



Eureka Square Shopping Center

20-210 Eureka Square
Pacifica, CA 94044



For Additional information, contact Exclusive Agent:

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Rev. December 20, 2024



New Exterior Building Signage



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Retail For Lease



New Monument Signage



New Exterior Remodel



New Exterior Building Signage



New Exterior Remodel



New Exterior Remodel



New Exterior Remodel



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Property Description

Beautiful Exterior Remodel has been Completed! Well maintained retail shopping center and a 3 story elevator served office building located off of Highway 1 and Oceana Blvd. in Pacifica. Lots of parking, new monument signage, new exterior building signage, low rents. Oceana Market, the anchor grocery store, has been recently remodeled inside and its sales have increased dramatically under new ownership. Over 25 retail stores on the ground floor with over 30 separate upstairs offices. A wonderful mixed-use project with synergistic co-tenants, all from the local area.

Our Tenants are expanding! Ocean Yoga, Longboard Margarita Bar, Dinosaur's Sandwiches and Plato's Closet Apparel. Oceana Supermarket's volume increased almost 20% over last year!

One of the few retail centers in Pacifica's trade area which includes Montara and Moss Beach. It has quite a draw for tourists and commuters along Highway 1. High level of college educated adults in the trade area.

Location Description

Immerse yourself in the coastal charm of Pacifica, CA located off US Highway 1, where every day feels like a seaside getaway. Situated near the picturesque Eureka Square Shopping Center, this vibrant neighborhood offers a perfect blend of local flair and modern convenience. Explore the stunning nearby beaches such as Linda Mar Beach and Rockaway Beach, perfect for attracting locals and tourists alike. With an array of dining options, boutique shops, and a strong sense of community, this area is an ideal location for Retail/Neighborhood Center tenants seeking a thriving and dynamic setting to engage with a diverse customer base.



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Offering Summary

Lease Rate:	Negotiable
Estimated NNN Charges	.45 SF / month - 2024
Number Of Units:	69
Available SF:	1,844 - 3,033 SF
Lot Size:	277,477 Acres
Building Size:	48,000 SF

Property Highlights

- Exterior Remodel Completed!
- Oceana Market is a beautiful, locally owned gourmet grocery store
- Popular Local Center serving the coastal communities & Easy Access to Highway 1
- Prominent Co-Tenants
- New Monument & New Building Signage
- High Speed Comcast Cable (Voice, Data & Internet "Triple Play") for Office & Retail
- Convenient Storefront Parking & ADA Compliant Parking Lot
- Separate Electrical



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Lease Information

Lease Type:	NNN	Lease Term:	Negotiable
Total Space:	1,844 - 3,033 SF	Lease Rate:	Negotiable

Available Spaces

Suite	Size (SF)	Lease Type	Lease Rate	Description
■ 110 Eureka Square	1,844 SF	NNN	Negotiable	25' W x 40' D. Faces Ocean Blvd. Full height storefront glass, 100% drop t-bar ceiling, large open area, 1 restroom, 100 amp; 3 PH; 4 W; 120/208V electrical panel and rear door. Available Now.
■ 210 Eureka Square	3,033 SF	NNN	Negotiable	± 25' W x 121' D. End Cap Unit. Glass double entrance doors, upgraded 2' x 2' drop t-bar ceiling 9' 7" AFF, upgraded parabolic light fixtures 2' x 4', recessed fire sprinkler heads, large open area, conference room, 2 offices, server room, 40-gallon gas water heater, 2 ADA restrooms, storage room, breakroom (sink with cabinets above & below), carpet & vinyl tile flooring, 2 HVAC units, 2 electrical panels (EPA: 100 Amp; 3 PH; 4 W; 240V) & (EPB: 50 Amp; 3 PH; 4 W; 208/120V), rear door. Available Now.



