

**4_PLEX
227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM,BLOCK 57,LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**



BUILDING PERMIT SET

ISSUE DATE : 2026-01-15

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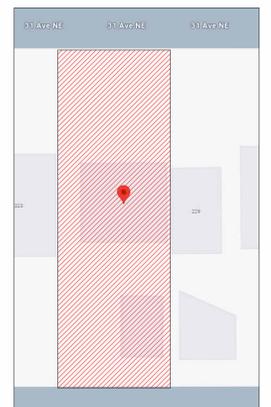
UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	624.70	58.04
	UPPER FLOOR	695.12	64.58
	TOTAL	1319.82	122.62
	LEGAL SUITE FLOOR	564.94	52.48
	GRAND TOTAL	1884.76	175.10
	GARAGE	191.60	17.80

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	624.70	58.04
	UPPER FLOOR	695.12	64.58
	TOTAL	1319.82	122.62
	LEGAL SUITE FLOOR	564.94	52.48
	GRAND TOTAL	1884.76	175.10
	GARAGE	191.60	17.80

UNIT 3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	636.40	59.12
	UPPER FLOOR	695.13	64.58
	TOTAL	1331.53	123.70
	LEGAL SUITE FLOOR	564.46	52.44
	GRAND TOTAL	1895.99	176.14
	GARAGE	191.60	17.80

UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	636.40	59.12
	UPPER FLOOR	695.13	64.58
	TOTAL	1331.53	123.70
	LEGAL SUITE FLOOR	564.46	52.44
	GRAND TOTAL	1895.99	176.14
	GARAGE	191.60	17.80

KEY PLAN:



**PROJECT NO. :
25-01789**



#202, 4216 10th Street NE,
Calgary, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

ARCHITECTURAL ABBREVIATIONS		GENERAL NOTES (CONT.)	
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATED	MIR	MIRROR
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
BLDG	BUILDING	MTD	MOUNTED
C/W	COMPLETE WITH	N/A	NOT APPLICABLE
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CENTRE LINE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTRE
CLT	CLOSET	OD	OUTSIDE DIAMETER
COL	COLUMN	OH	OVERHEAD
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCTION	PT	PAINT / PAINTED
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
COORD	COORDINATE	R	RADIUS OR RISER
CORR	CORRIDOR	R/H	RANGE AND HOOD FAN
CPT	CARPET	RD	ROOF DRAIN
D	DEPTH / DEEP	REQD	REQUIRED
D/W	DISHWASHER	REV	REVERSE
DN	DOWN	RI	RIGID INSULATION
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	RWL	RAINWATER LEADER
ELEC	ELECTRICAL	S	SINK
ELEV	ELEVATION	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATIONS
F	FRIDGE	ST	STEEL
FD	FLOOR DRAIN	STD	STANDARD
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FG	FIBREGLASS	T&G	TONGUE & GROOVE
FLR	FLOOR	T/O	TOP OF
FRR	FIRE RESISTANCE RATING	TYP	TYPICAL
GALV	GALVANIZED	U/S	UNDERSIDE
GL	GLASS	USJ	UNDERSIDE OF JOIST
GWB	GYPSTUM WALL BOARD	VB	VAPOUR BARRIER
HT	HEIGHT	VEST	VESTIBULE
INSUL	INSULATION	W	WIDTH
L	LONG	W/D	WASHER AND DRYER
MAX	MAXIMUM	W/O	WALL OVEN
MC	MEDICINE CABINET	WIC	WALK IN CLOSET

GENERAL NOTES	
1.	ALL CONSTRUCTION TO COMPLY WITH NATIONAL BUILDING CODE 2023 – ALBERTA EDITION (NBC23AE), REGULATIONS, RULES, AND BY-LAWS SET BY THE AUTHORITY HAVING JURISDICTION.
2.	THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE ALL INCOMING AND OUTGOING MECHANICAL AND ELECTRICAL SERVICES FOR THE PROJECT, AND ALL ROAD IMPROVEMENTS ASSOCIATED WITH THE PROJECT.
3.	THE GENERAL CONTRACTOR SHALL COORDINATE ALL ACTIVITIES AS REQUIRED TO ENSURE EFFICIENT, CORRECT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK TO AVOID CONFLICT IN THE TRADE WORK AND SCHEDULE.
4.	VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO FABRICATION. PROMPTLY NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS.
5.	PROVIDE ALL WARRANTIES, BONDS AND MANUFACTURER'S OPERATING INSTRUCTION AND SERVICE MANUALS AS WELL AS PARTS LISTS AT THE COMPLETION OF THE PROJECT.
6.	DIMENSIONS ARE TAKEN TO FACE OF STUD, TO FACE OF CONCRETE AND / OR BLOCK WALLS AND TO FACE OF CONCRETE SLAB.
7.	REFER TO STRUCTURAL DRAWINGS FOR COLUMNS SHAPES, SIZES, LOCATION AND REINFORCEMENT.
8.	ALL CONSTRUCTION TO COMPLY WITH INDUSTRY TRADE STANDARDS, AS WELL AS MANUFACTURER'S RECOMMENDATIONS, TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN THE REQUIREMENTS CONTAINED IN THESE CONTRACT DOCUMENTS. IN THE CASE OF CONFLICT BETWEEN STANDARDS, THE MOST STRINGENT WILL APPLY

9.	PROVIDE AND MAINTAIN CONTINUOUS FIRE/SMOKE SEPERATIONS. EACH TRADE IS TO FIRE STOP ALL SERVICE PENETRATIONS ASSOCIATED WITH THEIR WORK WITH APPROVED AND ULC LISTED FIREPROOF SYSTEMS. REFER TO AND COMPLY WITH CITY OF CALGARY "FIRE STOPPING SERVICES PENETRATIONS IN BUILDINGS" DOCUMENT. FIRE DAMPERS AT DUCTWORK PENETRATIONS. FIRESTOPPING AT ALL PIPE PENETRATIONS IN FIRE RATES ASSEMBLIES ARE TO BE ANTICIPATED/INCLUDED IN THE SCOPE OF WORK WHETHER INDICATED OR NOT.
10.	PROVIDE AND MAINTAIN CONTINUOUS AIR / VAPOUR BARRIER SYSTEM. CAULK AROUND OPENINGS AND GAPS WITH COMPATIBLE SEALANT TO ACHIEVE A CONTINUOUS BARRIER.
11.	PROVIDE AND MAINTAIN CONTINUOUS ACOUSTIC BARRIER SYSTEM. AVOID SOUND TRANSMISSION THROUGH DIRECT CONTACT AT ACOUSTICALLY TREATED SURFACES. COMPLETELY SEAL ALL PENETRATIONS WITH ACOUSTIC SEALANT, TAPE AND INSULATION AS REQUIRED TO PREVENT SOUND TRANSFER AND MAINTAIN THE REQUIRED STC RATINGS OF THE WALL SYSTEMS. PROVIDE APPROVED ISOLATION METHODS TO ALL NOISE GENERATING AND MOVING EQUIPMENT, AND HARD CONNECTIONS AT SERVICES TO STRUCTURE.
12.	ALL DOORS AND WINDOWS REFERENCED ON THE PLANS AND SCHEDULES ARE SHOWN NOMINAL SIZE. CONFIRM AND VERIFY ALL ROUGH OPENING SIZE REQUIREMENTS WITH THE SELECTED PRODUCT MANUFACTURER AND SITE CONDITIONS PRIOR TO FABRICATION. REFER TO MANUFACTURERS INSTALLATION MANUAL.
13.	ALL INTERIOR DOOR OPENINGS IN STUD FRAMING WALLS TO BE SPACED A MINIMUM OF 4" (102mm) FROM THE ADJACENT WALL, UNLESS NOTED OTHERWISE.
14.	ALL INTERIOR DOOR OPENINGS IN CONCRETE OR CONCRETE BLOCK WALLS TO BE 6" (152mm) FROM THE ADJACENT WALL (OR FLUSH WITH FACE OF WALL IN TIGHT CONDITIONS), UNLESS NOTED OTHERWISE.
15.	CONFIRM ALL ROUGH OPENING SIZES AND CONNECTION REQUIREMENTS FOR MECHANICAL, ELECTRICAL AND OWNER SUPPLIED EQUIPMENT. ADJUST ROUGH OPENINGS SIZES TO SUIT
16.	PROVIDE AND INSTALL SOLID BLOCKING AND BACKING WITHIN THE WALLS FOR ALL WASHROOM AND BATHROOM ACCESSORIES, HANDRAILS, GUARDS, LADDERS, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT, ETC. AS REQUIRED FOR PROPER ANCHORING
17.	INSTALL & CONNECT OWNER SUPPLIED EQUIPMENT OR APPLIANCES AS DIRECTED, CENTERED, LEVEL AND TRUE.
18.	EXTERIOR WALL CONSTRUCTION TO COMPLY WITH "ALBERTA WALL & CEILING BUREAU" DETAILS AND REQUIREMENTS.
19.	MECHANICAL LINES ARE NOT TO BE IN CONTACT WITH THE STUD WALLS OR CONCRETE WALL OR FLOOR ASSEMBLIES. ISOLATE ALL PIPES TO AVOID SOUND TRANSMISSION. INSTALL NEOPRENE RUBBER PAD ON TOP OF SUBSTRATE SURFACE (BOTTOM PLATE, CONCRETE ETC.) BEFORE ALL MECHANICAL CLAMPS ARE TIGHTENED INTO PLACE.
20.	PARKING LINES TO BE 100mm (4") WIDE PAINTED LINES. PARKING STALL NUMBERS TO BE 150mm (6") HIGH SIGNS FASTENED TO THE WALL OR CHAIN LINK FENCING AT EACH STALL AND MOUNTED AT 915mm (36") A.F.F.. FOR AT GRADE PARKING STALLS, PAINT STALL NUMBERS AT THE FRONTS OF THE STALLS USING THE SAME PAINT AS THE PARKING STALL LINES. THESE NUMBERS SHALL BE 300mm (12") HIGH
21.	BARRIER FREE PARKING SYMBOLS TO BE 405mm X 405mm (16" X 16") METAL SIGNS MOUNTED ON THE WALL OR FENCING AT EACH BARRIER FREE PARKING STALL AT 915mm (36") A.F.F.. FOR AT GRADE PARKING STALLS, PAINT THE INTERNATIONAL SYMBOL OF ACCESS ON THE PAVEMENT TO A SIZE OF 600mm X 600mm (24" X 24") AT THE FRONT OF THE PARKING STALL.
22.	FOR EXTERIOR VISITOR PARKING STALLS, PROVIDE METAL SIGNAGE 305mm W x 460mm H (12" x 16") ON 915mm (36") HGH GALVANIZED METAL POSTS. SIGNAGE TO READ "VISITOR PARKING ONLY".

WALL AND PARTATION NOTES	
A.	ALL WALLS TO U/S OF STRUCTURAL UNLESS NOTED OTHERWISE. ALLOW FOR APPLICABLE FIRESTOPPING INSTALLATION.
B.	FOR ALL LOAD BEARING WALLS REFER TO STRUCTURAL DRAWINGS.
C.	MECHANICAL LINES TO BE INSULATED, REFER TO MECHANICAL SPECIFICATION.
D.	WHERE A WALL IS MADE UP OF DIFFERENT PARTITION TYPES, PROVIDE RESILIENT CHANNEL (IF REQUIRED) AND ADDITIONAL LAYER OF GYPSUM BOARD (IF REQUIRED) SO THAT FINISHED GYPSUM BOARD FACES IN SMOOTH, ALIGN AND CONTINUOUS. AT WASHROOM / TUB / SHOWER INSTALLATIONS AT RATED PARTITIONS, ALLOW FOR GYPSUM BOARD LAYER OVER LIP OF FIXTURE FOR CONTINUOUS WALL FINISH ON ADJACENT WALLS.
E.	GRID LINE IS CENTER LINE OF PARTY WALL, TYPICAL FOR ALL SUITES.
F.	REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL REQUIREMENT AND LOCATION.
G.	ALL OSB SHEATHING SHALL BE 0-2 GRADE.
H.	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS TO INDICATE GENERAL LOCATION AND ROUTE TO BE FOLLOWED BY PIPES AND DUCTS, CONDUITS ETC. INSTALL IN SUCH A WAY AS TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACE OF THOUGH WHICH THEY PASS. KEEP ALL PIPES, DUCTS, CONDUITS AS TIGHT AS POSSIBLE TO THE BEAM OR OTHER LIMITING MEMBERS WHERE HEADROOM OR SPACE APPEAR INADEQUATE. NOTIFY THE ARCHITECTS BEFORE PROCEEDING WITH FABRICATION AND/OR INSTALLATION. RELOCATE WHERE NECESSARY TO MAINTAIN 2100MM HEADROOM WITHIN PARKING AREA.

ARCHITECTURAL SYMBOLS	
	LEVEL IN PLAN
	LEVEL IN ELEVATION OR SECTION
	GRID NUMBERS
	PARKING NUMBER
	SECTION NUMBER DRAWING NUMBER WHERE THE SECTION APPEARS
	ELEVATION NUMBER DRAWING NUMBER WHERE THE ELEVATION APPEARS
	NORTH DIRECTION
	SUSPENDED CEILING TYPE
	SUSPENDED CEILING HEIGHT
	DOOR OPENING ID
	ROOM / SPACE NUMBER
	DETAIL NUMBER DRAWING NUMBER WHERE THE DETAIL APPEARS

	LEGAL SUITE FLOOR KEY PLAN 1/16" = 1'-0"
	MAIN FLOOR KEY PLAN 1/16" = 1'-0"
	UPPER FLOOR KEY PLAN 1/16" = 1'-0"

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tricordesigns.com

#202, 4216 10TH STREET NE CALGARY, AB T2E 0K3
PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordesigns.com

KEY PLAN

NOTES:

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-09-14	DTR	R.N.	E.Z./A.K./E.R.
02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

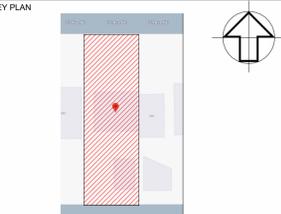
ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **GENERAL NOTES**

DRAWING NO. **G-001**

PROJECT NO.: 25-01789	CHECKED BY: E.Z./A.K.	DATE: 2026-01-15
	DRAWN BY: R.E.	SCALE: 3/16" = 1'-0"



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THE CLIENT: **I_SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

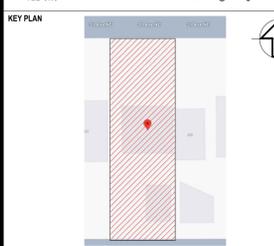
DRAWING TITLE: **3D SHOTS**

DRAWING NO. **G-002**

PROJECT NO.: **25-01789**

CHECKED BY:	DATE:
E.Z./A.K.	2026-01-15
DRAWN BY:	SCALE:
R.E.	3/16" = 1'-0"





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01	2025-09-14	DTR	R.N	E.Z./A.K.
02	2025-09-28	DTR	W.B.	E.Z./A.K.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	A.K.
05				

ISSUES:

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THE CLIENT:
I SMART HOMES

PROJECT:
4_PLEX

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**227 - 31 AVENUE N.E.
 CALGARY, ALBERTA
 PLAN 3980AM, BLOCK 57, LOTS 33&34
 WITHIN N.E. 1/4 SEC.27-24-1-W5M**

DRAWING SET:
BUILDING PERMIT SET

DRAWING TITLE:
EXISTING SURVEY

DRAWING NO.
A-001

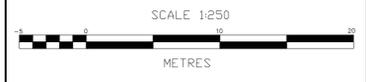
PROJECT NO.	DRAWN BY:	DATE:
25-01789	R.W.R/E	2025-01-15
	CHECKED BY: <td>SCALE: </td>	SCALE:
	E.Z./A.K./E.R.	1:250

**CITY OF CALGARY
 ALBERTA
 PLAN SHOWING
 SITE SURVEY
 AFFECTING
 LOTS 33&34, BLOCK 57,
 PLAN 3980AM
 WITHIN
 N.E. 1/4 SEC.27-24-1-W5M**

NOTES:
 Distances shown are in metres and decimals thereof.
 Location of underground utilities are copied from City of Calgary Block Profile sheets.
 All elevations are geoidetic elevations and are derived from ASDM 146282, Elevation = 1067.796

PROPERTY DESCRIPTION:
CLIENT:
 ISMART HOMES
MUNICIPAL ADDRESS:
 227 - 31 AVENUE N.E.
 CALGARY, ALBERTA

DATE OF SURVEY:
 JUNE 17, 2025



LEGEND

- Spot elevations are shown thus
- Subject Property is shown thus
- Eave Fascia are shown thus
- Fences are shown thus
- Building foundation shown thus
- Overhead Utilities shown thus
- Gas line shown thus
- Sanitary Lines shown thus
- Storm lines shown thus
- Water lines shown thus
- AOT Lines shown thus
- E.L. Lines shown thus
- Coniferous trees are shown thus
- Deciduous trees are shown thus
- Shrubs are shown thus
- Tree Canopy shown thus
- Power Poles shown thus
- Manhole shown thus

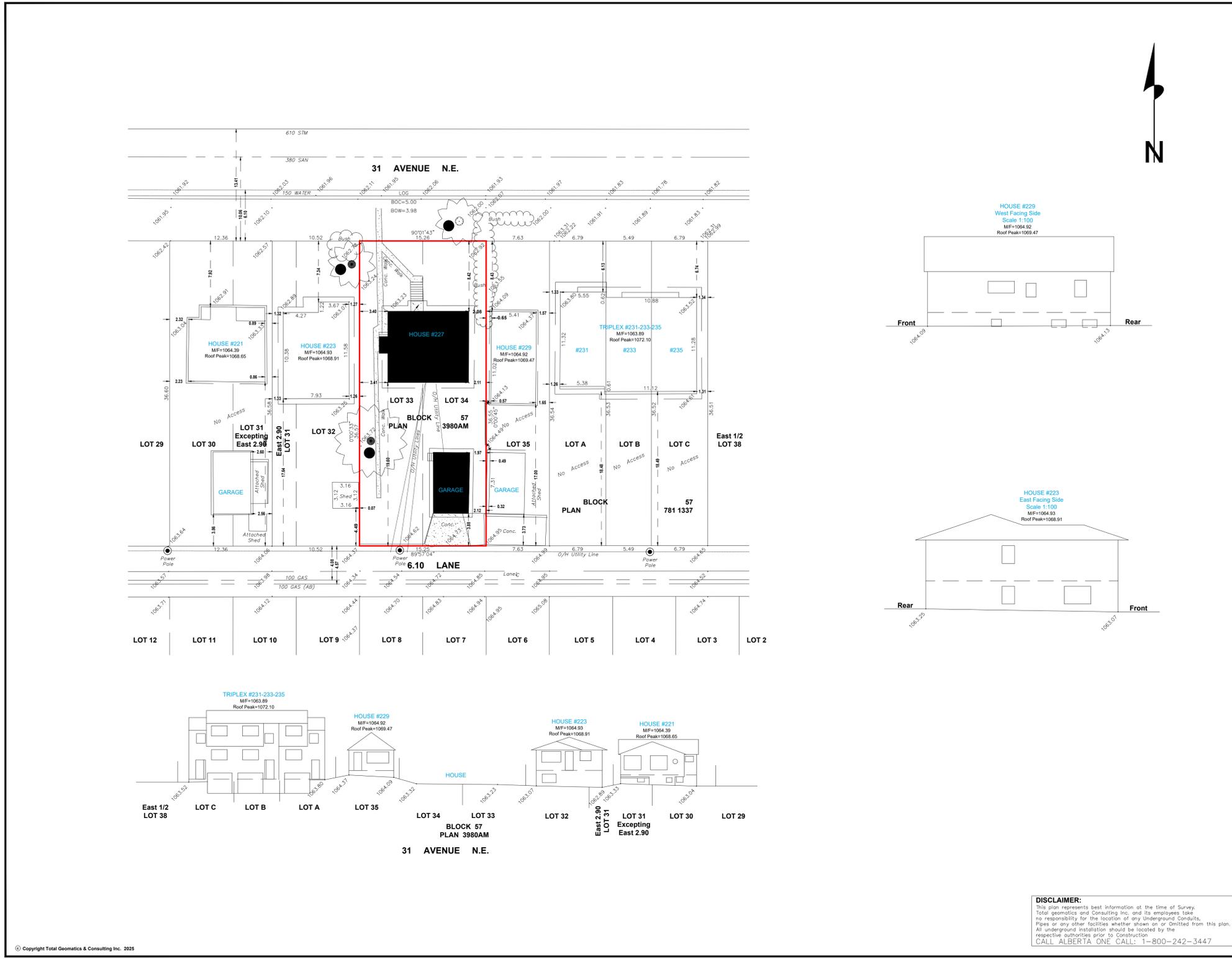
TREE SCHEDULE

Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)
1	DEC	5	0.2	6
2	CON	5	0.5	14
3	CON	8	0.6	20



DWN BY:CD	33 ROYAL CREST VIEW N.W., CALGARY	DATE: June 24, 2025
CKD BY:NB	T30 9WS, ALBERTA, PH: (403) 478 3435	JOB NO: T025-0205 ACAD FILE NO: T025-0205DP

DISCLAIMER:
 This plan represents best information at the time of Survey. Total Geomatics and Consulting Inc. and its employees take no responsibility for the location of any underground conduits, pipes or any other facilities whether shown on or omitted from this plan. All underground installation should be located by the respective authorities prior to construction.
 CALL ALBERTA ONE CALL: 1-800-242-3447



SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-
227 - 31 AVENUE N.E., CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 3980AM,BLOCK 57,

LOTS 33&34,WITHIN

N.E. 1/4 SEC.27-24-1-W5M

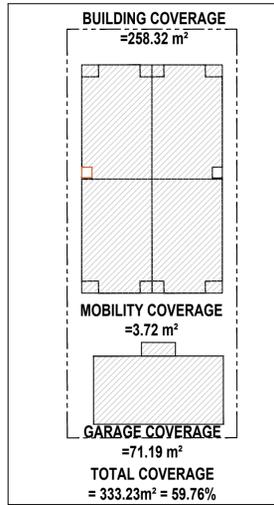
NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:
LOT AREA = 557.644 m²
MAXIMUM COVERAGE (60%) = 334.58 m²
PROPOSED BUILDING COVERAGE = 258.32 m²
PROPOSED GARAGE COVERAGE = 71.19 m²
AREA OF MOBILITY SHED = 3.72 m²
TOTAL PROPOSED COVERAGE = 333.23 = 59.76%
AREA OF 2 MOBILITY SHEDS (7.44 m²) NOT COUNTED IN COVERAGE

PROJECT SETBACK REQUIREMENTS:
1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.2 m REAR SETBACK
3. MINIMUM 0.60 m SIDE SETBACK WITH A STREET
4. MINIMUM 1.20 m SIDE SETBACK

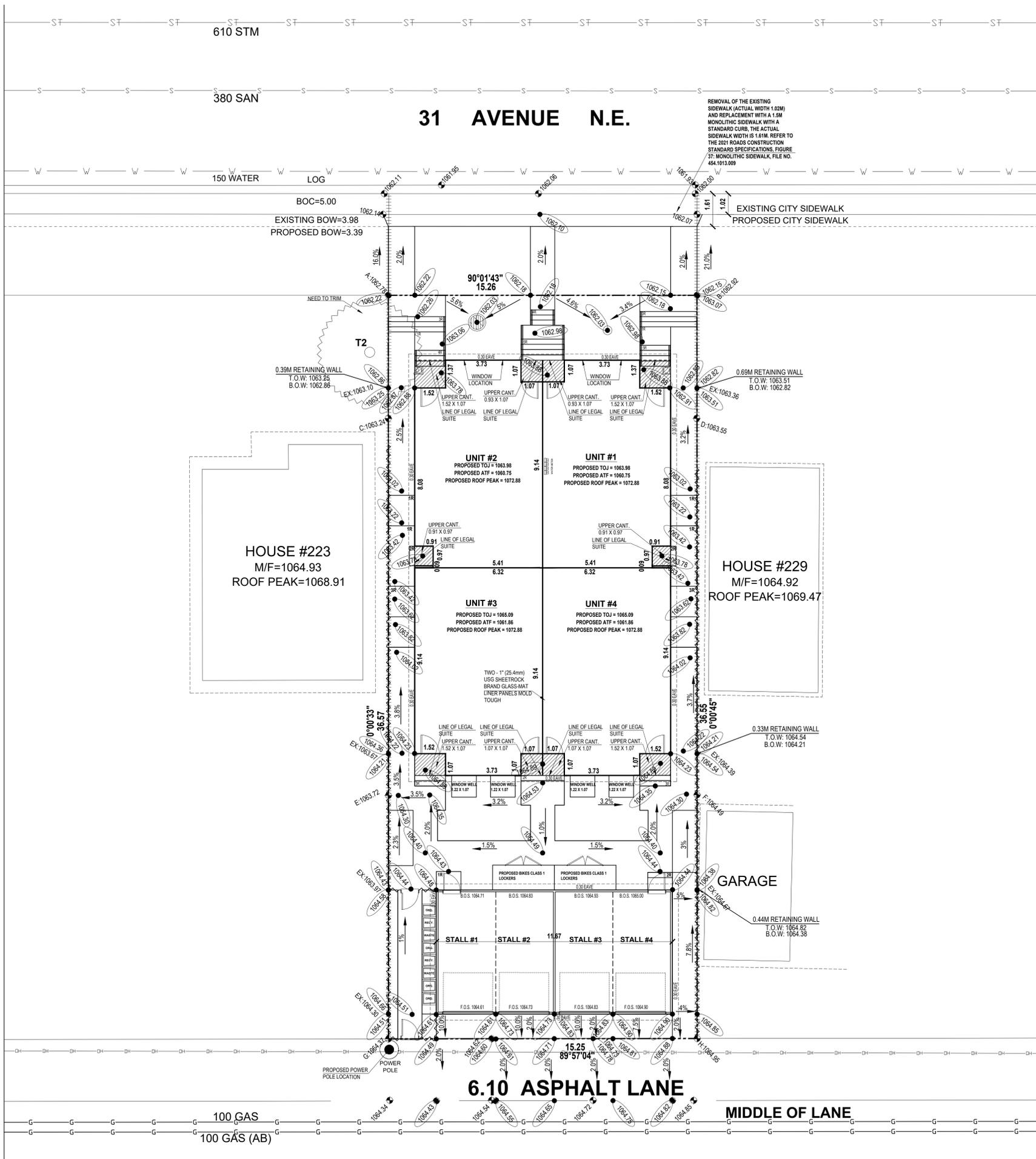
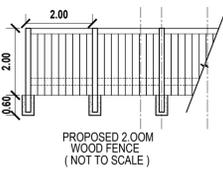
NOTE:
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.



