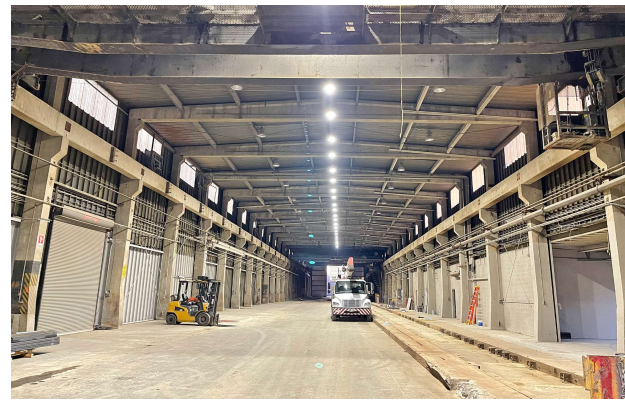


FOR LEASE

50,000± SF HIGH-BAY INDUSTRIAL FACILITY

2210 Manchester Road | Erie, PA 16506



OFFERED AT:
\$6.00/SF/YR -
NNN

PROPERTY HIGHLIGHTS

- 50,000± SF 5-Building Industrial Facility On 22± Acres
- BLDG 1: 36,320± SF Building With 32,000± SF High-Bay, Drive-Thru Industrial Space With 30' Ceilings
- Two 10-Ton Mobile Cranes & Two 23.5-Ton Crane Rails
- 5 Overhead Doors Plus ±54'W x 30'H Drive-Thru Door
- 1,050± SF Bay With 12'3" Ceilings & Overhead Door
- 3,270± SF Office Area With 6 Offices, Locker Room, Break Room, Storage Areas & 3 Restrooms
- BLDG 2: 2,670± SF Warehouse/Office W/ 2 Overhead Doors
- BLDG 3: 2,560± SF Warehouse/Garage With Overhead Door & 11'8" Clear Ceilings
- BLDG 4: 2,480± SF Drive-Thru Quonset Warehouse/Garage With 2 Overhead Doors & 12'-18' Clear Ceilings
- BLDG 5: 4,080± SF Warehouse With 3 Overhead Doors
- Public Water/Sewer & Natural Gas On-Site
- 277/480V 3 Phase Service - High Power Available
- Zoned I-3, Heavy Industrial District (Fairview Township)
- Conveniently Located 1,000' From Route 20/W. Ridge Road, 5.3 Miles From I-79 & 7.7 Miles From I-90
- Potential Rail Access With Norfolk & Western Railway, Truck Docks & Build-To-Suit Options
- Taxes & Insurance Approx. \$0.26/SF/YR Based On 2024
- Drone Video: <https://youtu.be/zNtEEFIIOzM>

