

City of Sparks
Planning Commission Item
Meeting Date: November 17, 2016

Subject: PCN16041 – Consideration of and possible action on a Conditional Use Permit request to allow for a car wash and vacuum stations on a site 1.61 acres in size in the PO (Professional Office) zoning district, located at 4600 Wedekind Road, Sparks, NV.

Petitioner: Miles Construction

Recommendation: The Community Services Department recommends approval of PCN16041 as submitted and conditioned; see suggested motion below.

Financial Impact: NA


Business Impact (per NRS Chapter 237):

- A Business Impact Statement is attached.
- A Business Impact Statement is not required because
 - this is not a rule;
(term excludes vehicles by which legislative powers are exercised under NRS Chapters 271, 278, 278A or 278B)

SUGGESTED MOTION

I move to approve Conditional Use Permit (CU160008) associated with PCN16041, adopting Findings C1 through C6, and the facts supporting these findings as set forth in the staff report, subject to the conditions of approval 1-7 as listed in the staff report.

Respectfully submitted,



Karen Melby, AICP
Development Services Manager



Ian Crittenden
Senior Planner

CASE NUMBER: PCN16041

REQUESTED ACTION(S): Approval of a Conditional Use Permit request to allow for a car wash and vacuum stations

PROPERTY OWNER: Castles LLC

APPLICANT: Miles Construction

LOCATION: 4600 Wedekind Road

PARCEL SIZE: Approximately 1.61 acres

EXISTING ZONING: PO (Professional Office)

EXISTING LAND USE: OP (Office Professional)

WARD INFORMATION: Ward 2 – Ed Lawson

APPLICABLE REGULATIONS: SMC 20.05.08

BACKGROUND

This site is located on the northeast corner of McCarran Boulevard and Wedekind Road. The site is vacant.

This site has PO (Professional Office) zoning and C (Commercial) Comprehensive Plan Land Use designation.

A request for rezoning (from R1-15 to C-1) and Master Plan Amendment (from LDR to GC) was denied in 2004 (PCN03058). A subsequent request for rezoning (from R1-15 to PO) and Master Plan Amendment (from LDR to OP) was approved in 2006 (PCN06078). The recent Comprehensive Plan approval absorbed the OP land use into the C land use.

ANALYSIS

A car wash use requires a Conditional Use Permit (CUP) in the PO (Professional Office) zoning district. The requirement for a CUP is due in part to the high turnover nature of the traffic it generates. Uses permitted in the PO zoning district typically generate lower traffic volumes, though not in all cases.

The subject site has remained vacant to this point in large part due to access issues. The site is located on the northeast corner of McCarran Boulevard and Wedekind Road. The high traffic volume on McCarran makes this location desirable for businesses that require high turnover (such as gas stations or car washes). However, Nevada Department of Transportation (NDOT) controls McCarran Boulevard as State Route 659, and has restricted ingress and egress from this property to Wedekind Road.

A traffic study was provided. A copy of the executive summary is attached to this staff report. If a copy of the full report is desired staff will provide it upon request.

The originally submitted plans shows both ingress and egress for the site from McCarran Boulevard. In the NDOT response to the City's request for comment for this case, NDOT staff stated that:

"After reviewing the traffic study, the proposed driveway on N. McCarran Blvd does not appear to mitigate the potential traffic conflict. The property has viable access on a lower volume and lower speed facility. At this time, NDOT does not support the proposed driveway."

The applicant has continued to work with NDOT in hopes of creating a design that would allow access to the site from McCarran Boulevard. As of Friday November 4, 2016 staff received an email from Jae Pullen, NDOT District II Traffic Engineer that indicated that:

"After discussions with the District Engineer, he will support a right-in only driveway under the following conditions:

- 1) The deceleration lane is designed at the acceptance of the district traffic office.

- 2) Provide design deviations letters for each instance that does not meet current standards (part of the permit application).
- 3) This design will eliminate the existing inadequately short acceleration lane. The property owner's driveway would need to be reconstructed on the west side.
- 4) Developer would be required to notify the property owner (church) regarding the proposed driveway modification and provide NDOT with a written confirmation letter that the property owner was notified."

The City of Sparks has no ability to enforce the conditions that NDOT has indicated will be required in order for the site access from McCarran, however Condition 2 requires NDOT approval of the McCarran Boulevard access. If the applicant is not able to secure approval of the McCarran Boulevard access from NDOT and as a result the site is substantially redesigned the applicant will have to resubmit for an amendment to this Conditional Use Permit.

The submitted site plan and design meets the design standards of the Zoning Code. The submitted landscape plan is also in compliance with City standards.

CONDITIONAL USE PERMIT:

FINDING C1:

The proposal, as submitted and conditioned, is in compliance with the Comprehensive Plan.

The land use designation for this site is OP (Office Professional). The use of the site as a car wash is in compliance with the Master Plan.

The Land Use Plan Goals and Policies in the 2016 Comprehensive Plan update that are relevant to this proposal include:

Goal MG1: Support economic vitality by providing a non-residential land use base.

Goal MG4: Facilitate infill and redevelopment

The use of the site as a car wash provides a commercial use that is complementary to the commercial, office, and residential uses in the area.

FINDING C2:

The application, as submitted and conditioned, is compatible with the existing or permitted uses of adjacent properties.

The application, as submitted and conditioned, is compatible with the existing uses of the adjacent properties, which are as follows:

Direction	SURROUNDING LAND USES	ZONING
North:	PF (Public Facility)	PF (Public Facility)
East:	LDR (Low Density Residential)	PO (Professional Office)
South:	LDR (Low Density Residential)	MF2 (Multi-Family)
West:	PF (Public Facility)	PF (Public Facility)

The proposed development of this site as a car wash is compatible with the adjacent properties.

FINDING C3:

The potential impairment of natural resources and the total population which available natural resources will support without unreasonable impairment has been considered.

This site is vacant but appears to have been graded repeatedly. The development of this site will not impact the ability of the available natural resources to support the total population and would do so without unreasonable impairment.

FINDING C4:

The availability of and need for affordable housing in the community, including affordable housing that is accessible to persons with disabilities, has been considered.

The site is designated for development as professional offices. Its development as a car wash will not impact the availability and need for affordable housing in the community, including affordable housing that is accessible to persons with disabilities.

FINDING C5:

The application, as submitted and conditioned, will address identified impacts.

A traffic analysis was submitted. The impacts of the traffic and how they will be addressed are contained therein. The submitted site plan contemplates a right in only site access from McCarran Boulevard. In an email from Jae Pullen (NDOT), dated 11/7/2016, he indicated that the right-in only driveway would be supported if it met with certain conditions. That email is attached to this staff report and are referenced in the analysis portion of this staff report. Staff feel this is sufficient to recommend approval of this Conditional Use Permit.

The carwash is estimated to have a water demand of 8.48 AFY (Acre Feet per Year). The applicant will have to secure sufficient water rights from Truckee Meadows Water Authority before building permits will be issued.

The site has an estimated sewer demand of 2,760 GPD (Gallons Per Day). Demonstration of capacity for this sewer demand will need to be provided prior to the issuance of a building permit.

Finding C6:

Public notice was given and a public hearing held per the requirements of the Sparks Municipal Code and the Nevada Revised Statutes.

Public notice was given. The Planning Commission meeting functions as the public hearing per the requirements of Nevada Revised Statutes (NRS) and Sparks Municipal Code. If this project is continued to a date certain then NRS does not require re-noticing.