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Retail For Lease

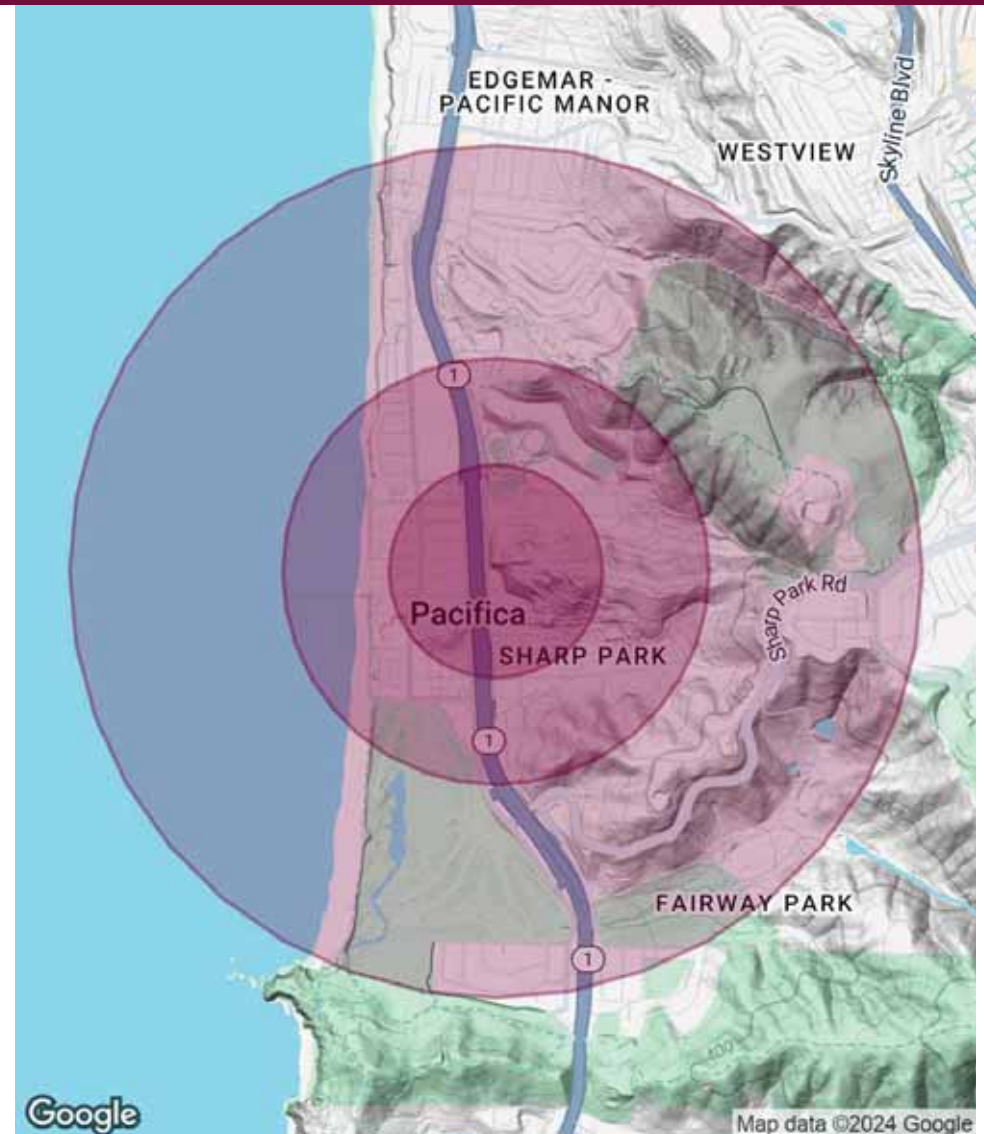
Population	0.25 Miles	0.5 Miles	1 Mile
Total Population	1,230	3,081	6,028
Average Age	37.4	38.2	41.8
Average Age (Male)	39.3	40.4	42.9
Average Age (Female)	39.0	38.5	42.1

Households & Income	0.25 Miles	0.5 Miles	1 Mile
Total Households	588	1,429	2,641
# of Persons per HH	2.1	2.2	2.3
Average HH Income	\$124,688	\$127,115	\$130,562
Average House Value	\$794,003	\$814,460	\$873,094