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SBRE

50,000± SF INDUSTRIAL FACILITY

For Lease | 2210 Manchester Road | Erie, PA 16506

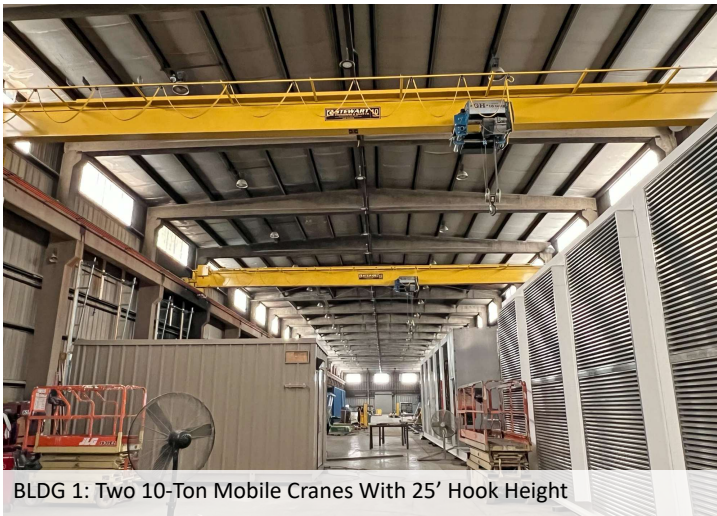
SBRE
SHERRY BAUER REAL ESTATE SERVICES



50,000± SF Industrial Facility On 22 Acres With Public Utilities



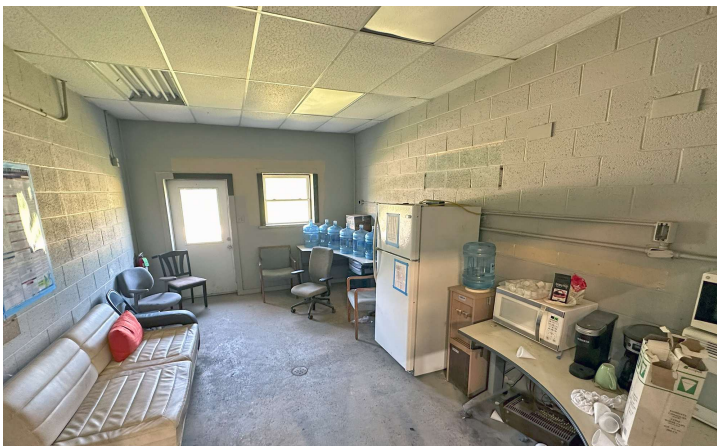
BLDG 1: 36,320± SF High-Bay Facility With 30' Ceilings & Gas Heat



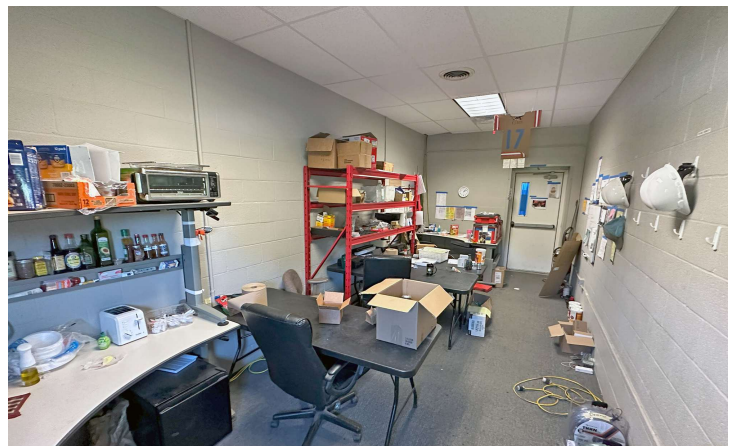
BLDG 1: Two 10-Ton Mobile Cranes With 25' Hook Height



BLDG 1: Two 23.5-Ton Crane Rails



BLDG 1: 3,280± SF Office Area With Gas Forced Air Heat, 5 Offices, Break Room, Locker Room, Storage Rooms & 3 Restrooms



BLDG 1: 3,280± SF Office Area With Gas Forced Air Heat, 5 Offices, Break Room, Locker Room, Storage Rooms & 3 Restrooms

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BLDG 2: 2,670± SF Warehouse/Office With 2 Overhead Doors



BLDG 5: 4,080± SF Warehouse/Office With 3 Overhead Doors



BLDG 3: 2,560± SF Warehouse/Garage With Overhead Door



BLDG 3: 11'8" Clear Ceilings



BLDG 4: 2,480± SF Drive-Thru Quonset Warehouse/Garage



BLDG 4: 2 Drive-Thru Overhead Doors, 12'-18' Clear Ceilings & Gas Heat

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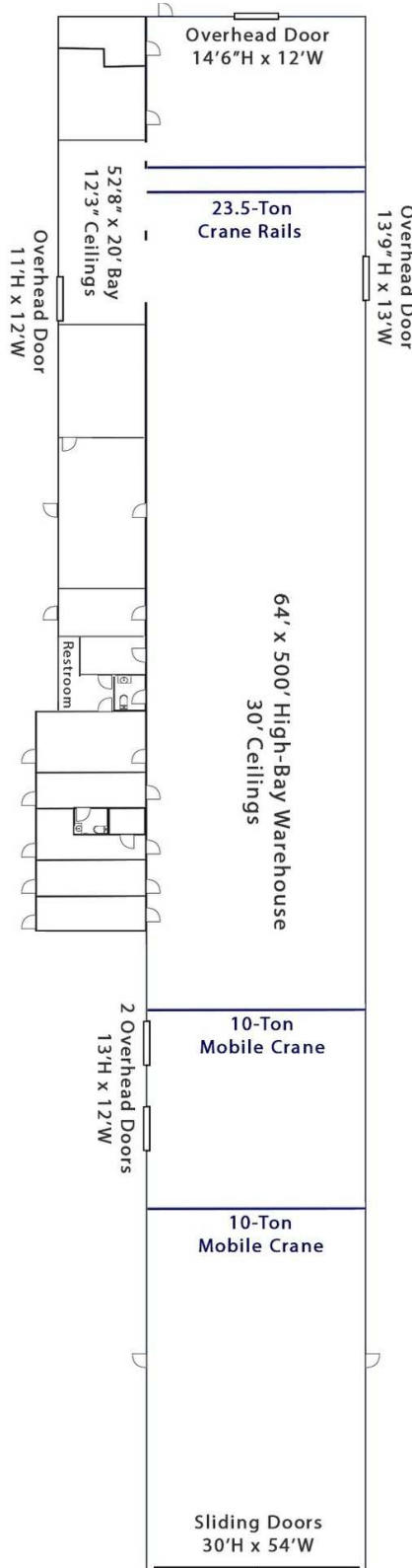
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50,000± SF INDUSTRIAL FACILITY

