

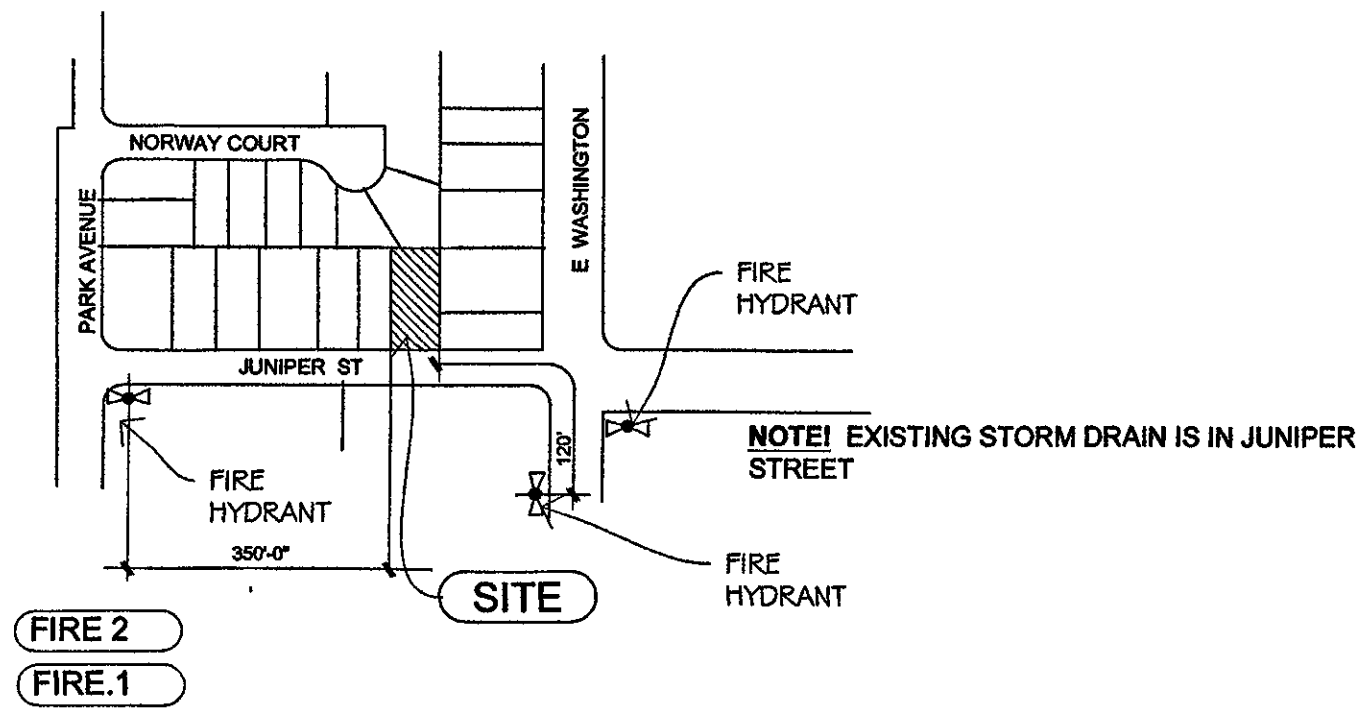
NOTE! FLOOR/CEILING ASSEMBLY TO BE 1-HOUR STC RATING OF +60 PER CAL. RESID. CODE AREA SEPERATION BTW. UNITS

NOTE! 4-SEPERATE RESIDENTIAL UNITS-SEPERATED BY A ONE-HOUR AREA SEPERATION @ WALLS & FLOORS PER CALIFORNIA RESIDENTIAL CODE. 2-2 UNIT DUPLEXES

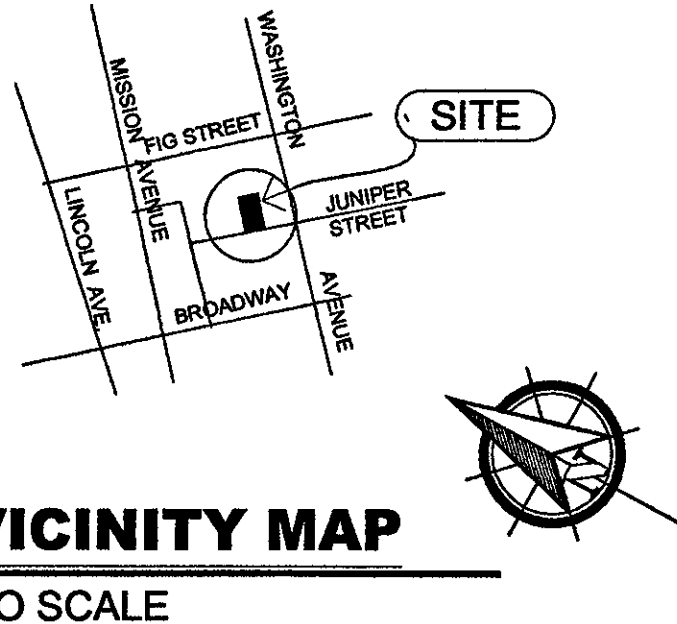
- 2 NOTE! THIS PROJECT & UNITS ARE TO BE IN COMPLIANCE WITH STATE DISABLED ACCESSIBILITY MANDATES.
- 3 NOTE! REQ'D FIRE SEPERATION AND THE REQUIRED WALL & OPENING PROTECTION TO BE PER CBC. TABLES 602 & 705.8
- 4 NOTE! DRAIN IMPERVIOUS SURFACES THRU ALL LANDSCAPING
- 5 NOTE! PARKING AREA IS TO BE SCREENED FROM NEIGHBORING PROPERTIES WITH FENCING OR A SOLID HEDGE
- 6 NOTE! ALL 2-DUPLEX UNITS TO HAVE SEPERATE WATER METERS, 4 SEP GAS METERS & 4 SEP ELECTRICAL METERS

LANDSCAPE USABLE
OPEN SPACE
2450 Sq Ft
1) 1610 (70 X 23)
2) 360 (7.5 X 24 X 2) 2nd FLR DECK
3) 480 (12 X 40)

EXISTING OVERHEAD UTILITY LINES
WIRE UNDERGROUNDING OR WAIVER FREE
PER UNDERGROUNDING ORDINANCE



FIRE HYDRANT LOCATION MAP
SCALE 1/200



VICINITY MAP
NO SCALE

SHEET INDEX OF DRAWINGS:
A-1 Site Plan - Project Information

C-1 Grading Plan

A-2 First Story Plan

A-3 Second Story Plan

A-4 Roof Plan

A-5 Exterior Elevations

A-6 Utility Plan

A-8.0 Schedules

S.0 Structural Specifications

S1.0 Dimensional First Floor Plan

S2.0 Foundation Plan

S3.0 Floor Joist Framing Plan

S4.0 Ceiling-Wall Framing Plan

S4.1 Roof Truss Framing Plan

S6.0 Structural Details

S7.0 Misc. Details

E1.0 Electrical Plans

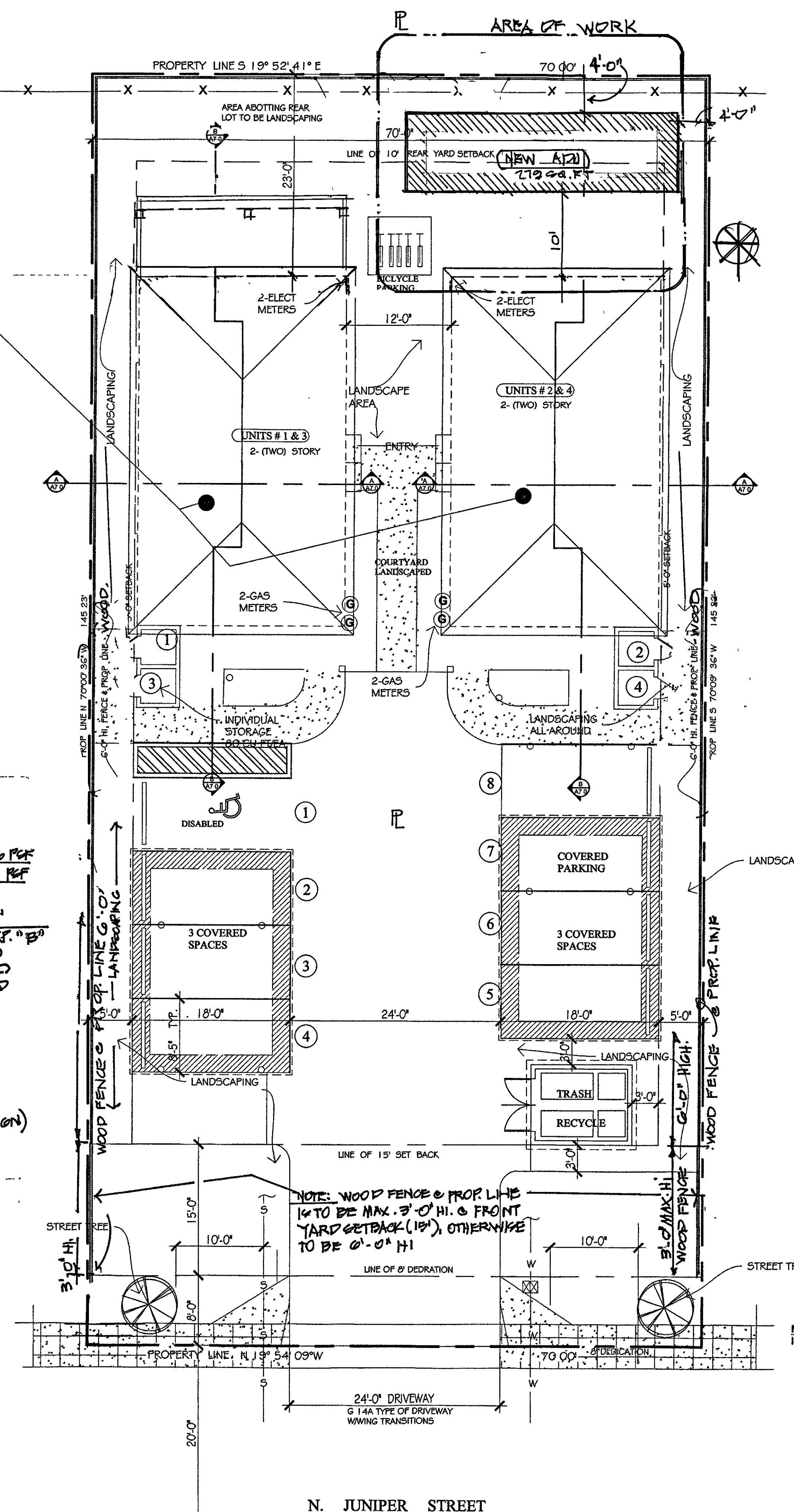
BASES OF STRUCTURAL DESIGN
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE

VERTICAL DESIGN
ROOF DEAD LOAD 10 PEF. FLOOR DEAD LOAD 10 PEF. EXT WALL WT. 10 PEF.
ROOF LIVE LOAD 20 PEF. FLOOR LIVE LOAD 40 PEF. INT WALL WT. 1 PEF.

SEISMIC DESIGN: CBC 1909 AND ASCE 7-16 WIND DESIGN: OPG 1609.1, ASCE 7-16
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
BUILDING OCCUPANCY CATEGORY: II
SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
S₀ = 0.905 (MCEER GROUND MOTION PERIOD = 0.29)
S₁ = 0.33 (MCEER GROUND MOTION PERIOD = 1.05)
S_{MS} = SITE MODIFIED SPECTRAL ACCELERATION VALUE
S_{MS} = .724

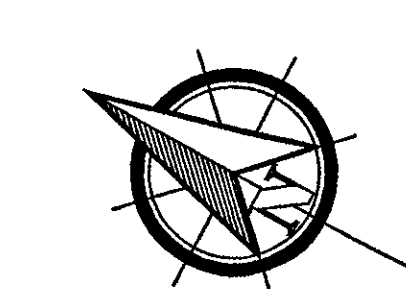
RESPONSE MODIFICATION COEFFICIENT, R = 0.5
SEISMIC IMPORTANCE FACTOR, I = 1.0
REGION BASE SHEAR V = 0.02 = 0.22N (ALLOWABLE STRESS DESIGN)

SOILS & FOUNDATION DESIGN:
SOIL BEARING CAPACITY: 1500 PEF (TABLE 1606.2)



SITE PLAN

SCALE 1/8" = 1'-0"



PROJECT INFORMATION:	
OWNERS:	ARCHITECT:
ERFAN ALIZADEH 1271 2111 PINEWAY WAY SUITE #15 ESCONDIDO, CA 92027 PH: 1-760-300-5700 DELTA CONSTRUCTION CO. INC.	SCOTT A. SPENCER ARCHITECT 1110 TORREY PINES RD "D" LA JOLLA, CA 92037 PH. 858-4598898 (E) SCOTTSPENCERARCHITECT@GMAIL.COM LIC # C.33340 EXP 5/3/2023
GENERAL CONTRACTOR:	

HERS FEATURES SUMMARY	
THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAILS IS PROVIDED IN THE BUILDING TABLES BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY	
BUILDING-LEVEL VERIFICATIONS	
<ul style="list-style-type: none"> • INDOOR AIR QUALITY VENTILATION • ENCLOSURE AIR LEAKAGE FOR EACH DWELLING UNIT • KITCHEN RANGE HOOD • COOLING SYSTEM VERIFICATION • MINIMUM AIRFLOW • VERIFIED EER • FAN EFFICACY WATTS/CFM 	
HEATING SYSTEM VERIFICATIONS:	
<ul style="list-style-type: none"> • -NONE- • -NONE- 	

PROJECT ADDRESS	
ADDRESS: 630 N JUNIPER STREET	
ZONING:	R MULTI-FAMILY
LEGAL DESCRIPTION:	LOT # 7, MAP 349
TAX ASSESSORS NO:	229-220-07
LOT COVERAGE	
LOT AREA:	.23 ACRES 10,208 S.F.
FLOOR ARE RATIO:	.478 47.8%
DATE OF CONSTRUCTION:	
TYPE OF CONST: V-B SPRINKLERED	
FIRESPRINKLERS	
OCCUPANCY:	R-3 RESIDENTIAL -2-UNIT DUPLEXES WITH 10' MIN SEPARATION

BUILDING AREAS:	
UNIT #1	948 S.F.
UNIT #2	948 S.F.
UNIT #3	948 S.F.
UNIT #4	948 S.F.
TOTAL	3,784 S.F.
COVERED PARKING:	988 S.F.
LATTICE & TRASH:	108 S.F.
TOTAL	4,880 SF
FLOOR AREA RATIO:	47.8 %

SCOPE OF WORK:
ADD 1 NEW ACCESSORY DWELLING UNIT (A.D.U.) 270 SF.