LEGEND	LEGEND	LEGEND	LEGEND	LEGEND
	PROPOSED NEW FENCE		UTILITY LINES GAS	EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY	CALCULATED GRADES
	CANTILEVERS		STORM LINE	NEED TO TRIM
	SETBACK		UTILITY LINES WATER	REMOVE EXISTING TREE
	EAVES		REMOVE FENCE	BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT	CONCRETE

TREE NO.	TREE TYPE	TRUNK (Ø±)	CANOPY (Ø±)	HEIGHT	LOCATION	TREE CONDITION	TREE SPECY
T1	DEC.	0.2	5.0	6.0	In City Property	REMOVED	SCHUBERT CHOKECHERRY
T2	CON.	0.5	5.0	14.0	In Neighbor's Property	NEED TO TRIM	--
T3	CON.	0.6	8.0	20.0	In Subject Property	REMOVED	--

NOTE:
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- REMOVAL OF THE EXISTING SIDEWALK (ACTUAL WIDTH 1.02M) AND REPLACEMENT WITH A 1.5M MONOLITHIC SIDEWALK WITH A STANDARD CURB, THE ACTUAL SIDEWALK WIDTH IS 1.61M. REFER TO THE 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS, FIGURE 37: MONOLITHIC SIDEWALK, FILE NO. 454.1013.009



DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3

PHONE: (403) 255-1970
FAX: (403) 255-1990
EMAIL: info@tricordesigns.com

KEY PLAN

NOTES

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REVISIONS:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-09-14	DTR	R.N.	E.Z./A.K./E.R.
02	2025-09-28	DTR	W.B.	E.Z./A.K./E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z.
05				

ISSUES:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-08-10	DEVELOPMENT PERMIT SET	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT SET	R.E.	A.K.
03				
04				
05				

THE CLIENT: I SMART HOMES

PROJECT: 4 PLEX

ADDRESS: 227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM,BLOCK 57,LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M

DRAWING SET: BUILDING PERMIT SET

DRAWING TITLE: GRADES

DRAWING NO. A-003

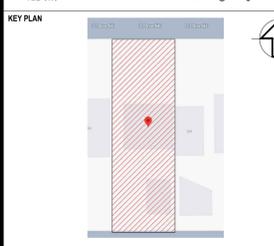
PROJECT NO. 25-01789

DRAWN BY: R.WIRE

CHECKED BY: E.Z./A.K./E.R.

DATE: 2026-01-15

SCALE: 1:100



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02	2025-09-28	DTR	W.B.	E.Z / A.K. / E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z
05				

ISSUES:

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02	2026-01-15	BUILDING PERMIT SET	R.E	A.K.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

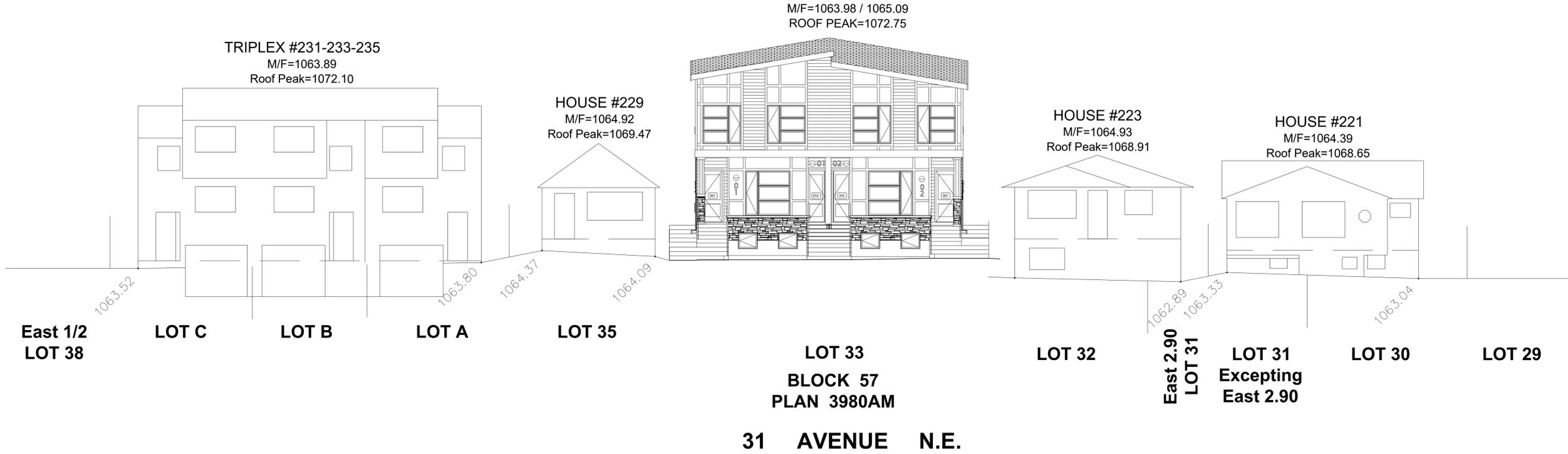
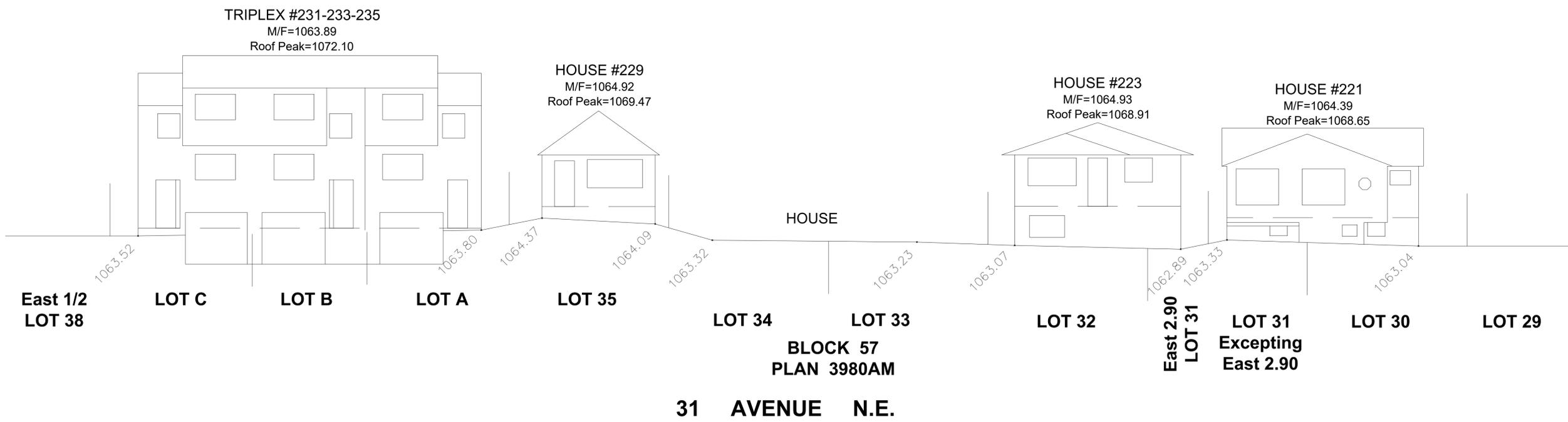
ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-WSM**

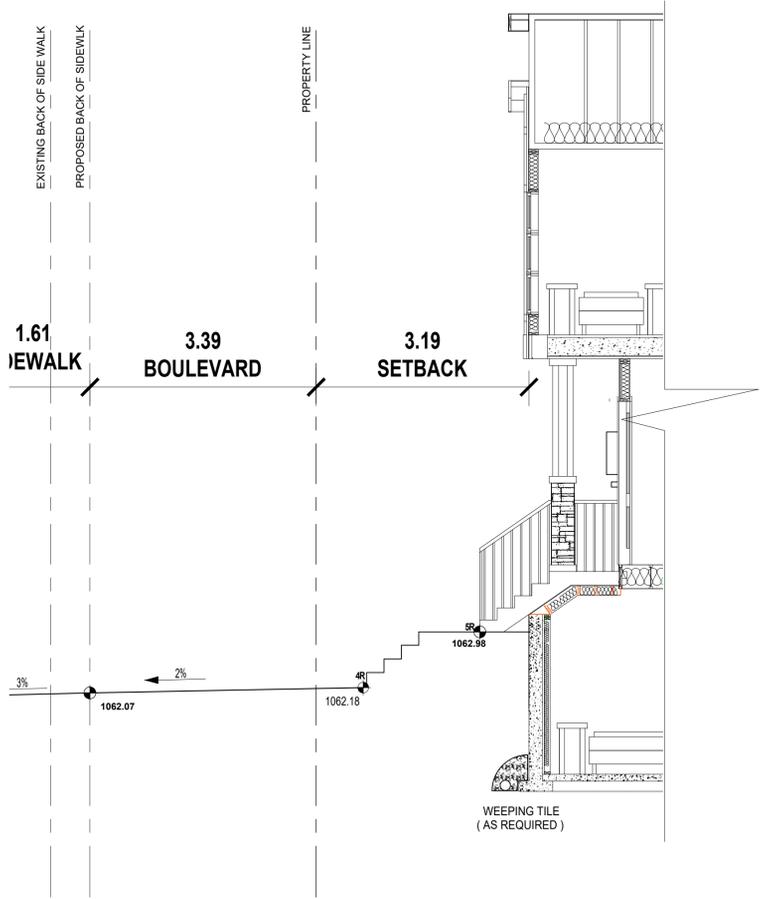
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DRAWING TITLE: **STREETSCAPE**

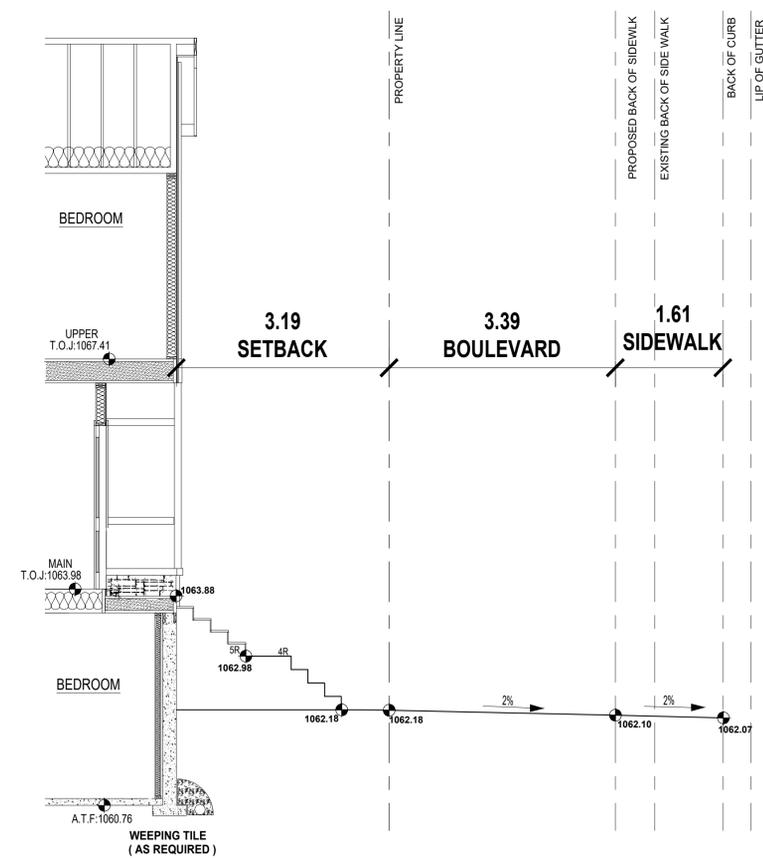
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PROJECT NO. 25-01789	DRAWN BY: R.W/R.E.	DATE: 2025-01-15
CHECKED BY: E.Z / A.K. / E.R.	SCALE: 1:100	

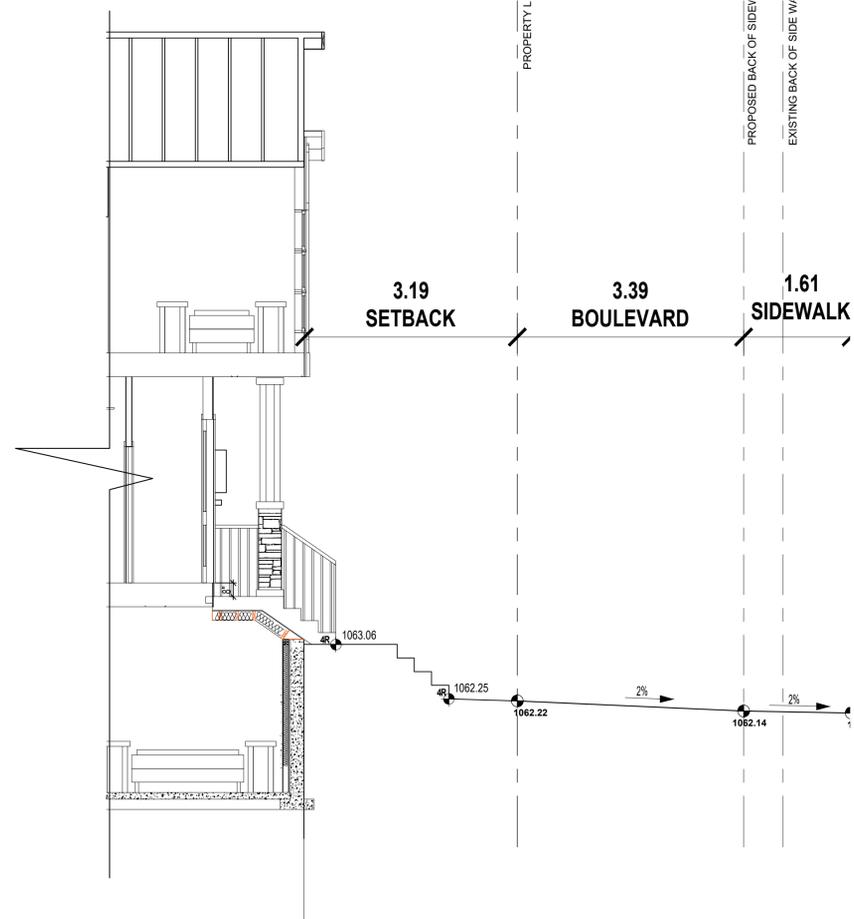




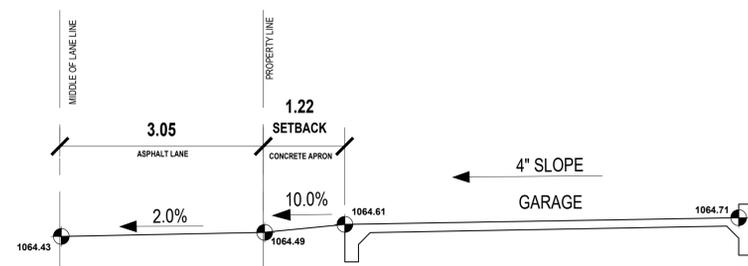
BOULEVARD SECTION 1 - UNIT 1



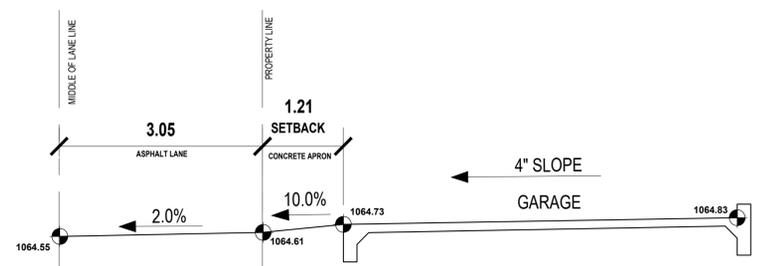
BOULEVARD SECTION 2 - UNIT 1
SCALE: 1:50



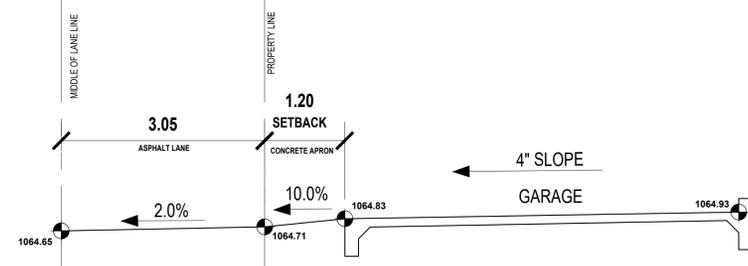
BOULEVARD SECTION 3 - UNIT 2



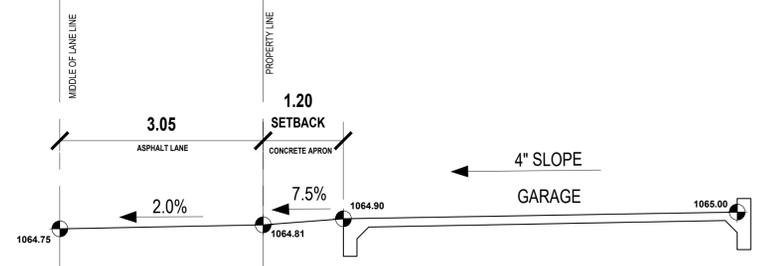
APRON SECTION 4
SCALE: 1:50



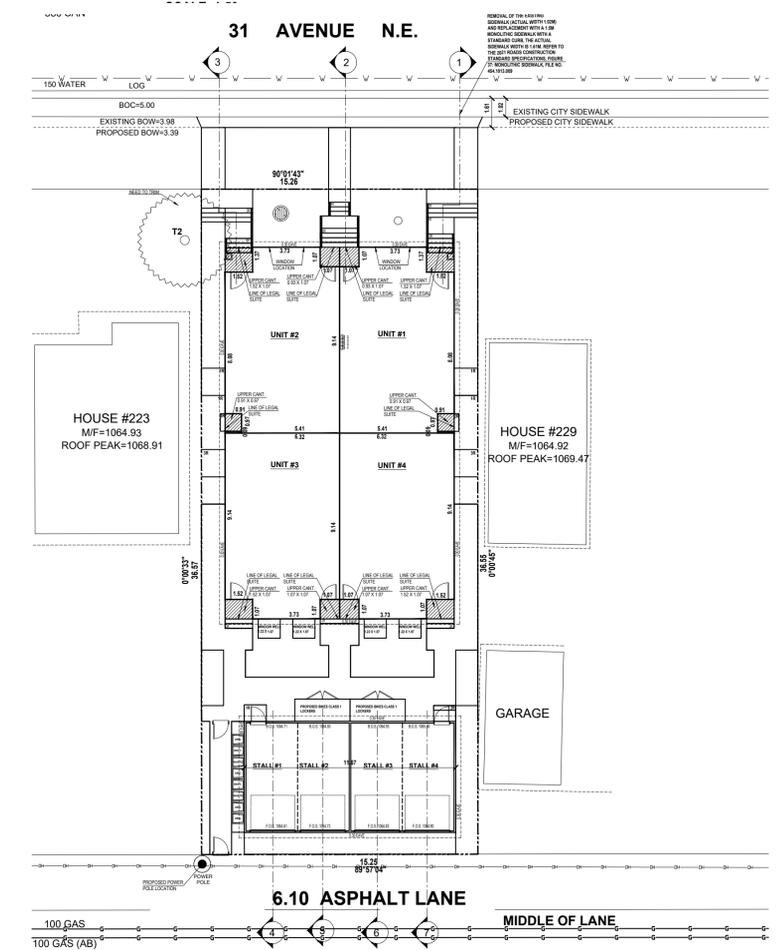
APRON SECTION 5
SCALE: 1:50



APRON SECTION 6
SCALE: 1:50



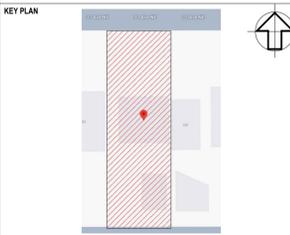
APRON SECTION 7
SCALE: 1:50



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RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#302, 4216 10TH STREET NE
CALGARY, AB T2E 6K3
PHONE: (403) 233-1970
FAX: (403) 233-1990
EMAIL: info@tricordg.ca



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01	2025-09-14	DTR	R.N.	E.Z. / A.K. / E.R.
02	2025-09-28	DTR	W.B.	E.Z. / A.K. / E.R.
03	2025-11-17	DSP	E.R.	A.K.
04	2026-01-01	DSP	R.E.	E.Z.
05				

ISSUES:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-08-10	DEVELOPMENT PERMIT SET	R.W.	E.Z. / A.K. / E.R.
02	2026-01-15	BUILDING PERMIT SET	R.E.	A.K.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4 PLEX**

ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM.BLOCK 57, LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **APRON & BOULEVARD SECTIONS**

DRAWING NO.: **A-005**

PROJECT NO.: 25-01789
DRAWN BY: R.WIRE
CHECKED BY: E.Z./A.K./E.R.
DATE: 2026-01-15
SCALE: 1:50

552- PLANTING REQUIREMENTS

- All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.
- A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square metres of parcel area
- A minimum of 25.0 per cent of all trees provided must be coniferous.
- The requirement for the provision of 1.0 tree is met where:
 - a deciduous tree has a minimum calliper of 60 millimetres; or
 - a coniferous tree has a minimum height of 2.0 metres.
- The requirement for the provision of 2.0 trees is met where:
 - a deciduous tree has a minimum calliper of 85 millimetres; or
 - a coniferous tree has a minimum height of 4.0 metres.
- The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100 millimetres is preserved.
- Shrubs must be a minimum height or spread of 0.6 metres at the time of planting.
- For landscaped areas with a building below, planting areas must have the following minimum soil depths:
 - 1.2 metres for trees;
 - 0.6 metres for shrubs; and
 - 0.3 metres for all other planting areas.
- The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.

PLANTING CALCULATION:

(AS PER ENHANCED LANDSCAPING AND LOW WATER LANDSCAPING OPTIONS):

- 1 TREE & 3 SHRUBS / 110 SQ. M. OF LOT AREA PROVIDED
- MINIMUM 50% LARGE TO SMALL TREES (DECIDUOUS & CONIFEROUS)
- MINIMUM RATIO OF 1/4 CONIFEROUS TO DECIDUOUS TREES
- MINIMUM SIZE OF SMALL DECIDUOUS: 65mm
- MINIMUM SIZE OF LARGE DECIDUOUS: 85mm
- MINIMUM HEIGHT OF SMALL CONIFEROUS: 3.0m OR 10'-0"
- MINIMUM HEIGHT OF LARGE CONIFEROUS: 4.0m OR 13'-1"

THEREFORE MINIMUM PLANTING REQUIRED ARE:

557.644 m² / 110 m² = 5.07 = 6 TREES & 18 SHRUBS

BROKEN DOWN AS:

5 DECIDUOUS

1 CONIFEROUS

18 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

PROPOSED PLANTING:

5 DECIDUOUS

1 CONIFEROUS

18 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
01	F		FOOTBALLS GREEN ASH	Fraxinus pennsylvanica 'Huey'	85mm CAL.	B&B WIRE BASKET
04	S		SWEDISH COLUMNAR ASPEN	Populus tremula 'Erecta'	80mm CAL.	

CONIFEROUS TREES						
01	CS		COLORADO BLUE SPRUCE	PICEA PURGENS	3.0M HGT.	