Conditions of Approval
PCN16041 – Conditional Use Permit
4600 Wedekind Road

1. APPROVAL:

THIS CONDITIONAL USE PERMIT IS APPROVED AS SUBMITTED AND CONDITIONED. ANY SUBSTANTIAL CHANGES TO THE SITE PLAN OR USE SHALL REQUIRE REVIEW AND AMENDMENT OF THIS CONDITIONAL USE PERMIT.

2. APPROVAL OF MCCARRAN ACCESS:

THE SITE PLAN ASSOCIATED WITH THIS CONDITIONAL USE PERMIT IS APPROVED AS SUBMITTED. THE ENTRANCE TO THE SITE FROM MCCARRAN BOULEVARD SHALL BE TO THE APPROVAL OF THE NEVADA DEPARTMENT OF TRANSPORTATION DISTRICT ENGINEER. ALL CONDITIONS OF APPROVAL FOR THIS ENTRANCE SHALL BE ENFORCED BY THE NEVADA DEPARTMENT OF TRANSPORTATION.

3. EXPIRATION DATE:

THE CONDITIONAL USE PERMIT SHALL COMPLY WITH SPARKS MUNICIPAL CODE 20.05.08.

4. LANDSCAPING:

THE DEVELOPER SHALL SUBMIT A LANDSCAPING & IRRIGATION PLAN FOR THE SITE IN CONFORMANCE WITH THE SPARKS MUNICIPAL CODE CHAPTER 20.04.006 FOR REVIEW AND APPROVAL BY THE ADMINISTRATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE PROJECT.

ALL LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PER THE APPROVED PLANS PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE BUILDING. THESE PLANS SHALL REFLECT THE REQUIREMENTS OF THE SPARKS MUNICIPAL CODE CHAPTER 20.04.006.

5. PROJECT CONTACT:

THE DEVELOPER SHALL DESIGNATE TO THE ADMINISTRATOR A PROJECT CONTACT PERSON RESPONSIBLE/AUTHORIZED TO CORRECT PROBLEMS REGARDING THE PROJECT ON A 24-HOUR/7-DAY A WEEK BASIS. THE DEVELOPER SHALL DESIGNATE THE PROJECT CONTACT PERSON TO THE ADMINISTRATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE PROJECT.

6. CONSTRUCTION HOURS:

CONSTRUCTION HOURS SHALL BE LIMITED TO 7AM-7PM MONDAY THROUGH FRIDAY AND 9AM-5PM SATURDAY. THERE SHALL BE NO CONSTRUCTION ON SUNDAY.

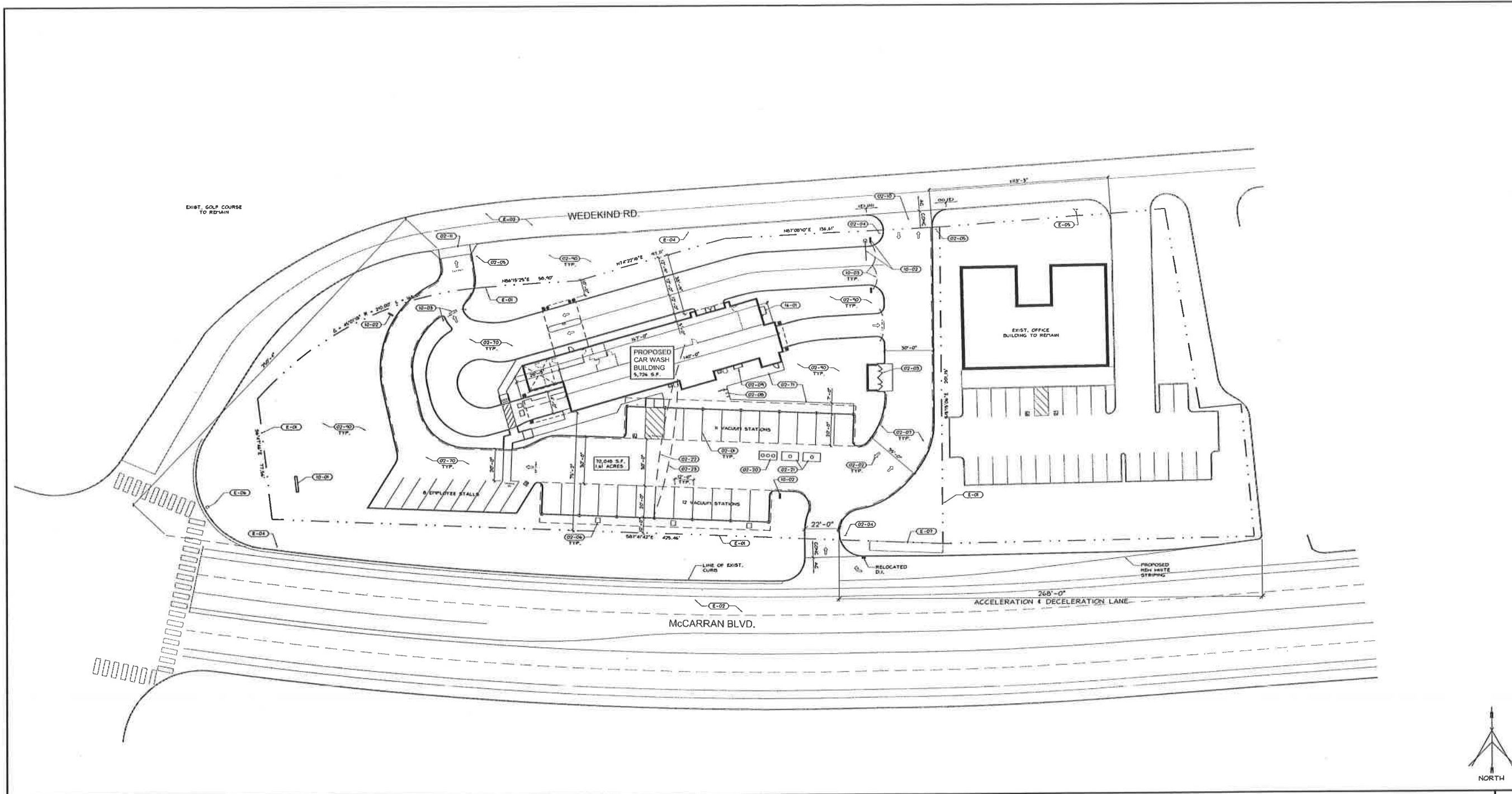
7. POSTING:
CONSTRUCTION HOURS AND THE 24 HOUR CONTACT INFORMATION SHALL BE
POSTED ON SITE DURING CONSTRUCTION OF THE PROJECT.

Proposed Surf Thru Car Wash

Legend

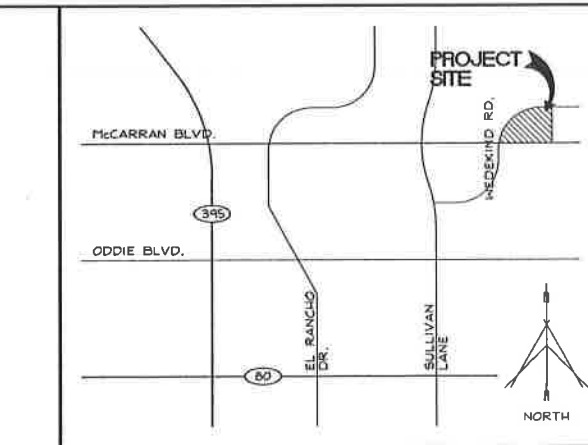
 Proposed Surf Thru Car Wash





PROPOSED SITE PLAN

SCALE: 1"=30'-0" 3



20 VICINITY MAP SCALE: N.T.S. 16

ADDRESS:
NORTHWEST CORNER OF McCARRAN BLVD. & WEVEKIND AVE.
SPARKS, NEVADA

SITE INFORMATION:
PARCEL NUMBER: 027-041-03
LAND AREA: 1.41 ACRES (70,048 S.F.)
ZONING: COMMERCIAL MIXED-USE
CURRENT USE: VACANT LOT
PROPOSED USE: CAR WASH

PROPOSED BUILDING AREA:
CAR WASH BLDG.: 5,726 S.F.
VACUUM CANOPY: 8,158 S.F.