TYPE OF CONSTRUCTION: V-B SPRINKLERS
OCCUPANCY R-3 RESIDENTIAL 4 INDIVIDUAL UNITS
R-3 RESIDENTIAL 2-UNITS DUPLEXES w/10' MIN SEPARATION

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE
2025 CALIFORNIA GREEN BUILDING CODE
2025 CALIFORNIA ELECTRICAL CODE
2025 CALIFORNIA MECHANICAL CODE
2025 CALIFORNIA PLUMBING CODE
2025 CALIFORNIA FIRE CODE
2025 CALIFORNIA GREEN ENERGY /TITLE 24 REGULATIONS

REFERRED SUBMITTALS

*SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMING WITH THE DESIGN OF THE BUILDING THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL

A- NOTE: COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS ON THE 2019 ENERGY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3 R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW, FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER

B- NOTE: THIS PROJECTS IS NOT WITHIN A NOISE CRITICAL AREA (CNL CONTOURS OF 60 DB)AS SHOWN ON THE GENERAL PLAN

PROJECT: 630 N. Juniper Street

OWNER(S): SCOTT A. SPENCER Architect Lic. C33340

PROJECT: 1110 TORREY PINES ROAD, STE. "D" LA JOLLA, CA 92037

Scott A. Spencer & Associates

PH: (619) 459-8898
FAX: (619) 459-8901
scottspencerarchitect@gmail.com

LICENSED ARCHITECT
STATE OF CALIFORNIA

SHEET TITLE: Site Plan

DESIGN BY: Arch Scott A.
CHK'D BY: Scott
DRAWN BY:

DATE:

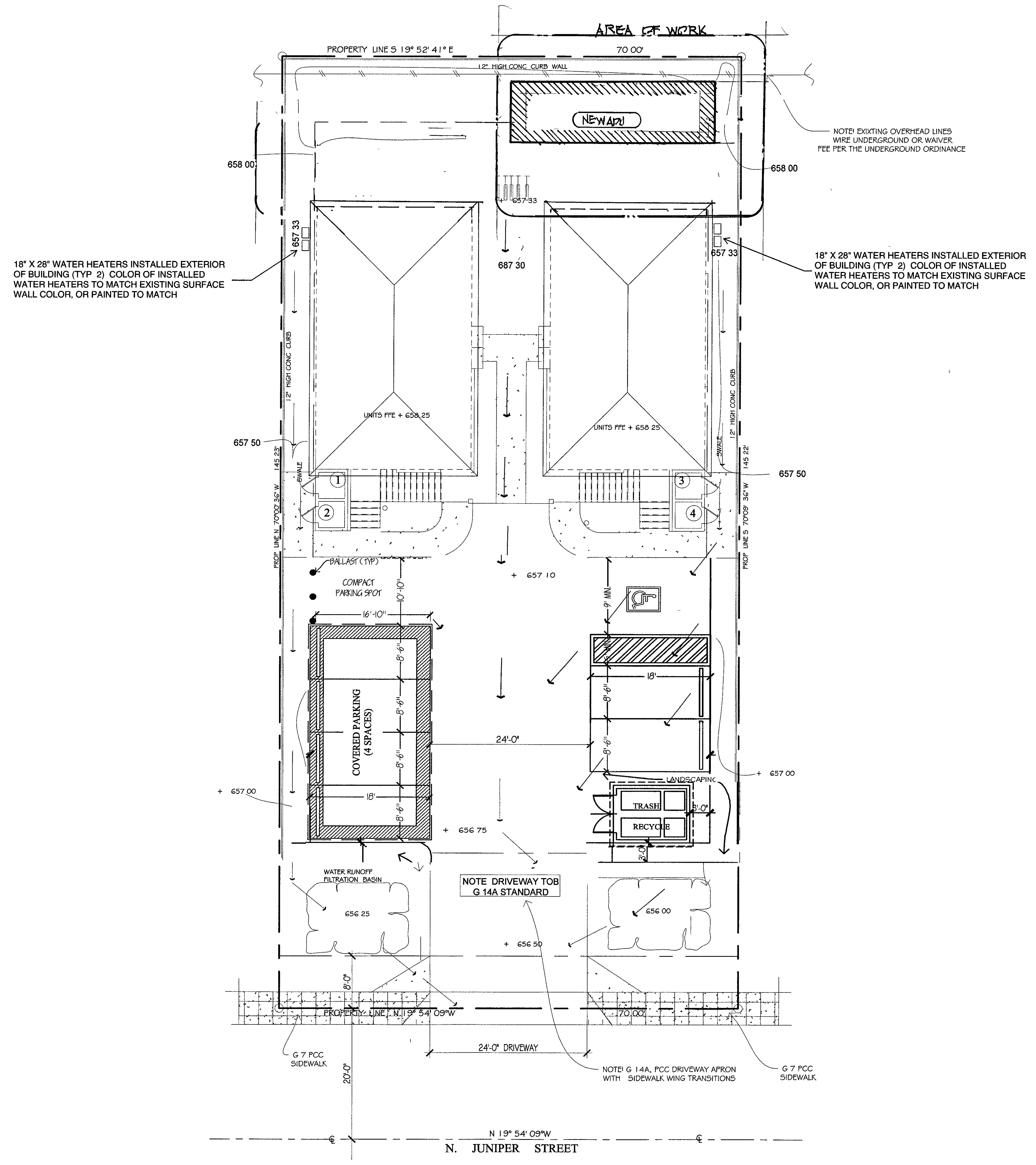
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SCALE:

REVISIONS BY DATE

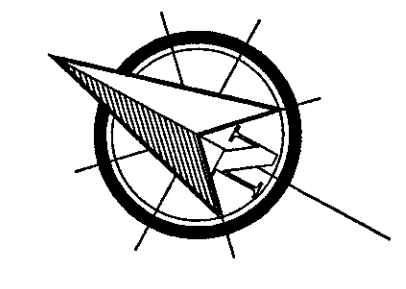
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A-1

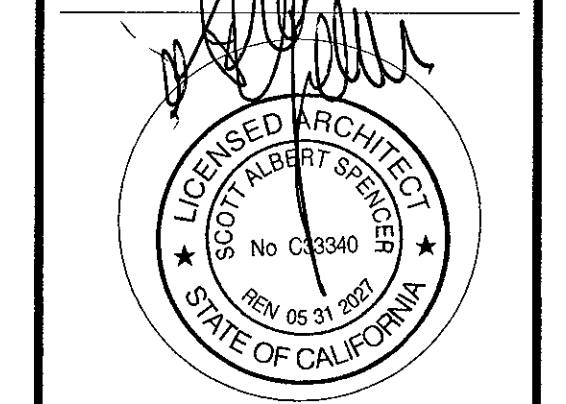


Grading Plan

SCALE 1/8" = 1'-0"



Scott A. Spencer & Associates
 1110 TORREY PINES ROAD, STE. "D"
 LA JOLLA, CA 92037
 BUS: (619) 459-8898
 FAX: (619) 459-8501
 scottspencerarchitect@gmail.com



Grading Plan

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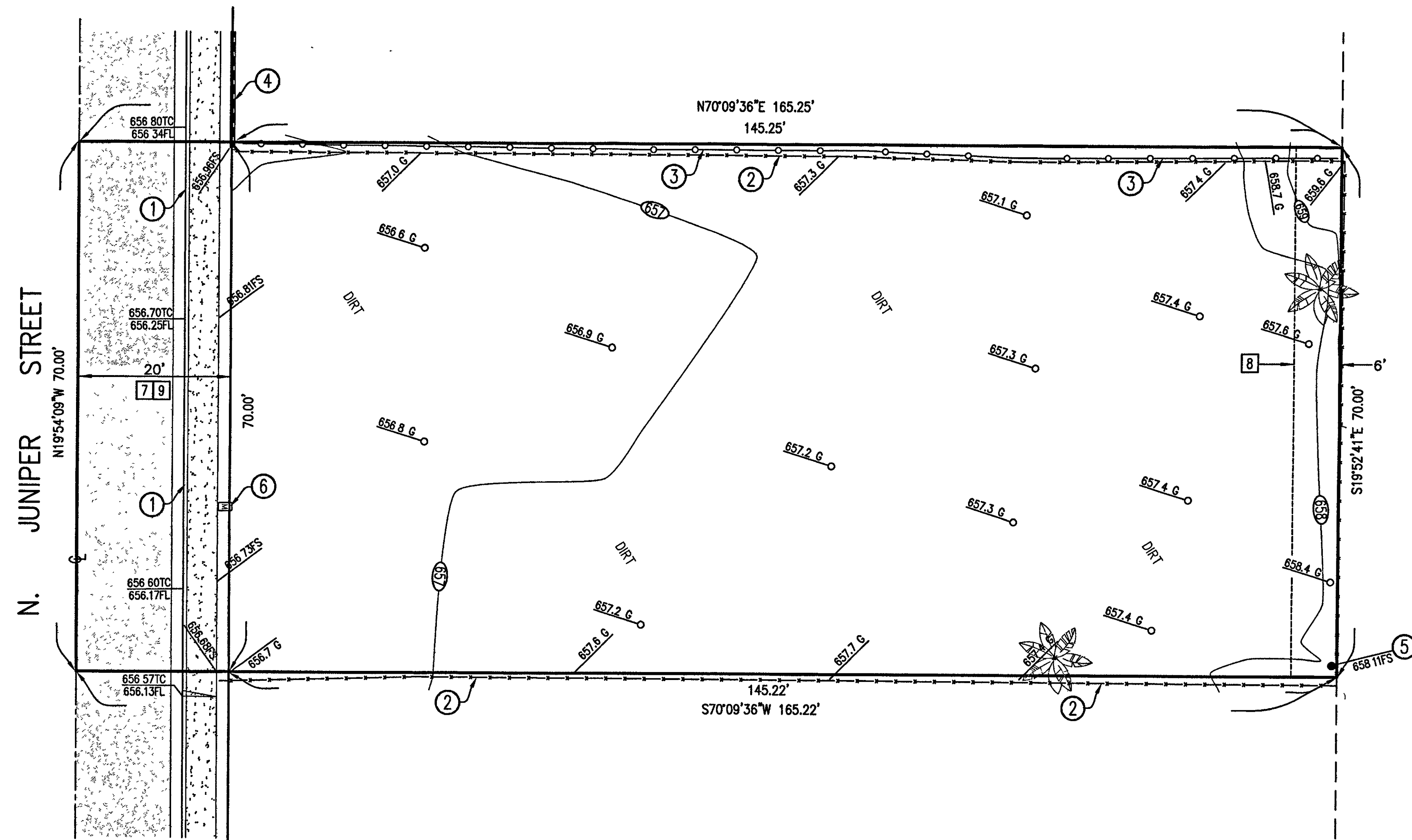
DESIGN BY: Arch Scott A
 CHKD BY: **Scott**
 DRAWN BY:
 DATE:
 JOB NUMBER:
 SCALE:
 REVISIONS

NO.	BY	DATE
1		
2		
3		
4		

C-1

PROJECT:
 OWNER(S):
 630 N. Juniper Street

TOPOGRAPHIC SURVEY

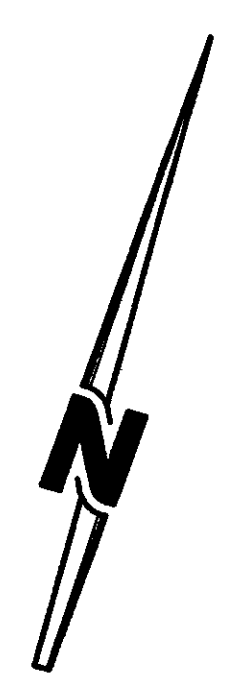


LEGEND

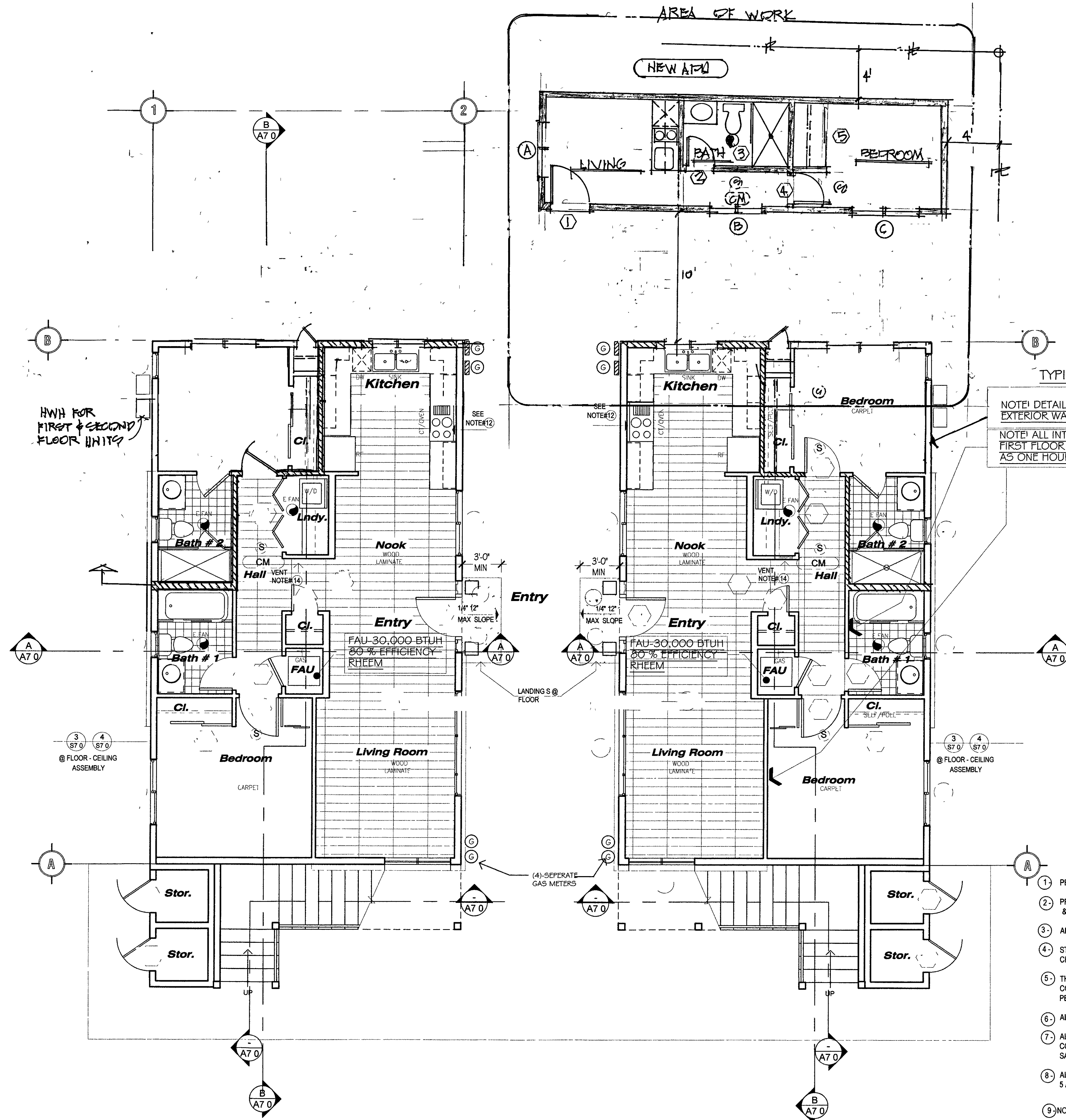
TO	TOP OF CURB	PROPERTY LINE	
FL	FLOW LINE	CONCRETE CURB & GUTTER	
FS	FINISHED SURFACE	CONCRETE BLOCK WALL	
G	GROUND	ASPHALT SURFACE	
①	CONCRETE CURB & GUTTER	CONCRETE SURFACE	
②	CHAIN LINK FENCE	CHAIN LINK FENCE	
③	WOODEN FENCE	WOOD FENCE	
④	CONCRETE BLOCK WALL	SPOT ELEVATION	
⑤	POWER POLE	ELEVATION CONTOUR	
⑥	WATER METER	PALM TREE	

EASEMENT NOTES

- TITLE REPORT EASEMENT EXCEPTIONS:
 PRELIMINARY TITLE REPORT BY WESTERN RESOURCES TITLE DATED AS OF JANUARY 22, 2021, ORDER NO. 196348.
- EXCEPTION NO. 6: AN EASEMENT FOR WATER PIPES AND INCIDENTAL PURPOSES RECORDED IN BOOK 67, PAGE 217 OF DEEDS.
- SAID EASEMENT IS NOT PLOTTABLE.
- ⑦ EXCEPTION NO. 7: AN EASEMENT FOR PRIVATE HIGHWAY AND INCIDENTAL PURPOSES RECORDED IN BOOK 769, PAGE 398 OF DEEDS.
- ⑧ EXCEPTION NO. 8: AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES RECORDED IN BOOK 1099, PAGE 99 OF DEEDS.
- ⑨ EXCEPTION NO. 9: AN EASEMENT FOR INGRESS, EGRESS FOR ROAD AND INCIDENTAL PURPOSES RECORDED JUNE 4, 1954 AS INSTRUMENT NO. 73109 IN BOOK 5260, PAGE 11 OF OFFICIAL RECORDS.