DECIDUOUS SHRUBS						
11	RC		RUBY CAROUSEL JAPANESE BARBERRY	BERBERIS THUNBERGII 'BALLONE'	#05 CONT.	MINIMUM 0.6M HEIGHT OR SPREAD

CONIFEROUS SHRUBS						
7	SJ		SAVIN JUNIPER	JUNIPERUS SABINA	#05 CONT.	MINIMUM 0.6M HEIGHT OR SPREAD

NOTE:- ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

LANDSCAPE CALCULATIONS:

LOT AREA: 557.64 m² LOT ZONING: RC-G

PROPOSED BUILDING AREA = 242.73 m² or 43.53% OF LOT AREA

PROPOSED GARAGE = 71.19 m² or 12.77% OF LOT AREA

2. NON-LANDSCAPE AREA = 19.30 m² = 3.46% OF LOT AREA

CONCRETE APRON = 14.11 m² = 57.47% OF NON-LANDSCAPE AREA

WINDOW WELLS = 5.19 m² = 42.53% OF NON-LANDSCAPE AREA

3. LANDSCAPE AREA = 217.56 m² = 39.01% OF LOT AREA

3.1 HARD-LANDSCAPE = 149.00 m² = 68.49% OF LANDSCAPE AREA

EXPOSED AGGREGATED CONCRETE WALKWAYS = 92.31 m² = 61.95% OF HARD-LANDSCAPE AREA

MOBILITY STORAGE / BIKE (CONCRETE) = 7.43 m² = 4.99% OF HARD-LANDSCAPE AREA

CONCRETE ENTRANCE STEPS = 4.34 m² = 2.91% OF HARD-LANDSCAPE AREA

WOOD ENTRANCE STEPS = 15.56 m² = 10.44% OF HARD-LANDSCAPE AREA

CONCRETE WASTE/RECYCLE = 4.05 m² = 2.72% OF HARD LANDSCAPE AREA

LANDSCAPE STEPS = 25.31 m² = 16.99% OF HARD LANDSCAPE AREA

3.2 SOFT-LANDSCAPE = 68.56 m² = 31.51% OF LANDSCAPE AREA

S.O.D = 43.44 m² = 63.36% OF SOFT-LANDSCAPE AREA

MULCH = 25.12 m² = 36.64% OF SOFT-LANDSCAPE AREA

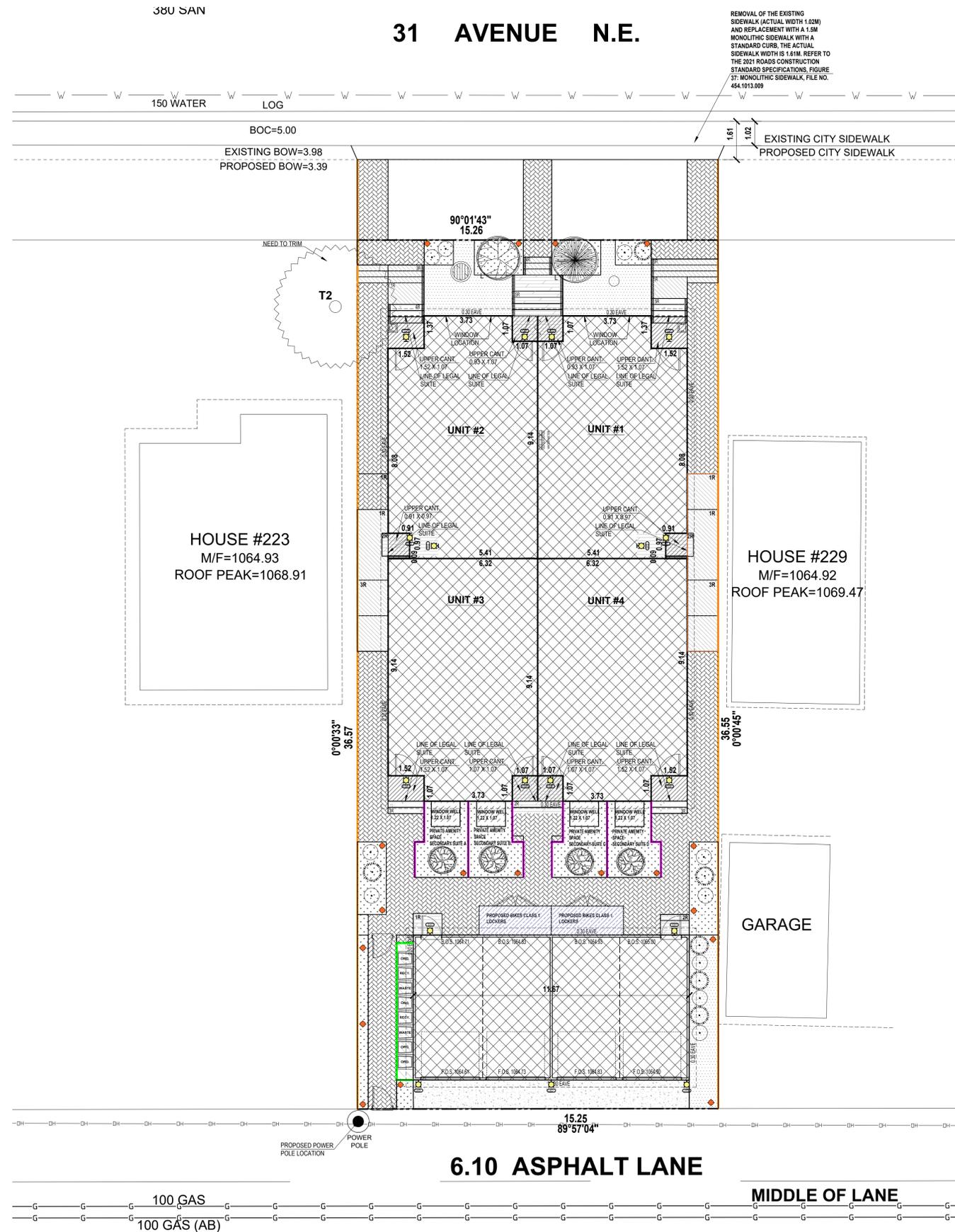
LIGHTING LEGEND:

- LED Down light (ON WALL)
- 1.2M ROD FENCE
- 2.0M ROD FENCE
- SCREENING FENCE
- FIRE PIT
- PICNIC TABLE
- PATHWAY LIGHTS
- GARDEN BEDS
- LOG BENCH
- MASS PLANTING OF SHADE TOLERANT PERENNIALS
- MASS PLANTING OF BLUE GRASS

IRRIGATION SYSTEM:

Underground Standard Irrigation System to be used, which includes:

- a rain sensor or a soil moisture sensor.
- a flow sensor for leak detection; and
- a master valve to secure the system if a leak is detected.

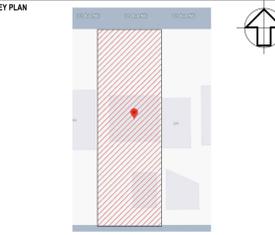


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tricordesigns.com

#202, 4216 10TH STREET NE CALGARY, AB T2E 6K3

PHONE: (403) 263-1970 FAX: (403) 263-1990 EMAIL: info@tricor.ca



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REVISIONS:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-09-14	DTR	R.N	E.Z./A.K./E.R.
02	2025-09-28	DTR	W.B.	E.Z./A.K./E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z.
05				

ISSUES:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-08-10	DEVELOPMENT PERMIT SET	R.W	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT SET	R.E	A.K.
03				
04				
05				

THE CLIENT: I SMART HOMES

PROJECT: 4_PLEX

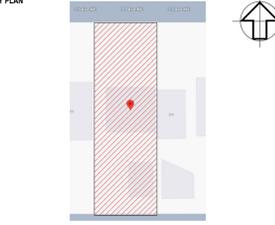
ADDRESS: 227 - 31 AVENUE N.E. CALGARY, ALBERTA
PLAN 3980AM.BLOCK 57.LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M

DRAWING SET: BUILDING PERMIT SET

DRAWING TITLE: LANDSCAPE

DRAWING NO. A-006

PROJECT NO.	DRAWN BY:	DATE:
25-01789	R.W.R.E	2025-01-15
CHECKED BY:	SCALE:	
E.Z./A.K./E.R.	1:100	



NOTES

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01	2025-09-14	DTR	R.N	E.Z / A.K. / E.R.
02	2025-09-26	DTR	W.B.	E.Z / A.K. / E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z.
05				

ISSUES:

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02	2026-01-15	BUILDING PERMIT SET	R.E	A.K.
03				
04				
05				

THE CLIENT: I SMART HOMES

PROJECT: 4_PLEX

ADDRESS: 227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M

DRAWING SET: BUILDING PERMIT SET

DRAWING TITLE: LANDSCAPE ZONES

DRAWING NO.: A-007

PROJECT NO.: 25-01789

DRAWN BY: R.WIRE

DATE: 2026-01-15

CHECKED BY: E.Z./A.K./E.R.

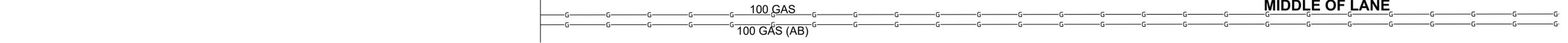
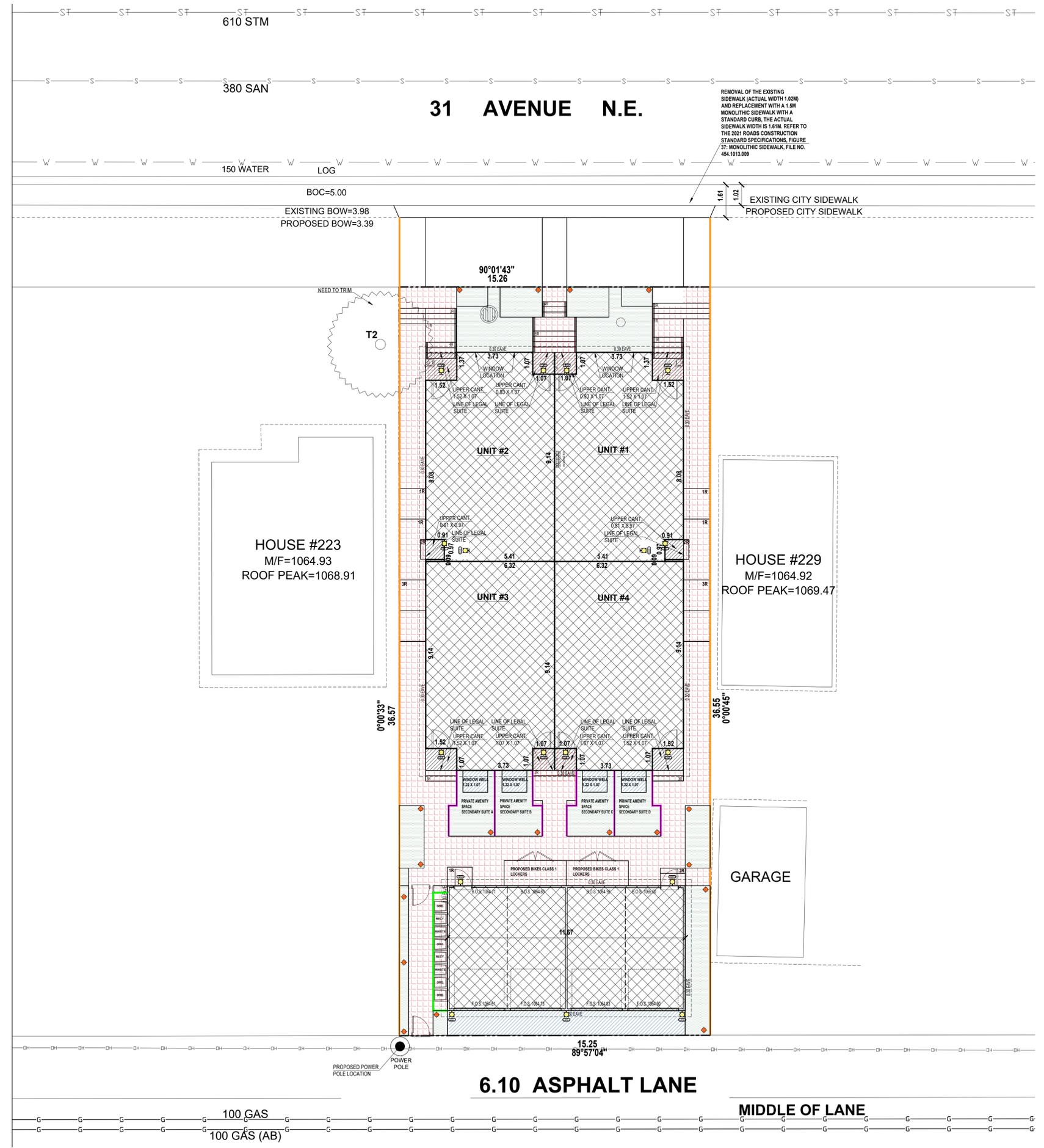
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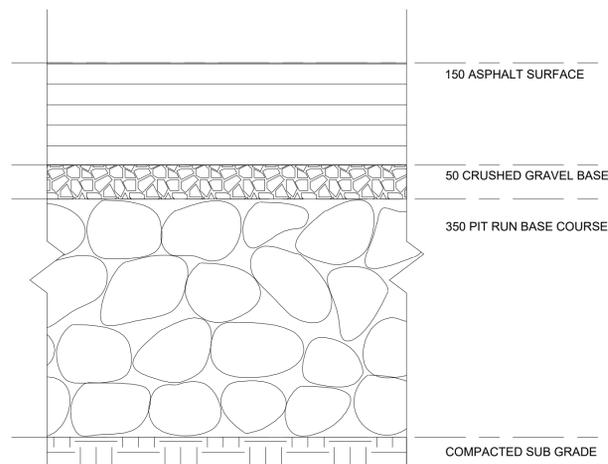
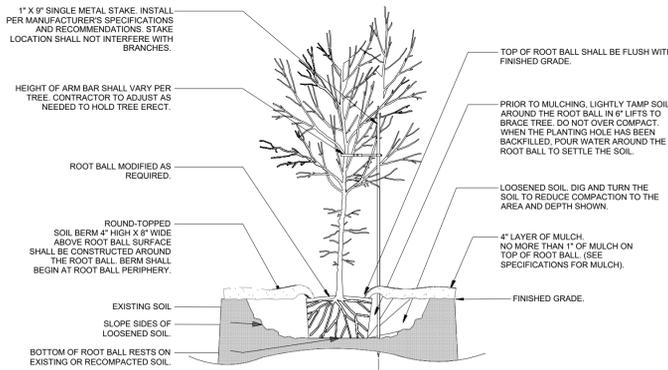
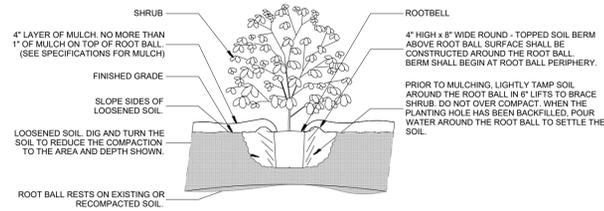
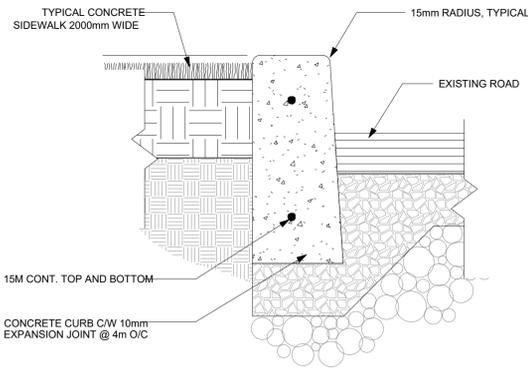
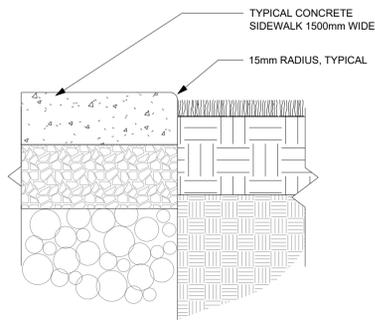
LOT AREA: 557.64 m² LOT ZONING: R-CG

- PROPOSED BUILDING AREA = 242.73 m² or 43.53% OF LOT AREA
- PROPOSED GARAGE = 71.19 m² or 12.77% OF LOT AREA
- NON-LANDSCAPE = 19.30 m² = 3.46% OF LOT AREA

LANDSCAPE AREA = 216.70 m² = 38.86% OF LOT AREA

- HARD-LANDSCAPE = 149.00 m² = 68.49% OF LANDSCAPE AREA
- SOFT-LANDSCAPE = 68.56 m² = 31.51% OF LANDSCAPE AREA





HEAVY DUTY PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT. DESIGN BASED ON 'MIXED B-PAVEMENT DESIGN', CITY OF CALGARY SPECIFICATIONS, MIN. 25,000KG LOAD

NOTE: ALL GRADING AND ASPHALT WORK SHALL BE CARRIED OUT IN ACCORDANCE W/ GEOTECHNICAL CONSULTANTS RECOMMENDATIONS

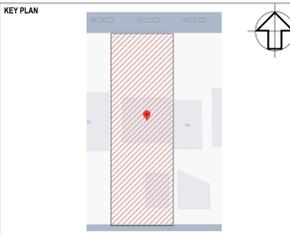


DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202, 4216 16TH STREET NE
CALGARY, AB
T2E 6K3

PHONE: (403) 253-1970
FAX: (403) 253-1990
EMAIL: info@tricordg.ca



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01	2025-09-14	DTR	R.N.	E.Z. / A.K. / E.R.
02	2025-09-28	DTR	W.B.	E.Z. / A.K. / E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z.
05				

ISSUES:

No.	Date	Description	DRAWN BY	CHK'D BY
01	2025-08-10	DEVELOPMENT PERMIT SET	R.W.	E.Z. / A.K. / E.R.
02	2026-01-15	BUILDING PERMIT SET	R.E.	A.K.
03				
04				
05				

1 CONCRETE CURB

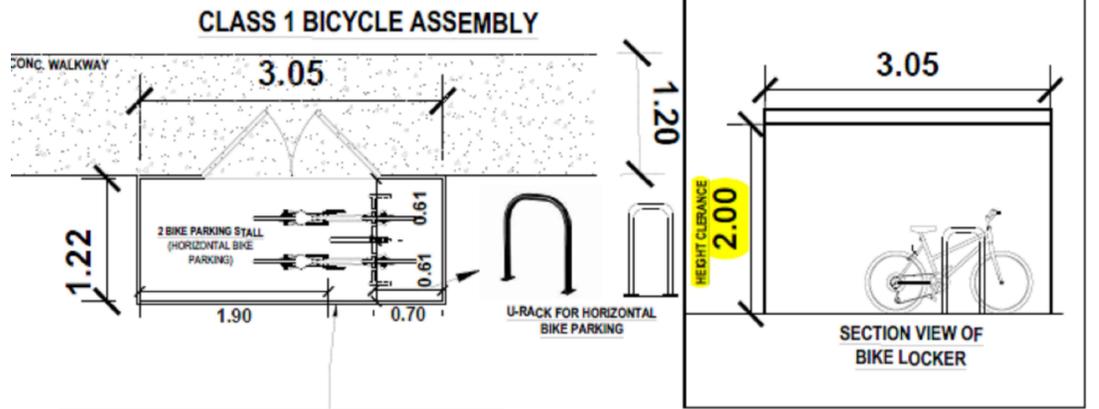
2 PLANTING DETAILS

3 CONCRETE BASE

4 WOOD FENCE DETAIL

SCOTT'S STORAGE SHED
10 x 4 ft. / 3 x 1.2 m • Pent Roof

- PENT STYLE ROOF**: Prevents water from pooling.
- BUILT-IN GUTTER SYSTEM**: Directs rainwater runoff. The downspout can be connected to 3/4 in. tubing and collected in a rain barrel if desired.
- AIR VENTS**: Increased air flow to the interior of the building helps prevent mold, mildew and rust.
- ULTRA-CORROSION RESISTANT**: Galvalume® steel with an Aluminum and Zinc plating.
- 72-INCH TALL WALLS**: Tall wall height allows for easy storage of large items. Plus more head room where the walls meet the roof for easy moving through the entire storage shed.
- PREMIUM FINISH FOR DURABILITY**: This finish is not only appealing but offers increased resistance against harmful weather and corrosion.
- EXTRA WIDE REINFORCED SWING DOORS**: The sturdy reinforced, wide swing doors include a squared off brush nickel handle with a key lock protecting your items when not needed.
- 45% THICKER STEEL**: And enhanced wall design for increased strength.



4 MOBILITY & BIKE STORAGE LOCKERS

6 BICYCLES STALLS CLASS 1

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC.27-24-1-W5M**

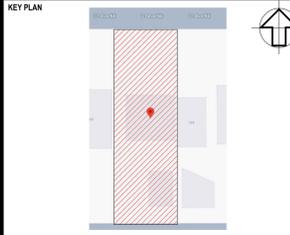
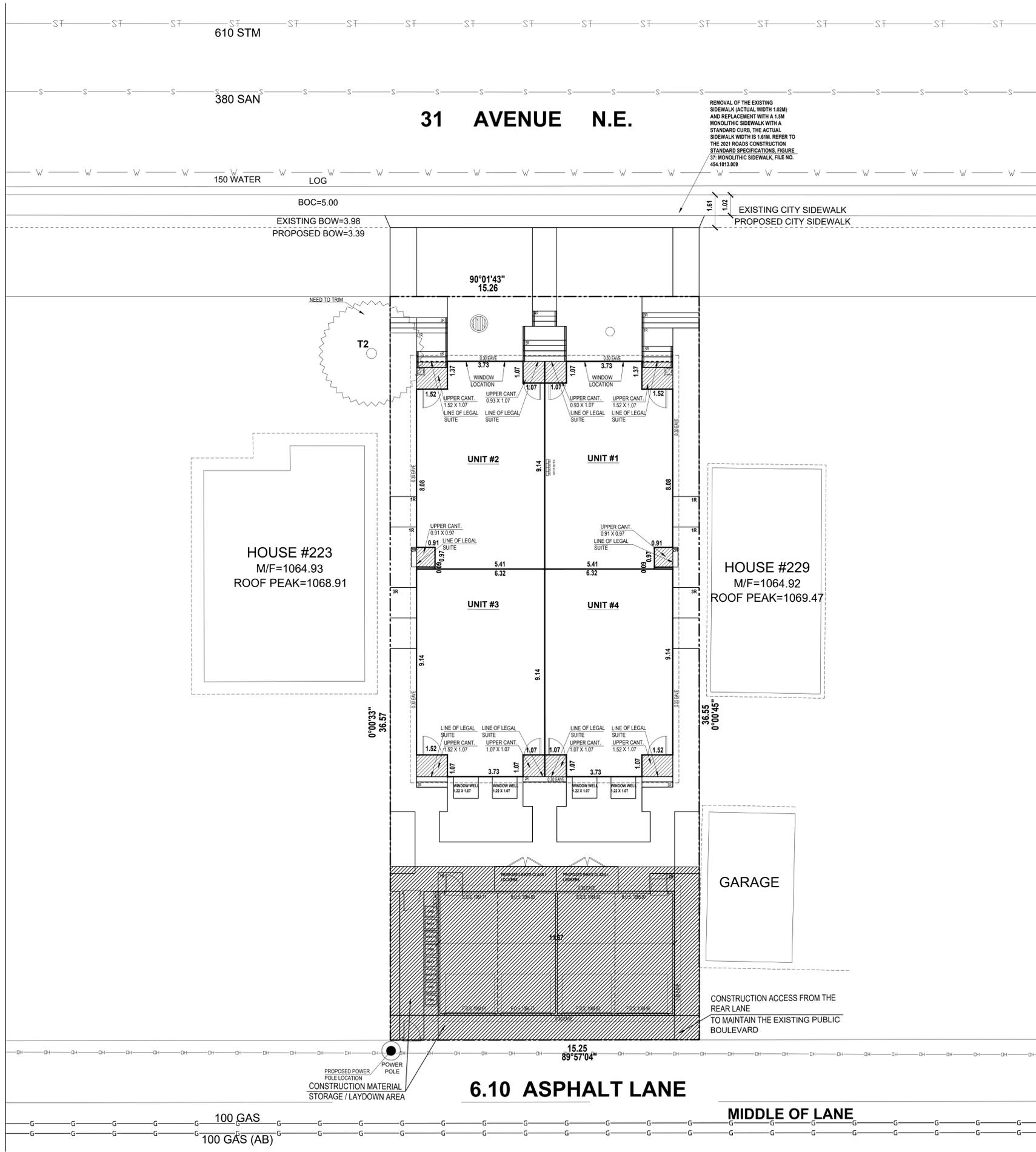
DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **LANDSCAPE DETAILS**

DRAWING NO.: **A-008**

PROJECT NO. 25-01789
DRAWN BY: R.WIRE
CHECKED BY: E.Z./A.K./E.R.