* Demographic data derived from 2020 ACS - US Census

Traffic Counts - 24 Hour ADT as of 2018

Ocean Blvd. at Paloma Avenue	3,000
Coast Highway at Paloma Avenue	39,150
Coast Highway at Mori Point Road	54,600
I-280 at King Drive	195,000



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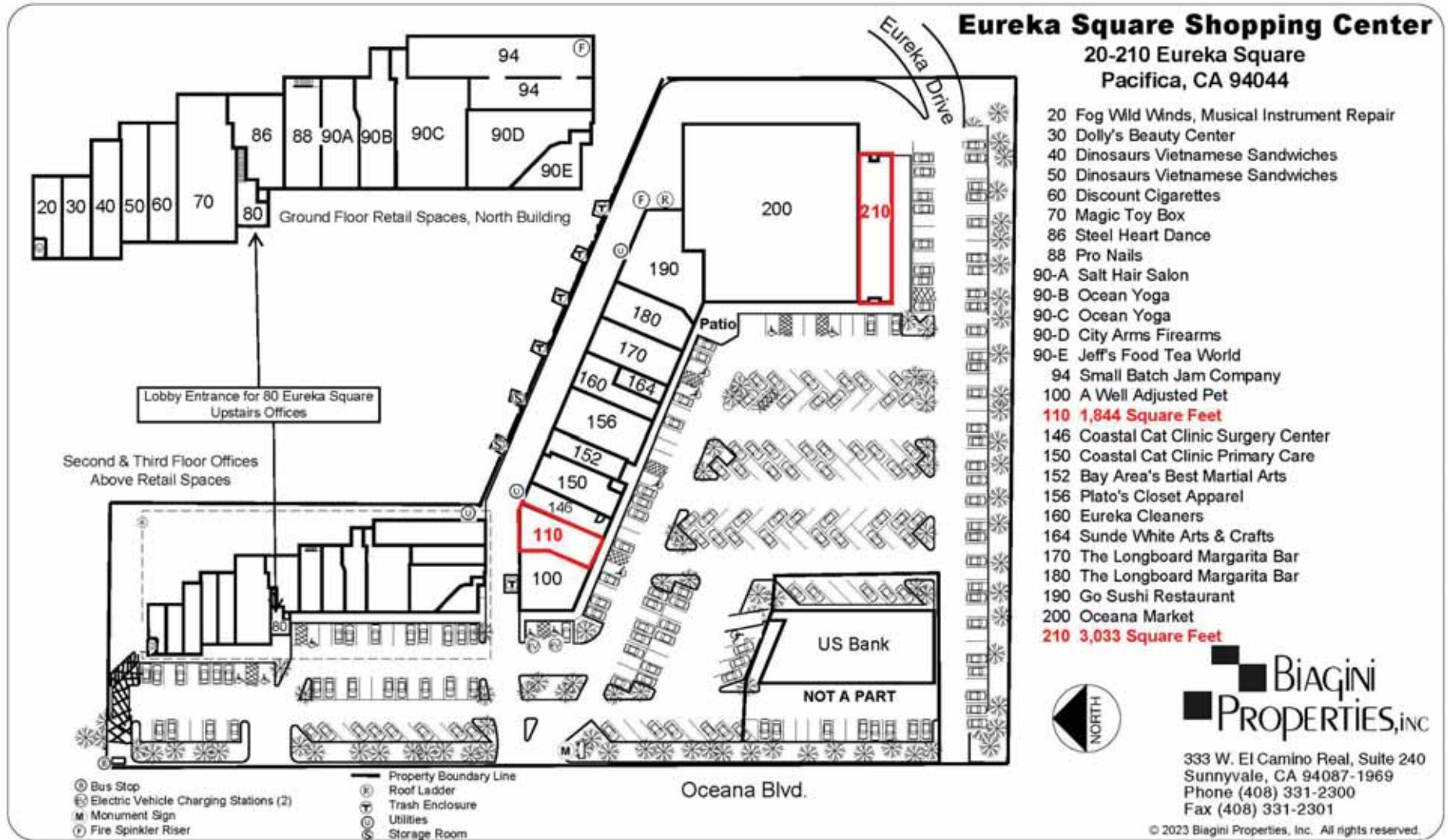
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Site plan not to scale and subject to change without notice.