 MAP PREPARED BY: SPEAR & ASSOCIATES, INC. CIVIL ENGINEERING & LAND SURVEYING 475 PRODUCTION STREET, SAN MARCOS, CA 92078 PHONE (760) 736-2040 FAX (760) 736-4866 WWW.SPEARINC.NET	LEGAL DESCRIPTION THE NORTH 70 FEET OF THE SOUTH 220 FEET OF THE WEST 1/2 OF LOT 16, BLOCK NO. 149, RANCHO DEL DIABLO, MAP NO. 349 APN: 229-220-07	BENCHMARK CITY OF ESCONDIDO BM# 63, CHISELED "C" IN N.W. CURB INTERSECTION 9TH STREET AND JUNIPER STREET ELEVATION: 692.13 DATUM: NGVD 29	SURVEYOR'S CERTIFICATION I, RAMON J. SPEAR, A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA, HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A SURVEY PERFORMED DURING FEBRUARY 2021. RAMON J. SPEAR, L.S. 6404 MARCH 11, 2021 DATE	SHEET 1 OF 1 JOB NO. 21-113 DWG. NO. C-1334	GRAPHIC SCALE: 1"=10' SCALE: 1" = 10'													
	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 45%;">DESCRIPTION</th> <th style="width: 10%;">DRAWN BY</th> <th style="width: 10%;">DATE</th> <th style="width: 30%;">APPROVED</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DESCRIPTION	DRAWN BY	DATE	APPROVED						NOTES <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="height: 20px;"> </td> </tr> <tr> <td style="height: 20px;"> </td> </tr> </table>					TOPOGRAPHIC SURVEY FOR: 630 NORTH JUNIPER STREET ESCONDIDO, CA 92025
NO.	DESCRIPTION	DRAWN BY	DATE	APPROVED														



First-Story Floor Plan

SCALE 1/4" = 1'-0"

BUILDING AREA-SEPERATION BETWEEN STRUCTURES < 10'-0"

- (12) NOTE A RESIDENTIAL HOOD EXHAUST WILL HAVE (1) A MINIMUM EXHAUST RATE OF 100 CFM PER CMC TABLE 403.7 AND (2) A MAXIMUM SOUND RATING OF 3 SONES PER CEC 150.0 (D) (6)
- (13) DRYER EXHAUST DUCT DESIGN IS TO COMPLY WITH THE GENERAL REQUIREMENTS OF CMC 504.4.2 (14 FT MAXIMUM LENGTH w/(2) 90 degrees) OR PROVIDE MFR'S INSTALLATION INSTRUCTIONS DETAILING THE ALLOWABLE DUCT DESIGN
- (14) CLOTHES DRYERS INSTALLED IN ENCLOSED SPACES REQUIRE AN OPENING OF NOT LESS THAN 100 SQ. INCHES FOR MAKE UP AIR WITHIN THE DOOR OR BY OTHER APPROVED MEANS CMC 504.4.1
- (15) NOTE OUTSIDE AIR DUCTS & EXHAUST DUCTS ARE REQUIRED TO BE EQUIPPED WITH BACKDRAFT DAMPERS WITH AUTOMATICALLY CLOSE UPON FAN SHUTDOWN (CEC 120.2)(9)
- (16) ALL MECHANICAL VENTILATED UNITS ARE REQUIRED TO HAVE AT MINIMUM A MERV-13 FILTER WITHIN THE OUTSIDE AIR DUCTS AND RETURN AIR DUCTS (CMC 401.2)
- (17) FIRE RATINGS-PENETRATIONS
NOTE: PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS-CEILINGS AND ROOF-CEILINGS SHALL BE AS PROTECTED AS REQUIRED IN CRC SECTION R-302.4"
- (18) NOTE SEE DETAILS #3/#4 @ SHT S7.0 FOR 1 HOUR FIRE RESISTANT & STG RATING OF A MINIMUM OF STC 50
@ FLOOR TO FLOOR LOWER TO UPPER FLOOR LOCATION
- (19) 18" X 28" WATER HEATERS INSTALLED EXTERIOR OF BUILDING (TYP. 2) COLOR OF INSTALLED WATER HEATERS TO MATCH EXISTING SURFACE WALL COLOR, OR PAINTED TO MATCH

TYPICAL NOTE:

NOTE: DETAIL 5/S 7.0 IS TO APPLY TO ALL EXTERIOR WALLS OF THE FIRST LEVEL
NOTE: ALL INTERIOR WALLS @ FIRST FLOOR UNITS TO BE RATED AS ONE HOUR WALLS 6/5 7.0

STATE ADA COMPLIANCE:

- 1 ALL 2 FIRST FLOOR UNITS TO BE ADA COMPLIANT ALL DOORS & ENTRY & MASTER BEDROOM, & BATHROOM TO BE 3'-0" WIDE
- 2 KITCHEN SINK & COUNTER TO BE CAPABLE OF EASY MODIFICATION TO COUNTERHEIGHTS OF + 3 1/2" HIGH, WITH PROTECTED PIPES UNDER SINK, AND A 32" X 48" WORK SPACE, CLEAR IN FRONT
- 3 MASTER BEDROOM, BATHROOM TO BE ADA COMPLIANT, MIN. 3'-0" DOOR LAV. TO BE AT +3 1/2" HIGH, WITH 32" X 48" WORKING SPACE IN FRONT & ADA COMPLIANT SHOWER.
- 4 ALL DOOR THRESHOLDS TO BE MAXIMUM 3/4" HIGH

FIRE-AREA-SEPERATION

NOTE EACH DUPLEX IS A SEPERATE BUILDING SEPERATED BY OVER 10' DISTANCE

GENERAL NOTES

- (1) PERMANENT VACUUM BREAKERS SHALL BE INSTALLED WITH ALL NEW HOSE BIBBS
- (2) PROVIDE ULTRA LOW FLUSH TOILETS WITH A MINIMUM 1.28 GALLONS PER MINUTE FLOW & ON ALL NEW FAUCETS MAX. 1.5 GALLONS PER MINUTE FLOW
- (3) ALL SHOWERS HEADS TO HAVE MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE, GPM FLOW
- (4) STATE HEALTH & SAFETY CODE, SEC. 17921.9 BANS THE USE OF CHLORINATE POLYVINYL CHLORIDE (CPVC) FOR THE INTERIOR WATER SUPPLY PIPING
- (5) THE CONTROL VALVES IN BATHROOM WHIRLPOOL, BATHTUBS, SHOWERS, AMP TUB, SHOWER COMBINATIONS MUST BE PRESSURE BALANCED OR WITH THERMOSTATIC MIXING VALVES PER C/C SECTION 414.5 & 418.0
- (6) ALL WATER PIPING CONNECTIONS SHALL BE LEAD FREE SOLDER
- (7) ALL ABS & PVC PIPING & FITTINGS SHALL BE ENCLOSED, WITHIN WALLS AND FLOORS COVERED WITH TYPE 'X' GYPSUM BOARD OR EQUAL ASSEMBLIES, THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION, PROTECTION OF MEMBRANE IS NOT REQUIRED
- (8) ALL EXHAUST FANS @ BATHROOMS & LAUNDRY ROOMS ARE TO PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR
- (9) NOTE! SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP
- (10) NOTE! THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R 314.3.4"
- (11) NOTE! THE CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP

ALL EXTERIOR & PLUMBING WALLS TO BE 2X6 STUDS @ 16" O.C. UNO

- (S) SMOKE DETECTOR
- (CM) CARBON MONOXIDE DETECTOR
- (E) DENOTES EXHAUST FAN-100 CFM

PROJECT:

OWNER(S):

Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

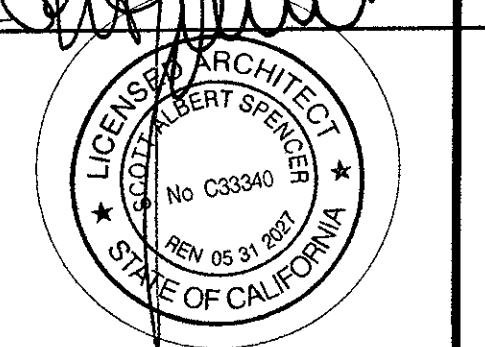
PROJECT:

OWNER(S):

630 N. Juniper Street

SCOTT A. SPENCER
Architect Lic. C33340

BUS: (656) 459-8898
FAX: (656) 459-8901
scottspencerarchitect@gmail.com

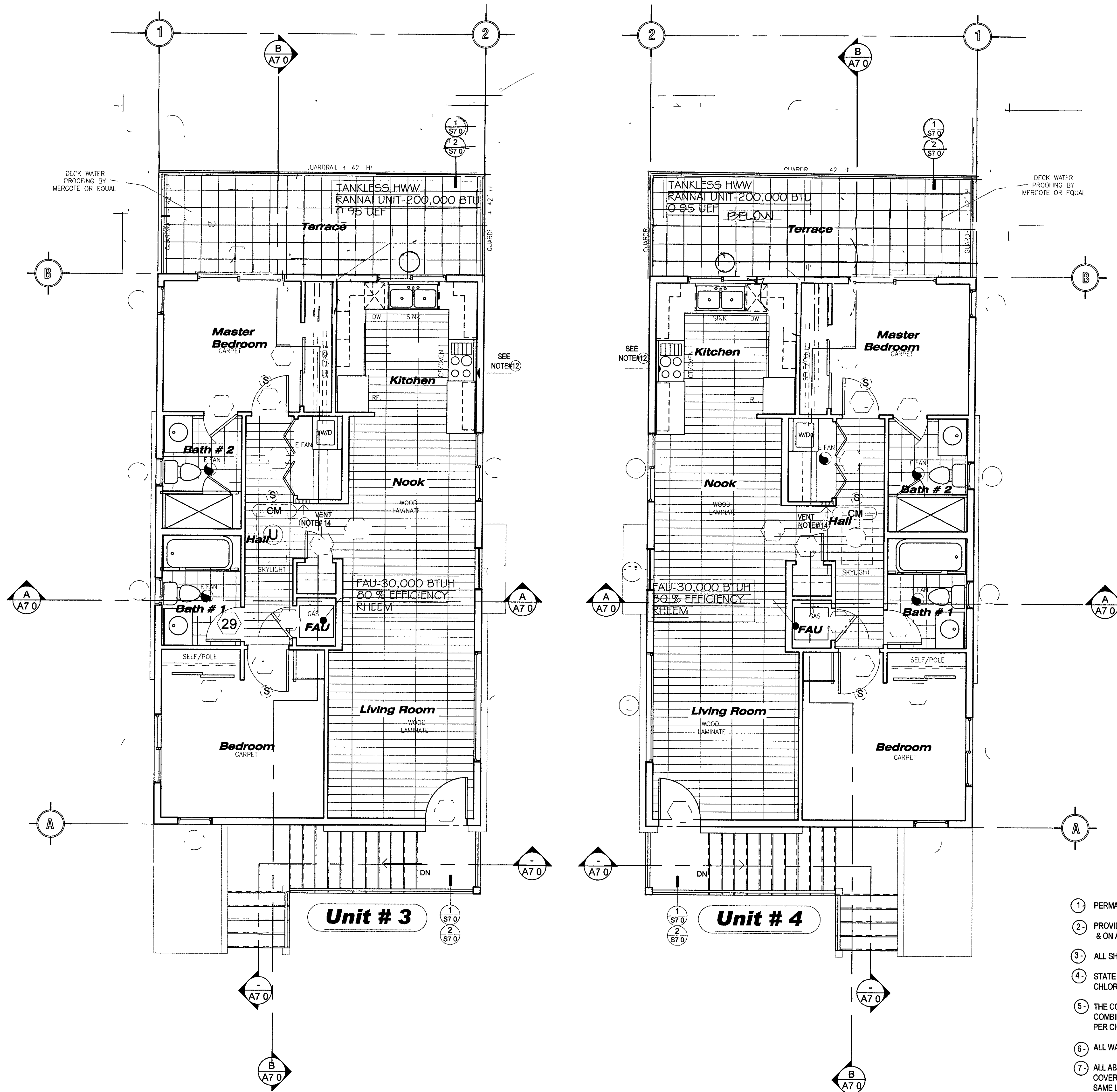


1st. Floor Plan

SHEET TITLE:

DESIGN BY:	Arch Scott A	
CHKD BY:	Scott	
DRAWN BY:		
DATE:		
JOB NUMBER:		
SCALE:		
REVISIONS	BY	DATE
1		
2		
3		
4		

A.2



Second Story Floor Plan

SCALE 1/4" = 1'-0"

- 12 NOTE: A RESIDENTIAL HOOD EXHAUST WILL HAVE (1) A MINIMUM EXHAUST RATE OF 100 CFM PER CMC TABLE 403.7 AND (2) A MAXIMUM SOUND RATING OF 3 SONES PER CEC 150.0 (D) 6-
- 13 DRYER EXHAUST DUCT DESIGN IS TO COMPLY WITH THE GENERAL REQUIREMENTS OF CMC 504.4.2 (14 FT MAXIMUM LENGTH w/(2) 90 degrees) OR PROVIDE MFR'S INSTALLATION INSTRUCTIONS DETAILING THE ALLOWABLE DUCT DESIGN
- 14 CLOTHES DRYERS INSTALLED IN ENCLOSED SPACES REQUIRE AN OPENING OF NOT LESS THAN 100 SQ. INCHES FOR MAKE UP AIR WITHIN THE DOOR OR BY OTHER APPROVED MEANS CMC 504.4.1
- 15 NOTE: OUTSIDE AIR DUCTS & EXHAUST DUCTS ARE REQUIRED TO BE EQUIPPED WITH BACKDRAFT DAMPERS WITH AUTOMATICALLY CLOSE UPON FAN SHUTDOWN (CEC 120.2(f))
- 16 ALL MECHANICAL VENTILATED UNITS ARE REQUIRED TO HAVE AT MINIMUM A MERV-13 FILTER WITHIN THE OUTSIDE AIR DUCTS AND RETURN AIR DUCTS (CMC 401.2)
- 17 FIRE RATINGS-PENETRATIONS
NOTE: PENETRATIONS OF FIRE RESISTIVE WALLS, FLOORS-CEILINGS AND ROOF-CEILINGS SHALL BE AS PROTECTED AS REQUIRED IN CRC SECTION R-302.4*
- 18 NOTE: SEE DETAILS #3/#4 @ SHT S7.0 FOR 1 HOUR FIRE RESISTANT & ST'G RATING OF A MINIMUM OF STC 50
@ FLOOR TO FLOOR LOWER TO UPPER FLOOR LOCATION

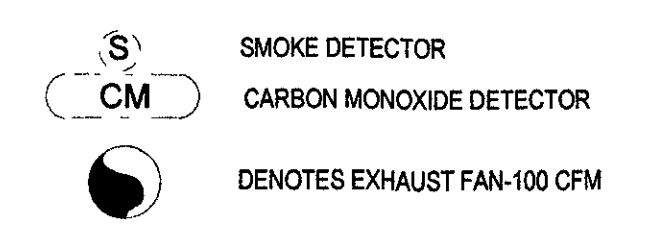
- STATE ADA COMPLIANCE:
1. ALL 2 FIRST FLOOR UNITS TO BE ADA COMPLIANT ALL DOORS & ENTRY & MASTER BEDROOM, & BATHROOM TO BE 3'-0" WIDE.
 2. KITCHEN SINK & COUNTER TO BE CAPABLE OF EASY MODIFICATION TO COUNTERHEIGHTS OF + 3" HIGH, WITH PROTECTED PIPES UNDER SINK, AND A 32" X 48" WORK SPACE, CLEAR IN FRONT.
 3. MASTER BEDROOM, BATHROOM TO BE ADA COMPLIANT, MIN 3'-0" DOOR LAV. TO BE AT +31" HIGH, WITH 32" X 48" WORKING SPACE IN FRONT & ADA COMPLIANT SHOWER.
 4. ALL DOOR THRESHOLDS TO BE MAXIMUM 3/4" HIGH.