LOT COVERAGE: 8.17% (5,726 S.F. / 70,048 S.F. x 100)

BICYCLE PARKING:
PROVIDED: 5

VEHICLE PARKING:
REQUIRED: 1 STALL PER 1,500 S.F. (5,726 / 1,500 = 4)
PROVIDED: 8 EMPLOYEE PARKING STALLS
(1 VAN ACCESSIBLE STALL PROVIDED PER CBC TABLE 11B-6)
27 COVERED VACUUM STATIONS
(1 VAN ACCESSIBLE STALL PROVIDED PER CBC TABLE 11B-6)

12 SITE INFORMATION 5

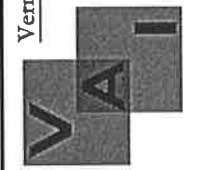
- | | |
|---|--|
| <ul style="list-style-type: none"> (E-01) EXIST. PROPERTY LINE TO REMAIN. (E-02) EXIST. AC PAVING TO REMAIN. (E-03) EXIST. DRAIN INLET TO REMAIN. (E-04) EXIST. SIGN TO REMAIN. (E-05) EXIST. FIRE HYDRANT TO REMAIN. (E-06) EXIST. STREET LIGHT TO REMAIN. (E-07) EXIST. CONC. SLAB TO REMAIN. (02-01) PARKING LOT STRIPING PER CITY STANDARDS. (02-02) DIRECTIONAL ARROW STRIPING PER CITY STANDARDS. (02-03) TRASH ENCLOSURE LOCATION, SEE 4/A103. (02-04) "UNAUTHORIZED VEHICLE" SIGNAGE, SEE 13/A102. (02-05) INSTALL 30" STATE STANDARD "STOP" SIGN. (02-06) NEW 3'-0"x3'-0" CONC. PAD FOR TRASH CAN. (02-07) PAINT CURB RED w/ WHITE "NO PARKING FIRE LANE" LETTERS @ MAX. 25' APART. (SHOWN DASHED) (02-08) PROVIDE (3) 1-LOOP BIKE RACK, "ULINE #H-2842". | <ul style="list-style-type: none"> (02-09) 4x6 BENCH - "KEystone RIDGE DESIGNS, READING SERIES RE26, NANTUCKET BLUE". (02-10) NEW 30'-0" WIDE STREET APPROACH. (02-11) NEW 20'-0" WIDE DRIVE APPROACH (EXIT ONLY). (02-20) 1,500 GAL. CAPACITY RECLAIM TANKS BELOW GRADE. (02-21) 1,500 GAL CAPACITY SAND/OIL INTERCEPTOR BELOW GRADE. (02-22) (2) 2" CONDUIT w/ LONG SWEEP ELBOWS FOR AIR LINES & CAMERA/MUSIC. (02-23) (2) 6" DIA. PVC VACUUM LINE - PROVIDE 6" DIA. PVC CLEAN OUT IN DRIVENWAY. (02-70) NEW CONC. PAVING. - 6" CONC. w/ #3 @ 18" O.C. EA. WAY. (02-71) NEW CONC. SIDEWALK. (02-90) NEW LANDSCAPING. (10-01) NEW MONUMENT SIGN. (10-02) NEW CAR WASH SIGN, BY SEPARATE REVIEW & PERMIT. (10-03) NEW CHAIN & BOLLARD PAINTED SAFETY YELLOW - PROVIDE EMERGENCY BREAKAWAY LOCK @ EA. CHAIN. (16-01) ELECTRICAL MAIN PANEL. |
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KEYNOTES 4

NO.	DATE	REVISION

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Fresno, California 93720
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Fax: 559.432.6745



SURF THRU CAR WASH
McCARRAN BLVD. & WEVEKIND AVE.
SPARKS, NEVADA

PROPOSED SITE PLAN

ISSUE DATE:	7-19-16
REV. DATE:	
PROJECT NO.:	16001.4
DRAWN BY:	NL
SHEET:	

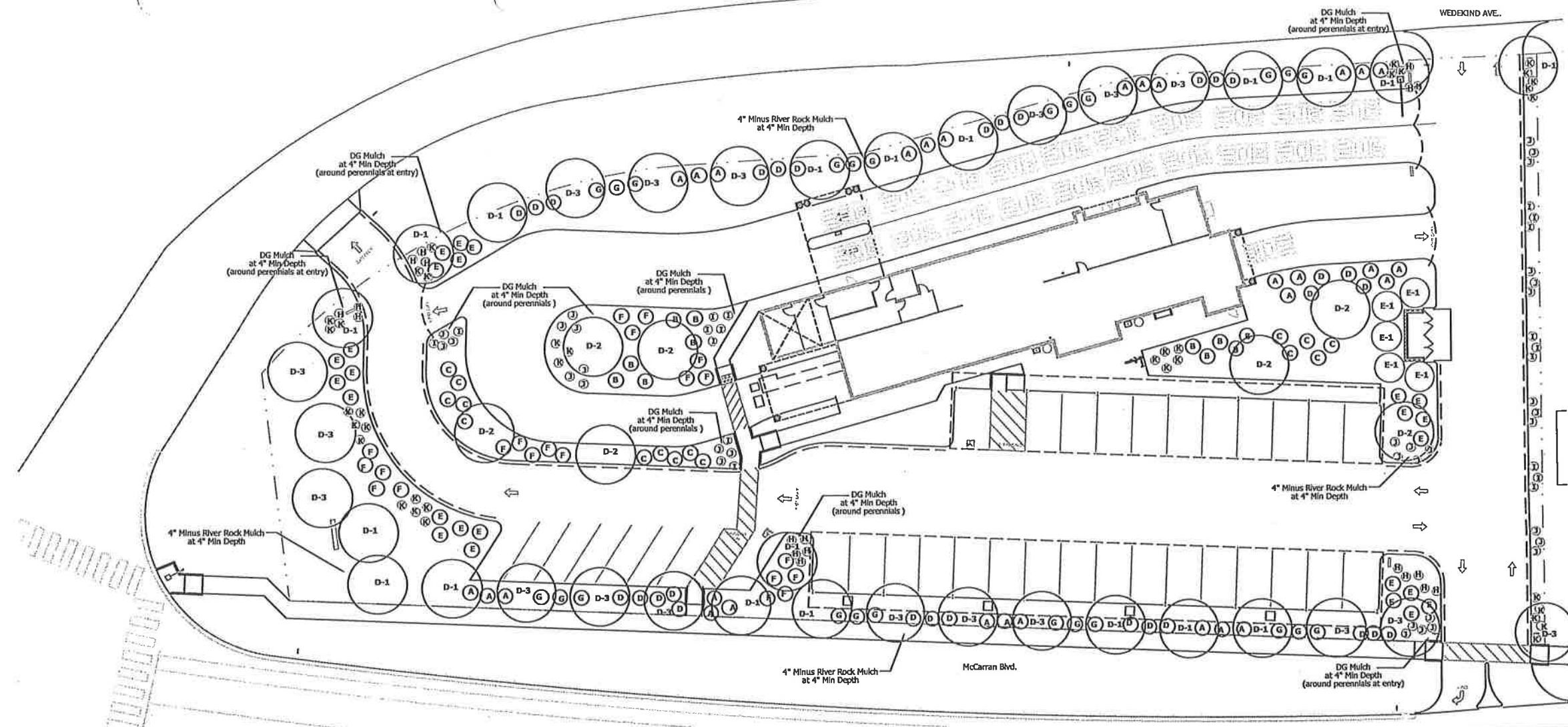
A100

SURF THRU
NW CORNER MCCARRAN & WEDEKIND
SPARKS, NEVADA

moana nursery
 1100 WEST MOANA LANE
 RENO, NEVADA 89509
 TEL: (775) 825-6622 x 107
 NV CONTRACTORS LICENSE: 5379 A, S, E

