

INDUSTRIAL/OFFICE CONDO ANTHEM COMMERCE
AVAILABLE FOR SALE PARK
4235 W OPPORTUNITY WY, STE 112
PHOENIX, AZ 85086

SALE PRICE
\$1,265,975.00
3,205 SF AVAILABLE



Contact Us:

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The information contained herein has been obtained from various sources. We have no reason to doubt its accuracy; however, J & J Commercial Properties, Inc. has not verified such information and makes no guarantee, warranty or representation about such information. The prospective buyer or lessee should independently verify all dimensions, specifications, floor plans, and all information prior to the lease or purchase of the property. All offerings are subject to prior sale, lease, or withdrawal from the market without prior notice.

July 9, 2025 12:08 PM



COMMERCIAL PROPERTIES INC.

Locally Owned, Globally Connected. CORFAC

TEMPE: 2323 W. University Drive, Tempe, AZ 85281 | 480.966.2301
SCOTTSDALE: 8777 N. Gainey Center Dr., Suite 245, Scottsdale, AZ 85258 | www.cpiaz.com

INDUSTRIAL/OFFICE CONDO AVAILABLE FOR SALE

Suite 112 Size 3,205 SF

Year Built 2007

Building Type Condo

Zoning CP/GCP

Frontage N Vision Way

Parking Ratio 2.25/1,000

SALE PRICE

\$1,265,975.00



Right off the I-17 Freeway



Building Signage



Currently Built-Out for Office Use



Easy Access to Diverse Amenities

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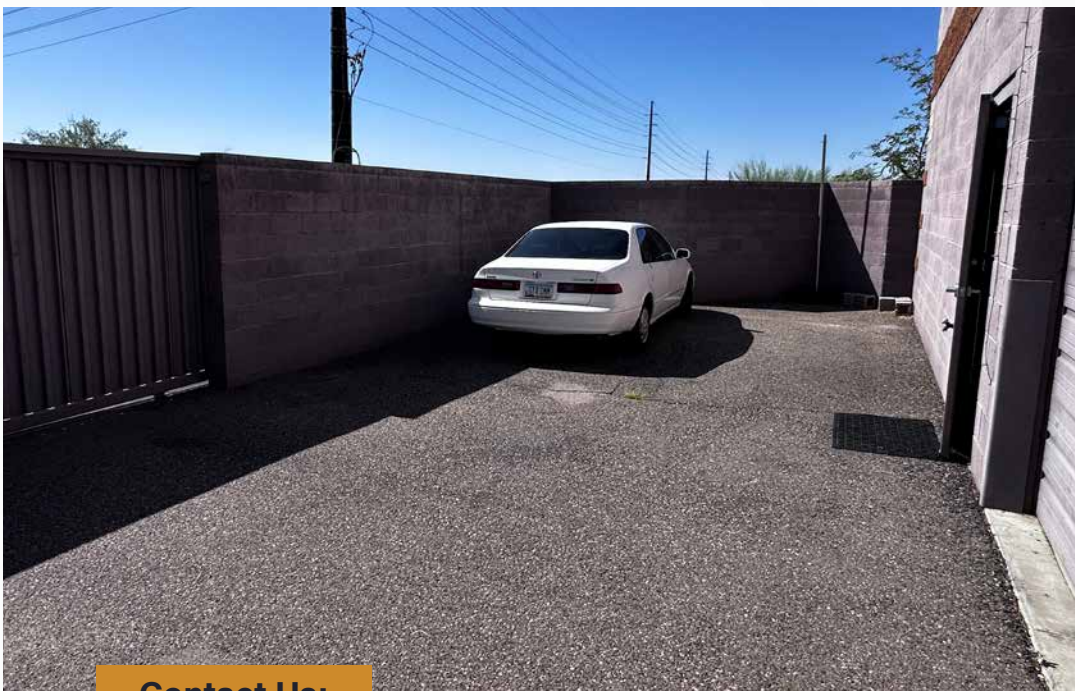
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AVAILABLE FOR SALE

SUITE 112

3,205 SF | \$1,265,975.00 (\$395 PSF)

