

# CAMPBELL

Commercial Partners LLC

945 E PARK DR, HARRISBURG, PA 17111

OFFICE  
**LEASE**



525 N. 12th Street, Suite 203  
Lemoyne, PA 17043  
717.737.6161  
[www.acampbell.net](http://www.acampbell.net)

**JESSICA GASPER**  
717.979.5189  
[jessica@acampbell.net](mailto:jessica@acampbell.net)

# LEASE

## OFFERING SUMMARY

---

<b>Available SF:</b>	2,625 +/-
<b>Lease Rate:</b>	\$16.95 / SF
<b>Lease Term:</b>	Negotiable
<b>Municipality:</b>	Lower Paxton
<b>Zoning:</b>	BC - Business Campus



## PROPERTY OVERVIEW

---

- First floor professional office available for lease
- Office includes reception, executive suite and conference room
- Centrally located off Union Deposit Road and Interstate-83
- Within close proximity to many amenities including UPMC hospital, hotels and shopping centers

Although the subject information was obtained from sources deemed reliable, it cannot be warranted. It is submitted subject to errors, omissions, changes in price or other conditions, prior sale, lease, or withdrawal from the market. Unless specified in writing otherwise, Campbell Commercial Partners, LLC is acting as agent of the Seller/Lessor.

## PROPERTY DETAILS

**Space Type:** Office/Flex  
**Floor Type:** Tile, carpet tile  
**Lighting:** Recessed, fluorescent  
**Ceiling Type:** Suspended tile, tray  
**Restrooms:** Two within space (one with shower)  
**Sprinklered:** Yes  
**Internet:** Comcast

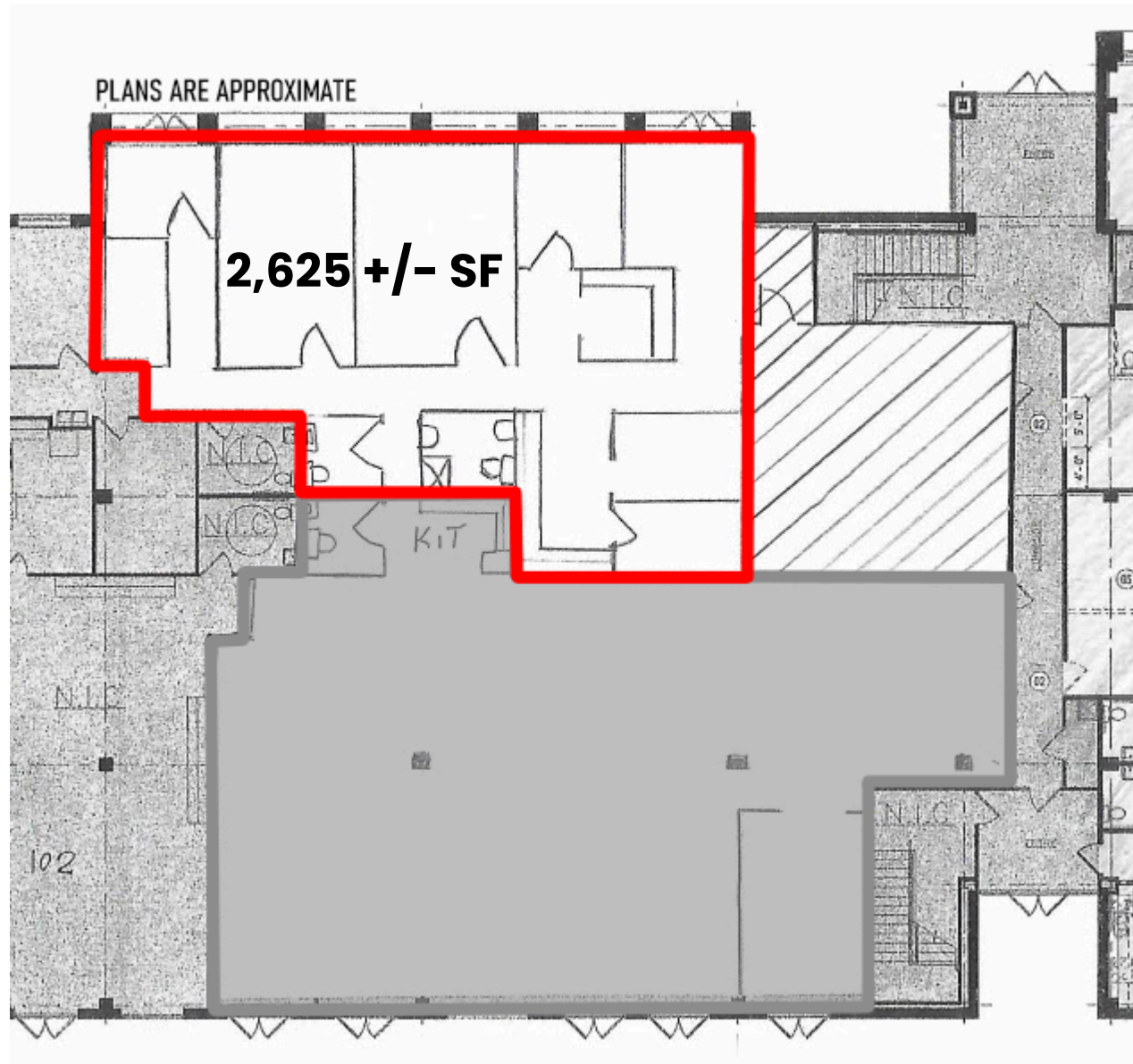
**Street Address:** 945 E Park Dr  
**City, State, Zip:** Harrisburg, PA 17111  
**Municipality:** Lower Paxton  
**County:** Dauphin  
**Zoning:** BC - Business Campus

**Available SF:** 2,625 +/- SF  
**Lease Rate:** \$16.95 / SF In-suite Janitorial + Electric  
**Lease Term:** Negotiable  
**Parking:** In common, on-site  
**Signage:** Monument sign at entrance of building

Although the subject information was obtained from sources deemed reliable, it cannot be warranted. It is submitted subject to errors, omissions, changes in price or other conditions, prior sale, lease, or withdrawal from the market. Unless specified in writing otherwise, Campbell Commercial Partners, LLC is acting as agent of the Seller/Lessor.