DATE: 2026-01-15
SCALE:



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01	2025-09-14	DTR	R.N	E.Z. / A.K. / E.R.
02	2025-09-28	DTR	W.B.	E.Z. / A.K. / E.R.
03	2025-11-17	DSSP	E.R.	A.K.
04	2026-01-01	DSSP	R.E.	E.Z.
05				

ISSUES:

No.	Date	Description	DRAWN By	CHK'd By
01	2025-08-10	DEVELOPMENT PERMIT SET	R.W	E.Z. / A.K. / E.R.
02	2026-01-15	BUILDING PERMIT SET	R.E	A.K.
03				
04				
05				

THE CLIENT: **I_SMART HOMES**

PROJECT: **4_PLEX**

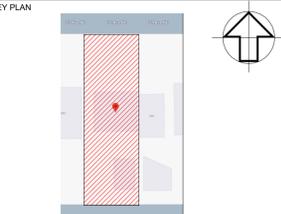
ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM.BLOCK 57.LOTS 33&34
WITHIN N.E. 1/4 SEC.27-24-1-WSM**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **CONSTRUCTION ACCESS AREA**

DRAWING NO.: **A-009**

PROJECT NO. 25-01789	DRAWN BY: R.W/R.E.	DATE: 2025-01-15
CHECKED BY: E.Z./A.K./E.R.	SCALE: 1:100	



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02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	R.W./E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I_SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

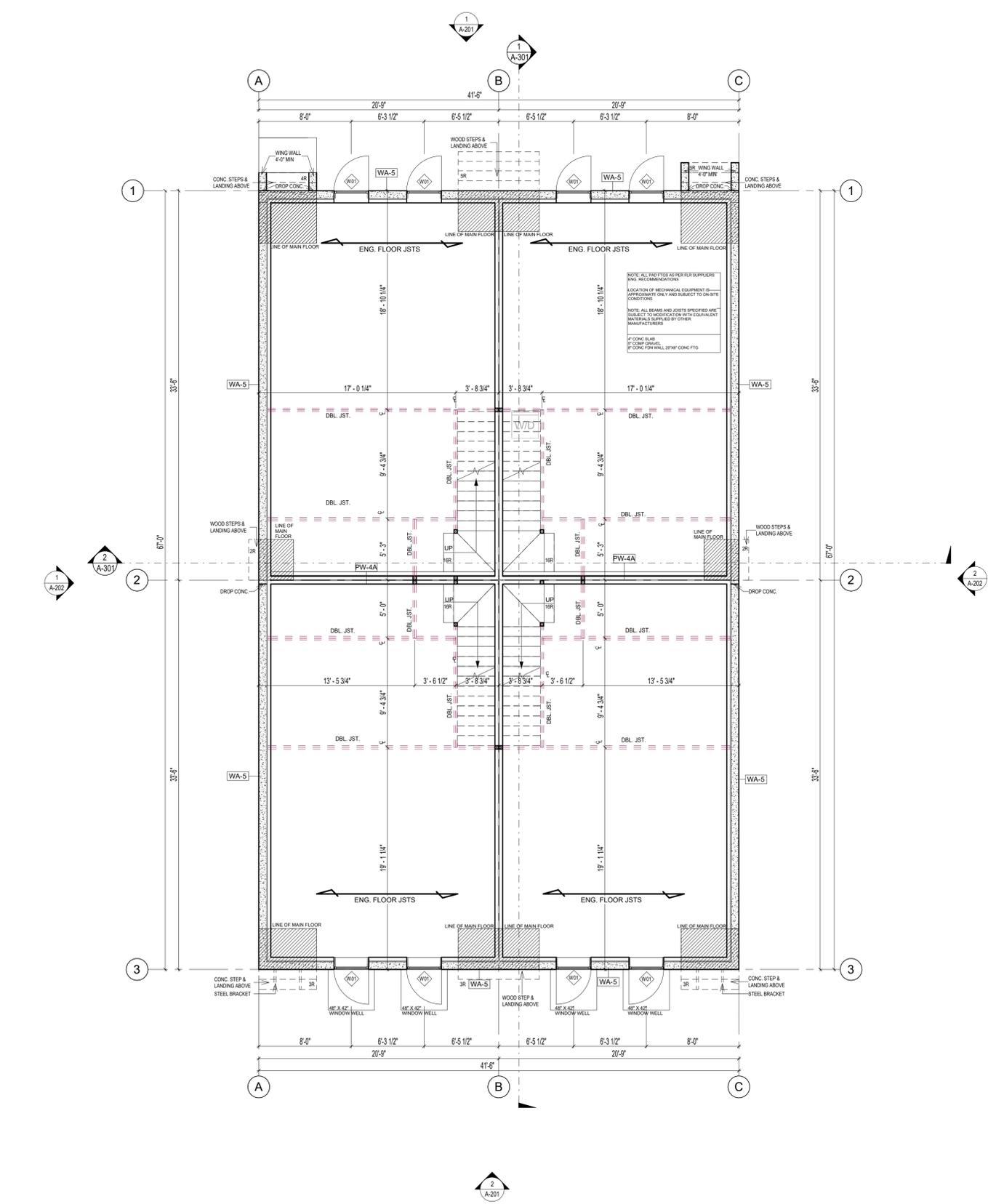
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DRAWING TITLE: **FOUNDATION FLOOR PLAN**

DRAWING NO.: **A-101**

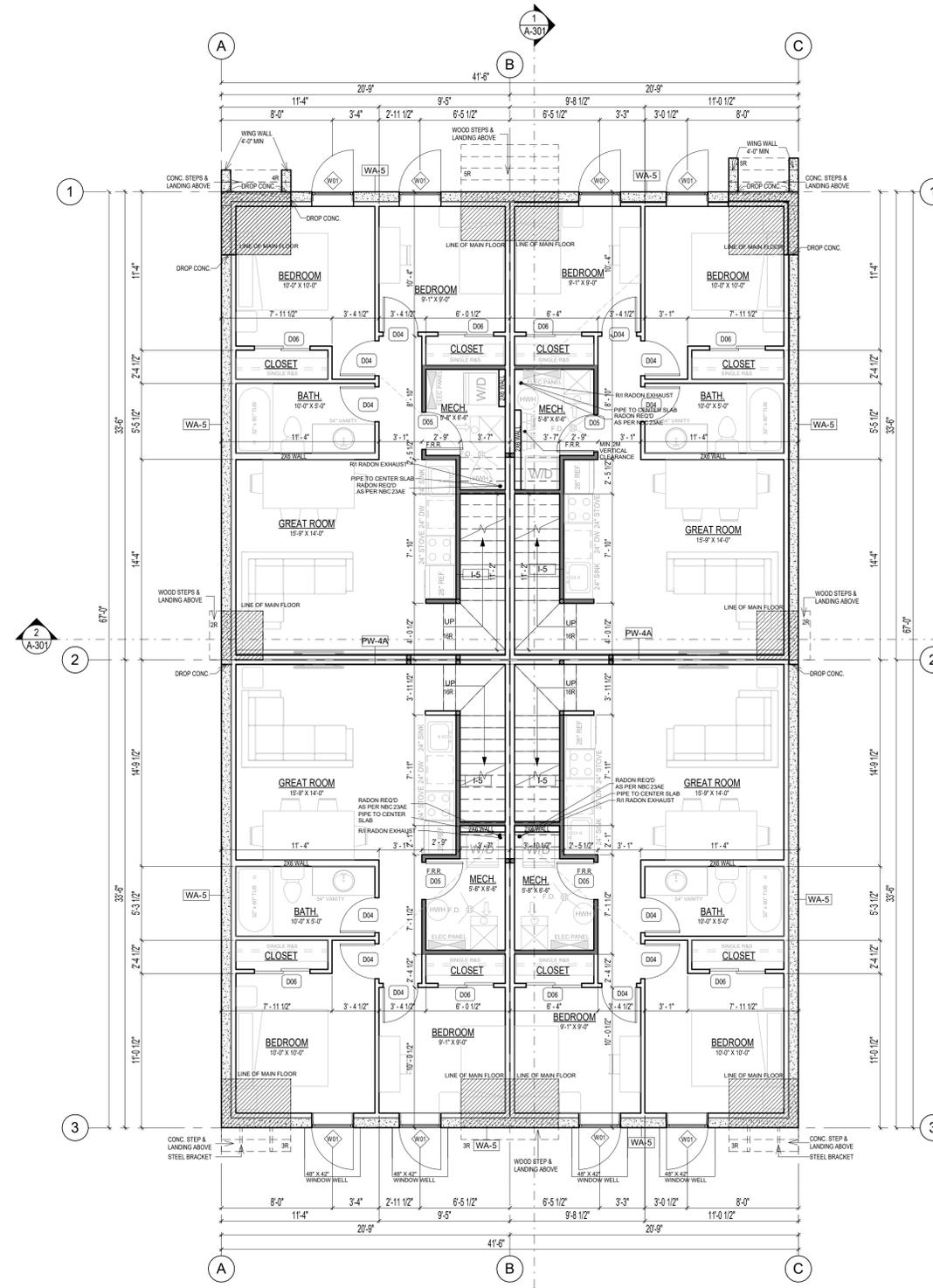
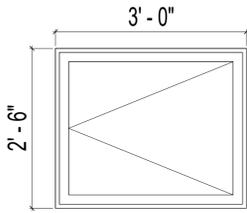
PROJECT NO.: **25-01789**

CHECKED BY: E.Z./A.K. DATE: 2026-01-15
DRAWN BY: R.E. SCALE: 3/16" = 1'-0"

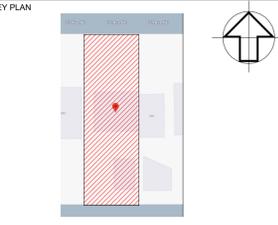


1 FOUNDATION FLOOR PLAN
3/16" = 1'-0"

EGRESS WINDOW:
W01
 3'-0" X 2'-6"
 OPENING: 3'-0" X 2'-6"



1 LEGAL SUITE FLOOR PLAN
 3/16" = 1'-0"



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03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

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03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

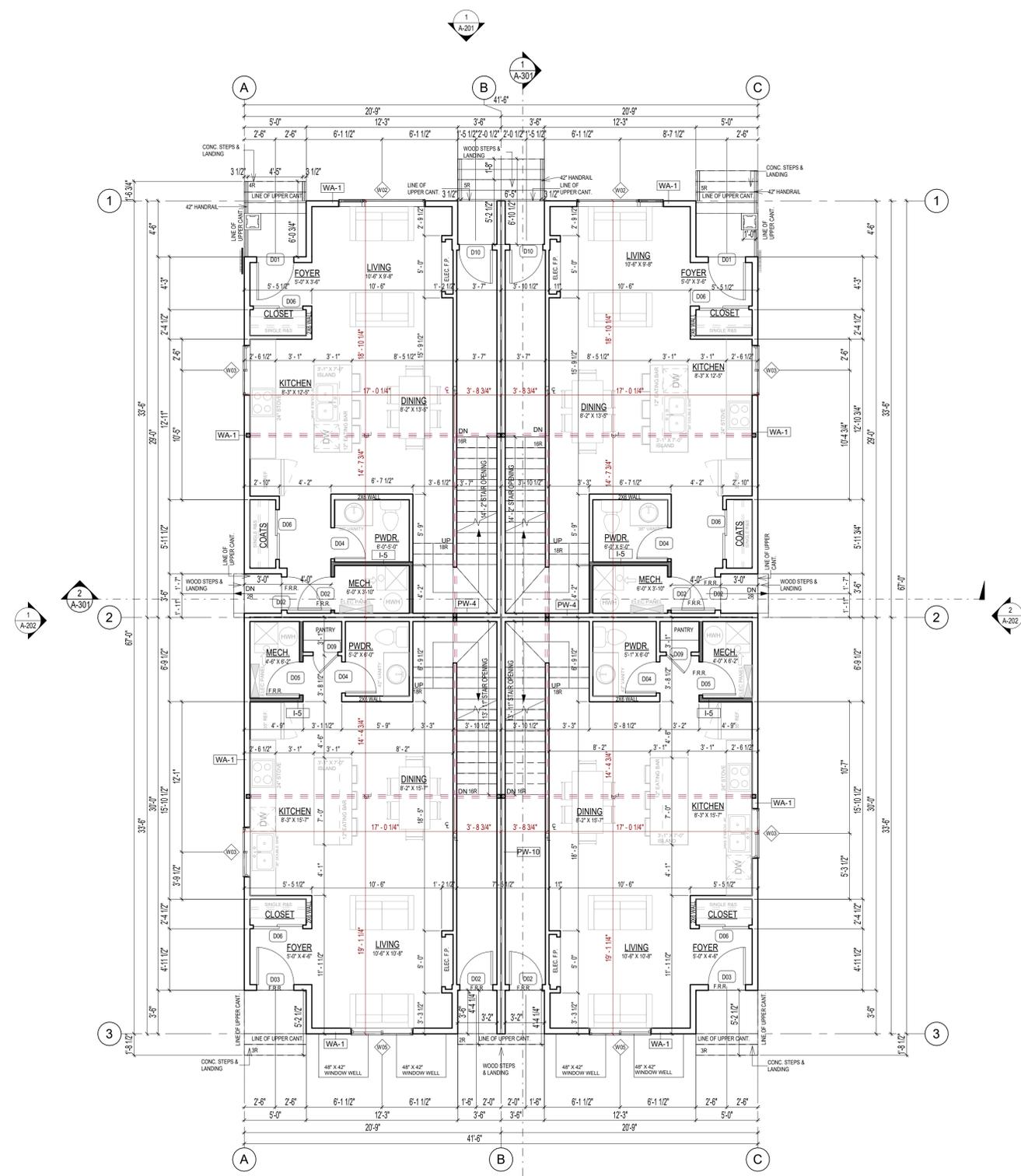
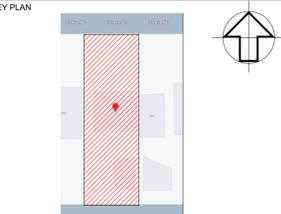
ADDRESS: **227 - 31 AVENUE N.E.
 CALGARY, ALBERTA
 PLAN 3980AM, BLOCK 57, LOTS
 33&34
 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **LEGAL SUITE FLOOR PLAN**

DRAWING NO. **A-102**

PROJECT NO.:	CHECKED BY:	DATE:
25-01789	E.Z./A.K.	2026-01-15
	DRAWN BY:	SCALE:
	R.E.	3/16" = 1'-0"



1 MAIN FLOOR PLAN
3/16" = 1'-0"
NOTE : ALL REAR ENTRY DOORS (D02-D03) AND SIDE ENTRY DOORS (D02) ARE SELF CLOSING DOORS

NOTES:

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-09-14	DTR	R.N.	E.Z./A.K./E.R.
02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **MAIN FLOOR PLAN**

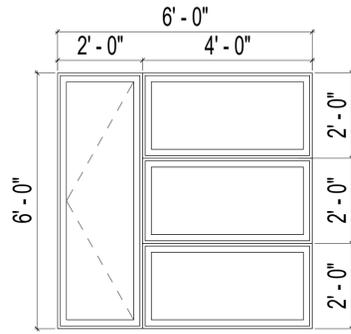
DRAWING NO.: **A-103**

PROJECT NO.: **25-01789**

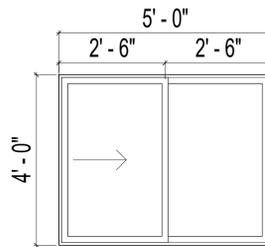
CHECKED BY: **E.R./E.Z.** DATE: **2026-01-15**

DRAWN BY: **R.E.** SCALE: **3/16" = 1'-0"**

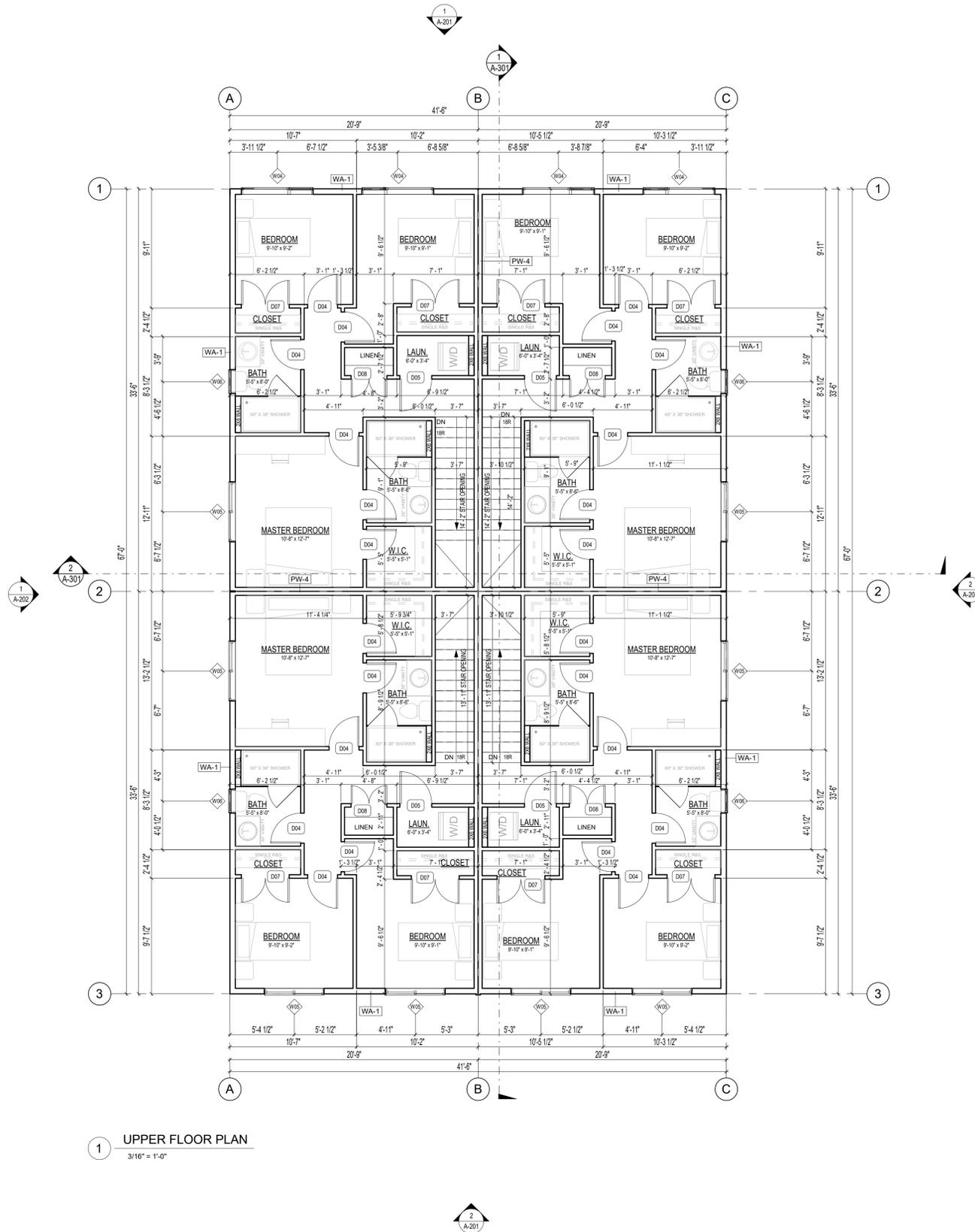
EGRESS WINDOW:



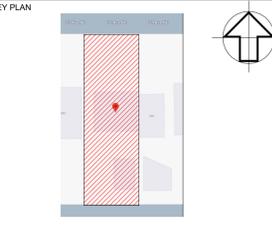
W04
6'-0" X 6'-0"
OPENING: 2'-0" X 4'-0"



W05
5'-0" X 4'-0"
OPENING: 2'-6" X 4'-0"



1 UPPER FLOOR PLAN
3/16" = 1'-0"



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NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

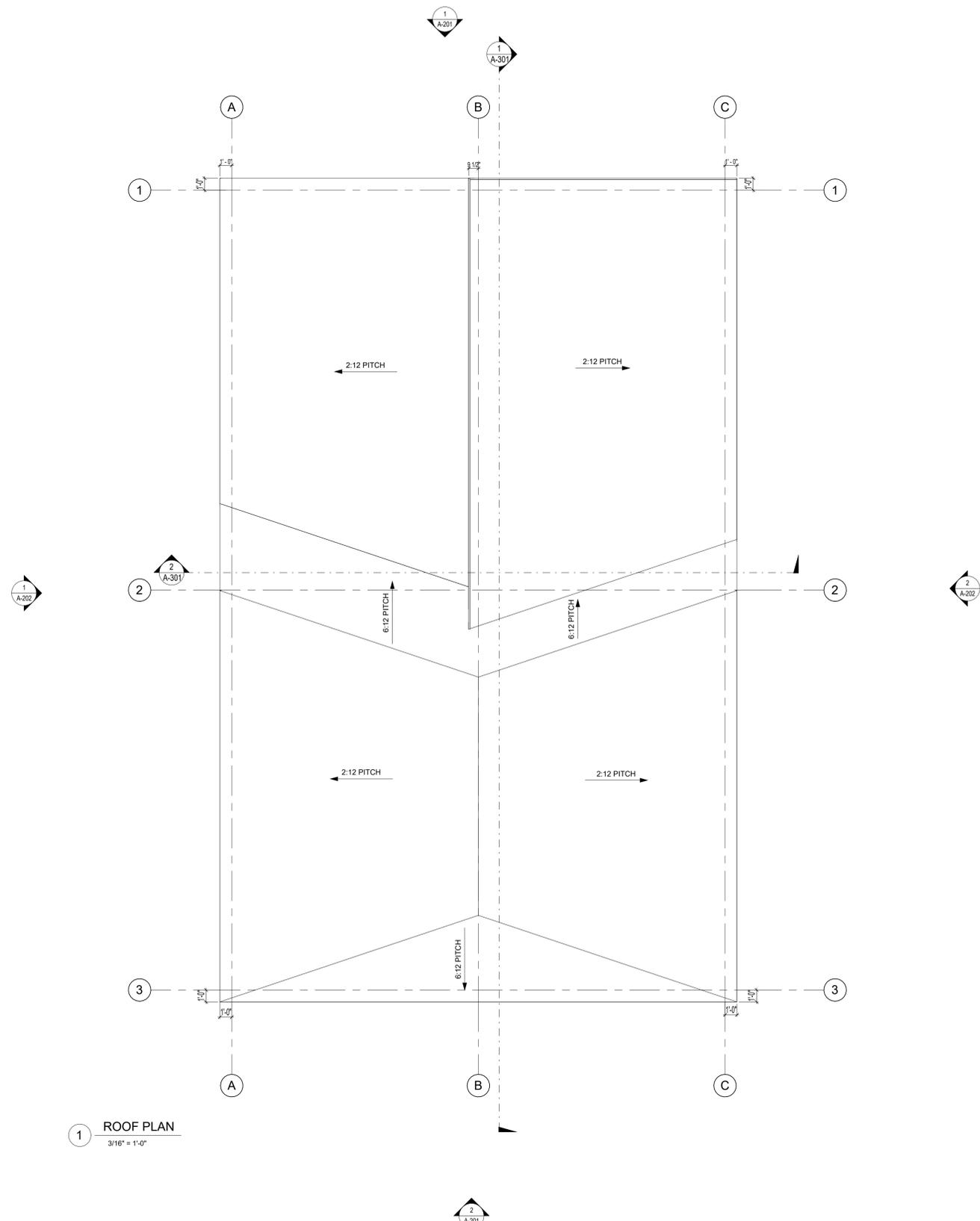
DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **UPPER FLOOR PLAN**

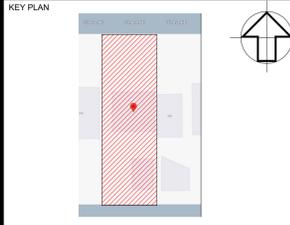
DRAWING NO.: **A-104**

PROJECT NO.: **25-01789**

CHECKED BY: E.R.	DATE: 2026-01-15
DRAWN BY: R.E.	SCALE: 3/16" = 1'-0"



1 ROOF PLAN
3/16" = 1'-0"



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03	2026-01-01	DSSP	R.E.	E.Z.
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02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT :
I_SMART HOMES

PROJECT :
4_PLEX

ADDRESS:
**227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM,BLOCK 57,LOTS
33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**

DRAWING SET:
BUILDING PERMIT SET

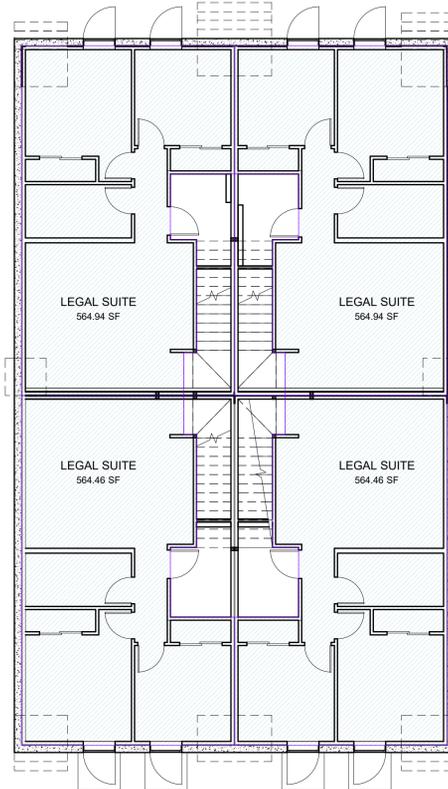
DRAWING TITLE :
ROOF PLAN

DRAWING NO.
A-105

PROJECT NO. :
25-01789

CHECKED BY: E.R.	DATE: 2026-01-15
DRAWN BY: R.E.	SCALE: 3/16" = 1'-0"

UNIT 2
564.94 SQ.FT.
(NOT INC. STAIRS OR MECH)
9'-1" CEILING HGT.

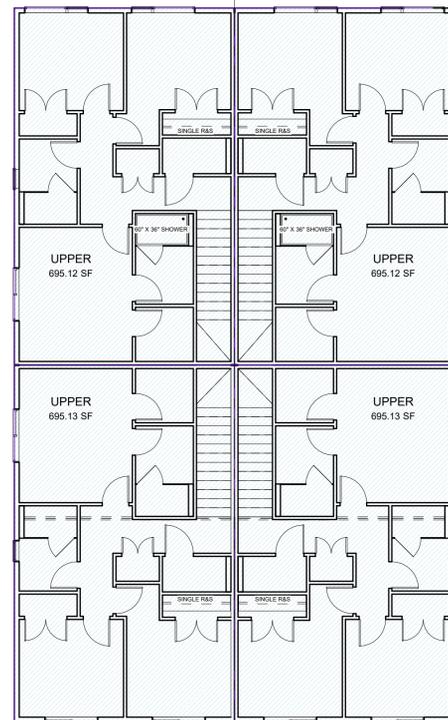


1 LEGAL SUITE FLOOR PLAN
1/8" = 1'-0"

UNIT 1
564.94 SQ.FT.
(NOT INC. STAIRS OR MECH)
9'-1" CEILING HGT.

UNIT 4
564.46 SQ.FT.
(NOT INC. STAIRS OR MECH)
9'-1" CEILING HGT.

UNIT 3
564.46 SQ.FT.
(NOT INC. STAIRS OR MECH)
9'-1" CEILING HGT.