FIRE-AREA-SEPERATION
NOTE: EACH DUPLEX IS A SEPERATE BUILDING SEPERATED BY OVER 10' DISTANCE

GENERAL NOTES

- 1 PERMANENT VACUUM BREAKERS SHALL BE INSTALLED WITH ALL NEW HOSE BIBBS
- 2 PROVIDE ULTRA LOW FLUSH TOILETS WITH A MINIMUM 1.28 GALLONS PER MINUTE FLOW & ON ALL NEW FAUCETS MAX 1.5 GALLONS PER MINUTE FLOW
- 3 ALL SHOWERS HEADS TO HAVE MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE, GPM FLOW
- 4 STATE HEALTH & SAFETY CODE, SEC 17921.9 BANS THE USE OF CHLORINATE POLYVINYL CHLORIDE (CPVC) FOR THE INTERIOR WATER SUPPLY PIPING
- 5 THE CONTROL VALVES IN BATHROOM WHIRLPOOL BATHTUBS, SHOWERS, AMP TUB, SHOWER COMBINATIONS MUST BE PRESSURE BALANCED OR WITH THERMOSTATIC MIXING VALVES PER CEC SECTION 414.5 & 418.0
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- 11 NOTE! THE CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP

ALL EXTERIOR & PLUMBING WALLS TO BE 2X6 STUDS @ 16" O.C. UNO

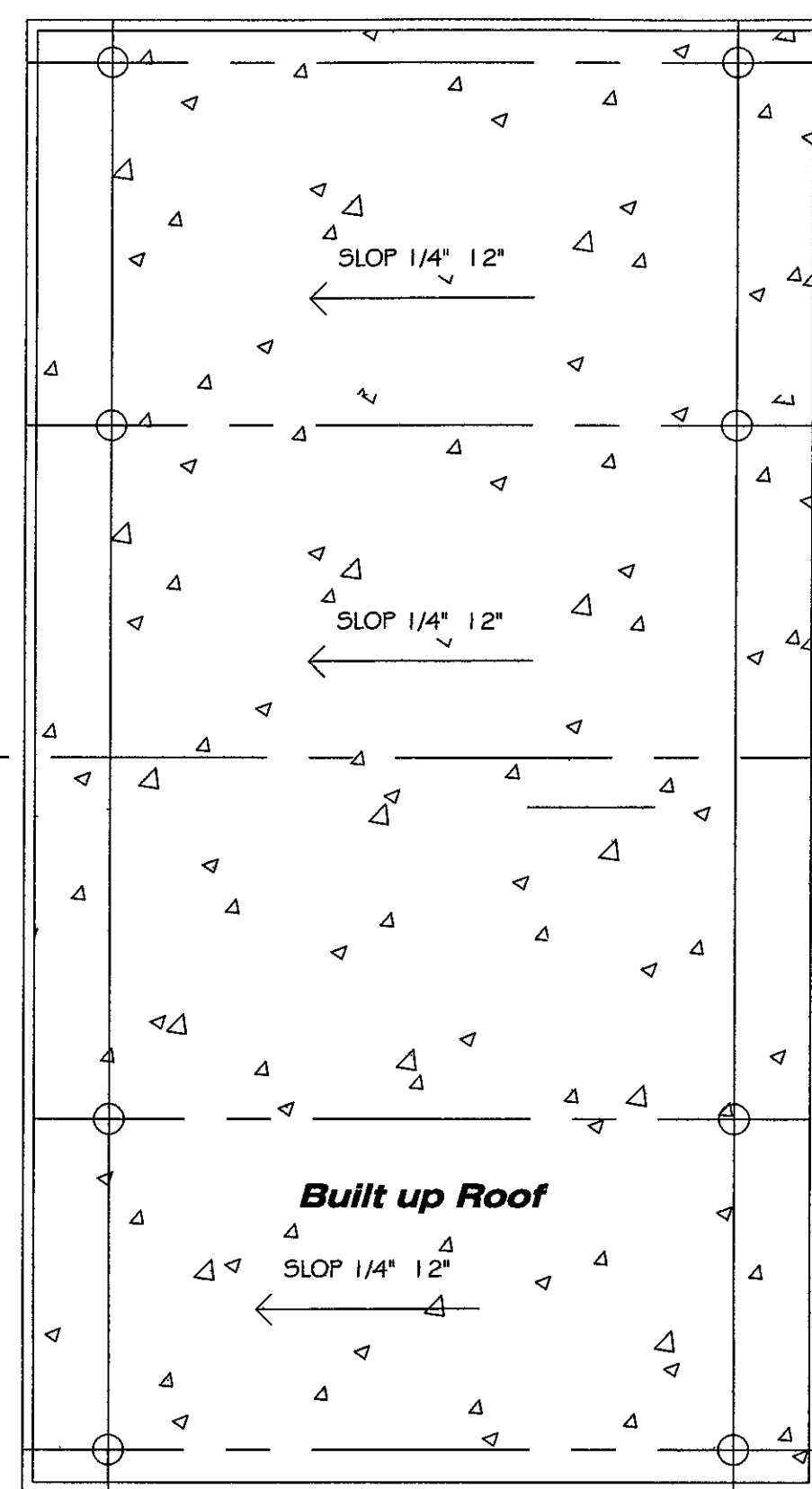


PROJECT: 630 N. Juniper Street
OWNER(S): SCOTT A. SPENCER Architect Lic. C35340
PROJECT: 1110 TORREY PINES ROAD, STE. "D" LA JOLLA, CA 92037
ARCHITECT: Seott A. Spencer & Associates
 BUS: (619) 459-8898
 FAX: (619) 459-8901
 scottspencerarchitect@gmail.com
 LICENSED ARCHITECT
 STATE OF CALIFORNIA
 No. 33340
 Exp. 03-31-2020

SHEET TITLE: 2nd. Floor Plan
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CHKD BY:
DRWN BY:
DATE:
JOB NUMBER:
SCALE:
REVISIONS:

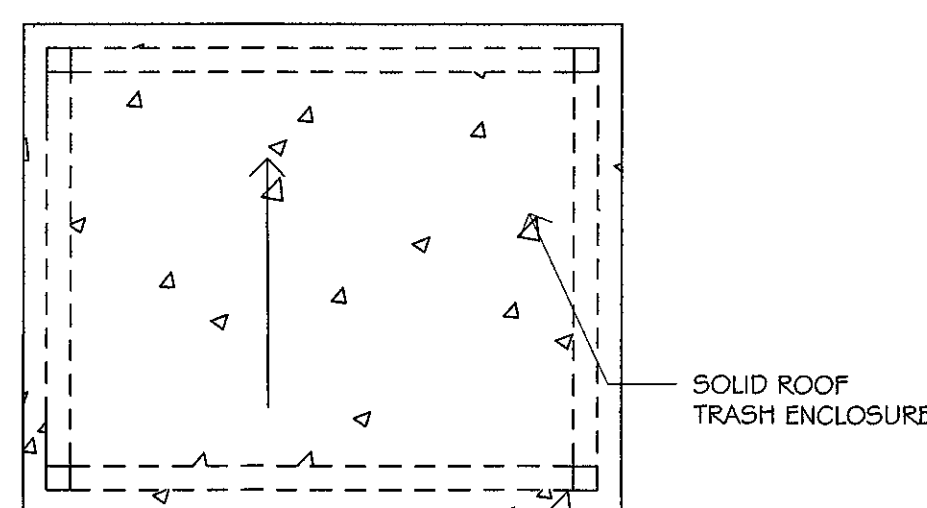
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A.3



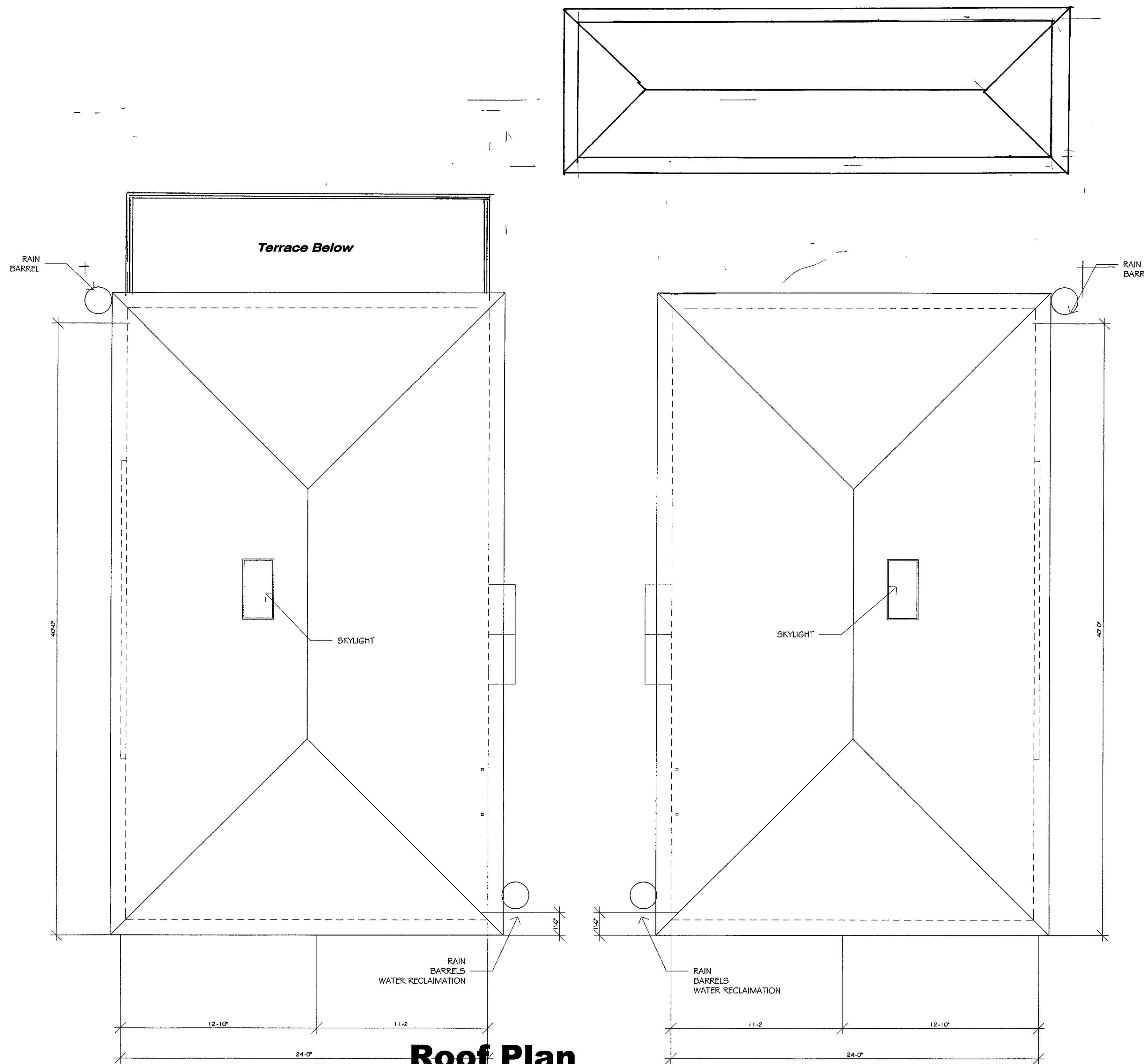
**Parking Structure
Roof Plan**

SCALE 1/4" = 1'-0"



Trash Enclosure

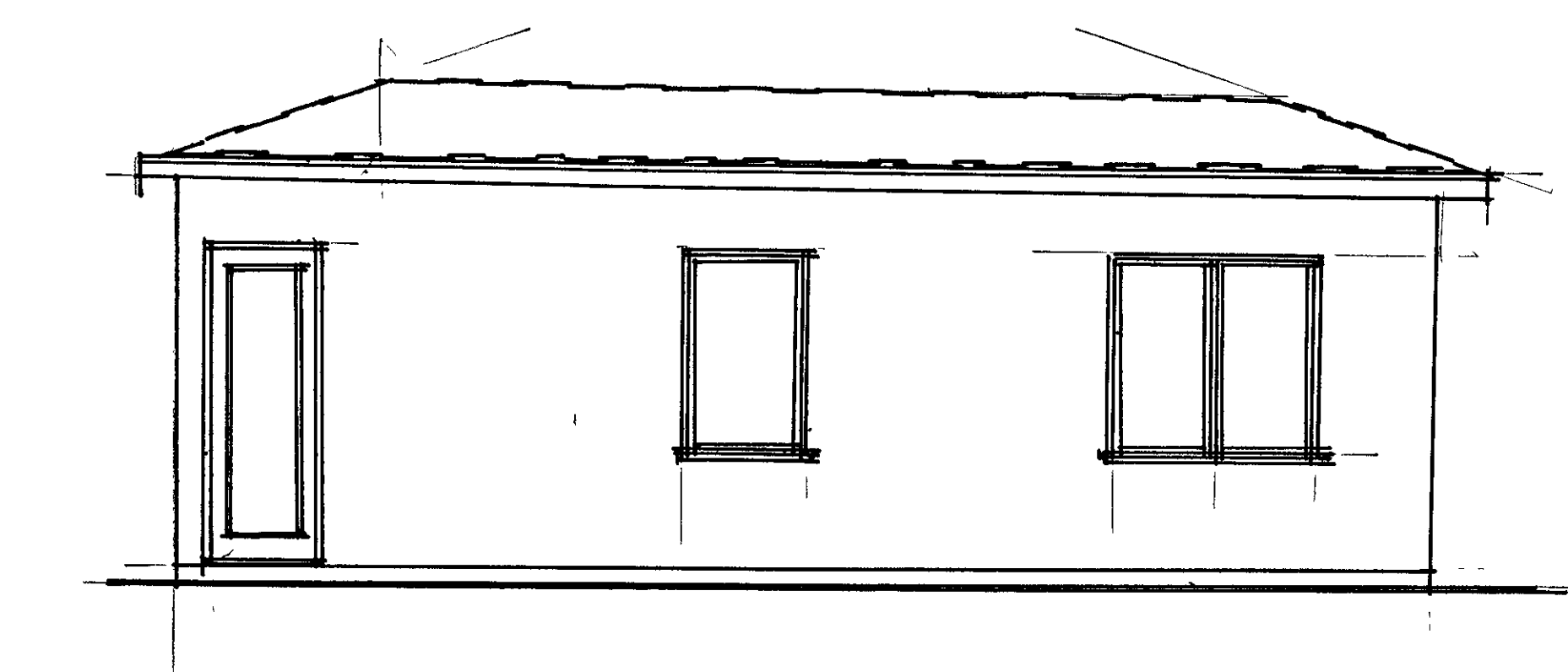
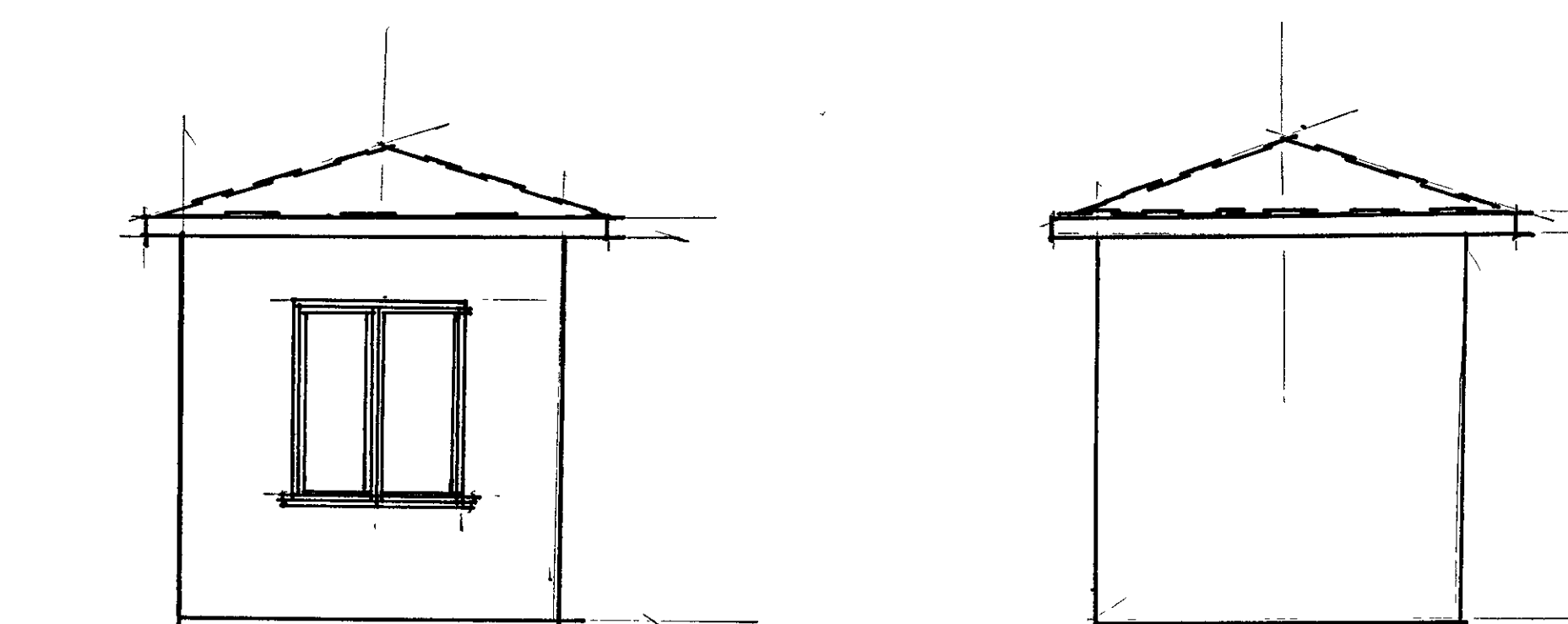
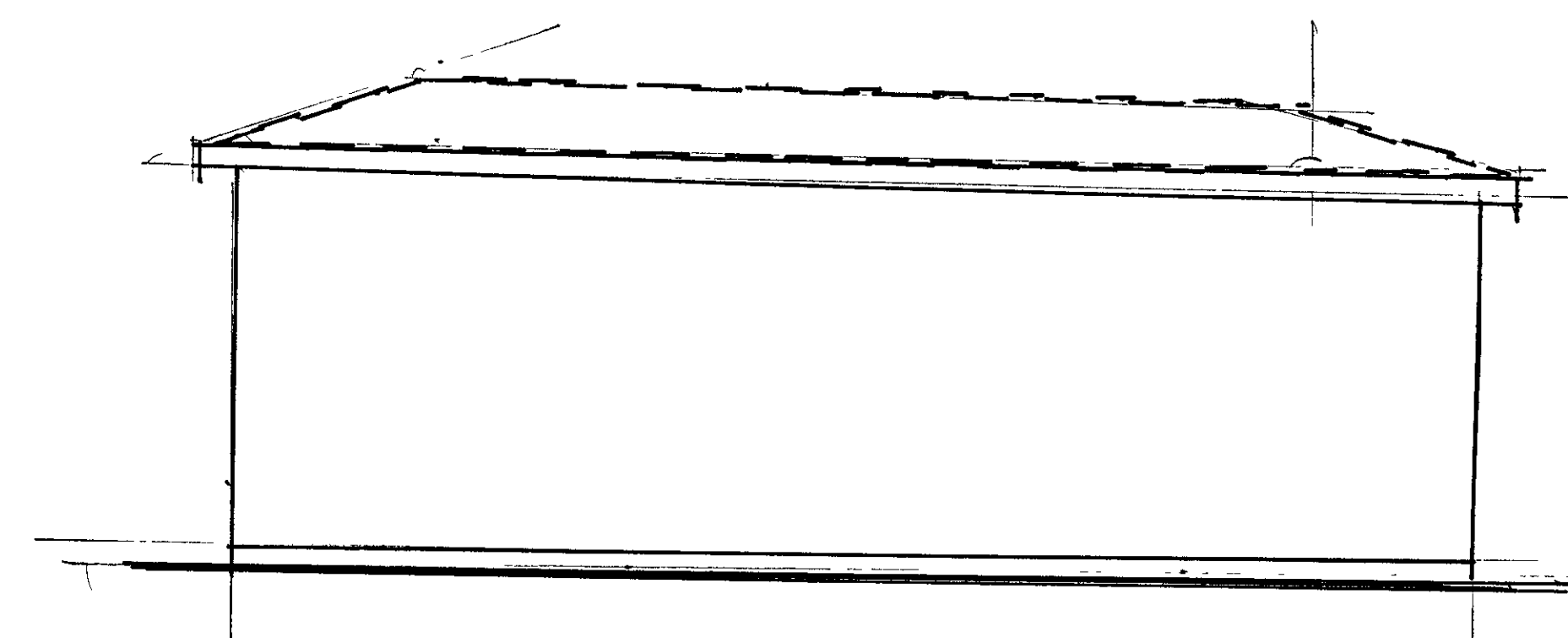
SCALE 1/4" = 1'-0"