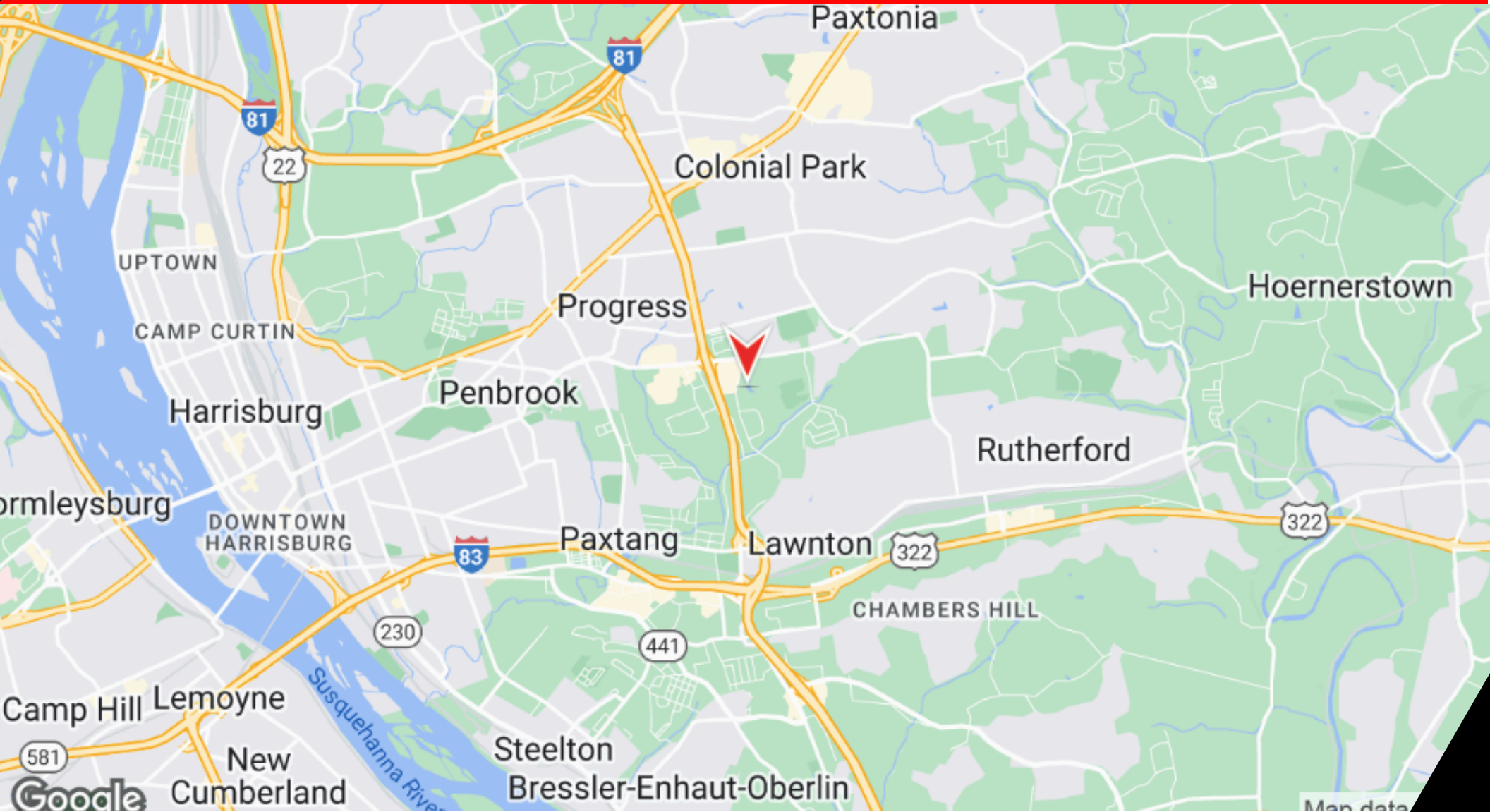
# FLOOR PLAN





Although the subject information was obtained from sources deemed reliable, it cannot be warranted. It is submitted subject to errors, omissions, changes in price or other conditions, prior sale, lease, or withdrawal from the market. Unless specified in writing otherwise, Campbell Commercial Partners, LLC is acting as agent of the Seller/Lessor.

945 E PARK DR, HARRISBURG, PA 17111



Although the subject information was obtained from sources deemed reliable, it cannot be warranted. It is submitted subject to errors, omissions, changes in price or other conditions, prior sale, lease, or withdrawal from the market. Unless specified in writing otherwise, Campbell Commercial Partners, LLC is acting as agent of the Seller/Lessor.

**CAMPBELL**  
Commercial Partners LLC

525 N. 12th Street, Suite 203  
Lemoyne, PA 17043  
717.737.6161  
[www.acampbell.net](http://www.acampbell.net)

**JESSICA GASPER**  
717.979.5189  
[jessica@acampbell.net](mailto:jessica@acampbell.net)