3 UPPER FLOOR PLAN
1/8" = 1'-0"

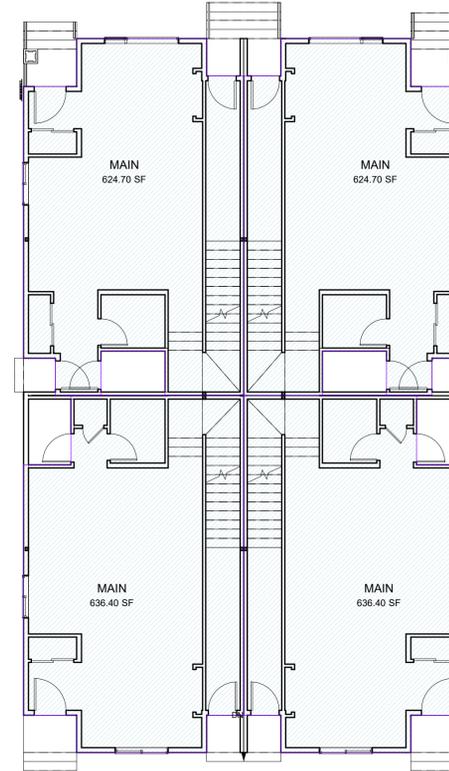
UNIT 2
695.12 SQ.FT.
9'-1" CEILING HGT.

UNIT 3
695.13 SQ.FT.
9'-1" CEILING HGT.

UNIT 1
695.12 SQ.FT.
9'-1" CEILING HGT.

UNIT 4
695.13 SQ.FT.
9'-1" CEILING HGT.

UNIT 2
624.70 SQ.FT.
(NOT INC. MECH.)
10'-1" CEILING HGT.



2 MAIN FLOOR PLAN
1/8" = 1'-0"

UNIT 1
624.70 SQ.FT.
(NOT INC. MECH.)
10'-1" CEILING HGT.

UNIT 4
636.40 SQ.FT.
(NOT INC. MECH.)
10'-1" CEILING HGT.

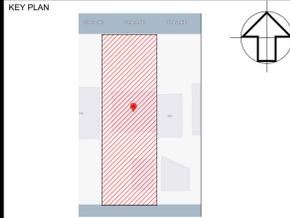
UNIT 3
636.40 SQ.FT.
(NOT INC. MECH.)
10'-1" CEILING HGT.

UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	624.70	58.04
	UPPER FLOOR	695.12	64.58
	TOTAL	1319.82	122.62
	LEGAL SUITE FLOOR	564.94	52.48
	GRAND TOTAL	1884.76	175.10
GARAGE	191.60	17.80	

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	624.70	58.04
	UPPER FLOOR	695.12	64.58
	TOTAL	1319.82	122.62
	LEGAL SUITE FLOOR	564.94	52.48
	GRAND TOTAL	1884.76	175.10
GARAGE	191.60	17.80	

UNIT 3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	636.40	59.12
	UPPER FLOOR	695.13	64.58
	TOTAL	1331.53	123.70
	LEGAL SUITE FLOOR	564.46	52.44
	GRAND TOTAL	1895.99	176.14
GARAGE	191.60	17.80	

UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	636.40	59.12
	UPPER FLOOR	695.13	64.58
	TOTAL	1331.53	123.70
	LEGAL SUITE FLOOR	564.46	52.44
	GRAND TOTAL	1895.99	176.14
GARAGE	191.60	17.80	



NOTES:

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02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

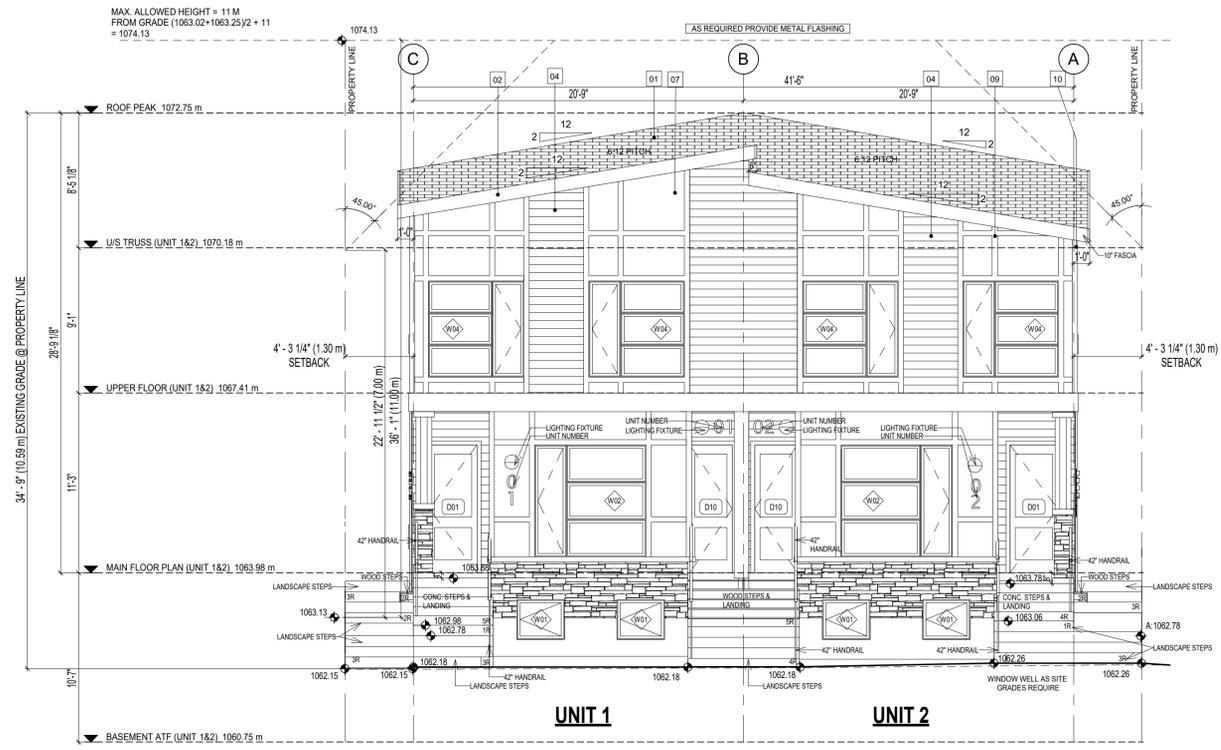
DRAWING TITLE: **AREA PLANS**

DRAWING NO.: **A-106**

PROJECT NO.: **25-01789**

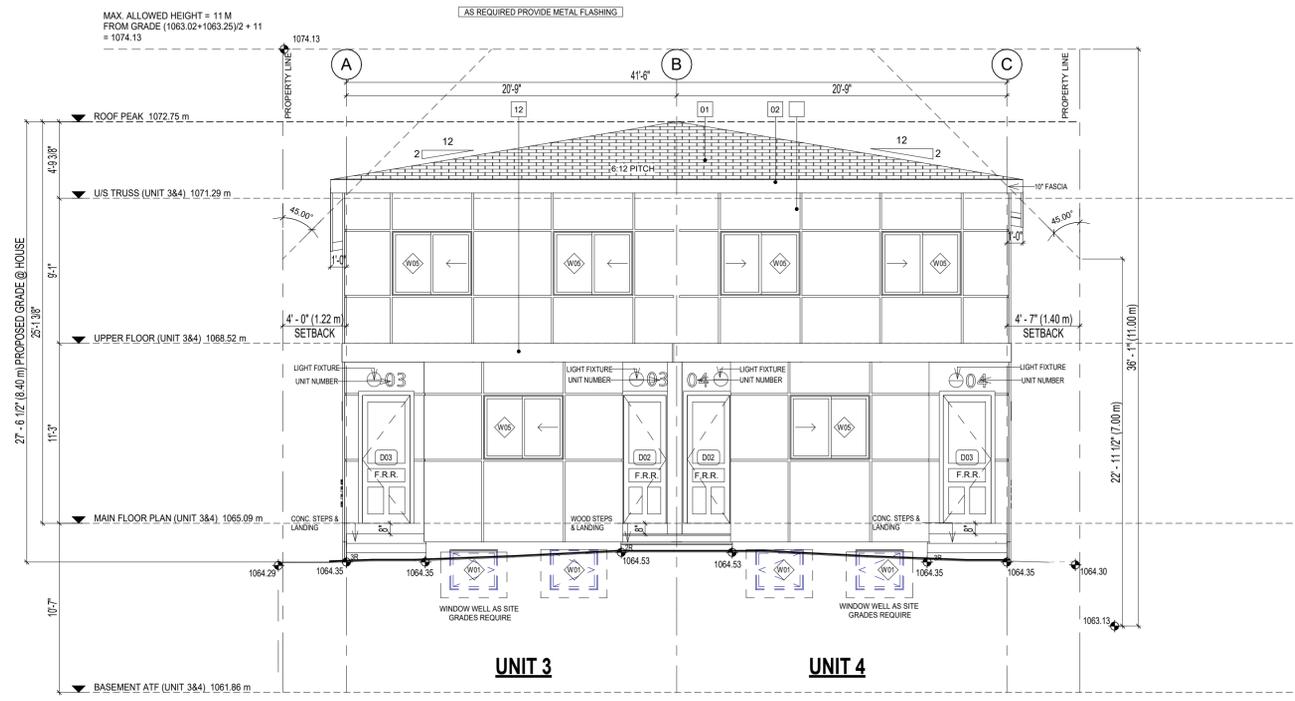
CHECKED BY: E.R.	DATE: 2026-01-15
DRAWN BY: R.E.	SCALE: 3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLE ROOFING
02	BLACK
03	PRE-FINISHED METAL FASCIA
04	STUCCO CLADDING LIGHT
05	HORIZONTAL SIDING GRAY - HARDIE
06	LUX PANELS
07	EXTERIOR MANUFACTURED STONE VENEER
08	SMART BOARD
09	4" TRIM
10	CORNER BOARD 4"
11	4" TRIM DARK GRAY
12	14" BAND
13	STONE CAP



1 FRONT (NORTH) ELEVATION
3/16" = 1'-0"

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE



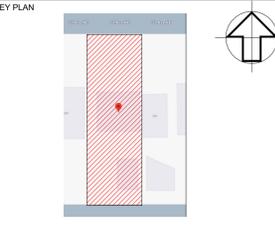
2 REAR (SOUTH) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS	
CODE CHECK	
EXPOSED BUILDING FACE	82.21 SQ. FT. 89.61 SQ.M ²
MINIMUM SETBACK	82.34*
PERCENTAGE OF ALLOWED OPENINGS	13.90%
SQ. FTG. OF ALLOWED OPENINGS	130.04 SQ. FT. 12.08 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	126.73 SQ. FT. 11.77 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	65.02 SQ. FT. 6.04 SQ.M ²

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB, T2E 0K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com



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03	2026-01-01	DSSP	R.E.	E.Z.
04				
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NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **FRONT & REAR ELEVATIONS**

DRAWING NO. **A-201**

PROJECT NO.: **25-01789**

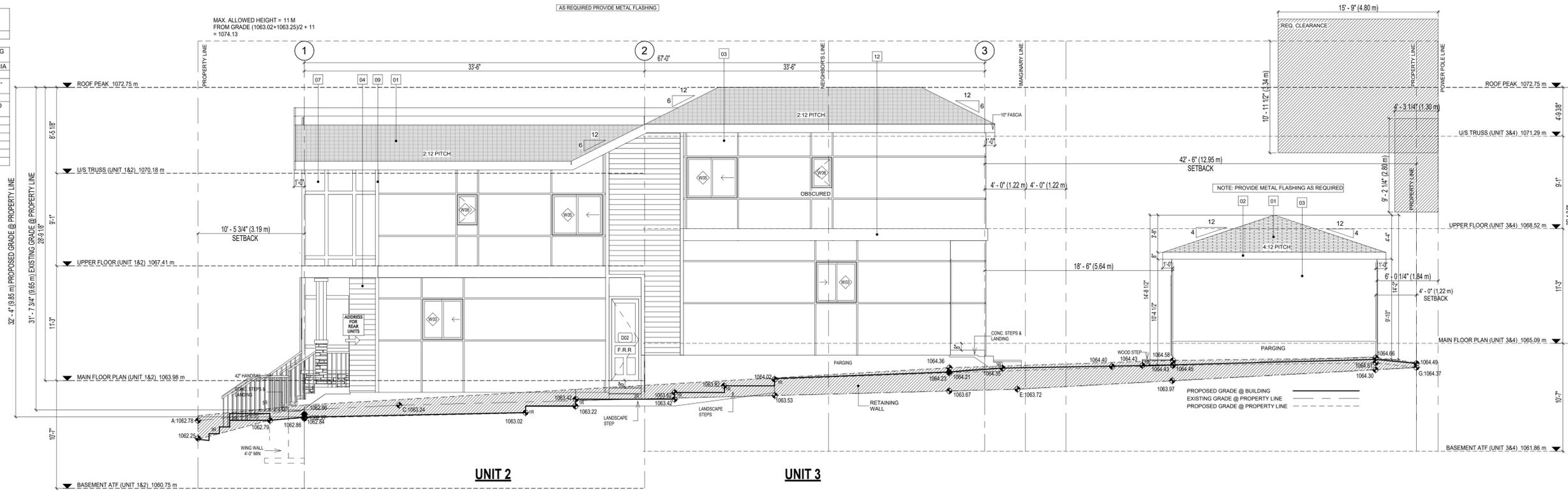
CHECKED BY: **E.R.** DATE: **2026-01-15**

DRAWN BY: **R.E.** SCALE: **3/16" = 1'-0"**

MARK	NAME
01	ASPHALT SHINGLE ROOFING BLACK
02	PRE-FINISHED METAL FASCIA
03	STUCCO CLADDING LIGHT
04	HORIZONTAL SIDING GRAY - HARDIE
05	LUX PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	SMART BOARD
09	4" TRIM
10	CORNER BOARD 4"
11	4" TRIM DARK GRAY
12	1/4" BRAND
13	STONE CAP

MAX. ALLOWED HEIGHT = 11 M
FROM GRADE (1063.02+1063.25)2 + 11 = 1074.13

AS REQUIRED PROVIDE METAL FLASHING



1 RIGHT (WEST) ELEVATION
3/16" = 1'-0"

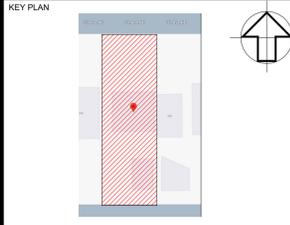
UNPROTECTED OPENINGS	
CODE CHECK	1479.40 SQ. FT. 137.44 SQ.M ²
EXPOSED BUILDING FACE	4'-3 1/4" 1.31 M
MINIMUM SETBACK	7.00%
PERCENTAGE OF ALLOWED OPENINGS	103.98 SQ. FT. 9.82 SQ.M ²
SQ. FTG. OF ALLOWED OPENINGS	84.00 SQ. FT. 7.80 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	51.78 SQ. FT. 4.81 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL
tricordesigns.com

#202, 4216 10TH STREET NE CALGARY, AB. T2E 0K3
PHONE: (403)203-1970 FAX: (403)203-1990
EMAIL: info@tricordesigns.com



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-09-14	DTR	R.N.	E.Z./A.K./E.R.
02	2025-10-23	COMMENTS	R.E.	E.Z./A.K./E.R.
03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4 PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **RIGHT & LEFT ELEVATIONS**

DRAWING NO. **A-202**

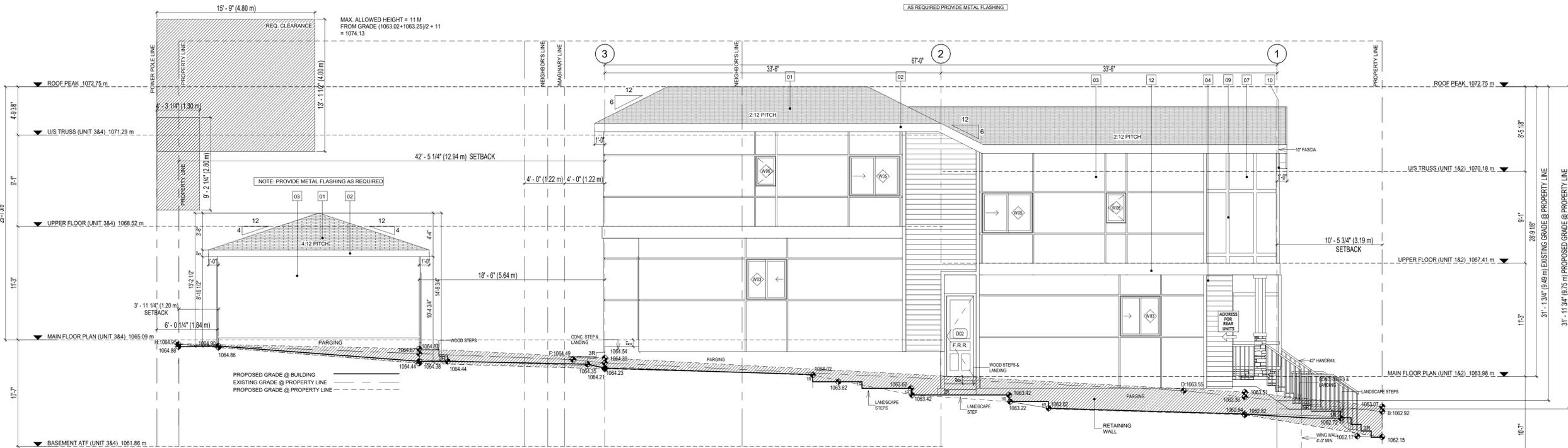
PROJECT NO.: **25-01789**

CHECKED BY: **E.Z./A.K.** DATE: **2026-01-15**

DRAWN BY: **R.E.** SCALE: **3/16" = 1'-0"**

MAX. ALLOWED HEIGHT = 11 M
FROM GRADE (1063.02+1063.25)2 + 11 = 1074.13

AS REQUIRED PROVIDE METAL FLASHING

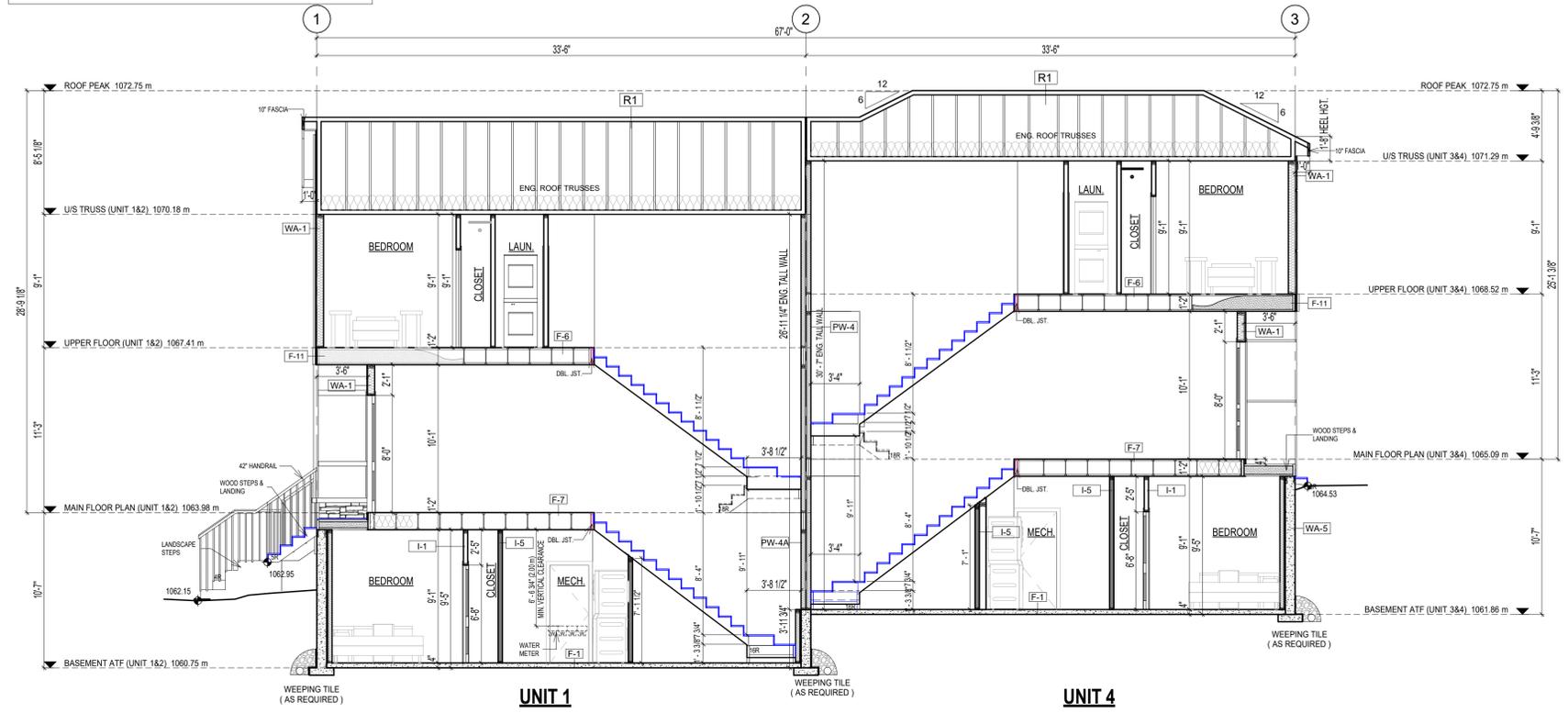


2 LEFT (EAST) ELEVATION
3/16" = 1'-0"

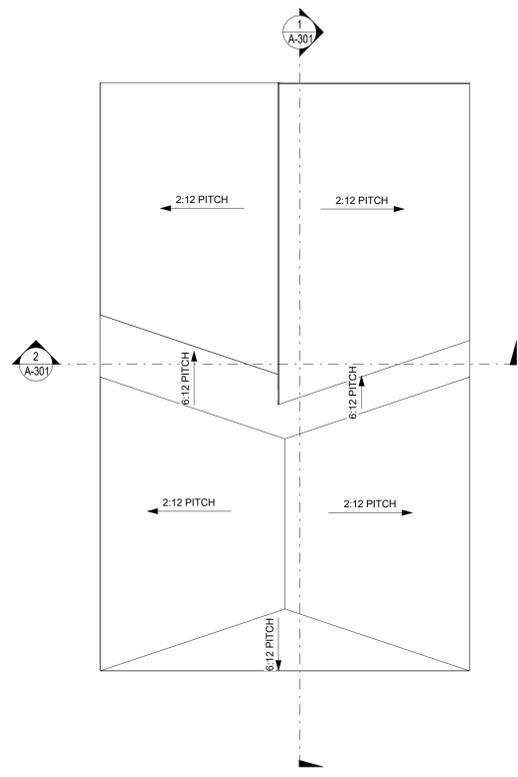
UNPROTECTED OPENINGS	
CODE CHECK	1492.42 SQ. FT. 138.65 SQ.M ²
EXPOSED BUILDING FACE	4'-3 1/2" 1.31 M
MINIMUM SETBACK	7.00%
PERCENTAGE OF ALLOWED OPENINGS	104.47 SQ. FT. 9.70 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	84.00 SQ. FT. 7.80 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	52.24 SQ. FT. 4.85 SQ.M ²

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

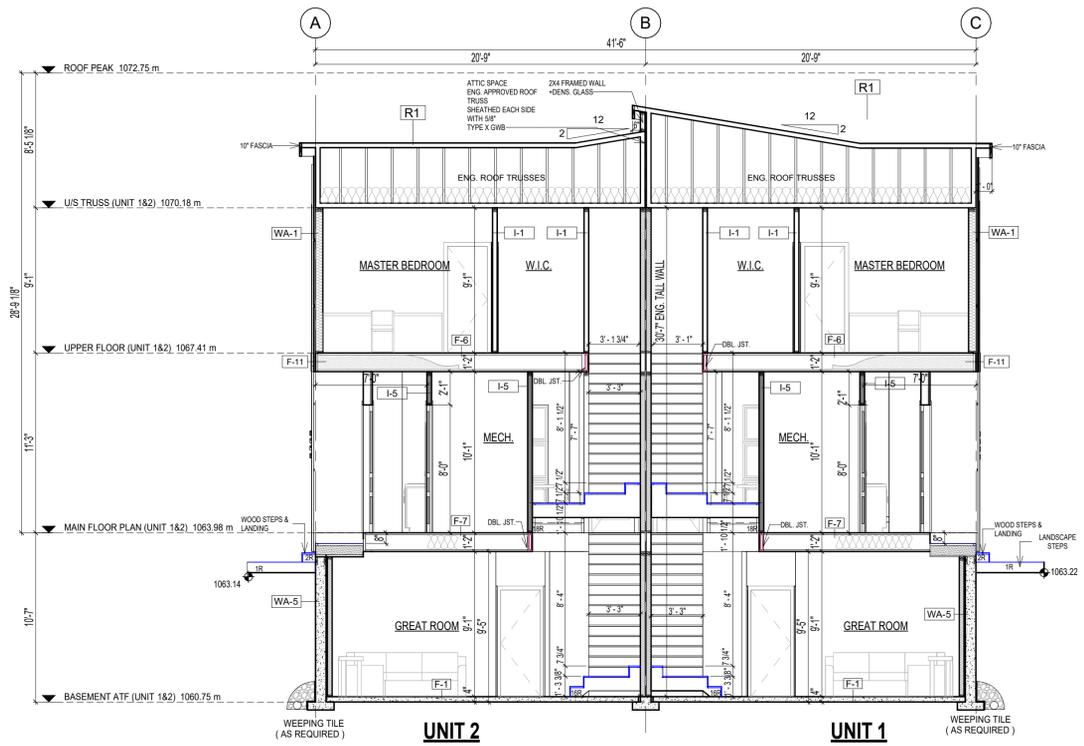
NOTE: FOLLOW ENGINEERING DESIGN FOR SIZES AND SPECS



1 SECTION 1
3/16" = 1'-0"



4 ROOF KEY PLAN
1" = 10'-0"

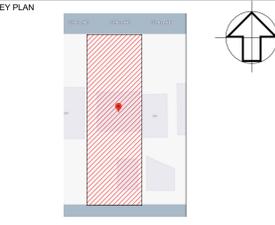


2 SECTION 2
3/16" = 1'-0"



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03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