Roof Plan

SCALE 1/4" = 1'-0"

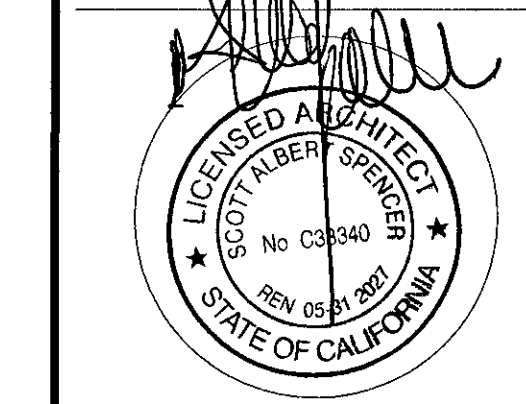
ASPHALT, COMPOSITION ROOF SINGLE
ROOF
CLASS "A"



ELEVATIONS - A.R.U.
SCALE: 1/4" = 1'-0"

PROJECT:
OWNER(S):
630 N. Juniper Street

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1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037



SHEET TITLE:
Roof Plan
Units Parking

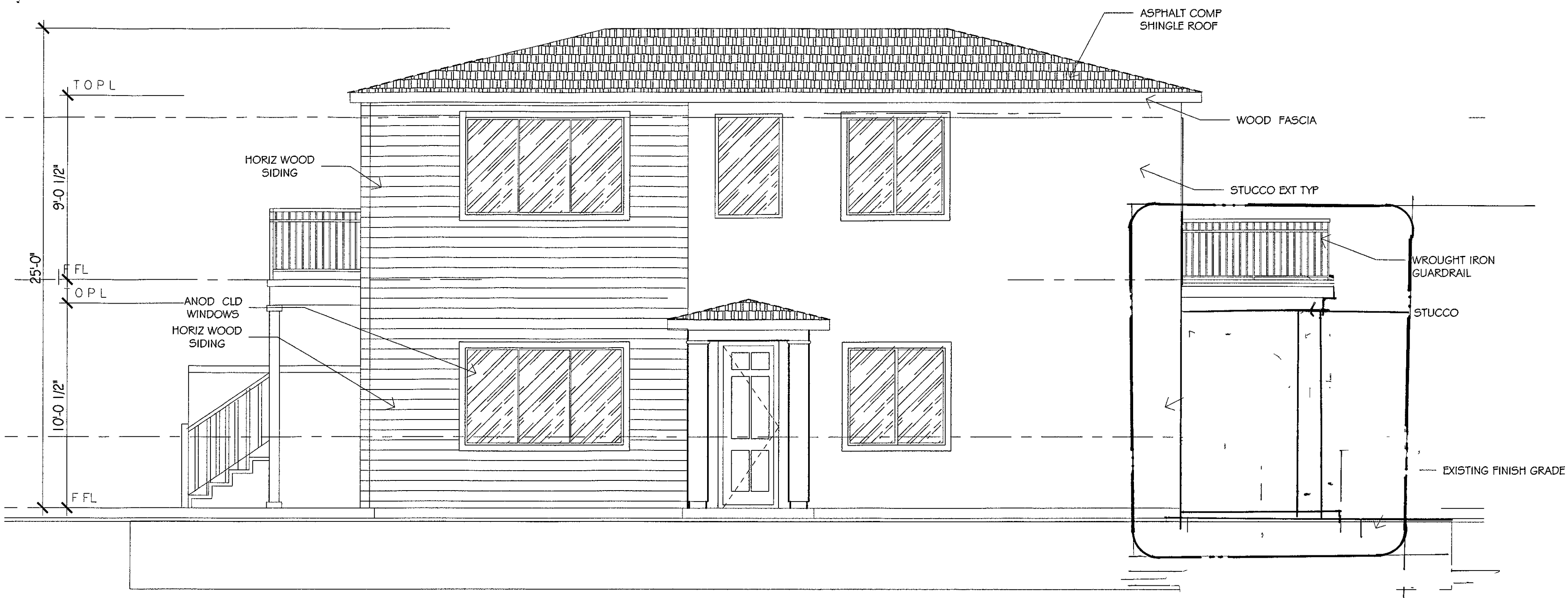
DESIGN BY: Arch Scott A
CHKD BY:
DRWN BY:
DATE:
JOB NUMBER:
SCALE:
REVISIONS BY DATE

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A-4

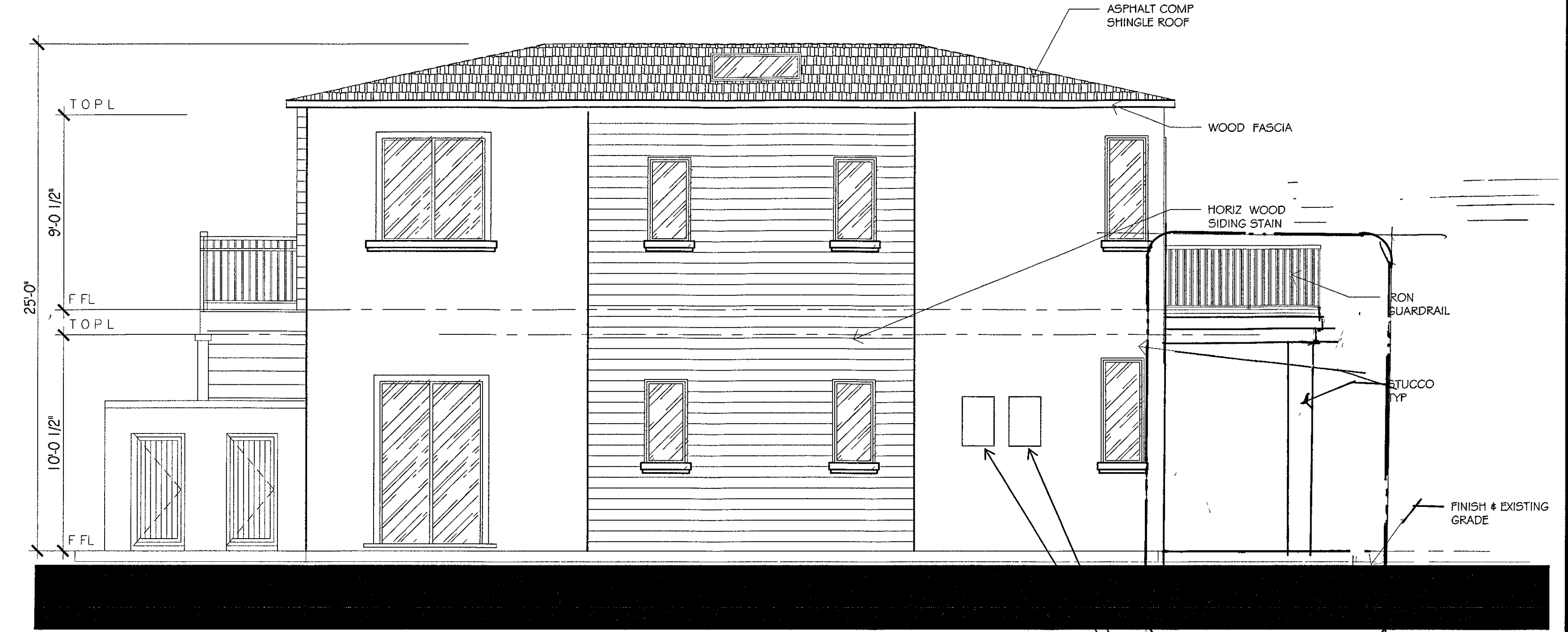
SCOTT A. SPENCER
Architect, L.C. C33340

BUS (656)459-8698
FAX (656)459-8901
scottspencerarchitect@gmail.com



Interior Building Elevation

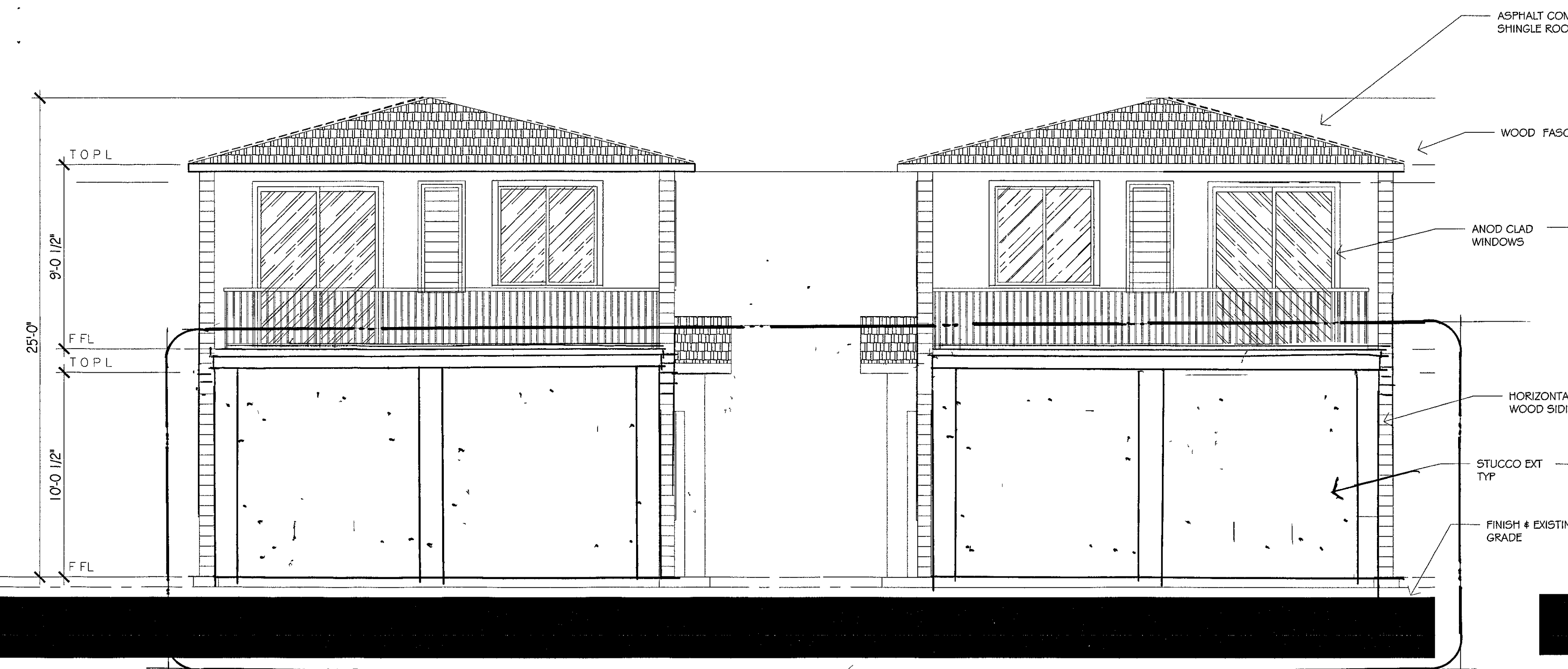
SCALE 1/4" = 1'-0"



Exterior Building Elevation

SCALE 1/4" = 1'-0"

18" X 28" WATER HEATERS INSTALLED EXTERIOR OF BUILDING (TYP) 2) COLOR OF INSTALLED WATER HEATERS TO MATCH EXISTING SURFACE WALL COLOR, OR PAINTED TO MATCH



Rear Building Elevation

SCALE 1/4" = 1'-0"



Front Building Elevation

SCALE 1/4" = 1'-0"

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037

BUS: (650)459-8898
FAX: (650)459-8901
scottspencerarchitect@gmail.com

PROJECT:

OWNER(S):

630 N. Juniper Street

SCOTT A. SPENCER
Architect Lic C33340

SHEET TITLE:

**Interior & Exterior
Rear & Front
Building Elevations**

DESIGN BY: Arch Scott A

CHKD BY: Scott

DRWN BY:

DATE:

JOB NUMBER:

SCALE:

REVISIONS BY DATE

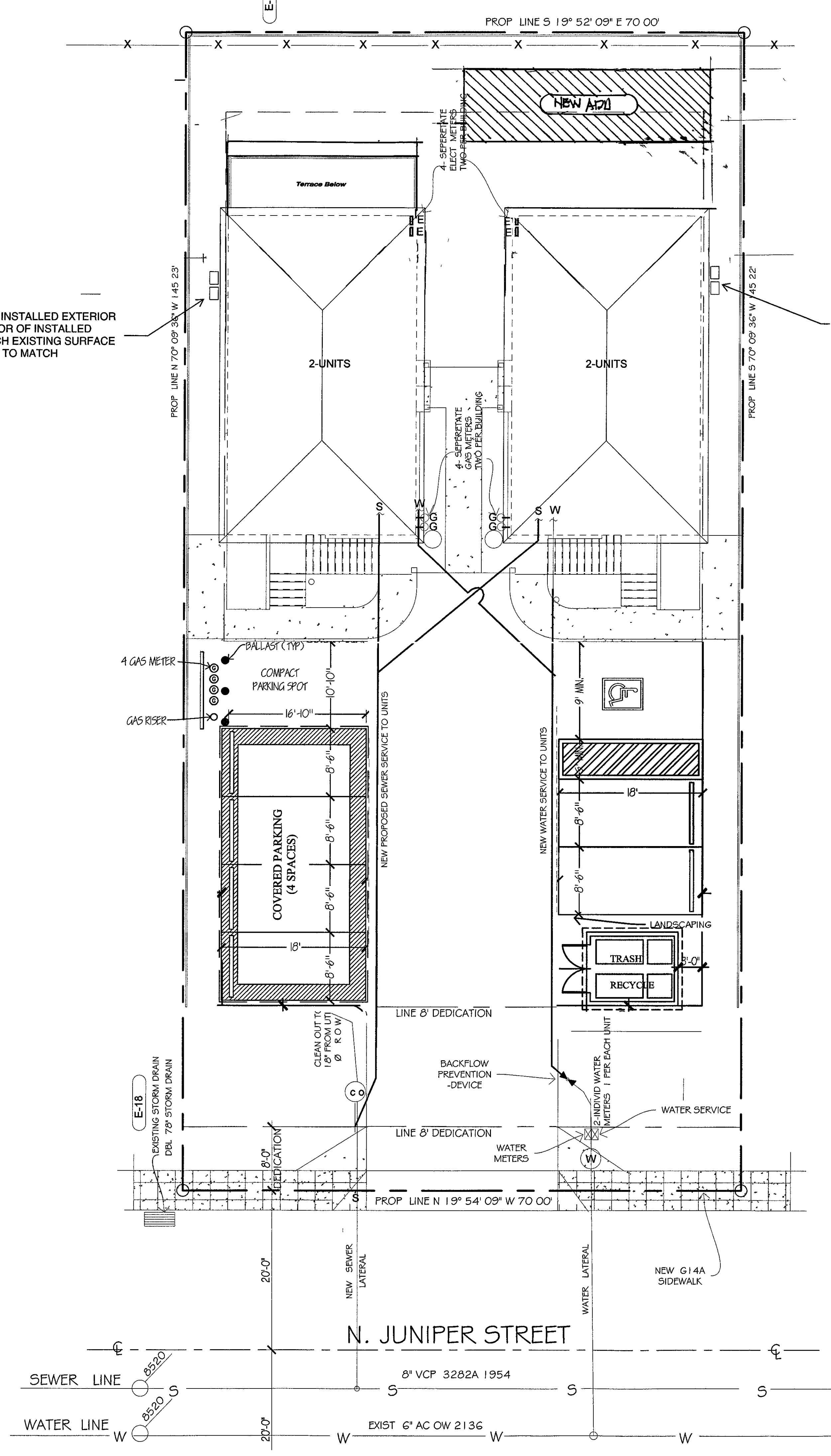
NO.	REVISIONS	BY	DATE
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A-5a

E-19 EXISTING OVERHEAD UTILITY LINES
WIRE UNDERGROUNDING OR WAIVER FREE
PER UNDERGROUNDING ORDINANCE

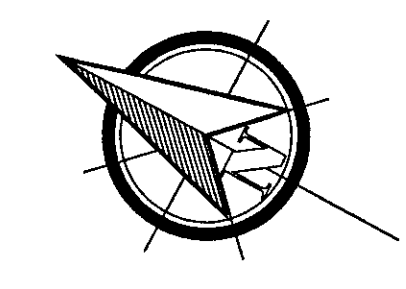
18" X 28" WATER HEATERS INSTALLED EXTERIOR
OF BUILDING (TYP 2) COLOR OF INSTALLED
WATER HEATERS TO MATCH EXISTING SURFACE
WALL COLOR, OR PAINTED TO MATCH

18" X 28" WATER HEATERS INSTALLED EXTERIOR
OF BUILDING (TYP 2) COLOR OF INSTALLED
WATER HEATERS TO MATCH EXISTING SURFACE
WALL COLOR, OR PAINTED TO MATCH



SITE UTILITY PLAN

SCALE 1/8" = 1'-0"



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LA JOLLA, CA 92037

Site Utility Plan

SHEET TITLE:

DESIGN BY: Arch Scott A
CHKD BY: **Scott**
DRWN BY:
DATE:
JOB NUMBER:
SCALE:

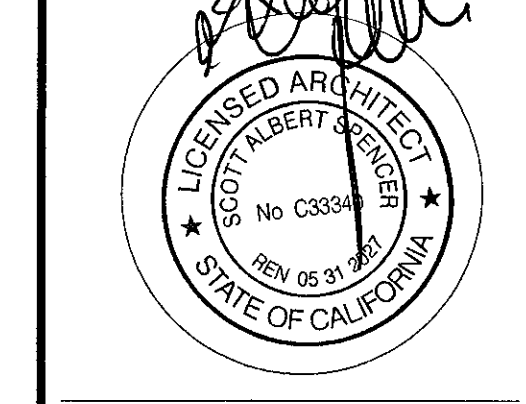
REVISIONS	BY	DATE
1		
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A-6

PROJECT:

OWNER(S):

630 N. Juniper Street



BUS: (650)459-8898
FAX: (650)459-8901
scottspencerarchitect@gmail.com

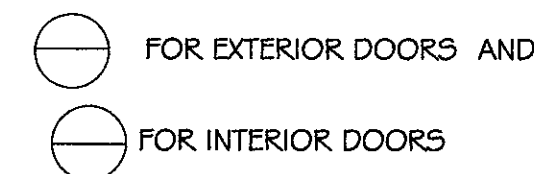
SCOTT A. SPENCER
Architect Lic. C333340

FIRST FLOOR

SECOND FLOOR

DOOR SCHEDULE								
SYM.	DOOR SIZE	TYPE	HD.HT	THCKNS	FINISH	GLAZING	HARDWARE	REMARKS
(1)	3'-0" X 8'-0"	SWING	8'-0 1/2"	1 3/4"	PAINT		-	
(2)	4'-0" X 8'-0"	OPNG	"	-	-	-	-	
(3)	5'-8" X 8'-0"	BI-FOLD	"	1 3/8"	PAINT		-	
(4)	2'-8" X 8'-0"	SWING	"	1 3/4"	PAINT		-	
(5)	6'-0" X 8'-0"	BI-PASS	"	1 3/8"	GLASS		-	
(6)	1'-6" X 8'-0"	SWING	"	"	PAINT		-	FULL LOUVER
(7)	6'-0" X 8'-0"	SLDR	"	1 3/4"	ANOD	48 0	TEMP. GLASS	
(8)	2'-6" X 8'-0"	SWING	8'-0 1/2"	"	PAINT		-	
(9)	5'-6" X 5'-0"	SLDR	-	-	ANOD		TEMP GLASS	SHOWER DOOR
(10)	2'-8" X 8'-0"	SWING	8'-0 1/2"	1 3/4"	PAINT		-	
(11)	2'-6" X 7'-0"	"	"	"	"		TEMP GLASS	FRAMELESS SHOWER DOOR
(12)	2'-0" X 8'-0"	"	"	"	"		-	
(13)	2'-6" X 8'-0"	"	"	"	"		-	
(14)	3'-0" X 8'-0"	"	"	"	"		-	
(15)	5'-8" X 8'-0"	BI-PASS	"	1 3/8"	GLASS		-	
(16)	NOT USED							
(17)	3'-0" X 4'-0"	SWING	-	1 3/4"	STAIN		-	GATE DECKS
(18)	2'-6" X 5'-0"	SWING	-	"	"		-	
(19)	2'-6" X 5'-0"	"	-	"	"		-	
(20)	3'-0" X 8'-0"	SWING	8'-0 1/2"	1 3/4"	PAINT		-	
(21)	4'-0" X 8'-0"	OPNG	"	-	-		-	
(22)	5'-8" X 8'-0"	BI-BOLD	"	1 3/8"	PAINT		-	
(23)	2'-8" X 8'-0"	SWING	"	1 3/4"	"		-	
(24)	6'-0" X 8'-0"	BI-PASS	"	1 3/8"	GLASS		-	
(25)	1'-6" X 8'-0"	SWING	"	"	PAINT		-	FULL LOUVER
(26)	6'-0" X 8'-0"	SLDR	"	1 3/4"	ANOD.	48.0	TEMP GLASS	
(27)	2'-6" X 8'-0"	SWING	"	"	PAINT		-	
(28)	5'-6" X 5'-0"	SLDR	-	-	ANOD		TEMP GLASS	SHOWER DOOR
(29)	2'-8" X 8'-0"	SWING	8'-0 1/2"	1 3/4"	PAINT		-	
(30)	2'-6" X 7'-0"	"	-	-	"		TEMP GLASS	FRAMELESS SHOWER DOOR
(31)	2'-0" X 8'-0"	"	"	"	"		-	
(32)	2'-6" X 8'-0"	"	"	"	"		-	
(33)	3'-0" X 8'-0"	"	"	"	"		-	
(34)	5'-8" X 8'-0"	BI-PASS	"	"	"		-	
(35)	NOT USED							

A VERIFY SIZE AND SPECIFICATIONS WITH MANUFACTURER PRIOR TO ORDERING MATERIALS AND BEGINNING OF CONSTRUCTION
 B SEE UNITS ELEVATIONS FOR OPERATION DIRECTION
 C * * DENOTES SAFETY GLAZING ALL GLASS IN DOORS SHALL BE TEMPERED GLASS
 D FOR TYPICAL DOOR FRAMING DETAIL SEE



SCOPE / AREA OF WORK

SUPPLEMENTAL DOOR SCHEDULE								
NO	DOOR SIZE	TYPE	HD.HT	THCKNS.	FINISH	GLAZING	HARDWARE	REMARKS
(1)	3'-0" X 8'-0"	SWING	8'-0 1/2"	1 3/4"	PAINT	24.0		FRONT DOOR
(2)	2'-6" X 8'-0"	"	"	"	"			
(3)	2'-0" X 7'-0"	"	"	"	"		TEMP GLASS	SHOWER DOOR
(4)	2'-0" X 8'-0"	"	"	"	"			
(5)	5'-0" X 8'-0"	BI-PASS	"	-	GLASS			

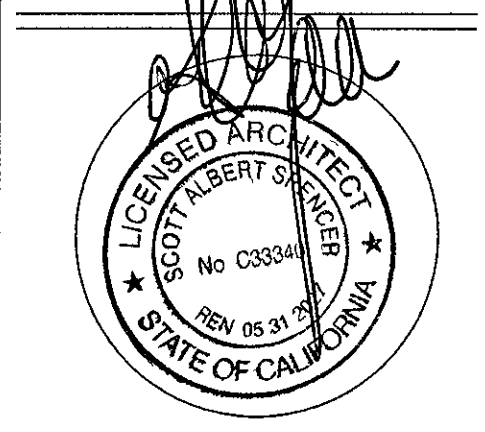
SUPPLEMENTAL WINDOW SCHEDULE								
SYM.	WINDOW SIZE	TYPE	FINISH	HD.HT.	GLAZING	REMARKS		
(A)	4'-0" X 8'-0"	CSMT	CLAD	8'-0 1/2"	20.0	TEMP GLASS		
(B)	5'-0" X 8'-0"	"	"	"	28.0			
(C)	3'-0" X 8'-0"	"	"	"	13.0			
(D)								
(E)								
(F)								

WINDOW SCHEDULE							
TYP #2	SYM.	WINDOW SIZE	TYPE	FINISH	HD NT	GLAZING	REMARKS
	(A)	1'-0" X 8'-0"	CSMT	CLAD	8'-0 1/2"	16.0	TEMP GLASS
	(B)	5'-0" X 5'-0"	"	"	"	25.0	
	(C)	5'-0" X 4'-6"	"	"	"	22.5	
	(D)	2'-6" X 5'-0"	"	"	"	12.5	
	(E)	2'-0" X 3'-0"	"	"	"	6.0	TEMP. GLASS
	(F)	2'-0" X 3'-0"	"	"	"	6.0	TEMP GLASS
	(G)	5'-0" X 5'-0"	"	"	"	25.0	
	(H)	5'-0" X 5'-0"	"	"	"	25.0	
	(J)	8'-0" X 5'-0"	"	"	"	40.0	
	(K)	5'-0" X 5'-0"	"	"	"	25.0	
	(L)	5'-0" X 4'-6"	"	"	"	22.50	
	(M)	2'-6" X 5'-0"	"	"	"	12.5	
	(N)	2'-0" X 3'-0"	"	"	"	6.0	TEMP GLASS
	(P)	2'-0" X 3'-0"	"	"	"	6.0	TEMP GLASS
	(Q)	5'-0" X 5'-0"	"	"	"	25.0	
	(R)	2'-6" X 5'-0"	CSMT	"	"	12.5	
	(S)	8'-0" X 5'-0"	"	"	"	40.0	
	(T)	3'-0" X 5'-0"	CSMT	CLAD	8'-0 1/2"	15.0	
	(U)	2'-0" X 4'-0"	SKYLT.	ANOD	-	8.0	

A VERIFY SIZE AND SPECIFICATIONS WITH MANUFACTURER PRIOR TO ORDERING MATERIALS AND BEGINNING OF CONSTRUCTION
 B ALL WINDOWS SHALL BE DUAL-GLAZED LOW-E
 C HEAD HEIGHTS ARE AT 7'-0" AFF UNLESS NOTED OTHERWISE IN SCHEDULE OR ON FLOOR PLANS
 D SEE UNIT ELEVATIONS FOR OPERATION DIRECTION
 E * * DENOTES SAFETY GLAZING WINDOWS WITHIN 18" OF FLOOR SHALL BE SAFETY GLAZING
 SEE UNIT ELEVATIONS FOR TEMPERED GLAZING LOCATIONS
 F FOR TYPICAL WINDOW FRAMING, SEE DETAIL
 G FOR WINDOW FLASHING DETAILS, SEE



Scott A. Spencer & Associates
 1110 TORREY PINES ROAD, STE. "D"
 LA JOLLA, CA 92037



SHEET TITLE:
 Window Schedule
 Door Schedule

DESIGN BY: Arch Scott A
 CHKD BY: Scott
 DRAWN BY:
 DATE:
 JOB NUMBER:
 SCALE:
 REVISIONS BY DATE

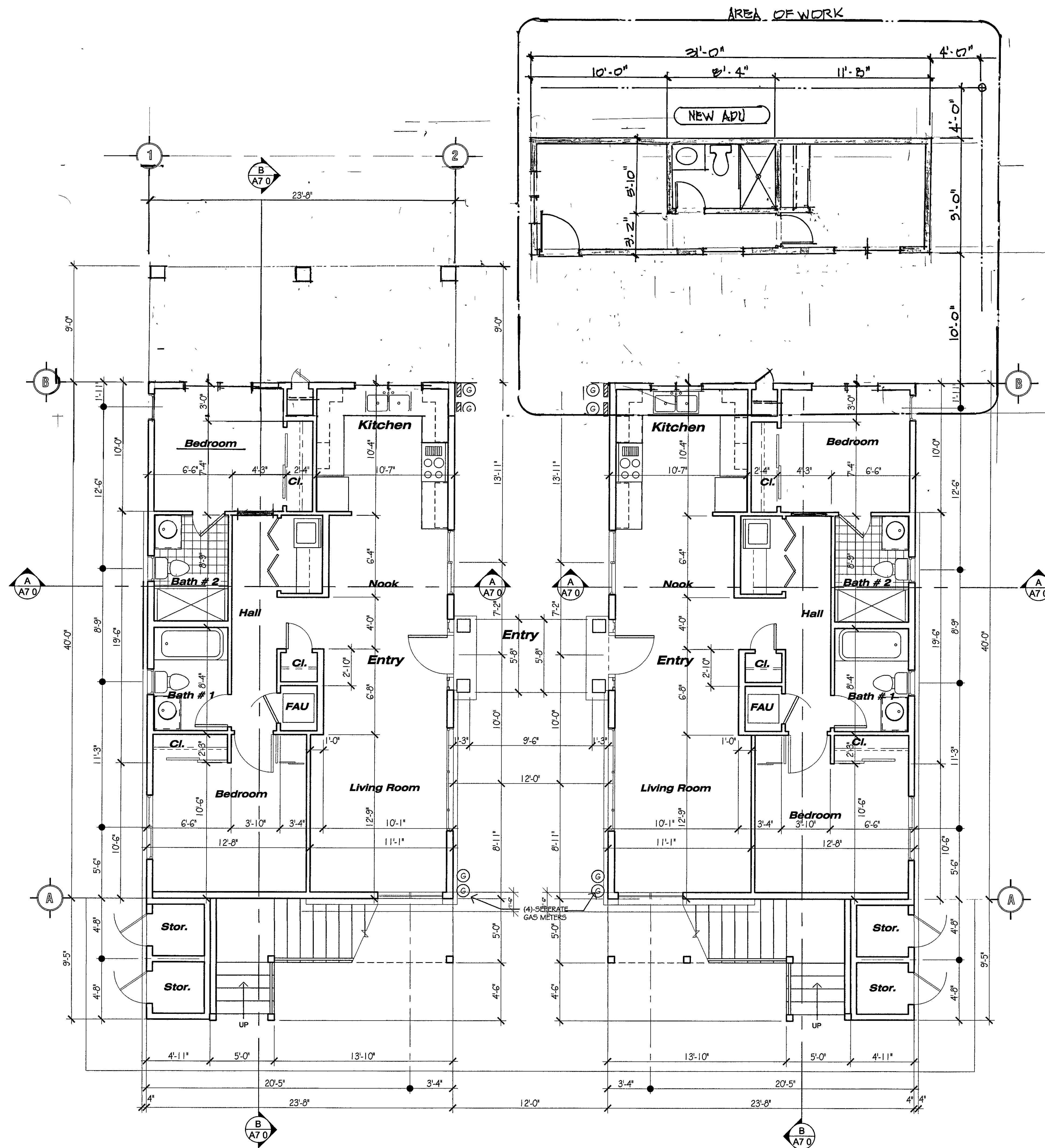
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A.8.0