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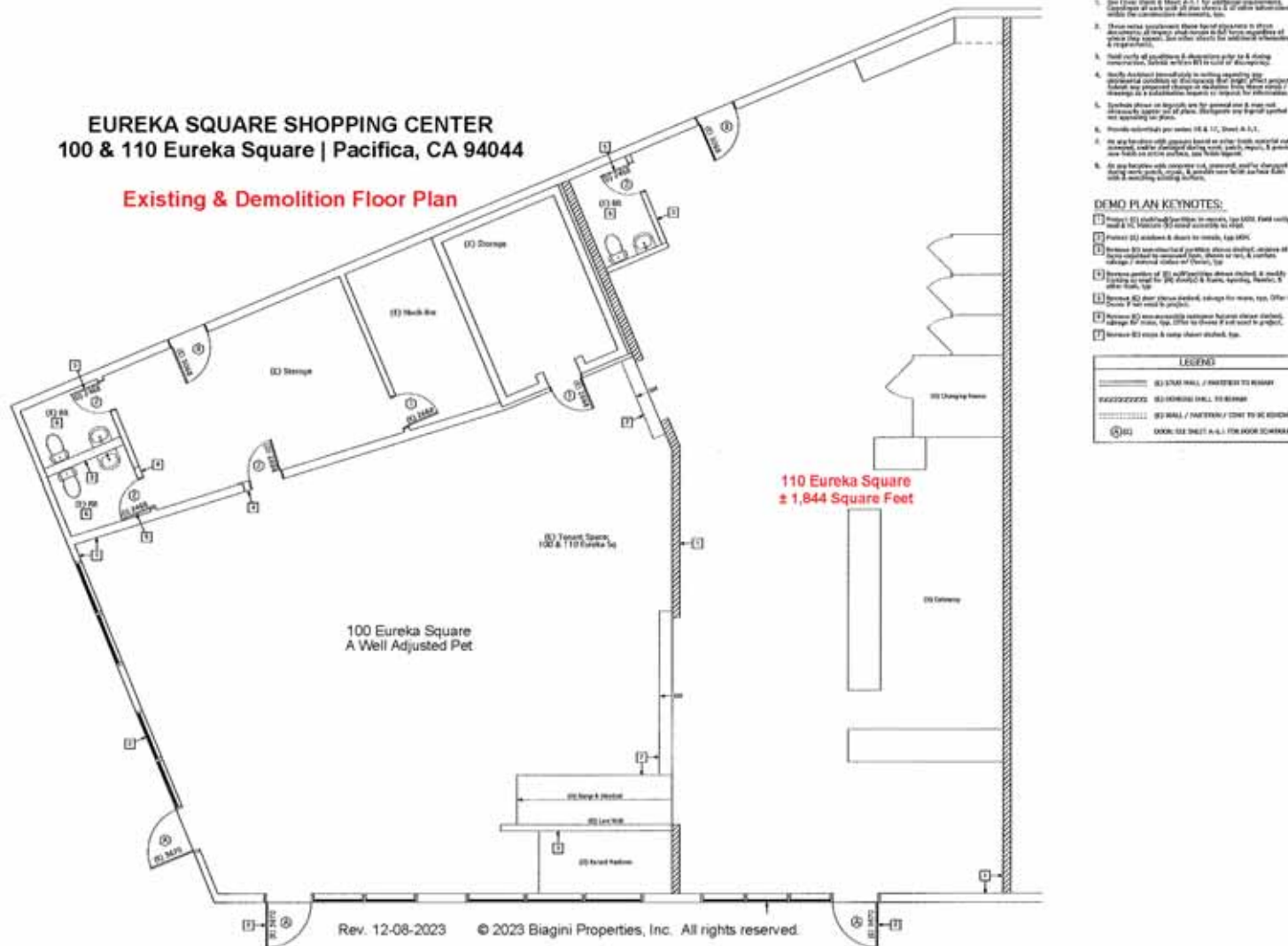
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EUREKA SQUARE SHOPPING CENTER 100 & 110 Eureka Square | Pacifica, CA 94044