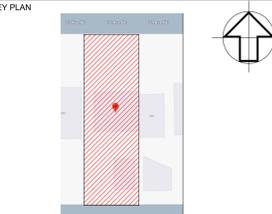
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-08-10	DEVELOPMENT PERMIT	R.W.	E.Z./A.K./E.R.
02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**
PROJECT: **4_PLEX**
ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**
DRAWING TITLE: **BUILDING SECTIONS**

DRAWING NO.: **A-301**

PROJECT NO.: **25-01789**
CHECKED BY: **E.R. / A.S.**
DRAWN BY: **R.E.**
DATE: **2026-01-15**
SCALE: **3/16" = 1'-0"**



NOTES:

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03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

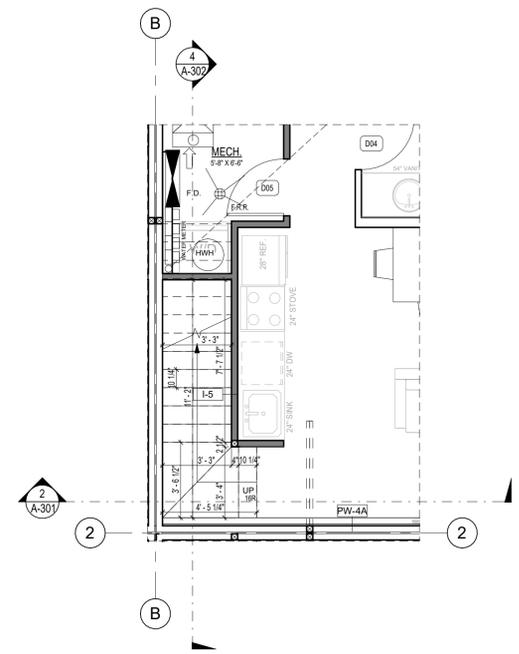
ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

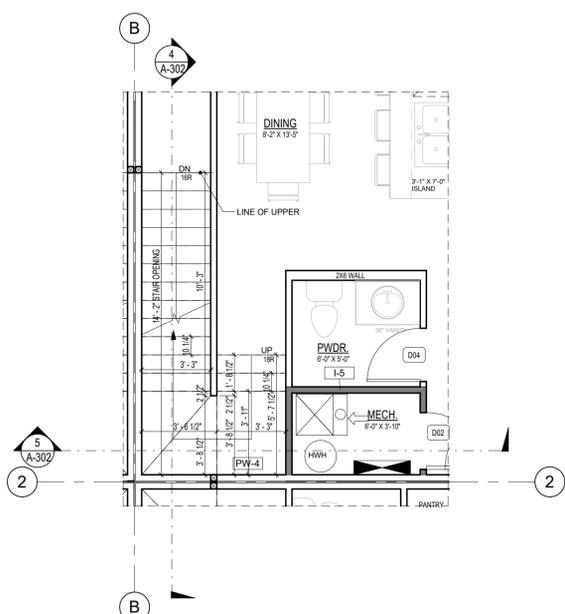
DRAWING TITLE: **STAIR DETAILS UNIT1**

DRAWING NO.: **A-302**

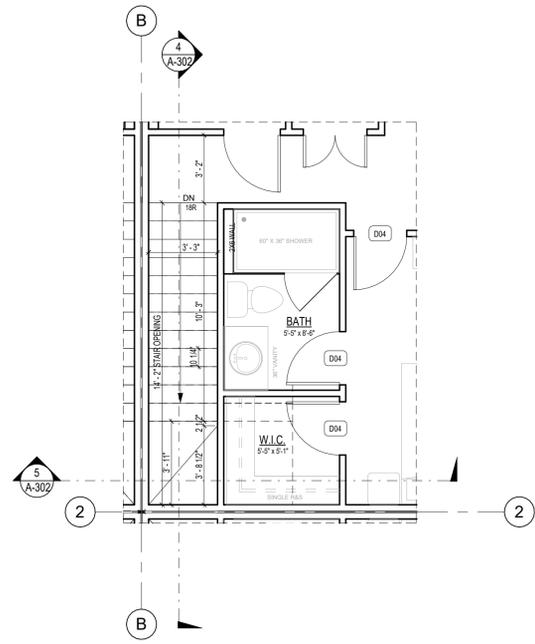
PROJECT NO.:	25-01789	CHK'D BY:	R.E. / A.S.	DATE:	2026-01-15
DRAWN BY:	R.E.	SCALE:	3/16" = 1'-0"		



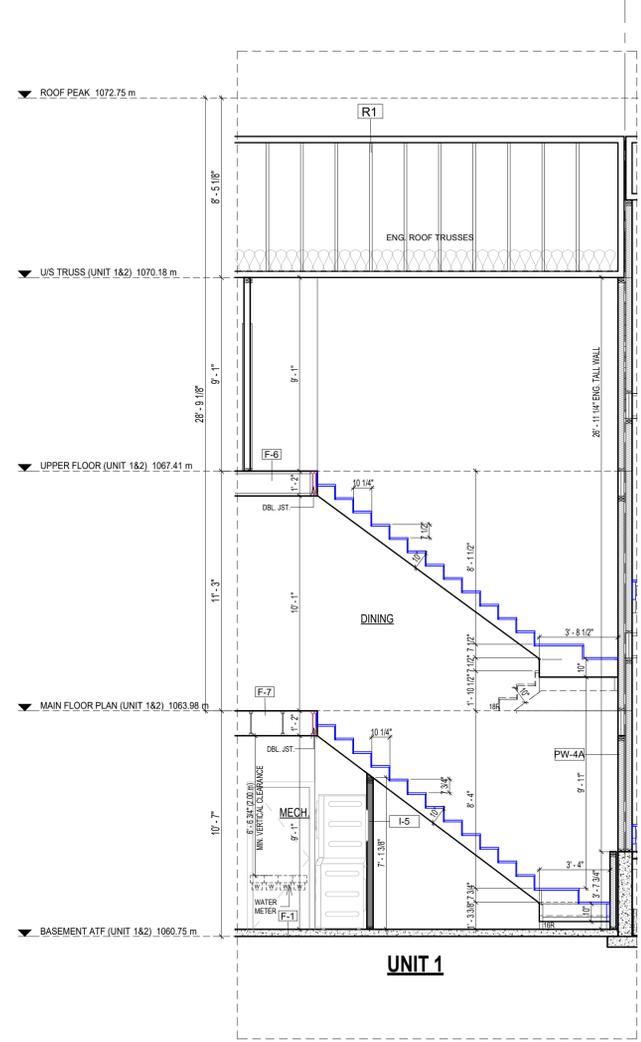
1 LEGAL SUITE FLOOR STAIR UNIT 1
1/4" = 1'-0"



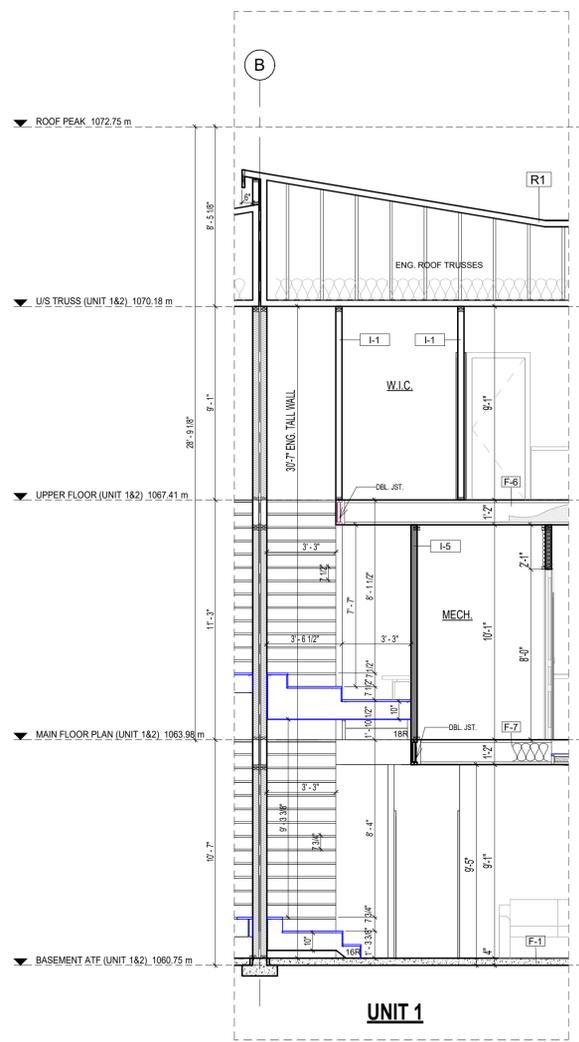
2 MAIN FLOOR STAIR UNIT 1
1/4" = 1'-0"



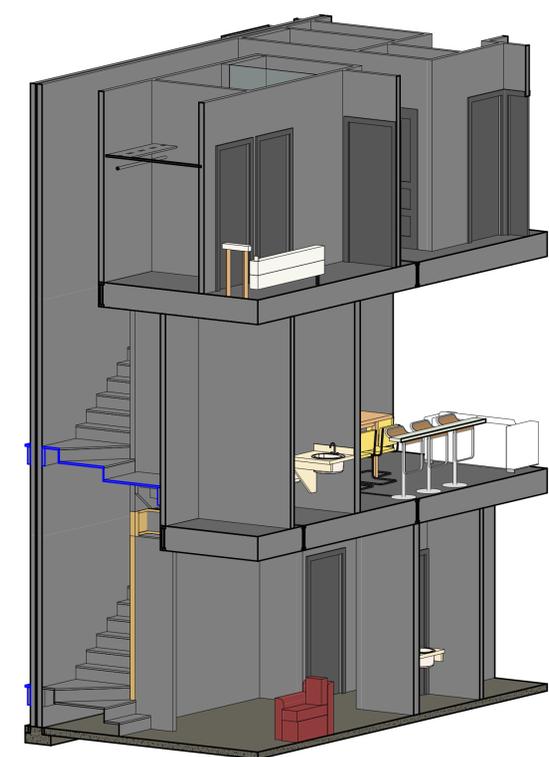
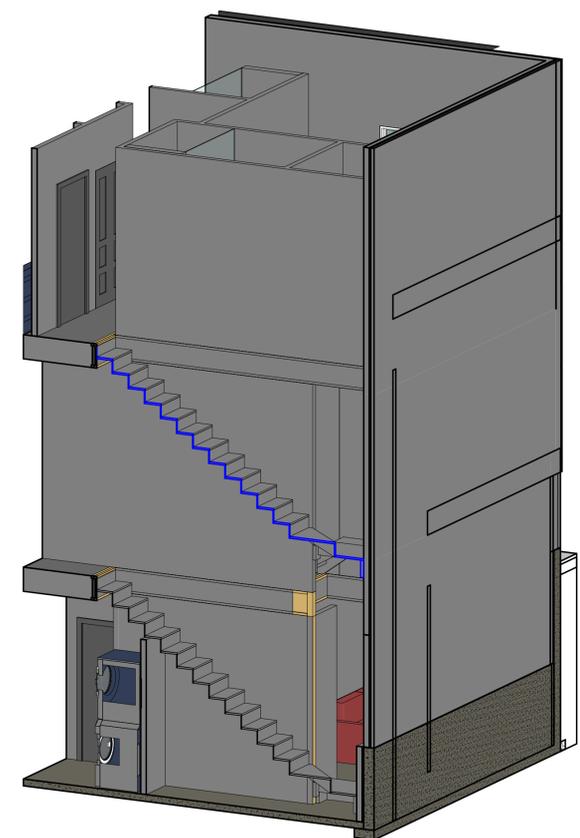
3 UPPER FLOOR STAIR UNIT 1
1/4" = 1'-0"

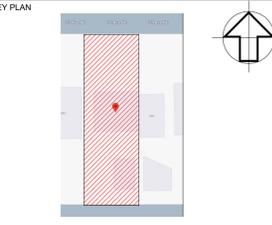


4 STAIR SECTION 1 UNIT 1
1/4" = 1'-0"



5 STAIR SECTION 2 UNIT 1
1/4" = 1'-0"





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03	2026-01-01	DSSP	R.E.	E.Z.
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

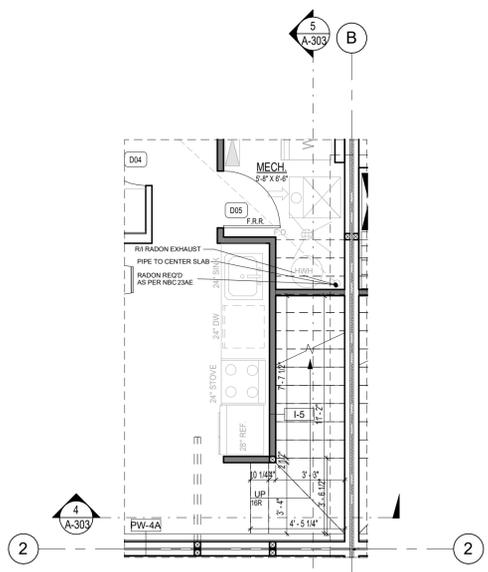
ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

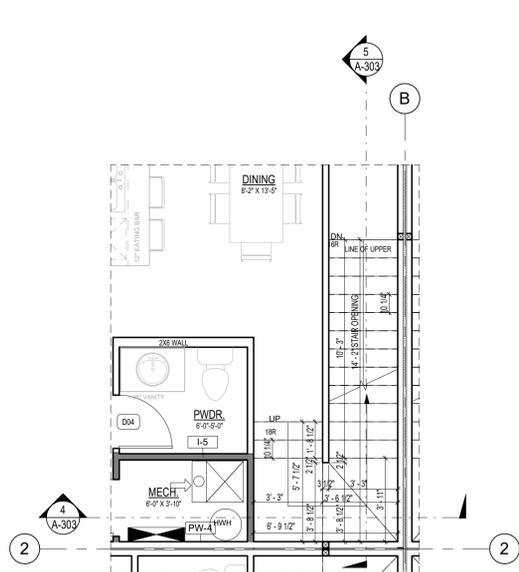
DRAWING TITLE: **STAIR DETAILS UNIT2**

DRAWING NO.: **A-303**

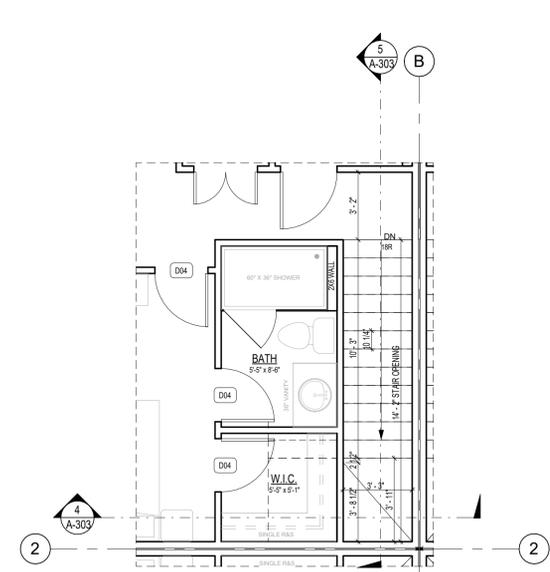
PROJECT NO.:	25-01789	CHECKED BY:	E.R./A.S.	DATE:	2026-01-15
		DRAWN BY:	R.E.	SCALE:	3/16" = 1'-0"



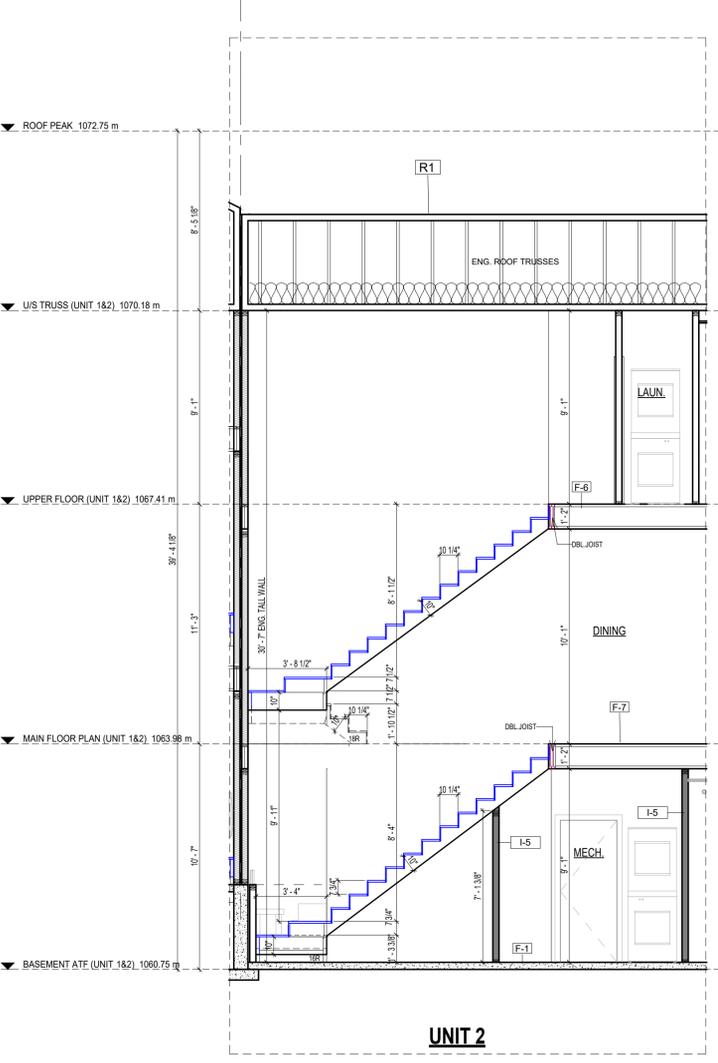
1 LEGAL SUITE FLOOR STAIR UNIT2
1/4" = 1'-0"



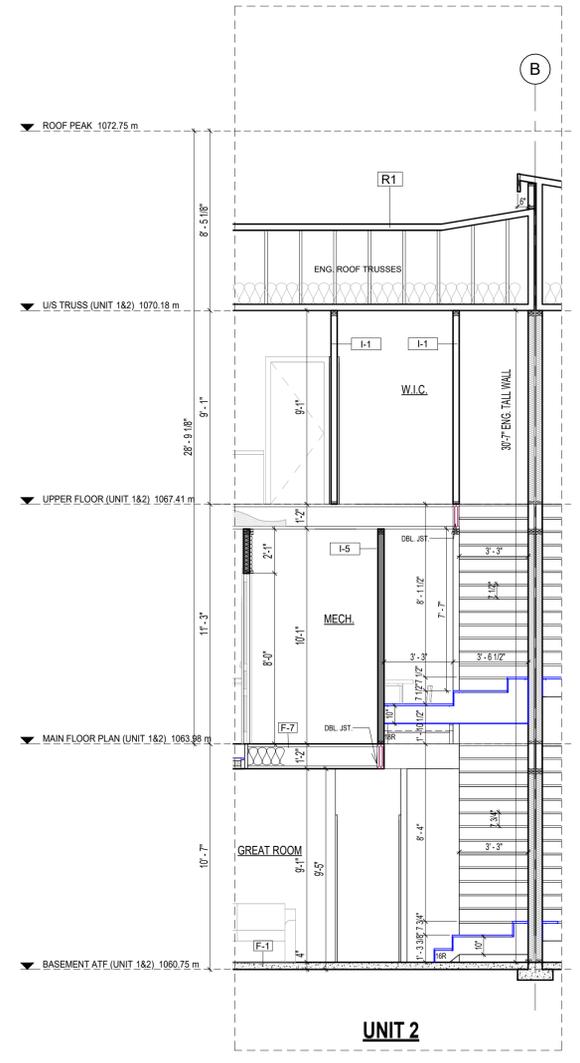
2 MAIN FLOOR STAIR UNIT2
1/4" = 1'-0"



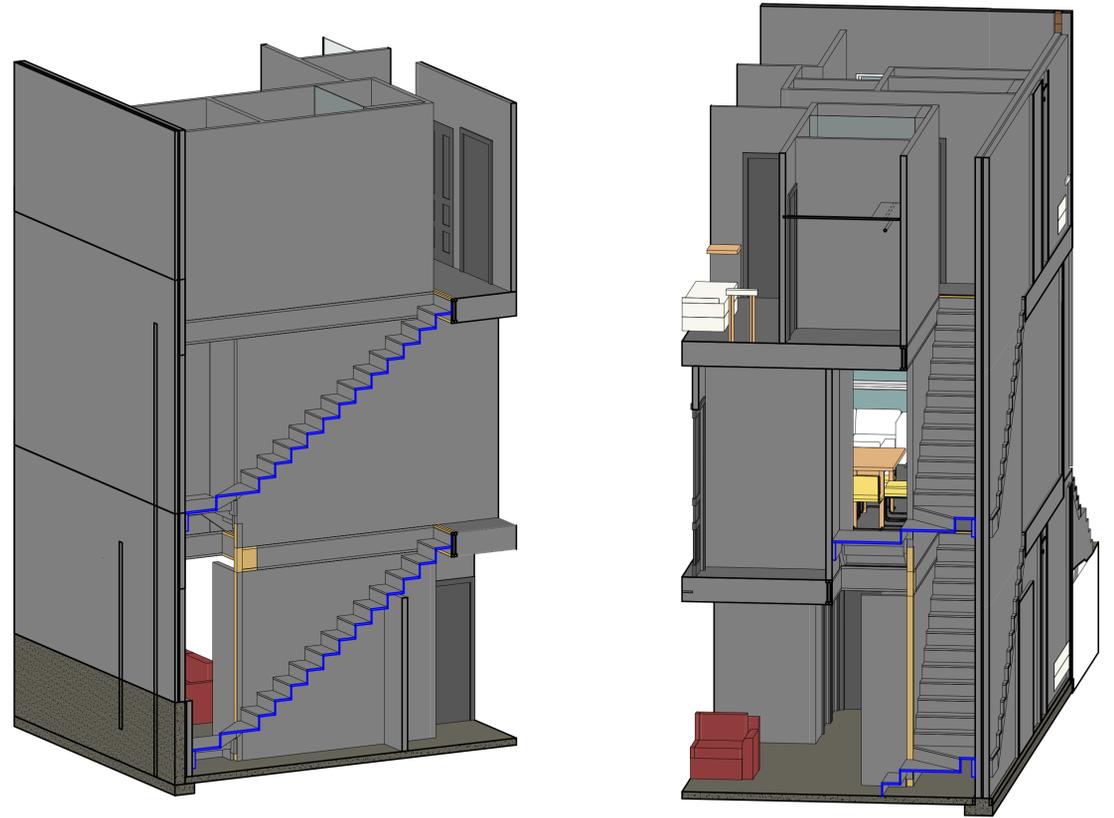
3 UPPER FLOOR STAIR UNIT2
1/4" = 1'-0"

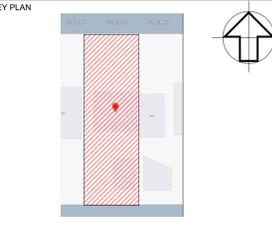


5 STAIR SECTION 1 UNIT2
1/4" = 1'-0"



4 STAIR SECTION 2 UNIT2
1/4" = 1'-0"





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03	2026-01-01	DSSP	R.E.	E.Z.
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ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

