> <div>19. Automobile food concessions, including diners, fast-food processing, drive-in restaurants or other facilities where food is prepared and packaged for off-premise consumption.</div> <div>20. Filling station, subject to § 158-21C, provided that such facility is located not closer than 1,000 feet to any existing facility measured from the property line of such facility to the property line of the proposed facility, unless such facility shall derive access to a roadway, on which such other facility shall not have access, and the distance via such traveled way is in excess of 5,000 feet.</div> <div>20A. Repair garage, subject to § 158-21M.</div> <div>21. Trailers for business office and commercial use not exceeding a period of 6 months and nontransferable, except as set forth in § 158-16H(3).</div> <div>22. Commercial recreation facilities, including bowling alleys, indoor skating rinks, tennis clubs, miniature golf courses, but excluding open air theaters and automobile food concession restaurants (fast food), excluding any kind of vehicular track for use of equipment including, but not limited to, cars, trucks, motorcycles, motorized cars, motorbikes, snowmobiles, all-terrain vehicles and off-road vehicles, and further excluding outdoor shooting facilities of any kind. Subject to § 158-21O.</div> <div>22A. Health club.</div> <div>23. Radio towers and antennas and other public communications utility towers and equipment mounted thereon, subject to § 158-22.</div> <div>24. Churches or other similar places of worship.</div>	<div>K</div> <div>L</div> <div>B</div> <div>F</div> <div>G</div> <div>H</div>	<div>1. Accessory parking, subject to § 158-16A and B.</div> <div>2. Accessory building, subject to § 158-16C.</div> <div>3. Accessory signs subject to §158-18.</div> <div>4. Storage of boats, trailers or recreational vehicles subject to § 158-16H.</div> <div>5. Temporary structures for storage of equipment and materials used in connection with the construction of a permitted use, not to exceed a period of 1 year limited to two 6-month renewals, subject to § 158-16H(3).</div> <div>6. Private swimming pools accessory to a residential use subject to § 158-21K.</div> <div>7. Keeping of domestic animals, except pigs, horses and cattle, limited as follows: not more than 2 dogs over 1 year old, not more than 4 of any other domestic animals over 1 year old.</div> <div>8. Accessory storage, within a wholly enclosed permanent structure, of materials, goods, and supplies intended for sale, processing or consumption on the premises.</div> <div>9. Accessory to any authorized State of New York motor vehicle repair shop, the sale of or used vehicles, subject to the following conditions:<div><div>(a) No additional Planning Board approvals shall be required for such accessory use as long as the repair shop shall have a current valid site plan approval for the repair shop showing the availability of parking spaces in excess of the minimum required for the repair shop.</div><div>(b) In the event that the repair shop does not have a current valid site plan approval for its use, site plan approval shall be required from the Planning Board for the accessory auto sales use in which the Planning Board determines that sufficient parking area exists to serve the needs of the accessory auto sales vehicles.</div><div>(c) Accessory auto sales use shall be limited to not more than 4 vehicles on the repair shop site at any one time. All such vehicles shall have valid registration and a current inspection sticker.</div><div>(d) All accessory auto sales vehicles shall be parked within approved parking spaces shown on the site plan.</div></div></div> <div>10. Accessory business communications towers for use by a business entity in the course of carrying out its business within the Town shall be permitted in the HC and PIO Districts subject to site plan approval and other provisions of Chapter 158.</div> <div>11. Accessory to 1-family detached dwelling, home daycare.</div>
HC		B C D	H	

NOTES:

1. Uses followed by an asterisk (*) are by special permit of the Town Board pursuant to § 158-40. All other uses in Column 3 are by special permit of the Planning Board pursuant to § 158-40.
2. Site plan approval is required, except for single-family detached and two-family detached dwellings.
3. Accessory dwelling unit in a house without public water and/or sewer services requires certification by an appropriate New York State licensed professional that well and/or septic system are sufficient for the additional use. Also, the site plan must provide sufficient detail for buffering from adjacent properties and adequate parking.
4. All uses are subject to all current federal, state, county and other local requirements and reviews as applicable.