0824-016
 24-AUG-2016
 1" = 20' - 0"

FINAL
 PLANTING PLAN
 L-1



GENERAL DESIGN & CONSTRUCTION NOTES

- This Design Package May Include Multiple Drawings, Details, Schedules, Calculations And Notes That Are Linked Together And Incorporated Within One Another By Reference. In The Event Of A Discrepancy Between Quantities Identified On The Drawings And Those Listed In The Schedules, The Quantities Listed On The Schedule Shall Prevail - Subject To Compliance With Jurisdictional Requirements. In The Event Of A Discrepancy Between These Drawings, Details, Schedules, Calculations And Notes, And The Requirements Of Jurisdictional Authorities, The Requirements Of Jurisdictional Authorities Shall Prevail.
- This Landscape Design Is Diagrammatic And Utilizes Base Information, Obtained From Other Sources, That Has Not Been Verified For Accuracy. By Commencing Work, The Contractor Accepts All Site Conditions, The Responsibility For Public Safety At The Site, And The Responsibility For Protecting Existing Facilities That May Or May Not Be Identified On This Drawing. The Contractor Shall Be Responsible For Making Any Field Adjustments As May Be Required To Comply With Existing Conditions And Coordinate With Other Trades.
- The Contractor Shall Verify All Site And Utility Service Conditions Prior To Commencing Work, Be Responsible For Securing All Permits Necessary For Construction, And Ensure That All Requirements Of Jurisdictional Authorities Are Met During Construction. The Contractor Shall Contact The Underground Utility Locating Service (1-800-227-2600) A Minimum Of Two Days Prior To Commencing Work In Order To Have Any Utility Lines That Could Be Impacted By The Work Identified And Located In The Field.
- All Materials And Products Shall Be Suitable For Use In Northern Nevada And All Work Shall Be Completed According To Standard Industry Practices Unless Otherwise Specified. The Contractor Shall Not Install Aspects Of The Landscape Work As Designed When Actual Field Conditions Present Obstacles Or Discrepancies That May Have Been Unknown At The Time This Design Was Prepared. The Contractor Shall Replace All Materials And Repair All Work That Is Damaged And/Or Rejected By The Landscape Architect Or Jurisdictional Authorities Without Additional Compensation.
- The Contractor Shall Maintain A Set Of These Drawings At The Project Site At All Times During Construction. The Contractor Shall Also Record Design Changes On A Reproducible Base That Will Be Turned Over To The Owner As An "As Built" Drawing Upon Completion Of The Work. The As Built Drawings Shall Include The Actual Locations And Quantities Of All Landscape Components As May Be Appropriate, Along With A List Of Any Substitutions Approved And Made.
- Upon Completion Of The Work, The Contractor Shall Clean The Project Site, Remove Any Excess Materials Or Project Debris, And Legally Dispose Of The Same. The Contractor Shall Maintain The Landscape For A Period Of Not Less Than 30 Days From The Date Of Acceptance By The Owner, And Shall Guarantee All Landscape Components And Materials For One Year From That Same Date. Warranties From Manufacturers Are A Supplement To This Guarantee And Not A Replacement For It. All Repairs And Replacements During The Maintenance And Warranty Periods Shall Be Promptly Made By The Contractor Without Additional Compensation.

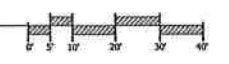
PLANT MATERIAL SCHEDULE

EVERGREEN TREES					
QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
5	E-1	Juniperus scopulorum 'Witchita Blue'	Witchita Blue Juniper	6' - HT	As Shown
DECIDUOUS TREES					
QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
19	D-1	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	2.0" - CAL	As Shown
7	D-2	Malus 'Spring Snow'	Spring Snow Crabapple	1.0" - CAL	As Shown
18	D-3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.0" - CAL	As Shown
EVERGREEN & DECIDUOUS SHRUBS / GRASSES					
QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
30	A	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	# 5 - CONT	As Shown
11	B	Cornus stolonifera	Redtwig Dogwood	# 5 - CONT	As Shown
15	C	Hibiscus syriacus 'Red Heart'	Red Heart Rose Of Sharon	# 5 - CONT	As Shown
30	D	Pinus mugo	Mugo Pine	# 5 - CONT	As Shown
25	E	Rosa meldrifora 'Coral'	Coral Drift Rose	# 5 - CONT	As Shown
21	F	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	# 5 - CONT	As Shown
24	G	Spiraea x cinerea 'Grefshelm'	Grefshelm Spiraea	# 5 - CONT	As Shown
GROUNDCOVERS & PERENNIAL PLANTS					
QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
19	H	Gallardia 'Sun Devil'	Sun Devil Blanket Flower	# 1 - CONT	As Shown
18	I	Heliopsis spp.	Red Rock Rose	# 1 - CONT	As Shown
34	J	Iberis sempervirens	Candy Tuft	# 1 - CONT	As Shown
37	K	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	# 1 - CONT	As Shown
N/A		ANNUAL PLANTS	Determined By Others		As Shown
N/A		TURFGRASS SOD	Bluegrass & Ryegrass Blend		As Shown

NOTE: Quantities Of Each Species Identified Above Under Ornamental Plants And Accent Plants May Be Field Adjusted To Suit Prevailing Conditions At The Time Of Installation. Overall Quantities Will Be Maintained. Moana Nursery Reserves The Right To Substitute Plant Material Subject To Availability