630 N. Juniper Street

SCOTT A. SPENCER
 Architect Lic. C33340

PHONE: (619) 459-8898
 FAX: (619) 459-8901
 scottspencerarchitect@gmail.com



Dimensional First -Story Floor Plan

SCALE 1/4" = 1'-0"

SHEET TITLE:

1st. Floor Plan
Dimensional Floor

DESIGN BY: Arch Scott A

CHKD BY: Scott

DRWN BY:

DATE:

JOB NUMBER:

SCALE:

REVISIONS BY DATE

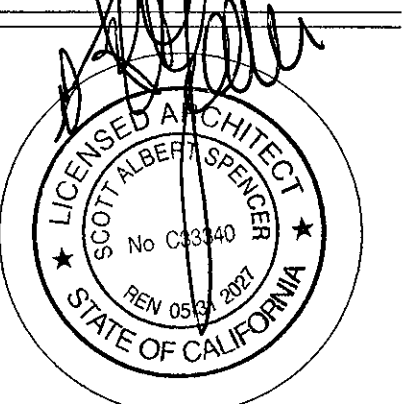
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PROJECT:

Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. " D"
LA JOLLA, CA 92037

BUS (650)459-8898
FAX (650)459-8901
scottspencerarchitect@gmail.com

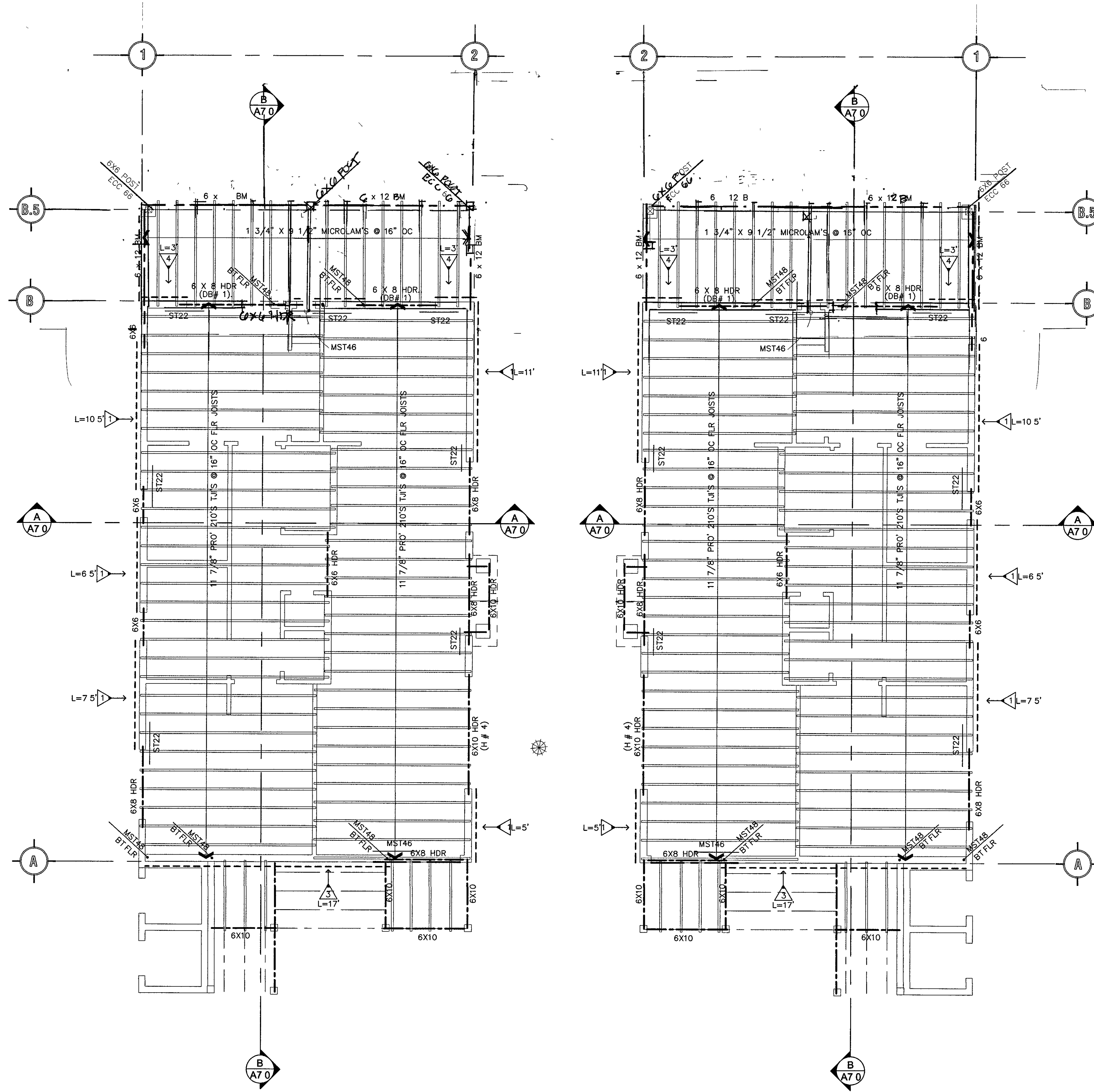


OWNER(S):

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SCOTT A. SPENCER
Architect Lic. C33340

S1.0



Floor Joist Framing Plan

SCALE 1/4" = 1'-0"

SHEET TITLE:

FLOOR JOIST FRAMING PLAN

DESIGN BY: Arch Scott A

CHKD BY:

DRWN BY:

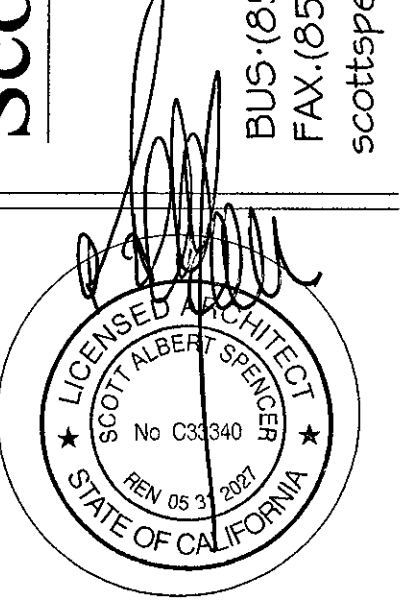
DATE:

JOB NUMBER:

SCALE: as note

REVISIONS	BY	DATE
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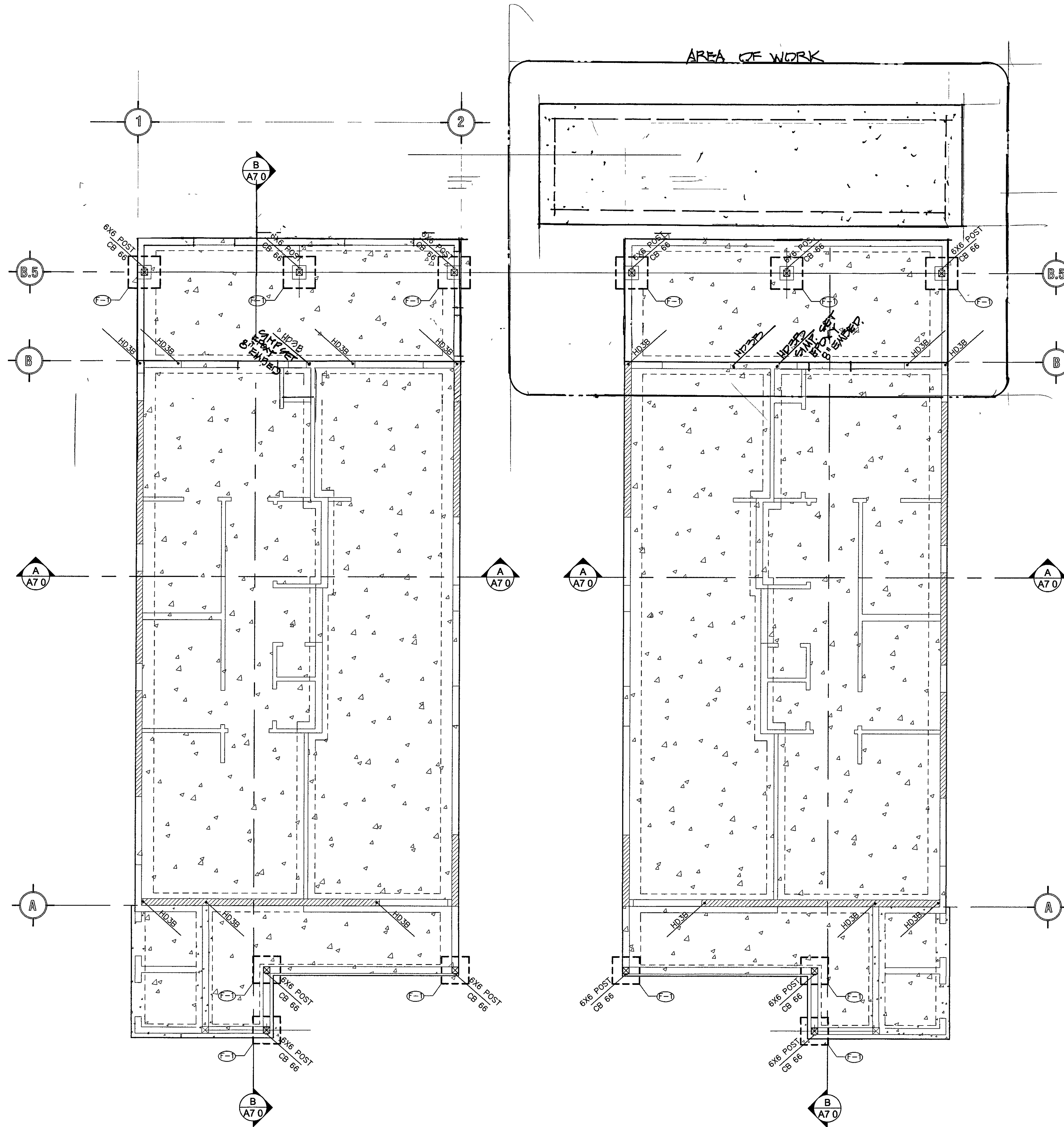
BUS: (658)459-8898
 FAX: (658)459-8901
 scottspencerarchitect@gmail.com

PROJECT:
 OWNER:

630 N. Juniper Street

SCOTT A. SPENCER
 Architect Lic. C33340

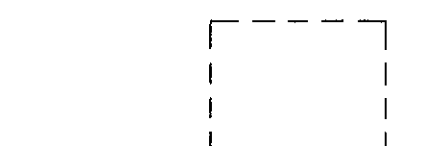
S2.0



Foundation Plan

SCALE 1/4" = 1'-0"

 DENOTES SHEAR WALL SEE SHT S 0
ANCHOR BOLT PLACEMENT

 2'-0" X 2'-0" X 2'-0" DEEP w/
5 @ 3" OC EW

 F-1

.....
EW w/ 2" SAND, 10 MIL VISQUEEN, d 2" sand

PROJECT:

OWNER:

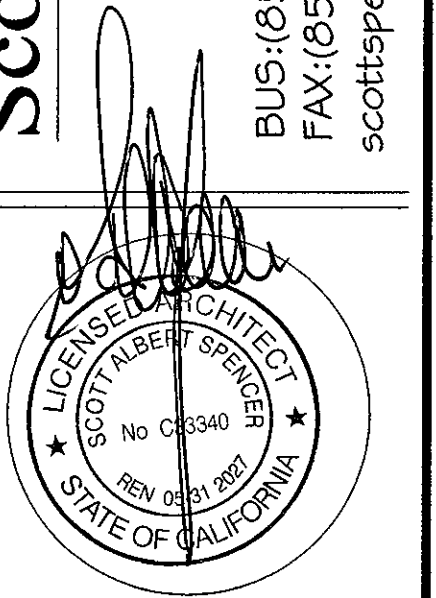
Scott A. Spencer & Associates

1110 TORREY PINES ROAD, STE. " D"
LA JOLLA, CA 92037

BUS: (658) 459-8895
FAX: (658) 459-8901
scottspencerarchitect@gmail.com

630 N. Juniper Street

SCOTT A. SPENCER
Architect Lic. C33340



SHEET TITLE:
Foundation Plan

DESIGN BY: Arch Scott A

CHKD BY: **Scott**

DRWN BY: Miguel Fierro

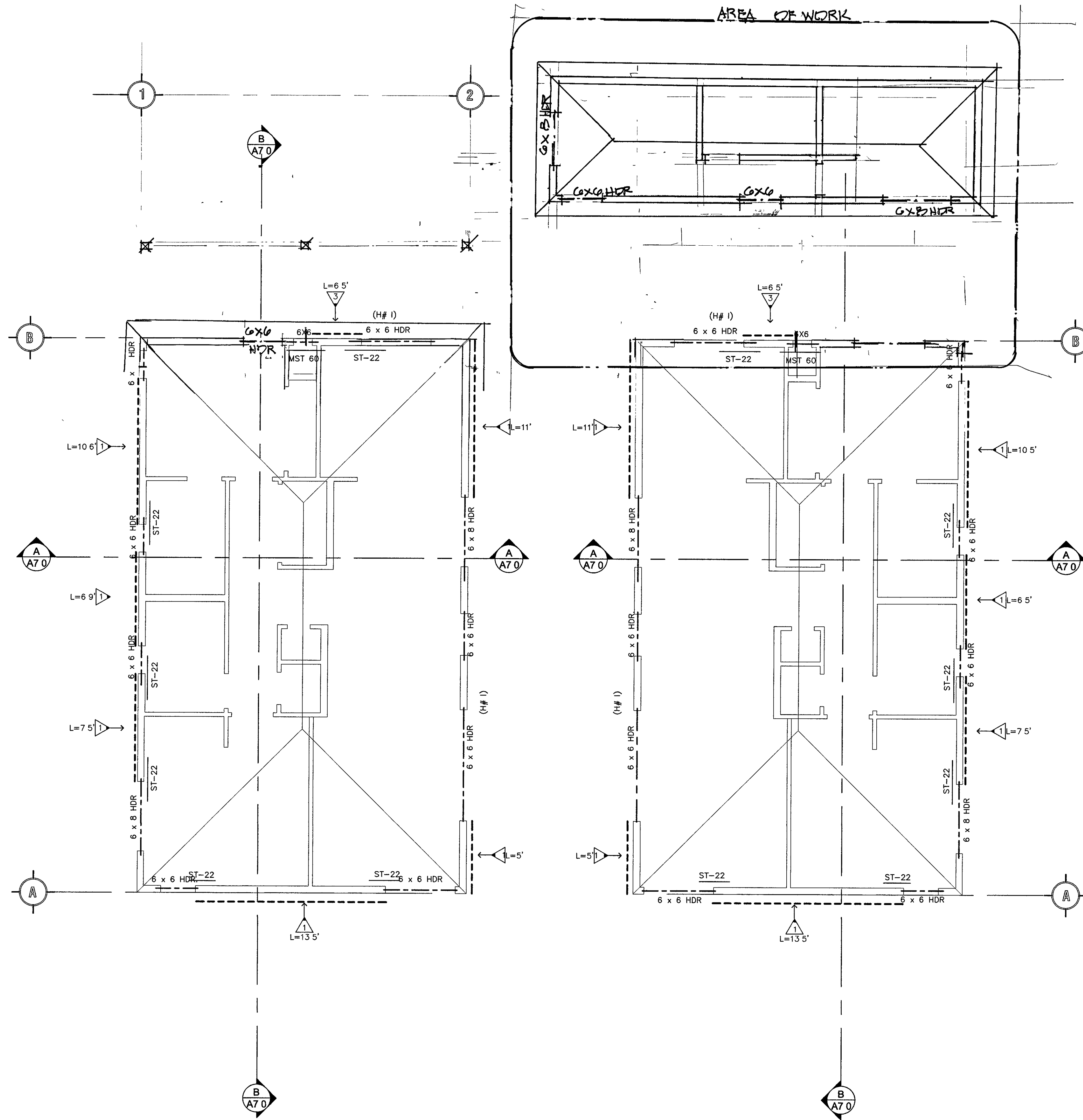
DATE:

JOB NUMBER:

SCALE:

REVISIONS	BY	DATE
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S3.0

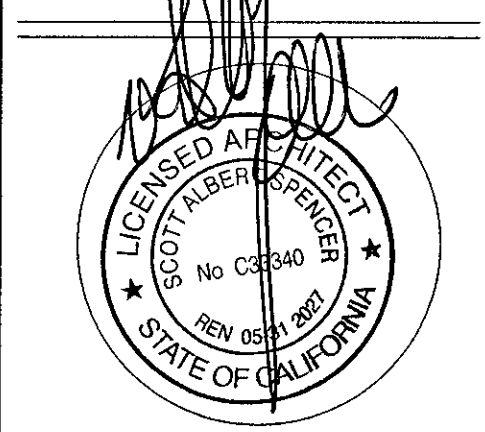


Ceiling Wall Framing Plan

SCALE 1/4" = 1'-0"

PROJECT:
OWNER(S):
630 N. Juniper Street

Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. " D"
LA JOLLA, CA 92037



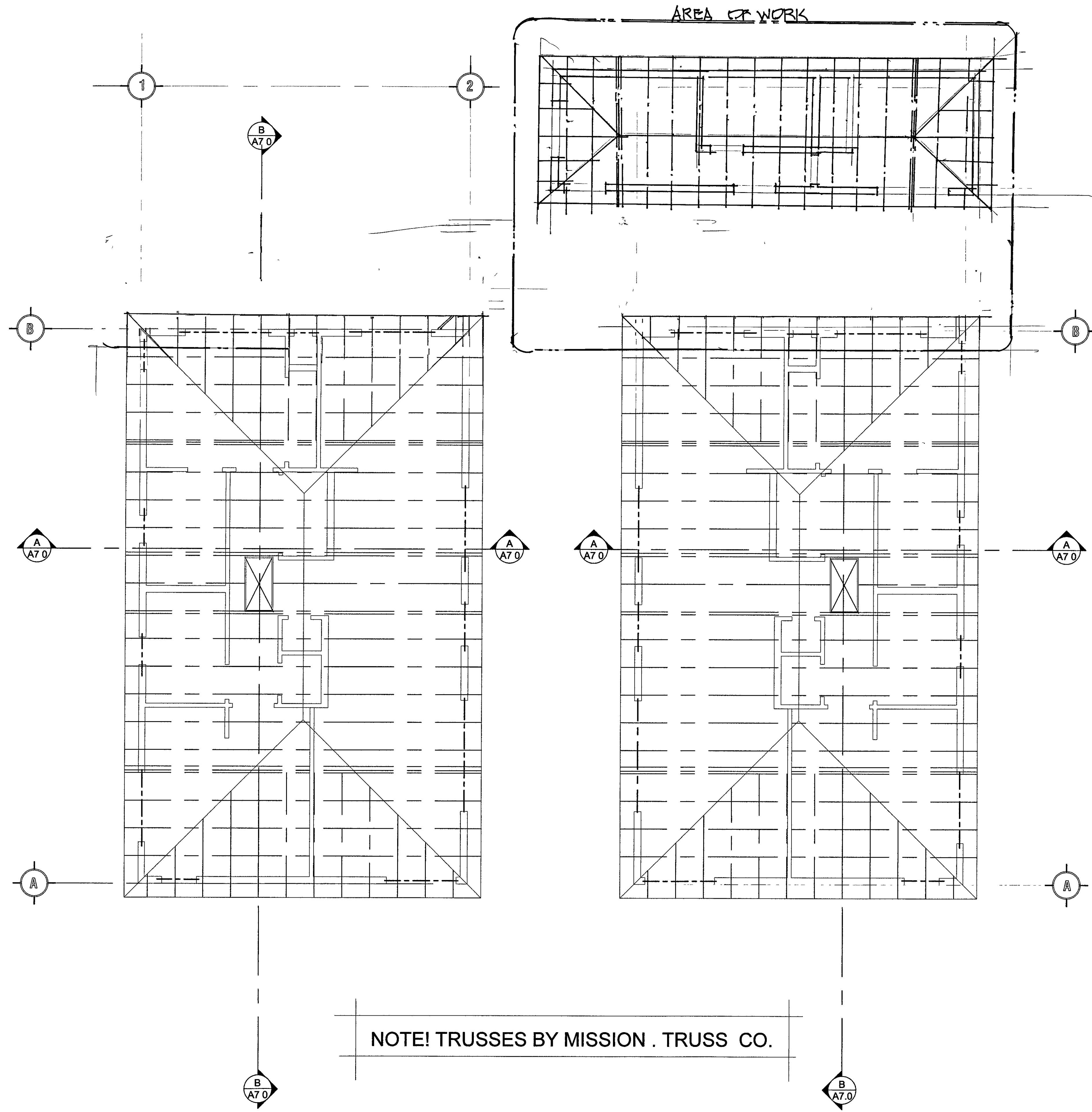
SHEET TITLE:
**CEILING WALL
FRAMING PLAN**

DESIGN BY: Arch Scott A
CHKD BY: Scott
DRWN BY: Miguel Fierro

DATE:
JOB NUMBER:
SCALE:

REVISIONS	BY	DATE
1		
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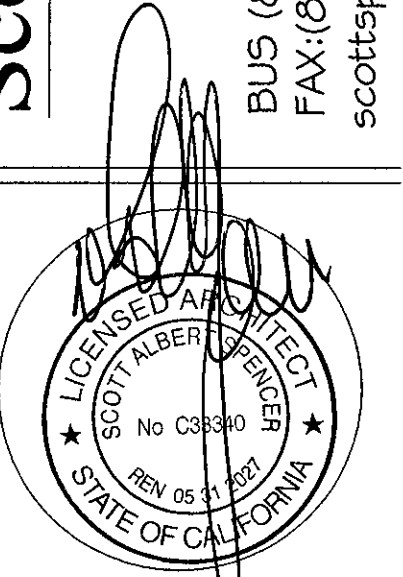
S4.0



Roof Truss Framing Plan

SCALE 1/4" = 1'-0"

ROOF SHEATHING 1/2" EXPOI. STRUCT I w/
PLYWOOD w/ 8d @ 6" O C EN BN , 8d @ 12" OC FN

PROJECT:		OWNER:	630 N. Juniper Street
Scott A. Spencer & Associates			
1110 TORREY PINES ROAD., STE. " D" LA JOLLA, CA 92037			
BUS (658)459-8898 FAX: (658)459-8901 scottspencerarchitect@gmail.com		SCOTT A. SPENCER Architect Lic. C33340	
			
ROOF TRUSS FRAMING PLAN			
DESIGN BY: Arch Scott A			
CHKD BY: Scott			
DRWN BY: Miguel Fierro			
DATE:			
JOB NUMBER:			
SCALE:			
REVISIONS			
1	BY	DATE	
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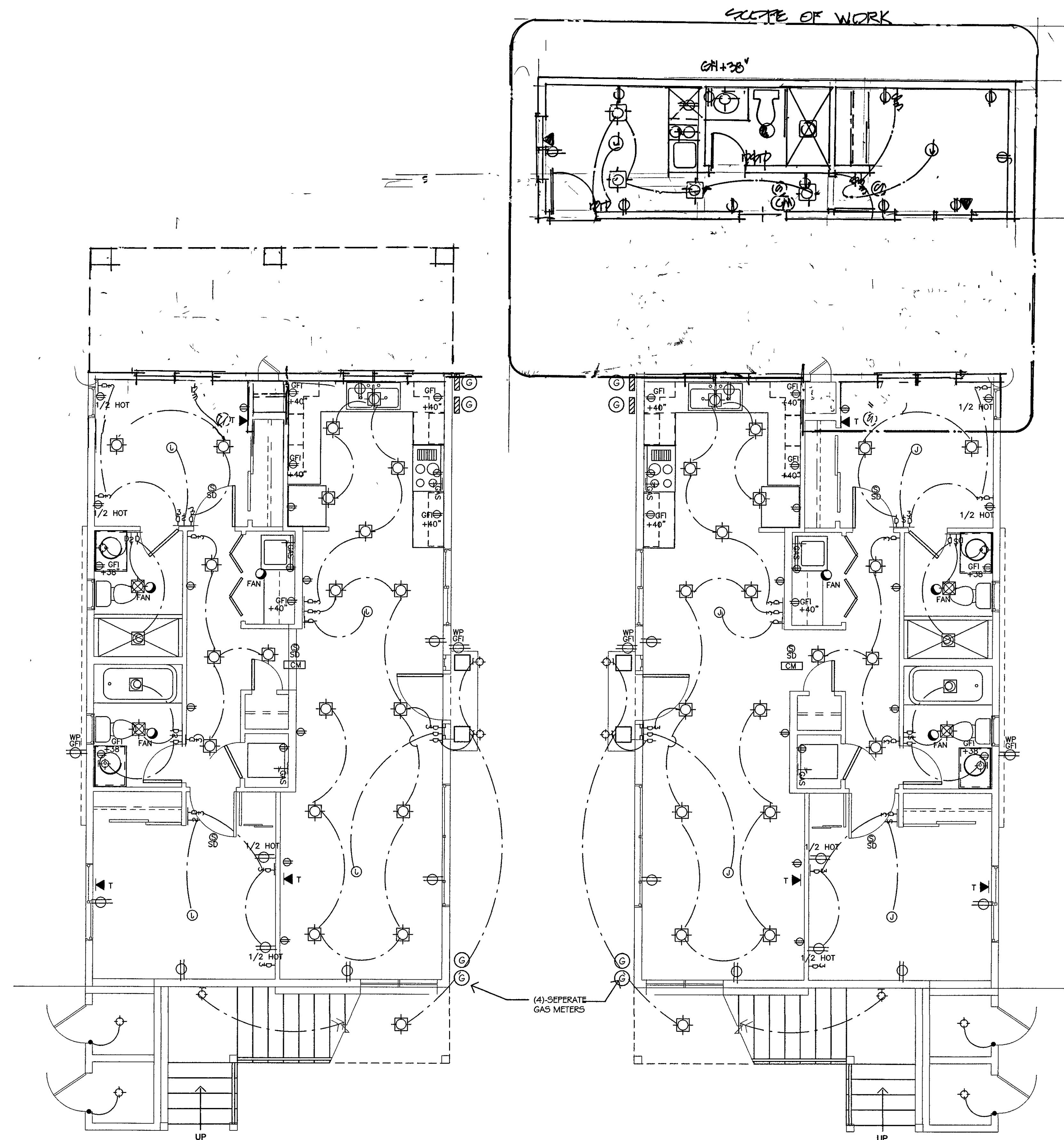
S4.1

SYMBOLS LEGEND:

- RECESSED CEILING FIXTURE
- RECESSED EYEBALL TYPE
- RECESSED FLUORESCENT LT FIXTURE
- WATERPROOF RECESSED FIXTURE
- SURFACE MOUNTED FIXTURE
- JUNCTION BOX FOR FAN/CHANDELIER
- EXHAUST FAN, MIN 100 CFM
- PENDANT LIGHT
- UNDER COUNTER FLUORESCENT
- 4 TUBE FLUORESCENT LIGHT
- DUPLEX CONVENIENCE OUTLET 110 VOLT
- GFI GROUND FAULT INTERRUPTING
- PHONE JACK
- CABLE TV JACK
- GAS BIBB SUPPLY
- SINGLE POLE LIGHT SWITCH
- SINGLE DIMMER SWITCH
- MULTIPLE POLE DIMMER SWITCH
- SMOKE DETECTOR
- CARBON MONOXIDE ALARMS PERMANENTLY WIRED w/ BATTERY BACKUP PER SECTION R315
- W/P WEATHER PROOF OUTLET
- DIRECTIONAL INCANDESCENT - SURFACE MOTION SENSOR
- NIGHT LIGHT OR STEP
- MOTION SENSOR LIGHT

GENERAL NOTES

- 1 - VERIFY WITH THE OWNERS LOCATIONS OF ALL LIGHTS PRIOR TO WIRING. VERIFY FLOOR OUTLETS.
- 2 - ALL OUTDOORS LIGHTING LUMINARIES MOUNTED TO THE BUILDING OR TO ANY OTHER STRUCTURE ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTO/CONTROL MOTION SENSOR COMBINATION.
- 3 - SINGLE & MULTIPLE STATION CARBON-MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL-2014-CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL-2015 [SEC R 315.3].
- 4 - CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE & BE EQUIPPED WITH A BATTERY BACK UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION [SEC R 315.1].
- 5 - SMOKE ALARMS SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED & MAINTAINED ON THE CEILING OR WALL OUTSIDE OR EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF ALL BEDROOMS IN EACH ROOM USED FOR SLEEPING PURPOSES IN EACH STORY WITH IN A DWELLING UNIT INCLUDING A BASEMENT, BUT NOT INCLUDING CRAWL SPACES OR UNINHABITABLE ATTICS.
- 6 - WHERE MORE THAN ONE SMOKE ALARM IS TO BE INSTALLED THE SMOKE ALARM IS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN AN INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- 7 - THE POWER SOURCE FOR SMOKE ALARMS "IN NEW CONSTRUCTION" REQUIRES ALARMS TO RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION.
- 1 - AT LEAST HALF THE INSTALLED WATTAGE OF LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.
- 2 - LIGHTING IN BATHROOMS, GARAGES LAUNDRY ROOMS & UTILITY ROOMS, ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
- 3 - OTHER ROOMS ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT.



ELECTRICAL VEHICLE CHARGING COMPONENTS WILL BE INSTALLED AS REQUIRED PER THE 2019 CALIFORNIA CODE SECTION 4106.4 ELECTRICAL VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION

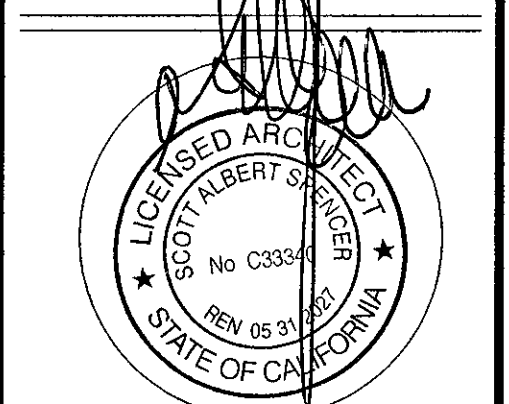
First -Story Electrical Floor Plan

SCALE 1/4" = 1'-0"

LIGHTING IN GARAGES LAUNDRY ROOMS AND UTILITY ROOMS ALL LUMINARIES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A VACANCY SENSOR

PROJECT: _____
OWNER(S): _____
630 N. Juniper Street

Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. " D"
LA JOLLA, CA 92037



SHEET TITLE:
**First Floor
Electrical Plan**

DESIGN BY: Arch Scott A
CHKD BY: Scott
DRWN BY: Miguel Fierro

DATE: _____
JOB NUMBER: _____
SCALE: _____

REVISIONS	BY	DATE
1		
2		
3		
4		

E1.0

SCOTT A. SPENCER
Architect Lic. C33340

BUS: (650) 459-8898
FAX: (650) 459-8901
scottspencerarchitect@gmail.com