ZONING

158 Attachment 12

Town of Cornwall

Bulk Requirements - Nonresidential Districts

[Amended 12-3-2002 by L.L. No. 8-2002; 6-13-2005 by L.L. No. 3-2005; 8-6-2007 by L.L. No. 1-2007; 2-12-2020 by L.L. No. 1-2020; 10-4-2021 by L.L. No. 3-2021]

1	2	3	4	5	6	7	8	9	10	11	12
District	Use Group	Minimum Usable Lot Area	Required Lot Width (feet)	Minimum Front Yard Depth (feet)	Required Minimum Side/Total Side Yards (feet)	Required Minimum Rear Yard (feet)	Minimum Required Road Frontage (feet)	Maximum Building Height (feet)	Maximum Development Coverage	Maximum Building Coverage	Floor Area Ratio
LS	A	none									
	B	10,000 sq. ft.	50	30	none	none	50	35	100%	50%	0.50
	C	20,000 sq. ft.	200	50	50/100	20	200	25	70%	10%	0.10
	D	40,000 sq. ft.	200	55	35/70	75		35	70%	40%	0.7
	E	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	none									
	B	5,000 sq. ft.	50	30	none	none	50	55	100%	50%	0.50
	D	10,000 sq. ft.	100	30	none	none	100	55	100%	70%	1.00
	E	60,000 sq. ft. (400 per accommodation unit)	200	35	20/40	75	200	60	50%	35%	1.40
GC											
	F	25,000 sq. ft.	200	35	25/50	75	100	55	70%	35%	0.70
	G	15,000 sq. ft.	100	35	20/40	75	100	55	70%	35%	0.70
	H	25,000 sq. ft.	200	50	50/100	20	200	55	70%	10%	1.00
	I	none	none	30	20/40	40	15	55	35%	35%	0.70
	J	5 acres	300	75	50/100	50	200	40	65%	25%	1.15
	K	60,000 sq. ft.	200	50	50/100	50	100	40	65%	15%	0.30
	L	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	10,000 sq. ft.	100	55	20/40	35	100	35	70%	35%	0.70
	B	25,000 sq. ft.	100	55	20/50	35	100	35	60%	35%	0.70
HC	C	10,000 sq. ft.	50	55	10/40	35	50	35	80%	30%	0.60
	D	25,000 sq. ft.	200	55	20/40	75	200	35	60%	30%	0.60
	E	40,000 sq. ft.	200	55	20/40	75	200	35	60%	30%	0.60
	F	20,000 sq. ft.	200	45	20/40	50	200	35	70%	15%	0.15

CORNWALL CODE

1	2	3	4	5	6	7	8	9	10	11	12
District	Use Group	Minimum Usable Lot Area	Required Lot Width (feet)	Minimum Front Yard Depth (feet)	Required Minimum Side/Total Side Yards (feet)	Required Minimum Rear Yard (feet)	Minimum Required Road Frontage (feet)	Maximum Building Height (feet)	Maximum Development Coverage	Maximum Building Coverage	Floor Area Ratio
HC (cont'd)	G	60,000 sq. ft.	350	65	60/120	60	100	35	70%	45%	0.45
	H	65,000 sq. ft.	350	100	20/40	30	250	40	80%	20%	0.30
	I	20,000 sq. ft.	150	55	30/60	60	150	25	80%	10%	0.10
	J	25,000 sq. ft.	150	55	30/60	50	150	25	70%	10%	0.10
	K	5 acres	200	70	70/140	70	150	40	15%	4%	0.08
As specified in the special permit therefore											
PCD	L	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	M	65,000 sq. ft.	350	100	40/80	40	100	40	70%	35%	0.70
	B	3 acres	500	100	50/100	50	100	40	70%	35%	0.70
	C	80,000 sq. ft.	400	100	50/100	50	400	40	70%	35%	0.70
	D	5 acres	200	70	70/140	70	150	40	15%	4/08	N/A
	E	none									
	F	160,000 sq. ft.	200	50	30/100	50	150	40	10%	5%	0.05
	G										
	H	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15
	A	65,000 sq. ft.	350	100	40/80	40	100	40	70%	35%	0.70
	B	3 acres	500	100	50/100	50	100	40	70%	35%	0.70
	C	80,000 sq. ft.	400	100	50/100	50	400	40	70%	35%	0.70
	C	80,000 sq. ft.	400	100	50/100	50	400	40	70%	35%	0.70
	E	none									
PIO	G	10,000 sq. ft.	50	55	10/40	35	50	35	80%	30%	0.60
	H	160,000 sq. ft.	200	50	30/100	50	150	40	10%	5%	0.05
	I	5 acres	200	70	70/140	70	150	40	15%	4%	0.08
	J										
	K	5 acres	300	50	100/200	100	200	40	12%	5%	0.05
	N	65,000 sq. ft.	350	100	20/40	30	250	40	80%	20%	0.30
	O	160,000 sq. ft.	500	75	50/100	75	300	40	70%	25%	1.15

NOTES:

1. In connection with the granting of a special use permit and site plan approval for nursing home or senior citizen housing in the GC Zone, Use Group B, the Planning Board may, upon a finding of the appropriateness, increase the allowable floor area ratio by 35%, not to exceed a total floor area ratio of 85%.