LANDSCAPING & PLANTING NOTES

- The Contractor Shall Be Responsible For Establishing The Field Layout Of Key Project Design Components For Approval Of The Landscape Architect Prior To Commencing Work, And As Necessary Throughout Construction. This Design Assumes That All Grades Will Be Set By The Contractor At The Final Finish Grade Minus Four Inches (FG-4") To Allow For The Placement Of Landscape Materials As Indicated. The Contractor Shall Complete Final Grading As Necessary Throughout The Site To Provide Positive Drainage And Smooth Transitions As Required To Accommodate The Landscape Design And Components Indicated On These Drawings.
- If Requested By The Landscape Architect, The Contractor Shall Submit Soil Samples From Turfgrass And Planting Bed Areas To An Approved Testing Lab For Analysis And Recommendations For Improvement. If Soil Improvements Are Required, The Contractor Shall Follow The Recommendations Of The Lab For Amending The Soil And Shall Do So Prior To Installing The Plant Materials Specified Herein.
- All Plants Shall Be Of The Species, Variety And Size Specified In The Plant Material Schedule And As Supplied By Moana Nursery (OAE). Substitutions Of Plant Materials May Be Permitted Subject To The Approval Of The Landscape Architect Prior To Installation. Plant Materials Substituted Without Prior Approval From The Landscape Architect May Be Rejected At The Contractors Expense. All Plants Used Shall Meet Or Exceed The Requirements Established In The Latest Edition Of The ANSI Z60.1 American Standard For Nursery Stock.
- Install All Plant Materials In Compliance With Standard Horticultural Practices, Subject To The Results Of Soils Testing (If Required) And Actual Field Conditions. Install All Landscape Products In Accordance With The Manufacturers Recommendations For Use In Northern Nevada. Do Not Install Plant Materials In Muddy Or Frozen Conditions, Without Available Water, Or When Adequate Post Installation Maintenance Can Not Be Provided. Plants That Are Severely Damaged During Shipping, Handling, Or Installation Must Be Removed And Replaced. After Installation, Prune Trees And Shrubs As Necessary To Remove Dead Or Damaged Branches, And To Ensure The Overall Health And Vigor Of The Plants.
- If Turfgrass Sod Is Used It Shall Be A Bluegrass Blend Obtained From Local Sources Unless Otherwise Specified. Unless Otherwise Specified, All Turfgrass Sod Areas Shall Receive A Three Inch Layer Of Rolled, Compacted And Fine Graded Topsoil Prior To Installing The Sod. Install The Sod In A Running Bond Pattern Throughout The Areas Indicated On The Drawings. Do Not Install The Sod In Muddy Or Frozen Conditions Or In The Absence Of A Working Irrigation System. Individual Pieces Of Sod Shall Not Be Less Than One Square Foot In Size When Installed And All Joints Between Individual Pieces Of Sod Shall Be Snug Fit Without Gaps.
- After Installing The Plant Materials, All Planter Bed Areas Shall Receive A Four Inch Deep Layer Of Mulch As Specified Herein. If A Weed Barrier Fabric Is Used, Provide A Water Permeable Non-Woven Fabric And Install It Securely With Fabric Staples Under The Mulch. If Weed Barrier Fabric Is Not Used, The Contractor Shall Provide An Initial Application Of A Pre-Emergent Herbicide Upon Completion Of The Mulch Installation.

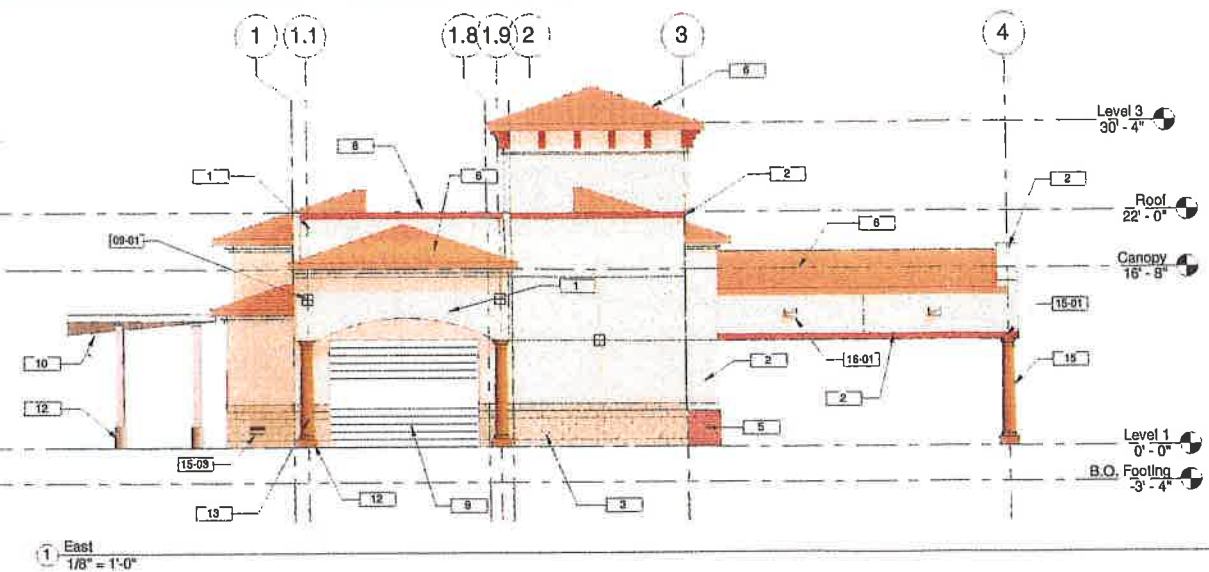
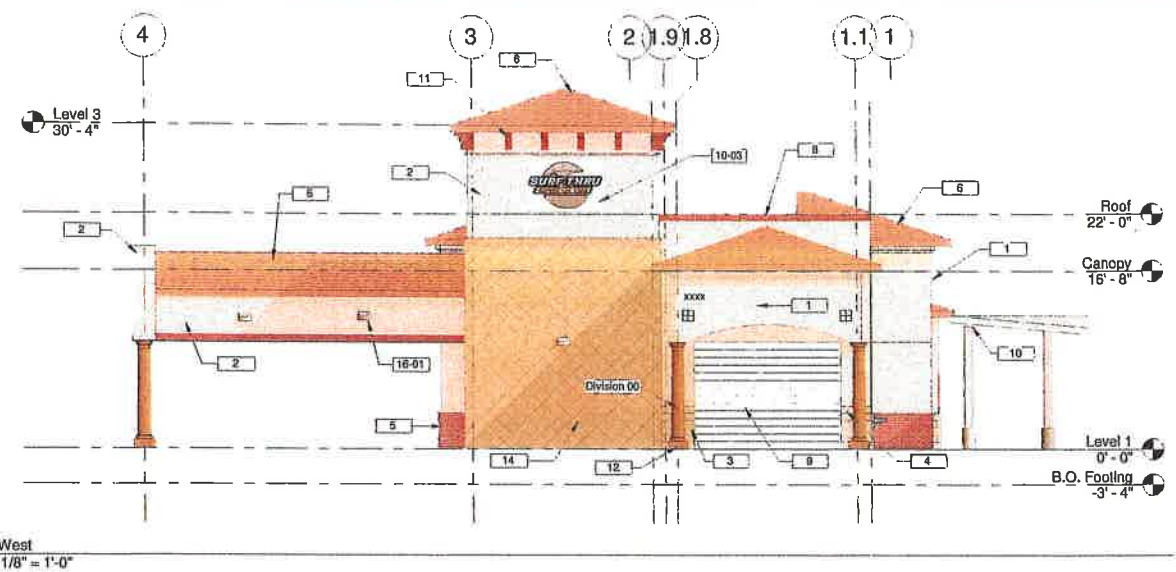