Existing & Demolition Floor Plan



SHEET NOTES:

1. See General Notes & Sheet A-1.1 for additional requirements.
2. See Notes A-1.1 & A-1.2 for additional requirements.
3. Show notes placement above floor elevations to show the location of any existing or proposed work.
4. Show notes placement above floor elevations to show the location of any existing or proposed work.
5. Show notes placement above floor elevations to show the location of any existing or proposed work.
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7. Show notes placement above floor elevations to show the location of any existing or proposed work.
8. Show notes placement above floor elevations to show the location of any existing or proposed work.

DEMO PLAN KEYNOTES:

1. Remove (E) existing partition to create, top 1000. Field only, wall & 10. Remove (E) door accessibility to show.
2. Remove (E) existing & show to create, top 1000.
3. Remove (E) existing partition to create, top 1000. Field only, wall & 10. Remove (E) door accessibility to show.
4. Remove (E) existing partition to create, top 1000. Field only, wall & 10. Remove (E) door accessibility to show.
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LEGENDS	
---	(E) EXISTING WALL / PARTITION TO REMOVE
----	(E) EXISTING WALL TO REMAIN
---	(E) WALL / PARTITION / CORE TO BE REMOVED
⊕	DOOR: SEE SHEET A-1.1 FOR DOOR SCHEDULE



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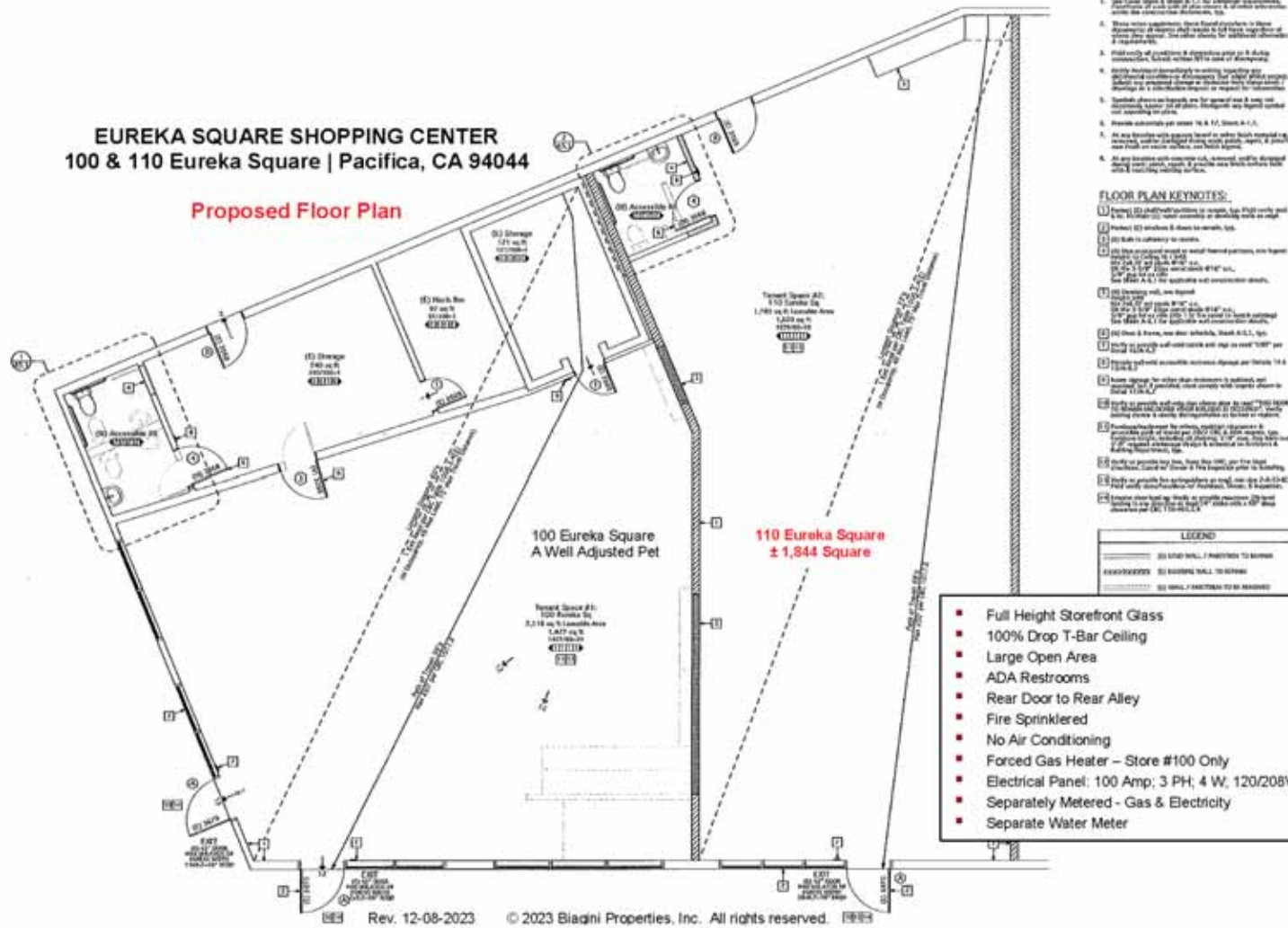
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Proposed Floor Plan