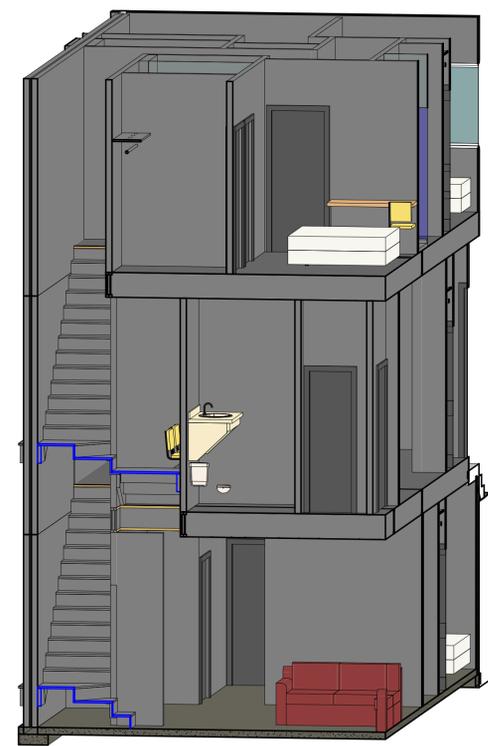
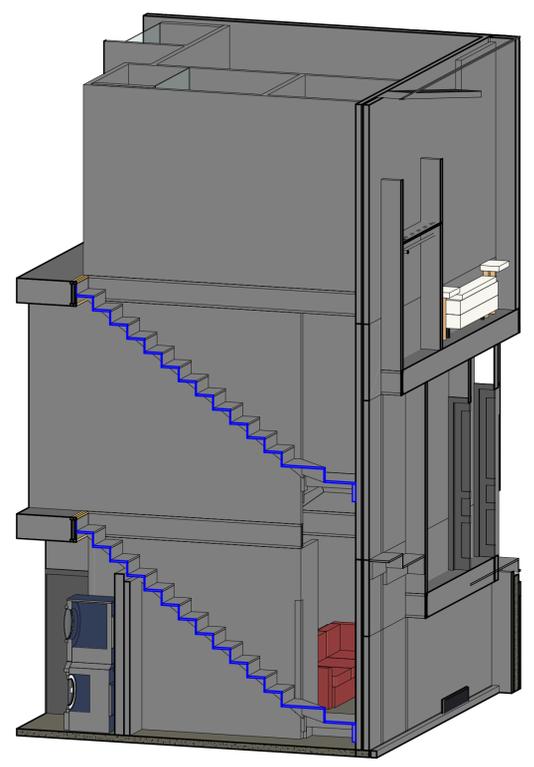
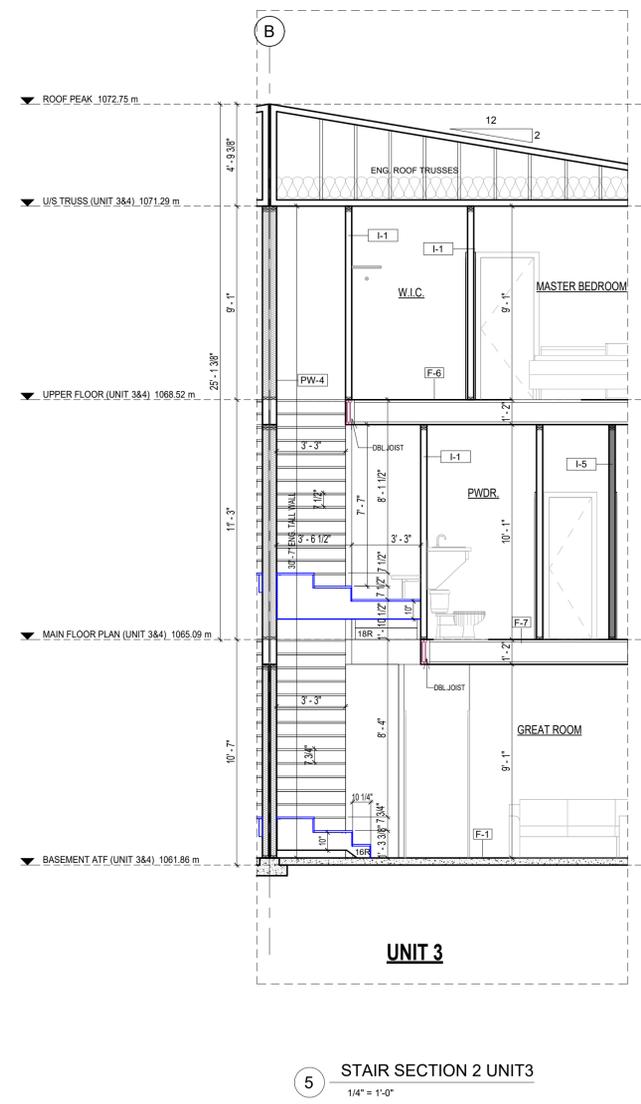
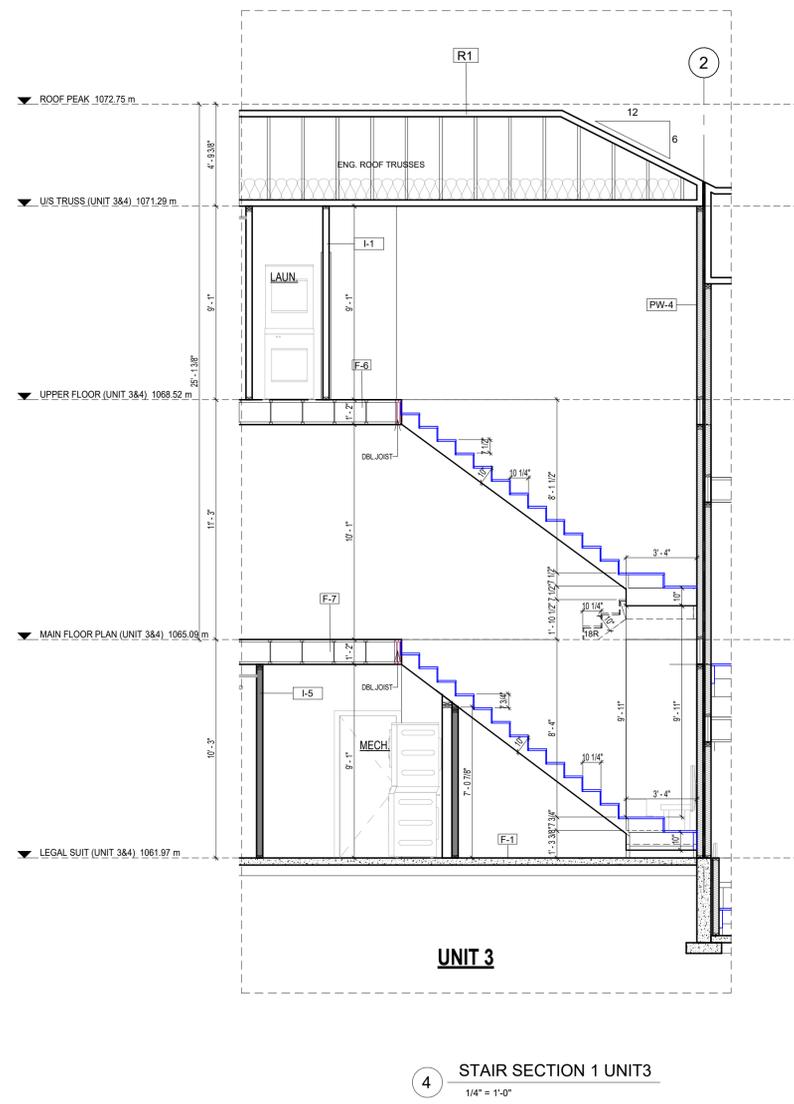
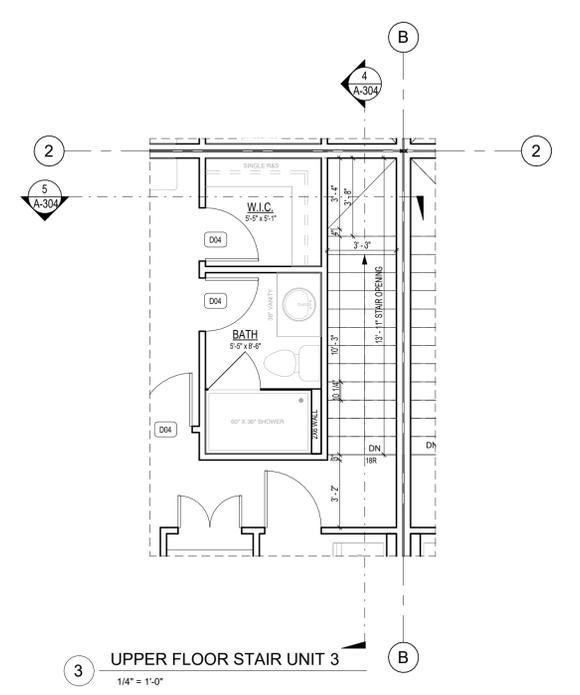
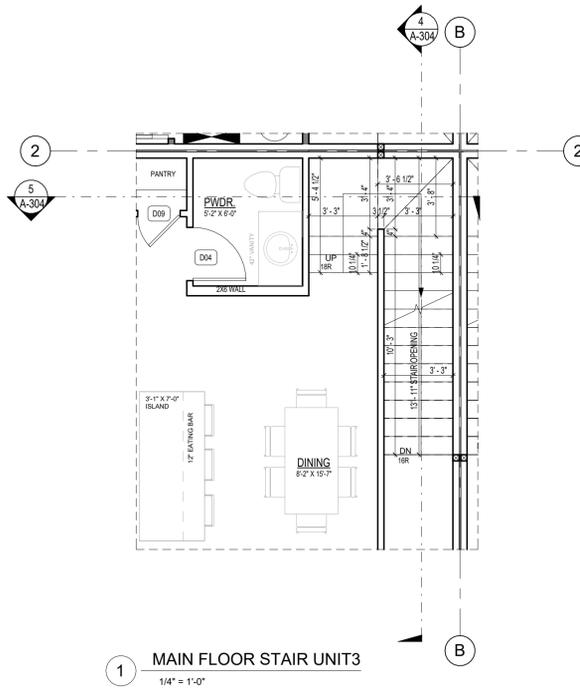
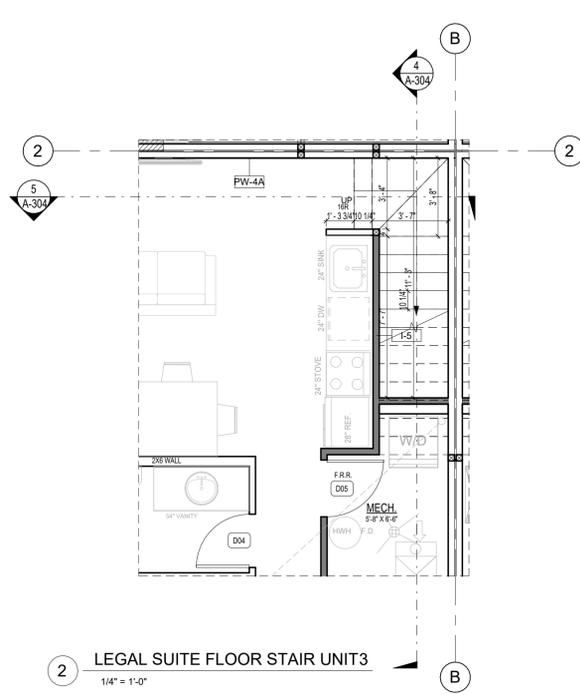
ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**

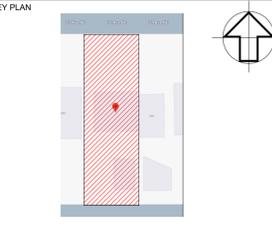
DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **STAIR DETAILS UNIT3**

DRAWING NO. **A-304**

PROJECT NO.:	CHECKED BY:	DATE:
25-01789	E.R. / A.S.	2026-01-15
	DRAWN BY:	SCALE:
	R.E.	3/16" = 1'-0"





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03	2026-01-01	DSSP	R.E.	E.Z.
04				
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02	2026-01-15	BUILDING PERMIT	R.E.	A.K./E.Z.
03				
04				
05				

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

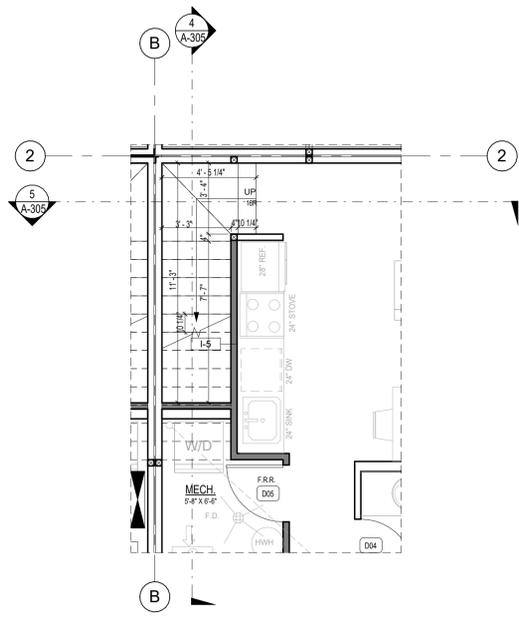
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DRAWING NO.: **A-305**

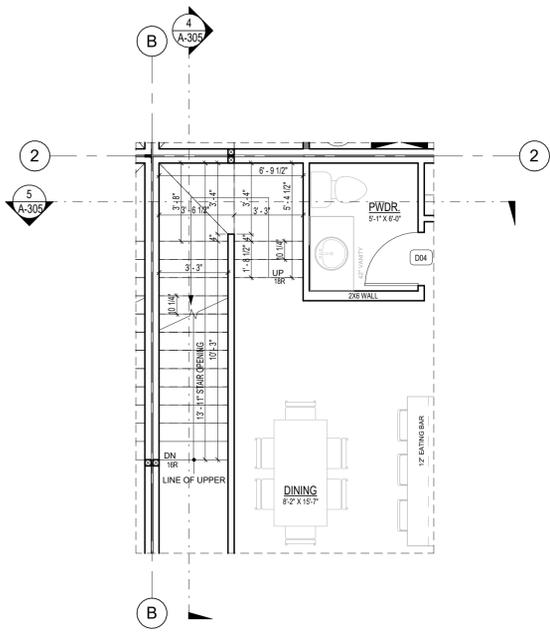
PROJECT NO.: **25-01789**

CHECKED BY: **E.R. / A.S.** DATE: **2026-01-15**

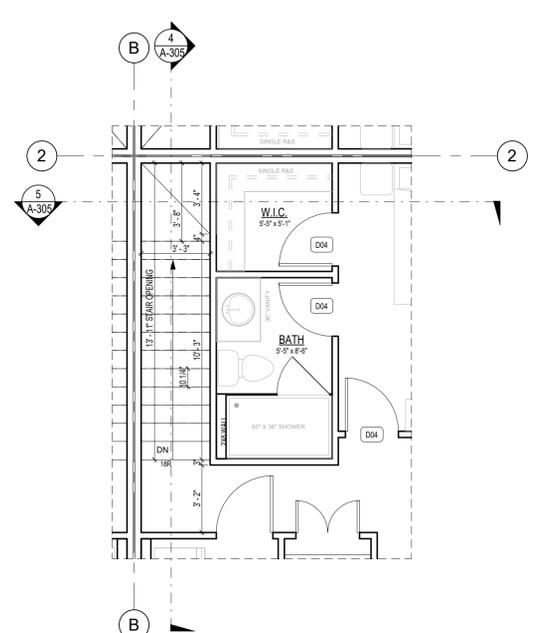
DRAWN BY: **R.E.** SCALE: **3/16" = 1'-0"**



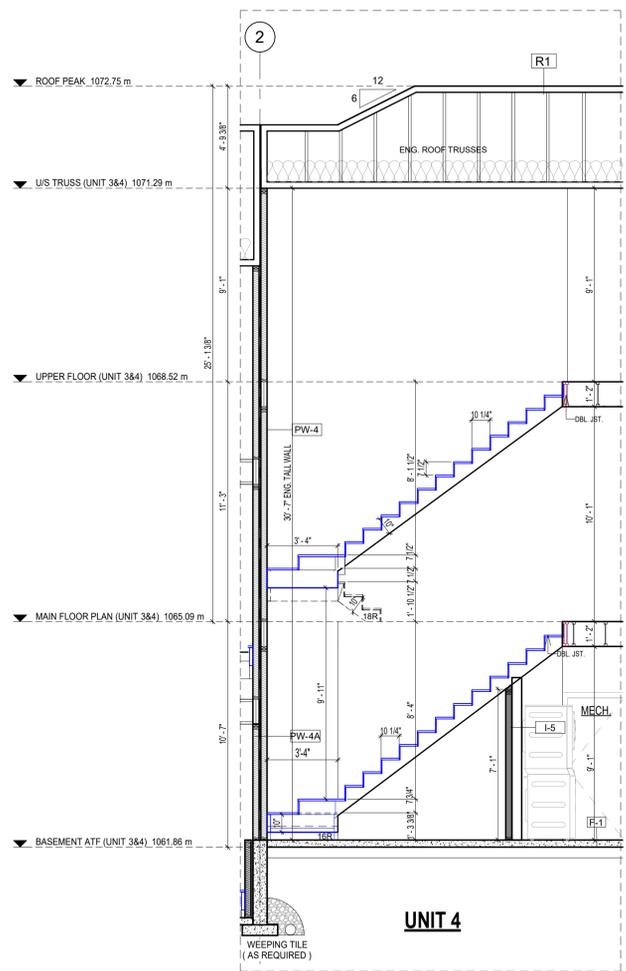
1 LEGAL SUITE FLOOR STAIR UNIT4
1/4" = 1'-0"



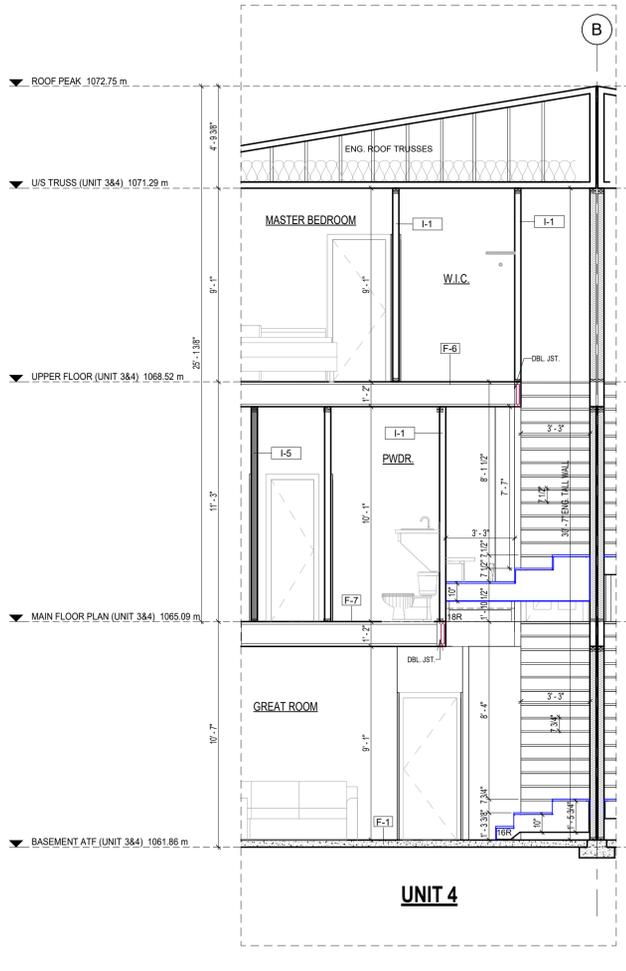
2 MAIN FLOOR STAIR UNIT4
1/4" = 1'-0"



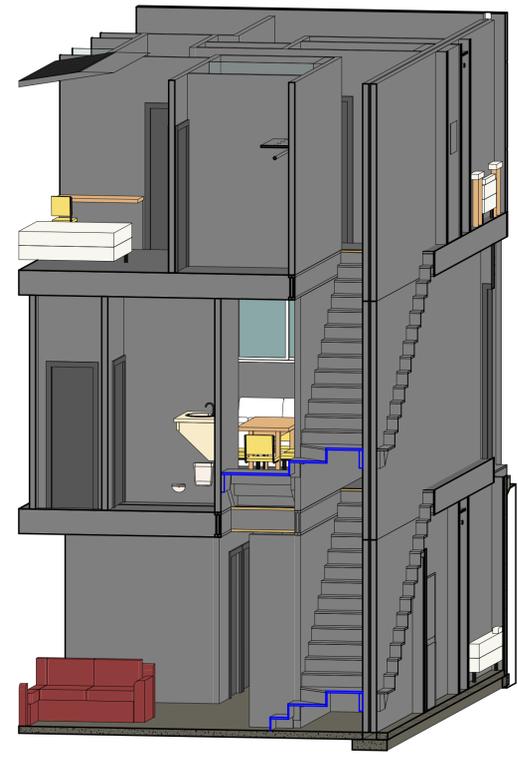
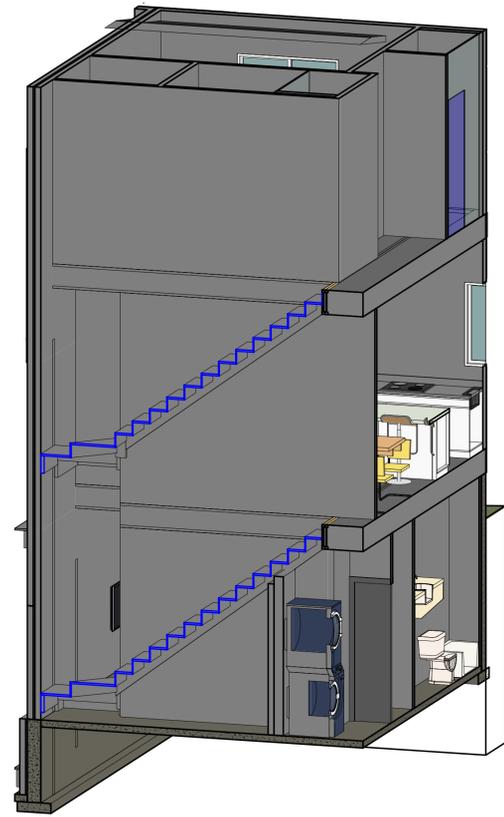
3 UPPER FLOOR STAIR UNIT 4
1/4" = 1'-0"

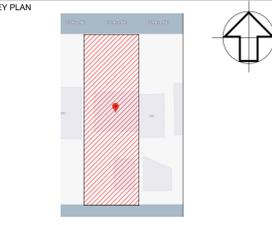


4 STAIR SECTION 1 UNIT4
1/4" = 1'-0"



5 STAIR SECTION 2 UNIT4
1/4" = 1'-0"





NOTES:

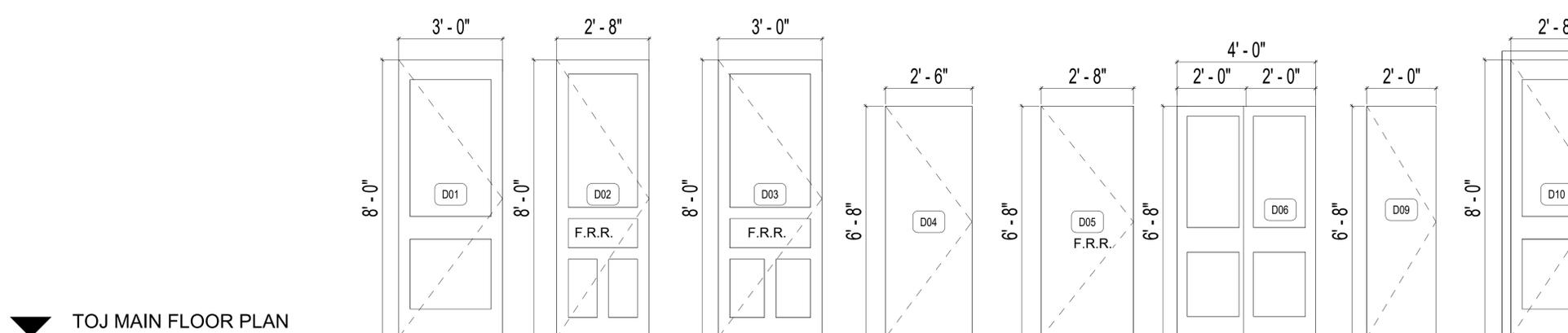
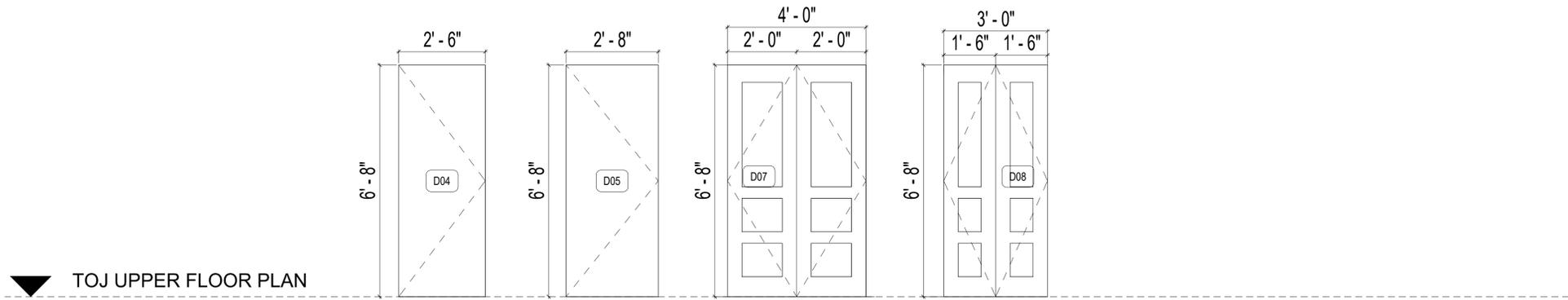
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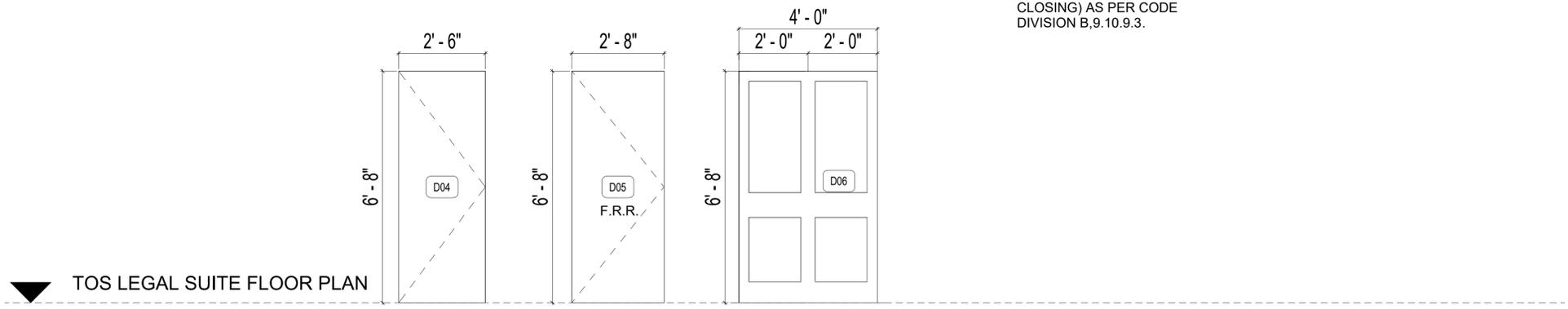
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NOTE: SOLID CORE WOOD DOOR AT LEAST 45 MM THICK AND HAVE A SELF-CLOSING) AS PER CODE DIVISION B.9.10.9.3.