For Lease | 2210 Manchester Road | Erie, PA 16506

Floor Plan - Bldg. 1

2210 Manchester Road | Erie, PA



36,320± SF Total Square Feet

32,000± SF High-Bay Industrial Area

1,050± SF Low-Bay Industrial Area

3,270± SF Office/Storage Area

NOTE: Drawing may not be to scale. All dimensions are approximate.

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- Package Includes 5 Buildings On 22± Acres With Public Utilities
- Rail Potential With Norfolk & Western Railway Running Along Length Of Property
- Bus Stop At Property Entrance Along Manchester Road

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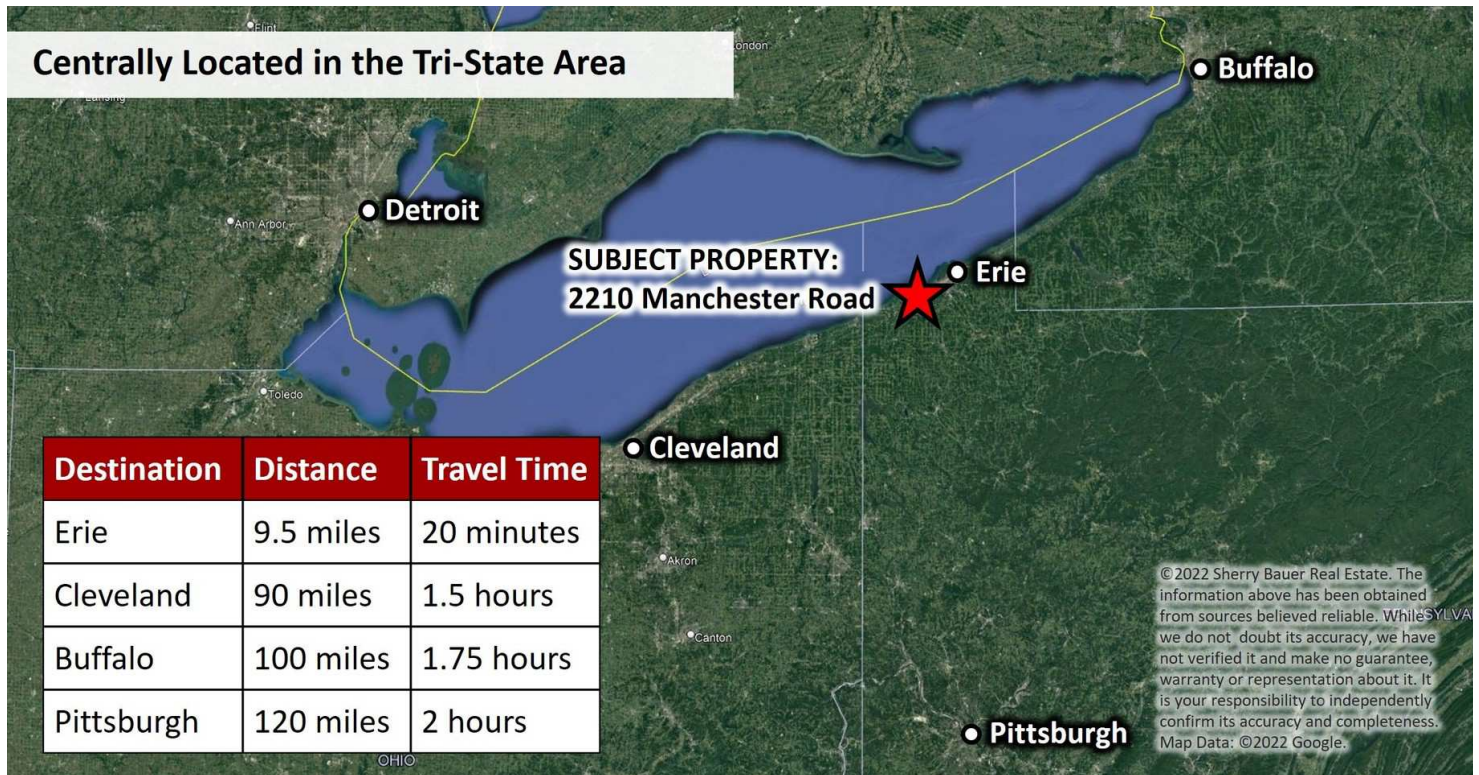
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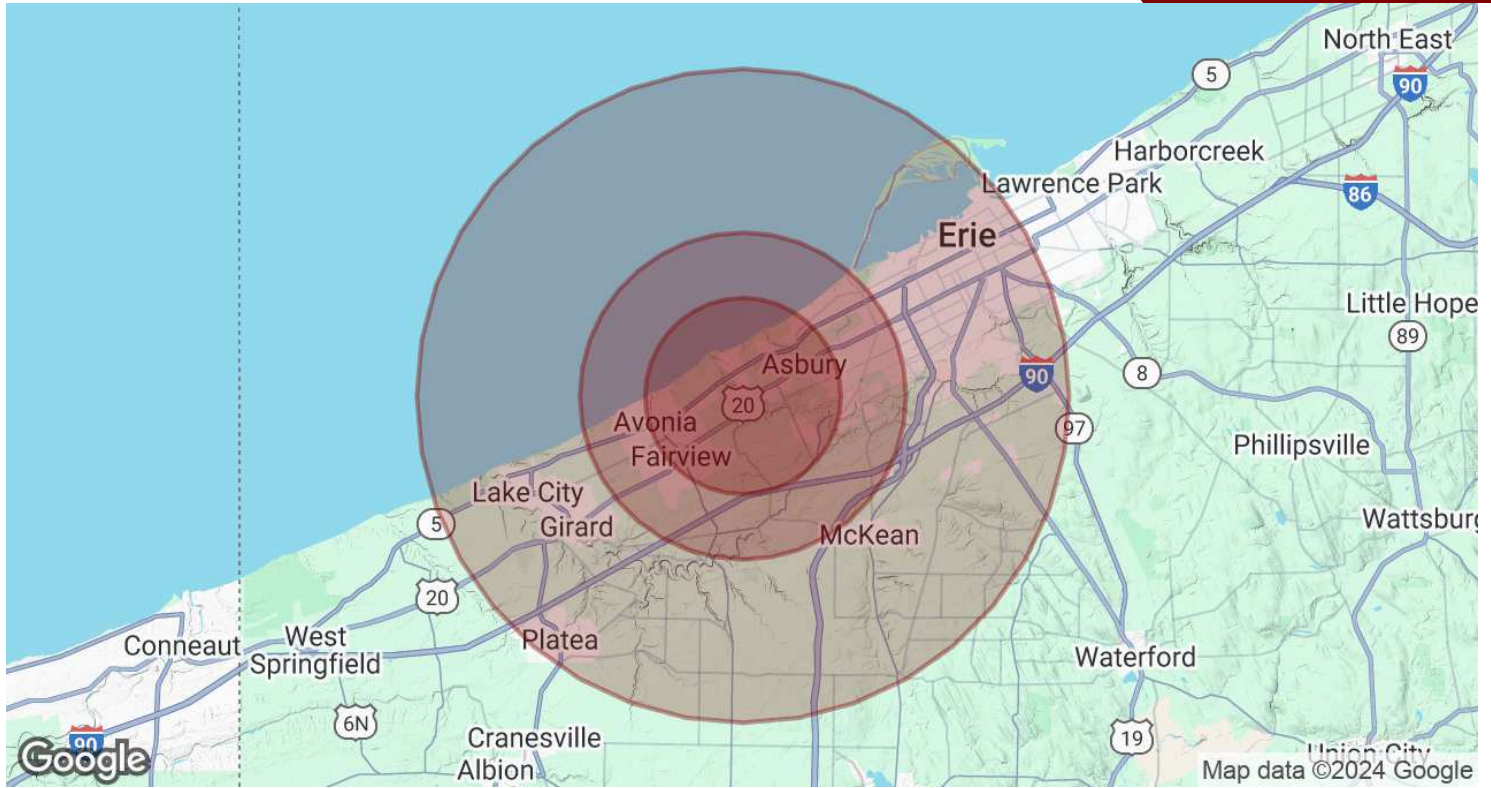
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POPULATION	3 MILES	5 MILES	10 MILES
Total Population	13,931	34,858	139,415
Average Age	43.4	43.2	39.6
Average Age (Male)	41.7	41.4	38.1
Average Age (Female)	45.3	44.8	41.1
HOUSEHOLDS & INCOME	3 MILES	5 MILES	10 MILES
Total Households	5,238	13,252	56,656
# Of Persons Per HH	2.7	2.6	2.5
Average HH Income	\$85,263	\$83,596	\$62,368
Average House Value	\$188,995	\$200,173	\$179,009