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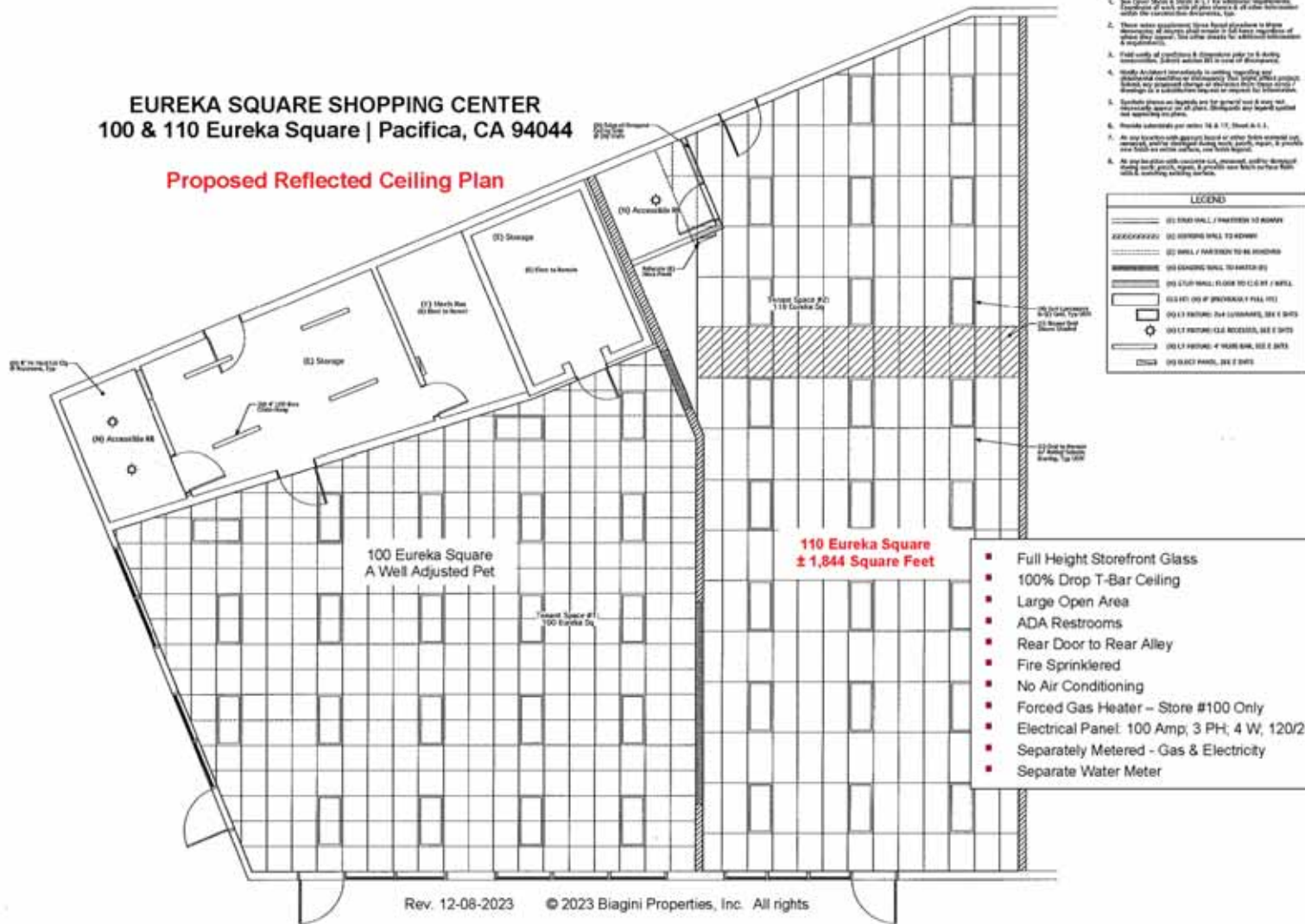
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EUREKA SQUARE SHOPPING CENTER
 100 & 110 Eureka Square | Pacifica, CA 94044