NOTE: SOLID CORE WOOD DOOR AT LEAST 45 MM THICK AND HAVE A SELF-CLOSING) AS PER CODE DIVISION B.9.10.9.3.

SLIDING DOOR



NOTE: SOLID CORE WOOD DOOR AT LEAST 45 MM THICK AND HAVE A SELF-CLOSING) AS PER CODE DIVISION B.9.10.9.3.

SLIDING DOOR

THE CLIENT: **I_SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E.
CALGARY, ALBERTA
PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC.27-24-1-W5M**

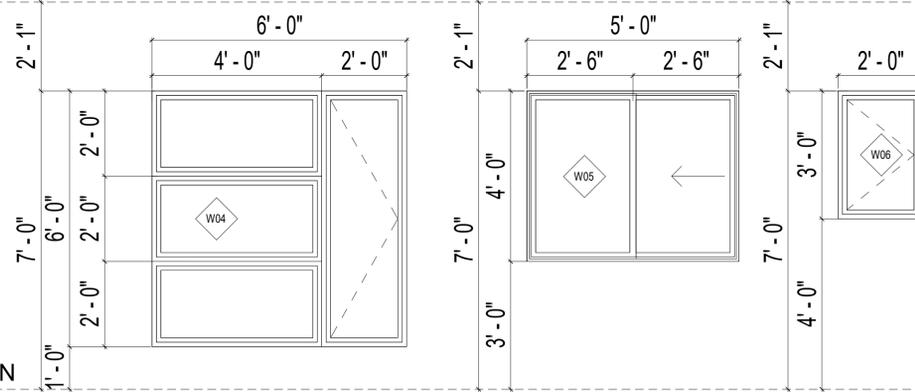
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DRAWING TITLE: **DOORS SCHEDULE**

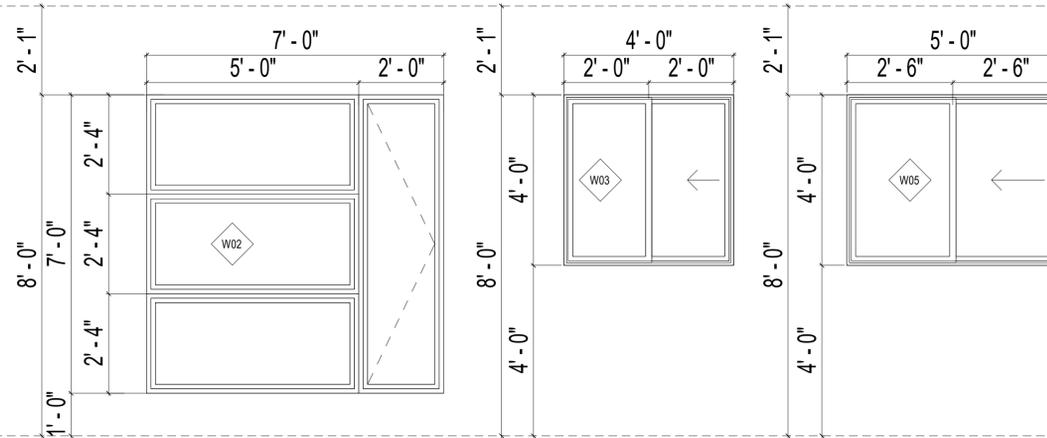
DRAWING NO. **A-401**

PROJECT NO.:	CHECKED BY:	DATE:
25-01789	E R	2026-01-15
	DRAWN BY:	SCALE:
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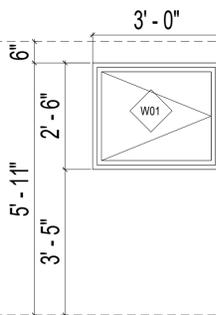
U/S TRUSS



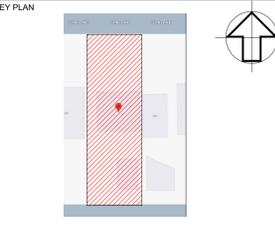
TOJ UPPER FLOOR PLAN



TOJ MAIN FLOOR PLAN



TOS LEGAL SUITE FLOOR PLAN



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THE CLIENT: **I_SMART HOMES**

PROJECT: **4_PLEX**

ADDRESS: **227 - 31 AVENUE N.E. CALGARY, ALBERTA PLAN 3980AM, BLOCK 57, LOTS 33&34 WITHIN N.E. 1/4 SEC.27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

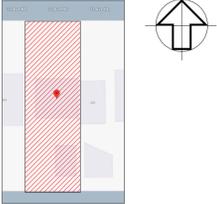
DRAWING TITLE: **WINDOWS SCHEDULE**

DRAWING NO. **A-402**

PROJECT NO.:	CHECKED BY:	DATE:
25-01789	E.R.	2026-01-15
	DRAWN BY:	SCALE:
	R.E.	3/16" = 1'-0"

NOTE: FOLLOW ENGINEERING DESIGN FOR SIZES AND SPECS

KEY PLAN



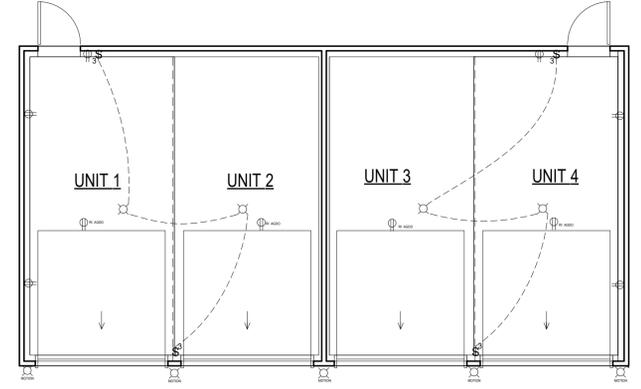
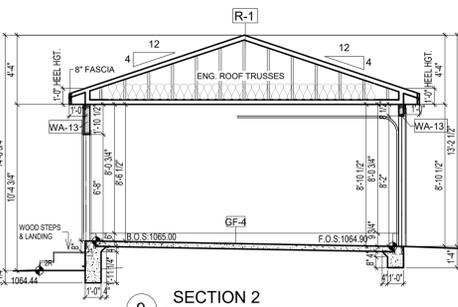
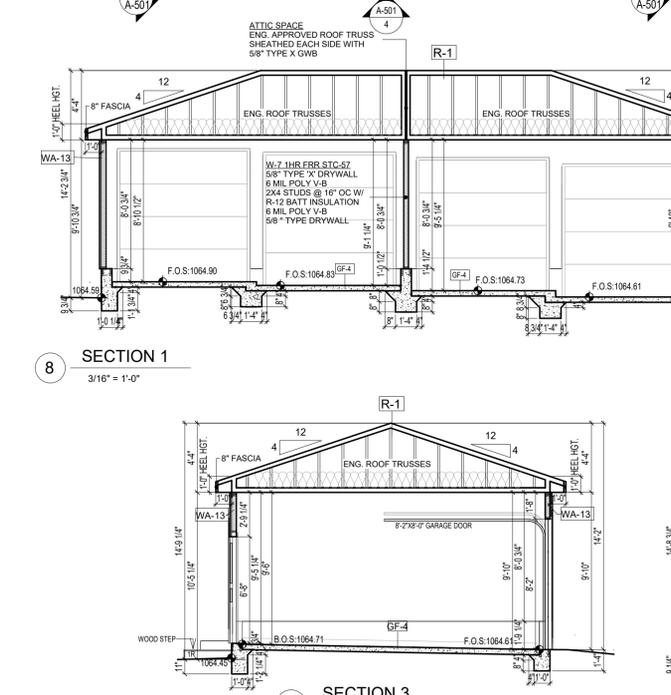
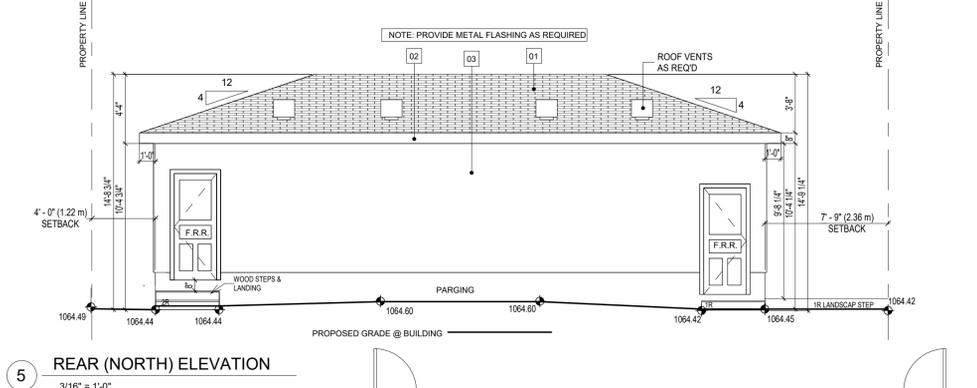
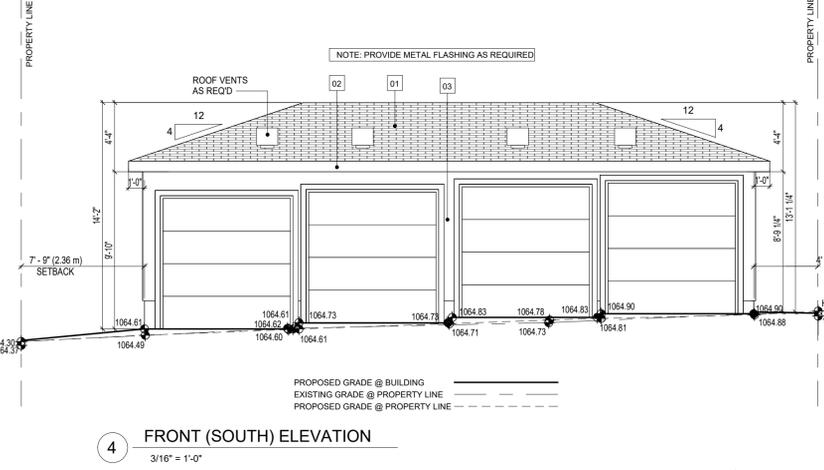
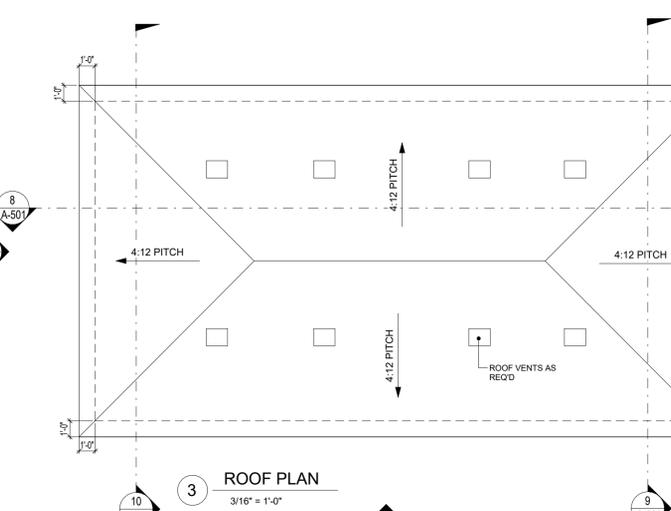
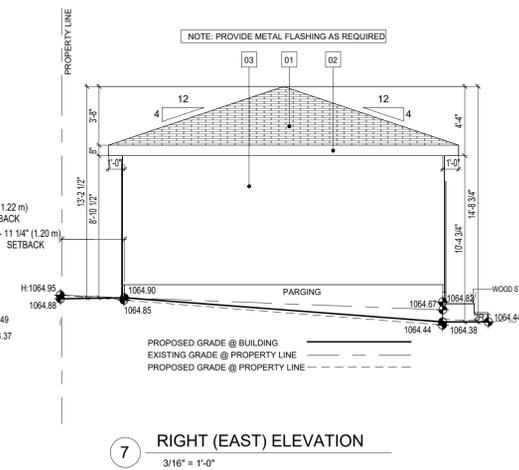
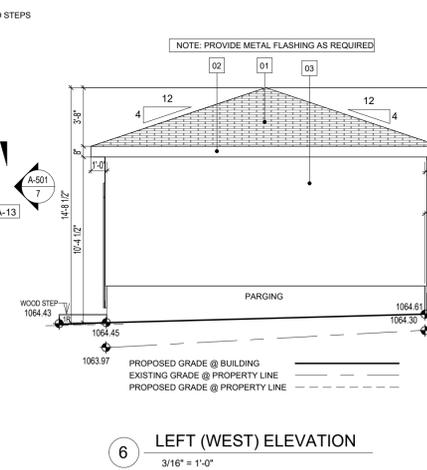
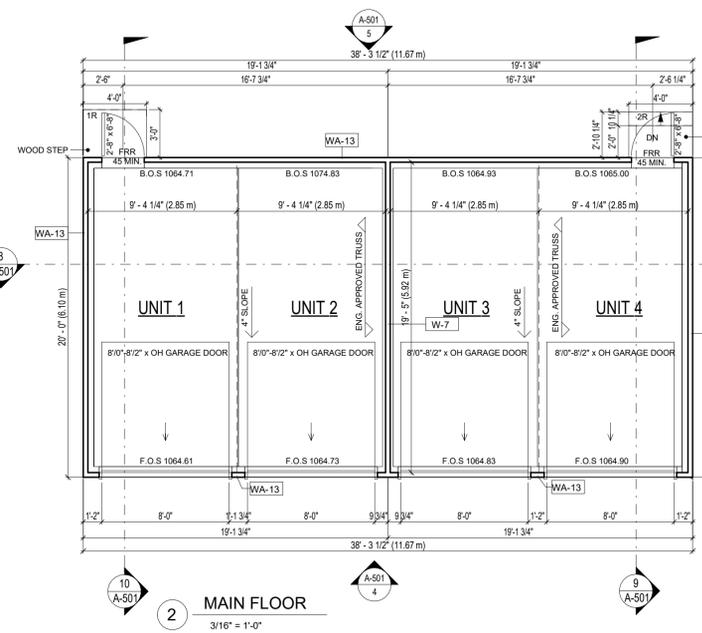
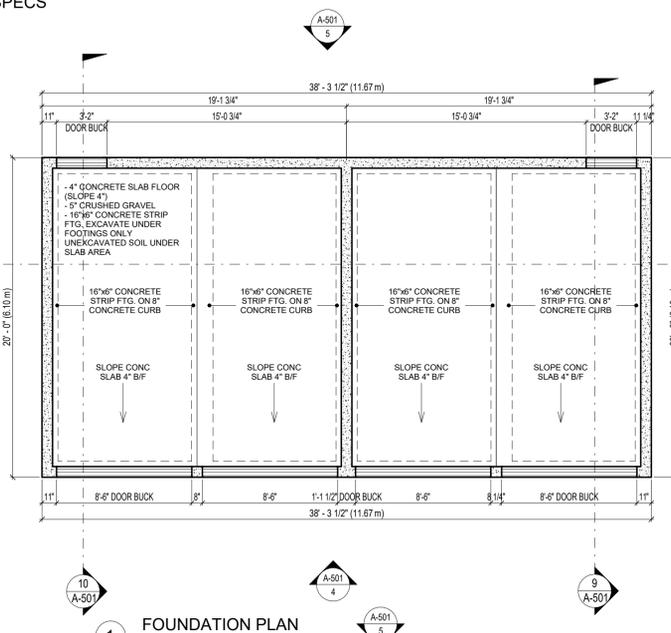
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NOTE
GARAGE TO BE BUILT AS PER VARIANCE (SPV003)

GR-1 ROOF AND CEILING
 - ASPHALT SHINGLE ROOFING AS SPEC'D
 - BUILDING PAPER
 - 1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT
 - APPROVED WOOD TRUSSES @ 24" O/C
 - LEAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL / 2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
 - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
 - MIN R35 LOOSE FILL OR CELLULOSE INSUL.
 - VAPOUR BARRIER (6 MIL POLY)
 - 5/8" TYPE X DRYWALL

GF-4 GARAGE SLAB
 4" DURACRETE CONC. SLAB
 5" COMP. GRAVEL (SLOPE 4")
 (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

WA-13 EXTERIOR WALLS AS PER SPV003
 UL U465, ULC W415 1-HOUR
 1- LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
 2- SINGLE PLY AIR BARRIER.
 3- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
 4- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
 5- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
 6- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

W-7 (W13-A) 1HR FRR STC-57
 - 5/8" TYPE X DRYWALL
 - 6 MIL POLY V-B
 - 2X4 STUDS ON EDGE @ 24" OC
 - 6 MIL POLY V-B
 - 5/8" TYPE X DRYWALL

NOTE
 - SOIL BEARING CAPACITY 2000 # FT²
 - DOORS TO 45 MIN. FRR AND SELF CLOSING

TRC SCHEDULE OF FINISHES

MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
03	STUCCO CLADDING LIGHT

THE CLIENT: **I SMART HOMES**

PROJECT: **4_PLEX**

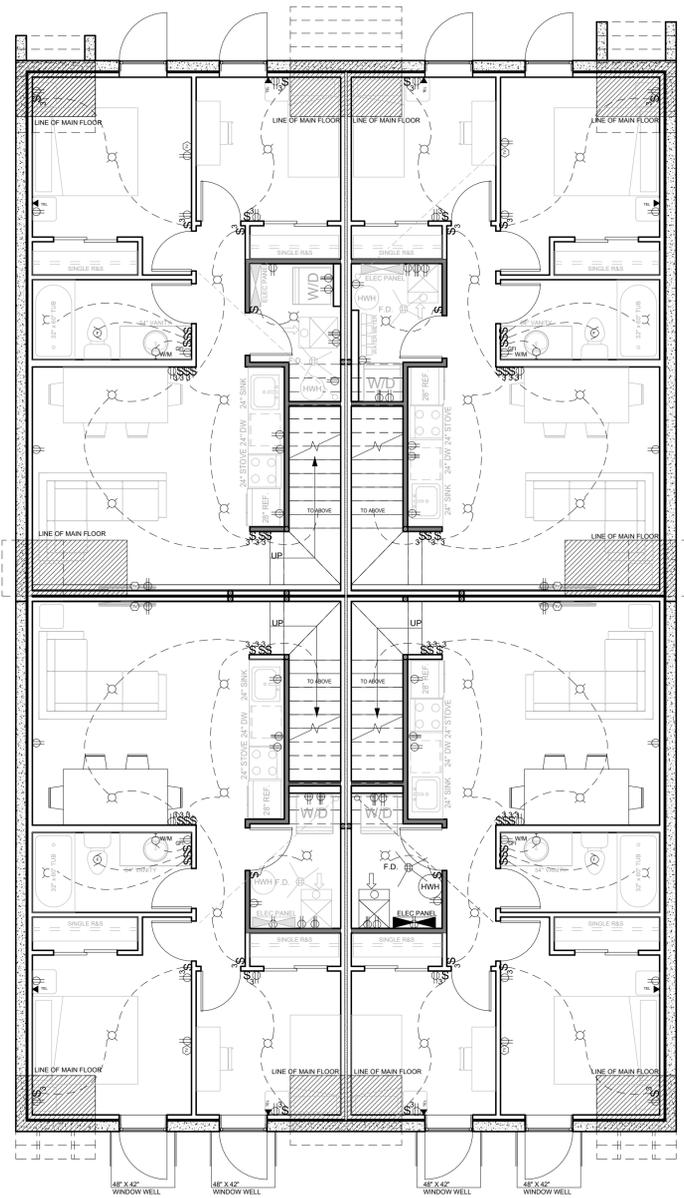
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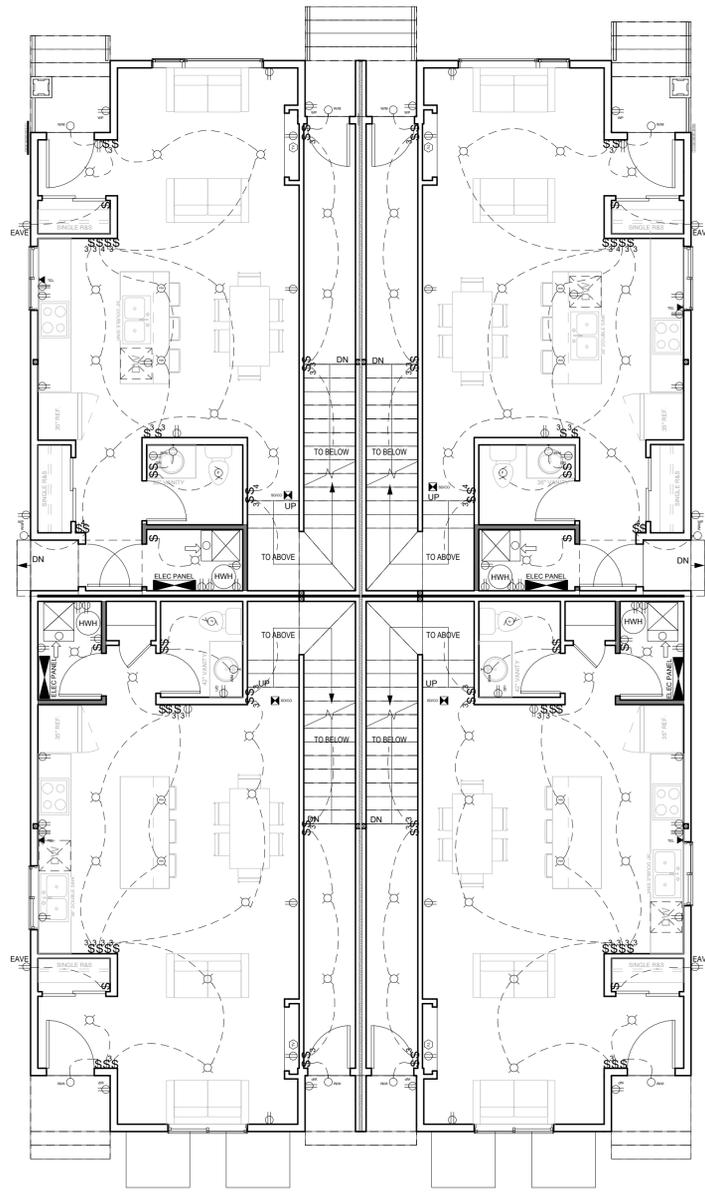
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DRAWING NO. **A-501**

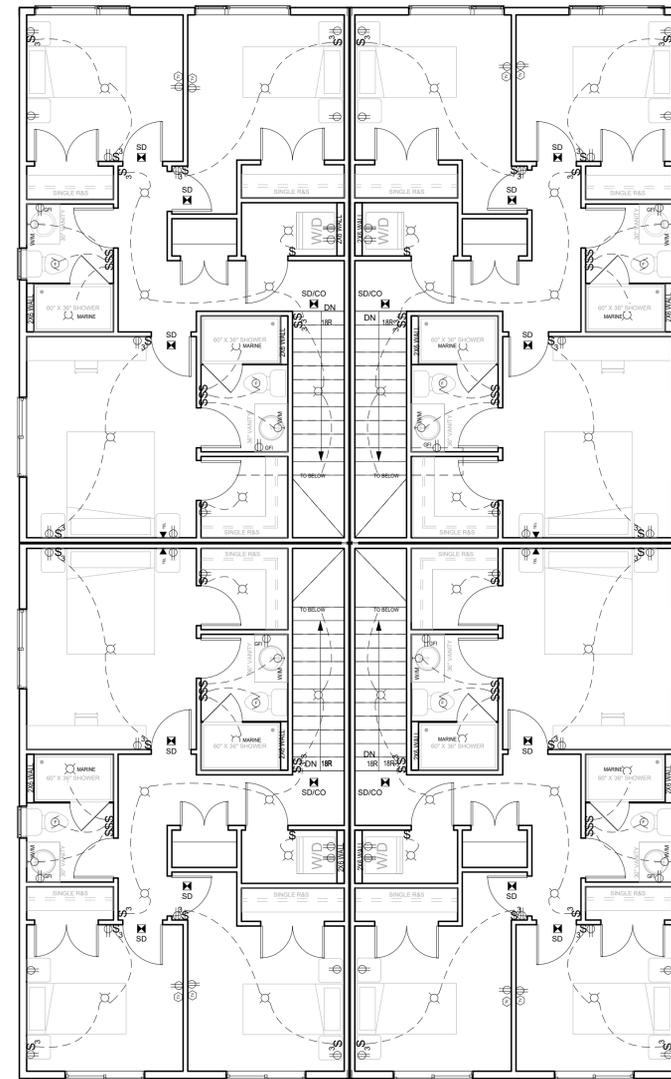
PROJECT NO. 25-01789
 DRAWN BY: R.W./R.E.
 CHECKED BY: E.Z.A.K./E.R.
 DATE: 2026-01-15
 SCALE: 3/16" = 1'-0"



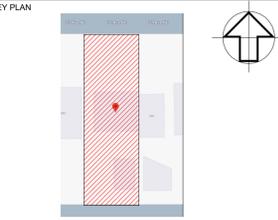
1 ELECTRICAL LEGAL SUITE FLOOR PLAN
3/16" = 1'-0"



3 ELECTRICAL MAIN FLOOR PLAN
3/16" = 1'-0"



2 ELECTRICAL UPPER FLOOR PLAN
3/16" = 1'-0"



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PLAN 3980AM, BLOCK 57, LOTS
33&34
WITHIN N.E. 1/4 SEC. 27-24-1-W5M**

DRAWING SET: **BUILDING PERMIT SET**

DRAWING TITLE: **ELECTERICAL FLOOR PLANS**

DRAWING NO. **E-001**

PROJECT NO.:	CHECKED BY:	DATE:
25-01789	E.R.	2026-01-15
	DRAWN BY:	SCALE:
	R.E.	3/16" = 1'-0"