Revision Schedule	
Revision Number	Revision Date

SURFTHRU
Car Wash Sparks Nv
Elevations

Project number	
Date	8-24-16
Drawn by	JPC
Checked by	Checker

A4
Scale As Indicated

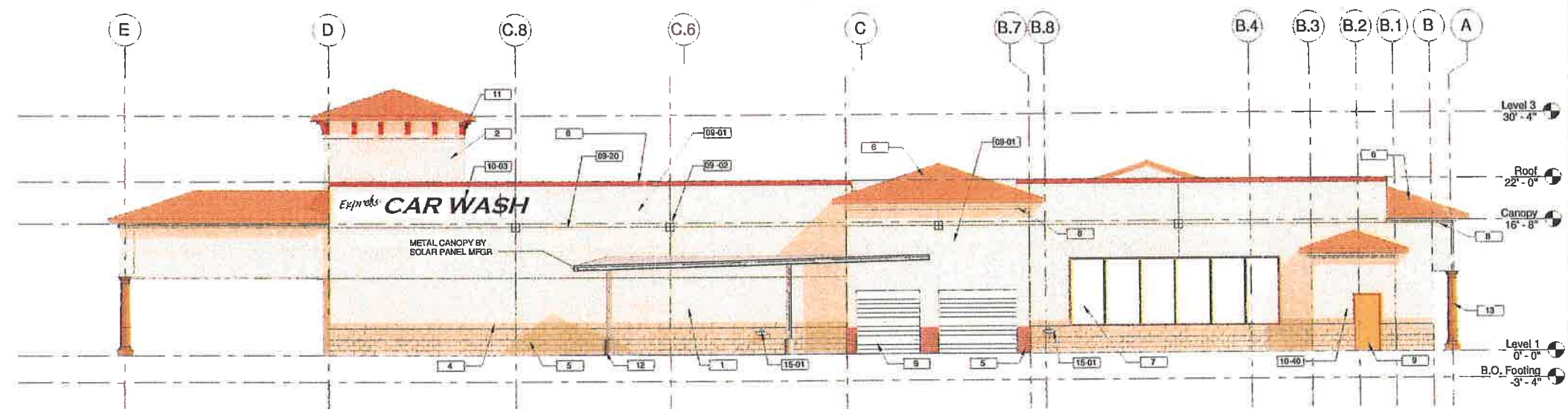


05-01	RAIN GUTTER & DOWNSPOUT, PAINT TO MATCH ADJACENT COLOR
05-02	16" X 16" STAINLESS STEEL LOUVER
05-03	8" X 16" STAINLESS STEEL LOUVER
09-01	PINEAPPLE GROVE - 12SM-053
09-02	PINEAPPLE GROVE - 18SM-112
09-03	CONCRETE DESIGN INC - CW18
09-20	FRY REVEL PCS-75-50
10-01	15" HIGH ADDRESS POSTING ON CONTRASTING BACKGROUND PER CITY STANDARDS
10-02	5" SQ SYMBOL OF ACCESSIBILITY MOUNTED 60" TO CENTER OF SIGN
10-03	SIGNAGE TO BE UNDER SEPARATE REVIEW & PERMIT
10-04	FIRE EXTINGUISHER SIGNAGE TO READ "FIRE EXTINGUISHER INSIDE"
10-05	KNOX BOX MOUNTED 7'-0" AFF
15-01	HAND WASH SINK - SEE PLUMBING DRAWINGS
16-01	LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS

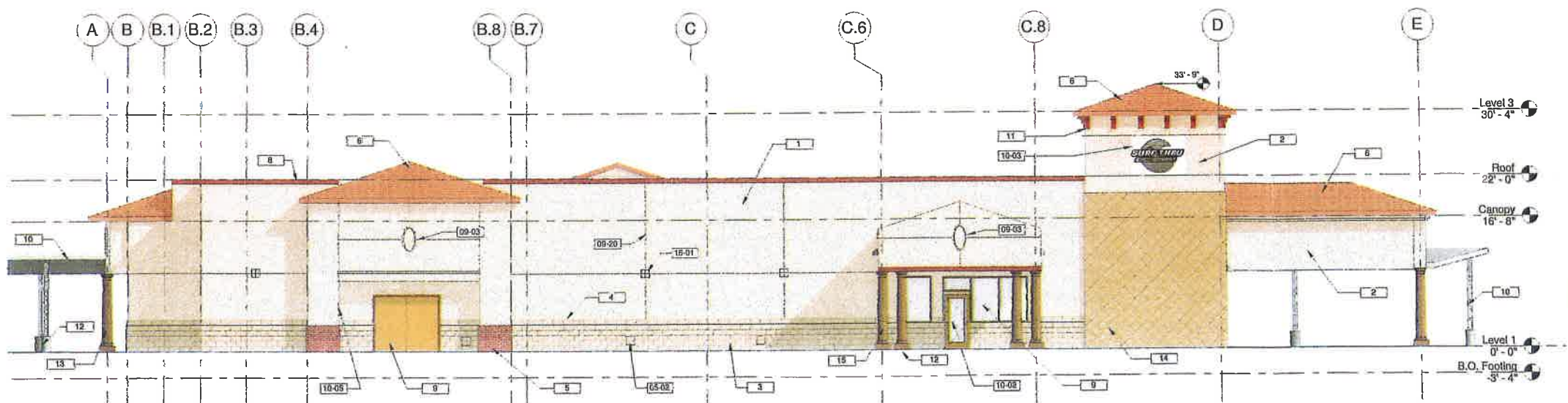
6 Key Notes
1/4" = 1'-0"

MATERIAL	COLOR
1 7/8" EXTERIOR CEMENT PLASTER ELASTOMERIC TOP COAT - FIELD	SHERWIN WILLIAMS #SW6113 INTERACTIVE CREAM
2 7/8" EXTERIOR CEMENT PLASTER ELASTOMERIC TOP COAT - ACCENT	SHERWIN WILLIAMS #SW6115 TOTALLY TAN
3 SPLIT-FACED BLOCK	BASALITE #101 SPLIT FACE
4 SMOOTH-FACED BLOCK	BASALITE #101 PRECISION
5 THIN BRICK VENEER	ARTO 2 X 8 STANDARD, COLOR "COTTO DARK" GROUT: CUSTOM BLDG PRODUCTS #185 EARTH
6 CONCRETE TILE ROOF	EAGLE ROOFING PRODUCTS #3702 CALABAR BLEND
7 STOREFRONT & GLAZING	DARK BRONZE ANODIZED FRAMES & DUAL CLEAR GLAZING
8 PARAPET CAP	MATCH ADJACENT COLOR
9 MISC METALS	MATCH ADJACENT COLOR
10 METAL CANOPIES	PAINT TO MATCH 1
11 CORBELS	SHERWIN WILLIAMS #SW6099 FRENCH ROAST
12 CONCRETE COLUMN BASE	SEALED CONCRETE
13 ARISTONE DESIGNS CT21-4 COLUMN	PAINT TO MATCH 2
14 TILE	BEDROSIANS "CREDDOSC" CARMEL, 20" x 20"
15 ARISTONE DESIGNS CT122-GFRG-SP (8" TALL) COLUMN	PAINT TO MATCH 2

5 Exterior Finish Schedule
1/4" = 1'-0"



2 South
1/8" = 1'-0"



3 North
1/8" = 1'-0"

SURF THRU CAR WASH – SPARKS NEVADA

Timeless Colors (1 of 3)



SW 6115
Totally Tan

Timeless Colors (1 of 3)



SW 6113
Interactive Cream

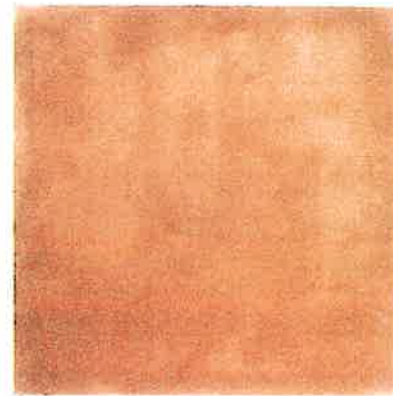
Reds (1 of 3)



SW 6069
French Roast



Eddie Tile
 BRAND: FREDDAGG COLLECTION: EDDIE
 SIZE: 20" x 20" (Square)
 COLOR: CARREL



Cotto Dark
1/115



3702 Calabar Blend

Profile: Capistrano

Description: *Medium Brown, Rust Blend, Yellow Streaks*

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0.18	0.88	15.00	20.00	0918-0063



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SURF THRU CAR WASH McCARRAN & WEDEKIND TRAFFIC ANALYSIS

EXECUTIVE SUMMARY

The proposed Surf Thru Car Wash will be located in the City of Sparks, Nevada. The project site is located in the northeast corner of the McCarran Boulevard/Wedekind Road intersection. The project site is currently undeveloped land. The purpose of this study is to address the project's impact upon the adjacent street network. The McCarran Boulevard/Wedekind Road intersection and the proposed project driveways have been identified for AM and PM peak hour intersection capacity analysis for the existing and existing plus project scenarios.