* Demographic data derived from 2020 ACS - US Census

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2. A 25 foot buffer strip shall be established where the Industrial Park District abuts Residential Districts. The visual buffer shall be planted with a mixture of Hemlock and Red Maple trees one inch in diameter interspersed with Red Osier Dogwood shrubs. All tree plantings shall be no closer than 12 feet to the property boundary. Hardwoods and softwoods shall be mixed to provide a pleasing appearance. Developer shall maintain buffer strip for two full growing seasons to allow the buffer plantings to develop their growth potential.

3. Visual buffers shall be maintained and kept in good repair at all times.

Section 708 I-3 HEAVY INDUSTRIAL DISTRICT

A. Permitted Uses

1. Wholesale, warehousing and storage.
2. Building materials supply.
3. Distributing plant, beverage, bottling or distribution.
4. Laboratories devoted to research design, experimentation processing and fabrication incidental thereto.
5. Printing, publishing and allied processes.
6. Utility, communication, communication towers, electric and gas company operations.
 - a. Communication towers must allow for a co-location antennae for public emergency services and public safety.
 - b. Must comply with Section 708 C. 6. B 1, 2, 3.
7. Highway freight, transportation and warehousing.
8. Food and kindred products, package, storage and distribution.
9. Cleaning and dyeing works.
10. All assembly, manufacturing, compounding, processing, packaging or treatment facilities within all federal, State and County requirements.

a. All storage associated with principal uses 1. through 10. shall comply with storage provisions, as specified under the use provisions of 708.A. 11. through 13., when applicable.

11. Storage of material may be permitted provided:

a. The storage is limited to 50 feet from front property lines and 15 feet from side and rear yard property lines.

b. The storage area is completely enclosed by sight-obscuring screen being a masonry wall, wooden fence, chain-link fence with filler strips or compact evergreen hedge or vines, at least eight feet in height and kept in repair at all times.

c. The height of the material stores shall not be greater than the height of the screen.

12. Junkyards are permitted provided:

a. Site is completely enclosed by a sight-obscuring screen being a masonry wall, wooden fence, chain-link fence with filler strips or compact evergreen hedge or vines at least eight feet in height and kept in repair at all times.

b. The site contains one entrance and one exit less than 30 feet in width.

c. Storage is limited to non-organic material.

d. The site is located in a minimum of 200 feet from any adjoining District.

e. The site is located a minimum of 100 feet from any street line.

f. Off-street parking is provided within the site enclosure.

g. On-site burning or incineration of vehicles is prohibited unless said burning is carried out in a completely enclosed incinerator as approved by the Township Fire Department and/or Department of Environmental Protection.

h. The height of the material stored shall not be greater than the height of the screen.

13. Landfill/transfer station and concrete mixing, asphalt processing facilities and mineral extraction including coal, limestone, sand, gravel, salt and other open-pit subsurface activities, concrete crushing, rock crushing facilities may be

permitted as a special exception by the Zoning Hearing Board and shall meet the following requirements:

- a. These uses shall be limited to land parcels greater than five acres in size.
- b. There shall be a minimum 50 foot front, side and rear lot line setback for open-pit mineral extraction up to 20 feet deep. The setback requirement shall be increased two feet for each additional foot of depth in excess of 20 feet.
- c. The excavation area shall be back filled and re-vegetated in such a manner as to permit future reuse of the land.
- d. The mineral extraction process including cuts, slopes and embankments shall be in accordance with appropriate State open-pit mineral extraction safety requirements of the Pennsylvania Department of Environmental Protection.
- e. The certification by the processing and/or extracting industry that the operations will be conducted in conformance with appropriate State requirements.
- f. Landfill, transfer station and recycling separation requirements are also as follows:
 - (1) A buffer zone of 200 feet from all public rights-of-way and Residential Districts.
 - (2) A sight-obscuring screen being a masonry wall, wooden fence, chain-link fence with filler strips or compact evergreen hedge or vines at least eight feet in height and kept in repair at all times shall parallel all public rights-of-way and adjacent properties for purposes of preventing the passing of windblown litter and preventing direct visibility of the working area from public rights-of-way and adjoining properties.
 - (3) The access shall consist of no more than two access routes, unless the landfill property borders three or more street rights-of-way.
 - (4) A Bond shall be filed with the Fairview Township Board of Supervisors (amount to be determined by Fairview Township Engineer) to provide for final covering and reclamation as specified under the provisions set in accordance with the approval of the Pennsylvania Department of Environmental Protection permit for landfill, transfer station or recycling separation.
 - (5) Copy of approval and permit by the Pennsylvania Department of Protection, Bureau of Land Recycling and Waste Management and in

conformance with the Pennsylvania Solid Waste Management Act shall be filed with the Fairview Township Board of Supervisors before a zoning permit may be issued.

14. Outdoor Billboard Advertising:

- a. Minimum of 750 feet between structures.
- b. Minimum building line of 50 feet.
- c. Maximum area of 300 square feet (12 feet x 25 feet) per advertisement facing.
- d. Maximum of two advertisement facings per location.
- e. Minimum of one off-street parking space.
- f. Maximum height of 22 feet above the road grade.
 - (1) Road Grade - elevation at billboard location on center line of road.
 - (2) Facings shall not be stacked.
- g. The use of billboards with moving devices, intermittent lighting or billboards similar to traffic control devices are prohibited.
- h. All billboards must be constructed of durable materials, kept in repair and not allowed to become dilapidated. Each billboard shall be removed when the circumstances leading to its erection no longer apply.

B. Accessory Uses

- 1. Signs. See Supplementary Regulations, Section 824.
- 2. Other accessory uses customarily incidental to a permitted principal use.

C. Lot and Area Requirements

- 1. Minimum lot area - one acre.
- 2. Minimum lot width - 135 feet.

3. Minimum front yard.
 - a. 50 feet along Township streets.
 - b. 100 feet along State roads.
4. Minimum side yard.
 - a. 25 feet.
 - b. 100 feet adjacent to a Residential District.
 - c. Accessory use - the height of the structure but no less than 25 feet.
5. Minimum rear yard.
 - a. 50 feet.
 - b. 100 feet adjacent to a Residential District.
 - c. Accessory use - the height of the structure but no less than 25 feet.
6. Maximum building height - 50 feet with the following exceptions:
 - a. Wind turbines to serve only the premises upon which it is located, chimneys, water tanks, communication towers and antennae, ventilators and other similar structures, whether or not accessory to building or appurtenant thereto may be erected to a height exceeding 50 feet provided they are in compliance with the applicable federal regulations relative to objects affecting navigable air space.
 - b. Any such structures whose height at any point will exceed 100 feet shall only be permitted as a special exception by the Zoning Hearing Board with the following restrictions:
 1. The structures must be in operation and not vacated for more than 6 months.
 2. The applicant must supply Fairview Township with a bond or suitable form of financial surety for the removal of such structure.

3. The minimum setback to all property boundaries shall be the height of the structure, plus 30 percent.

7. Maximum building lot coverage - 50 percent.

8. Maximum lot depth to width ratio -three to one.

9. Minimum lot depth - 250 feet.

10. No street entrance or exit for vehicles and no portion of equipment shall be located:

a. Within 200 feet of a street entrance or exit of any school, park or playground conducted and/or attended by children.

b. Within 75 feet of an adjacent lot in a Residential District.

11. No equipment above surface of ground shall be parked or stored closer than 25 feet to any property line.

12. The width of any entrance driveway leading from the public street to such use shall not exceed 130 feet at its intersection with the curb line or edge of pavement, and grade level shall be maintained for a distance of 100 feet into the lot.

13. No two driveways leading from a public street to such use shall be within 50 feet of each other at their intersection with the curb or street line.

14. Parking and vehicle access shall be so arranged such that there will be no need for the motorist to back over a sidewalk or into a street.

D. Off-Street Parking and Loading Requirements

1. Parking requirements: one space for every 800 square feet of floor area and one space for each employee on maximum work shift.

2. Loading requirements: one unit for every 10,000 square feet of building area.