- A/C Warehouse
- Roll Up Door
- Gated Storage Area



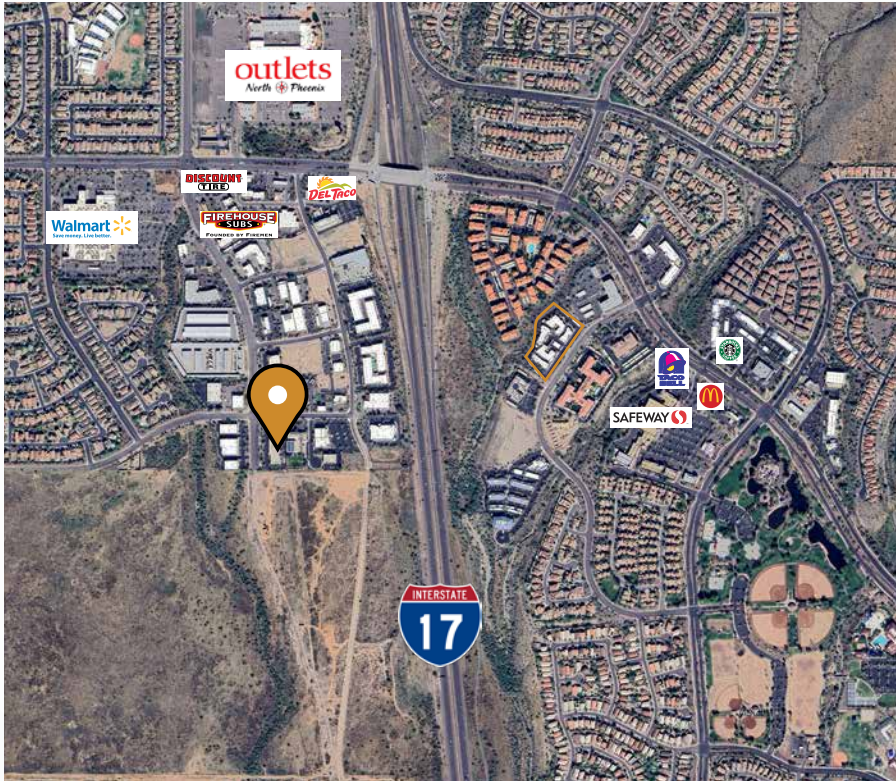
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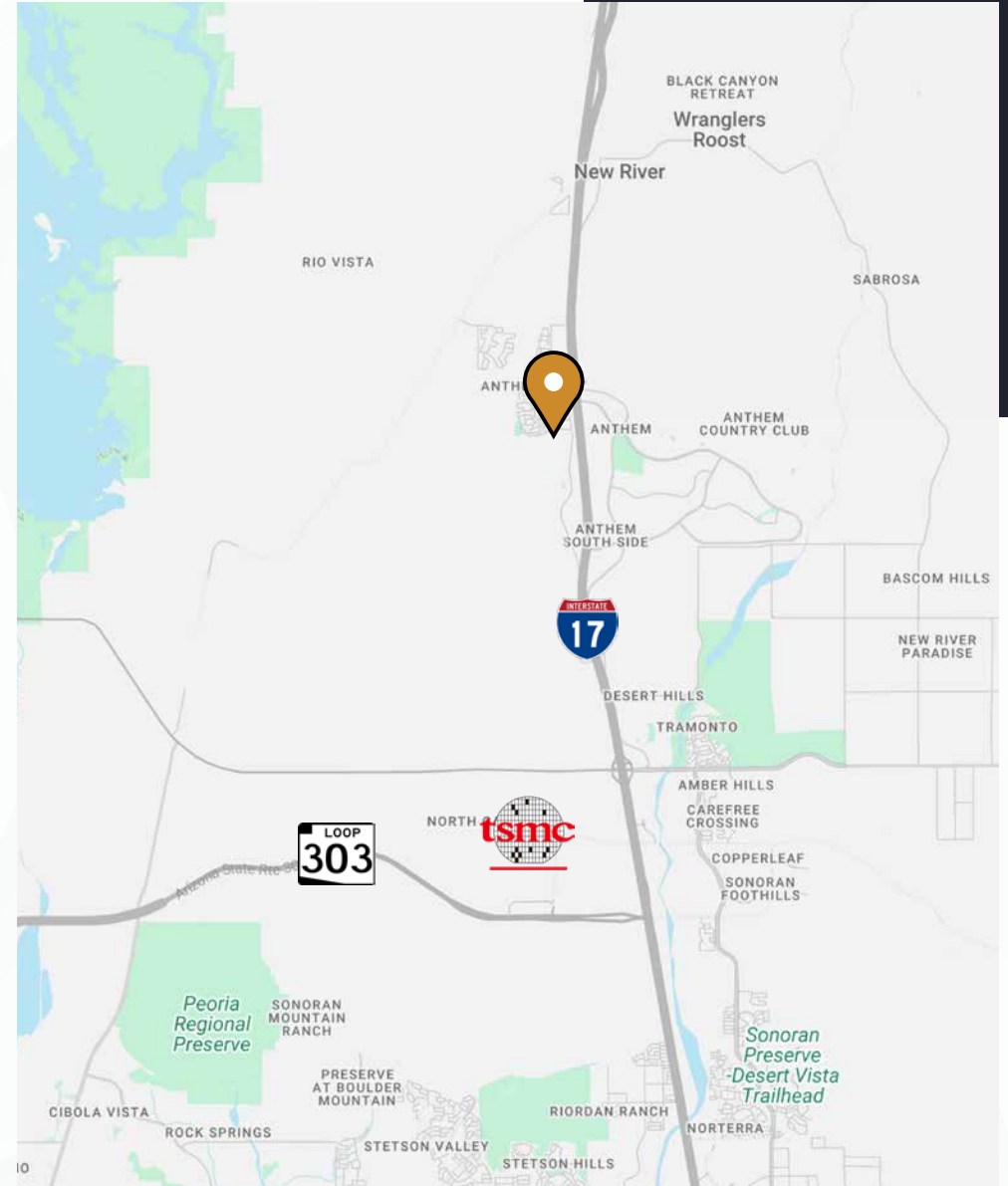
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LOCATION HIGHLIGHTS

- Frontage on N Vision Way
- Easy Access to I-17 Freeway
- 14 Minutes (9.5 miles) to TSMC Arizona Corp.
- 15 Minutes (14.8 miles) to Loop 101 Freeway
- 30 Minutes (32 miles) to Downtown Phoenix



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