The proposed Surf Thru Car Wash will consist of the construction of a 5,726 square feet automated car wash building with vacuum stations. Project access will be provided from one proposed driveway on McCarran Boulevard and two proposed driveways on Wedekind Road. The Surf Thru Car Wash is anticipated to generate 810 average weekday trips with 0 trips occurring during the AM peak hour and 81 trips occurring during the PM peak hour.

Traffic generated by the proposed Surf Thru Car Wash will have some impact on the adjacent street network. The following recommendations are made to mitigate project traffic impacts.

It is recommended that any required signing, striping, and traffic control improvements comply with City of Sparks and Nevada Department of Transportation requirements.

It is recommended that the project driveway on McCarran Boulevard be designed to operate with right-in/right-out movements only and contain single ingress and egress lanes.

It is recommended that the west project driveway on Wedekind Road be designed to operate as a one-way egress only driveway and contain a single egress lane.

It is recommended that the east project driveway on Wedekind Road be designed to operate with full movements and contain single ingress and egress lanes.

It is recommended that intersection sight distance be reviewed with development of the driveway improvement plans and implemented in order to allow left and right turn egress movements at the project driveways on Wedekind Road.



STATE OF NEVADA
DEPARTMENT OF TRANSPORTATION

District II
310 Galletti Way
Sparks, Nevada 89431
(775) 834-8300 FAX (775) 834-8319

September 6, 2016

RUDY MALFABON, P.E., Director

BRIAN SANDOVAL
Governor

City of Sparks
Department of Planning & Community Development
1675 E Prater Way #107
Sparks, NV 89434

PCN16041
Surf Thru Car Wash
N. McCarran Blvd/Wedekind Road

Attention: Mr. Ian Crittenden, Senior Planner

Dear Mr. Crittenden:

I have reviewed the request to approve a Conditional Use Permit to allow for a car wash and vacuum stations on a site 1.61 acres in size in the Professional Office zoning district located at 4600 Wedekind Road, Sparks Nevada (APN: 027-041-03). I have the following comments:

1. Existing approaches are personal and not transferable with the sale of property. If the property changes ownership or use, the new property owner will need to apply for an encroachment permit for access to the state highway.
2. The Nevada Department of Transportation (NDOT) will require an occupancy permit for any work performed within the State's right-of-way. Please contact the Permit Office at (775) 834-8330 for more information regarding the occupancy permit.
3. Prior to any grading adjacent to the Nevada Department of Transportation right-of-way, a Drainage Report, including a grading plan, and a Drainage Form must be submitted to the Permit office. Please contact the Permit Office for more information.
4. All driveway accesses to the state highway system will be required to comply with the current *NDOT Access Management System and Standards, 1999 ed.*, at the time of application. There is no guarantee that past approved driveways will be approved today. The property owner is encouraged to coordinate with NDOT Permits and review proposed driveway(s) prior to submitting for a permit.
5. Solaegui Engineers' submitted traffic impact study, dated August 8, 2016, determined the proposed development will generate up to 810 total daily trips with 0 AM peak hour and 81 PM peak hour. Traffic study recommends a right-in/right-out driveway on N. McCarran Blvd; however, the proposed approach does not appear to mitigate the traffic concerns of this proposal:
 - State Route 659 (McCarran Blvd) as an Urban Principle Arterial- Other with a posted speed of 45 mph. "Private, direct access will only be permitted when the property has no other reasonable alternative access" (*NDOT Access Management Standards*, p.

13).

- NDOT access management spacing requirements are based on the 85th percentile speed and not the posted speed limit. Vehicle speeds are likely higher than the posted speed. By assuming an 85th percentile speed of 50 mph, the spacing between approaches increase from 350 feet to 450 feet.
- With approximately 625 feet on N. McCarran Blvd between the junction of Wedekind Road and the Church of Jesus Christ of Latter-day Saints' driveway, there appears to be inadequate space to construct a driveway and right-turn/deceleration lane.
- Restricting access along this corridor is also beneficial to bicyclists. Given that this section of roadway has a bike lane, how is the proposed driveway mitigating the additional traffic conflict points resulting in a driveway?
- Submitted plan sheets are not showing a right turn/deceleration lane as identified in the traffic study.
- For the intersection of N. McCarran Blvd and Wedekind Blvd, the study does not indicate the need for a dedicated right turn lane on the east approach. Based on access management standards, a right turn lane would be appropriate based on vehicle speed. Given the development's anticipated low traffic impact, the condition to install a right turn lane may not be rational and proportional to the project.

After reviewing the traffic study, the proposed driveway on N. McCarran Blvd does not appear to mitigate the potential traffic conflicts. The property has viable access on a lower volume and lower speed facility. At this time, NDOT does not support the proposed driveway.

6. Any proposed access deviating from the *NDOT Access Management Standards* should also include a compelling argument encouraging the access and a strong mitigation strategy. Engineering deviation letters of this nature should reference the applicable standard, indicate the proposed alternative with any mitigating features, indicate how the proposal meets the intent of the standard, and indicate why the proposal is reasonable and safe. The letter should also include how denying this deviation would place undue and exceptional hardship on the property owner. Engineering letters should be stamped by a Nevada licensed professional engineer. Request to deviate from NDOT standards and guidelines are subject to the approval of the District Engineer
7. Property owner shall be responsible into perpetuity for all maintenance of plants, shrubs and trees and related irrigation systems installed in the Right-of-Way under this permit. All shrubs and plant material placed within the Right-of-Way must be low profile. The shrub and plant height shall be two feet or lower from existing ground and shall be maintained to ensure adequate sight distance for the traveling public. All trees must have a four (4) inch caliper or less at maturity
8. Signs for advertising will not be allowed within NDOT right-of-way. Please refer to NRS 405.110 Unlawful advertising on or near highway or on bridge. Please ensure sign base, post and sign edge is outside of State right-of-way.
9. The state defers to municipal government for land use development decisions. Public

involvement for Development related improvements within the NDOT right-of-way should be considered during the municipal land use development public involvement process. Significant public improvements within the NDOT right-of-way developed after the municipal land use development public involvement process may require additional public involvement. It is the responsibility of the permit applicant to perform such additional public involvement. We would encourage such public involvement to be part of a municipal land use development process.

Thank you for the opportunity to review this development proposal. The Department reserves the right to incorporate further changes and/or comments as the design review advances. I look forward to working with you and your team, and completing a successful project. Please feel free to contact me at (775)834-8300, if you have any further questions or comments.

Sincerely,

DocuSigned by:
Jae Pullen
DC6D2FB6D946439...

9/8/2016

Jae Pullen, PE, PTOE
District II Engineering Services

cc: Thor Dyson, District Engineer
Jon Ericson, City Engineer
File

ds
TE

Crittenden, Ian

From: Pullen, Jae E <JPullen@dot.state.nv.us>
Sent: Thursday, November 03, 2016 2:18 PM
To: Robert Vermeltfoort; Crittenden, Ian
Cc: Smaltz, Tara M
Subject: Surf Thru Car Wash McCarran Blvd Access
Attachments: PCN16041.pdf

Importance: High

Robert,

After discussing with the City, it appears the City is requiring NDOT acceptance to the Site Plan access as a condition to approve. Unfortunately, as I mentioned in a past correspondence that NDOT does not guarantee an access permit based on preliminary designs. A letter from NDOT is not a valid guarantee that access will be granted. You must submit a permit application and a permit must be issued in order to be guaranteed access.

As mentioned in the first letter to the City (see attached), NDOT District II would not support the right-in/right-out driveway as proposed in the Site Plan. The encroachment permit has a formal appeals process. At times, the denial for access is overturned by the Director's Office. The developer may elect to move forward with this the appeals process.

Since this time, you have worked with our traffic office to modify the Site Plan to have a right-in only with an a deceleration lane. This plan will remove the existing acceleration lane for the church's driveway, so the property owner needs to be notified and given the opportunity to address the Planning Commission.

After discussions with the District Engineer, he will support a right-in only driveway under the following conditions:

- 1) The deceleration lane is designed at the acceptance of the district traffic office.
- 2) Provide design deviations letters for each instance that does not meet current standards (part of the permit application).
- 3) This design will eliminate the existing inadequately short acceleration lane. The property owner's driveway would need to be reconstructed on the west side.
- 4) Developer would be required to notify the property owner (church) regarding the proposed driveway modification and provide NDOT with a written confirmation letter that the property owner was notified.

Ian,

Since there is no reasonable way for NDOT to guarantee access without a permit application (finalized plans) and signed by the District Engineer. If the developer meets the items addressed above, the District Engineer will accept the right-in driveway. I know there are times when NDOT procedures does not match with the City's development process. Let me know if there is something we can do to assist.

Very Respectfully,

Jae Pullen, P.E., PTOE

Nevada Department of Transportation
District II Traffic Engineer

Engineering Services Manager

(775) 834-8300 (Main Office)
(775)-834-8330 (Permit Office)
jpullen@dot.state.nv.us

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REGIONAL TRANSPORTATION COMMISSION

Metropolitan Planning • Public Transportation & Operations • Engineering & Construction

Metropolitan Planning Organization of Washoe County, Nevada

September 6, 2016

FR: Chrono/PL 182-16

Mr. Ian Crittenden, Planner
 Planning and Community Services Department
 City of Sparks
 431 Prater Way
 Sparks, NV 89431

RE: PCN16041 (Surf Thru Car Wash)

Dear Mr. Crittenden,

The RTC has reviewed this request for a conditional use permit to allow for a car wash and vacuum stations on an approximately 1.6 acre site in the PO (Professional Office) zoning district. This project is located at 4600 Wedekind Road.

The 2035 Regional Transportation Plan (RTP) identifies McCarran Boulevard as an arterial with high-access control and Wedekind Road as a collector with low-access control. To maintain arterial capacity, the following RTP access management standards need to be adhered to:

Access Management Standards-Arterials ¹ and Collectors							
Access Management Class	Posted Speeds	Signals Per Mile and Spacing ²	Median Type	Left From Major Street? (Spacing from signal)	Left From Minor Street or Driveway?	Right Decel Lanes at Driveways?	Driveway Spacing ³
High Access Control	45-55 mph	2 or less Minimum spacing 2350 feet	Raised w/channelized turn pockets	Yes 750 ft. minimum	Only at signalized locations	Yes ⁴	250 ft./500 ft.

¹ On-street parking shall not be allowed on any new arterials. Elimination of existing on-street parking shall be considered a priority for major and minor arterials operating at or below the policy level of service.

² Minimum signal spacing is for planning purposes only; additional analysis must be made of proposed new signals in the context of planned signalized intersections, and other relevant factors impacting corridor level of service.

³ Minimum spacing from signalized intersections/spacing other driveways.

⁴ If there are more than 30 inbound, right-turn movements during the peak-hour.

Access Management Standards-Arterials ¹ and Collectors							
Access Management Class	Posted Speeds	Signals Per Mile and Spacing ²	Median Type	Left From Major Street? (Spacing from signal)	Left From Minor Street or Driveway?	Right Decel Lanes at Driveways?	Driveway Spacing ³
Low Access Control	35-40 mph	5 or less Minimum spacing 900 feet	Raised or painted w/turn pockets or undivided w/painted turn pockets or two-way, left-turn lane	Yes 350 ft. minimum	Yes	No	150 ft./200 ft.

- ¹ On-street parking shall not be allowed on any new arterials. Elimination of existing on-street parking shall be considered a priority for major and minor arterials operating at or below the policy level of service.
- ² Minimum signal spacing is for planning purposes only; additional analysis must be made of proposed new signals in the context of planned signalized intersections, and other relevant factors impacting corridor level of service.
- ³ Minimum spacing from signalized intersections/spacing other driveways.

The policy Level of Service (LOS) standard for McCarran Boulevard is LOS E and Wedekind Road is LOS D. Policy LOS for intersections shall be designed to provide a level of service consistent with maintaining the policy level of service of the intersecting corridor. This project should be required to meet all the conditions necessary to complete road improvements to maintain policy LOS standards.

The site plan submitted with the application shows access is proposed from one right in/out driveway on McCarran Boulevard and two driveways on Wedekind Road. The westerly driveway on Wedekind Road is proposed as an exit only and the east driveway with full movements.

As identified in the traffic report prepared by Solaegui Engineers, dated 8/8/2016, the McCarran Boulevard driveway is 375' east of Wedekind Road and 200' from the existing church driveway. With only 665' of frontage on McCarran Boulevard, a driveway on McCarran Boulevard cannot meet RTC's access standards and therefore, not recommended.

The driveways on Wedekind Road appear to meet access spacing, but the westerly exit only driveway is located on a curve and should be reviewed to ensure sight distances are met.

The RTP, the RTC Bicycle/Pedestrian Master Plan and the Nevada Department of Transportation Pedestrian Safety Action Plan, all indicate that new development and re-development will be encouraged to construct pedestrian and bicycle facilities, internal and/or adjacent to the development, within the regional road system. Also, these plans recommend that the applicant be required to design and construct any sidewalks along the frontage of the property in conformance with the stated ADA specifications.

Thank you for the opportunity to comment on this application. Please feel free to contact me at 332-0174 if you have any questions or comments.

Sincerely,



Rebecca Kapuler
Planner

RK/jm

Copies: Jon Ericson, City of Sparks Public Works
Daniel Doenges, Regional Transportation Commission
Julie Masterpool, Regional Transportation Commission
Tina Wu, Regional Transportation Commission
David Jickling, Regional Transportation Commission

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

September 6, 2016

Ian Crittenden, Planner
City of Sparks Planning Department
431 Prater Way
Sparks, NV 89431

RE: Surf Thru Car Wash; APN: 027-041-03
PCN16041, Administrative Review

Dear Mr. Crittenden;

The Washoe County Health District, Environmental Health Services Division (Division) Engineering has reviewed the above referenced project.

1. The proposed carwash is to be served by municipal water and sewer.
2. The WCHD has no objections to the approval of this Administrative Review as proposed.

If you have any questions regarding the foregoing, please contact Wes Rubio, Senior Environmental Health Specialist at wrubio@washoecounty.us regarding all Health District comments.

Sincerely,

Bob Sack, Division Director
Environmental Health Services Division
Washoe County Health District

BS:wr

cc: File - Washoe County Health District

ec: Miles Construction -- sreid@milesconst.com