Proposed Reflected Ceiling Plan



SHEET NOTES:

- See Eureka Square & Sheet A-1.1 for additional requirements. Compliance of each unit of plan sheets & all other information within the construction documents, take.
- These notes supplement those found elsewhere in these documents. All items shall comply in full with regulations of which they comply. See other sheets for additional information & requirements.
- Field verify all conditions & dimensions prior to & during construction. Submit notices AS to cost of discovery.
- Verify All project requirements in writing regarding any structural condition or deficiency. This project shall proceed. Submit any proposed change or deviation before construction drawings to a subcontractor layout or request for information.
- Structural drawings shall be used for general use & any other structural drawings shall be used. Compliance with applicable codes and regulations shall apply.
- Provide submittals per notes 16 & 17, Sheet A-1.1.
- All new fixtures with gaseous fuel or other fuels extend out, and shall be installed with proper venting, piping, & provide vent to exterior wall, and provide vent to exterior wall with a venting hooding device.

LEGEND

(---) (---)	(S) END WALL / PARTITION TO REMAIN
(---) (---)	(S) EXISTING WALL TO REMAIN
(---) (---)	(S) EXIST. / PARTITION TO BE REMOVED
(---) (---)	(S) EXISTING WALL TO REMAIN (S)
(---) (---)	(S) EXISTING WALL FLOOR TO CEILING / RAFTER
(---) (---)	(S) EXIST. (S) OF EXISTINGLY FULL (S)
(---) (---)	(S) EXIST. PARTING: SEE DIMENSIONS, SEE E-DATA
(---) (---)	(S) EXIST. PARTING: SEE DIMENSIONS, SEE E-DATA
(---) (---)	(S) EXIST. PARTING: 4' HEADLINE, SEE E-DATA
(---) (---)	(S) EXIST. PARTING, SEE E-DATA

- Full Height Storefront Glass
- 100% Drop T-Bar Ceiling
- Large Open Area
- ADA Restrooms
- Rear Door to Rear Alley
- Fire Sprinklered
- No Air Conditioning
- Forced Gas Heater - Store #100 Only
- Electrical Panel: 100 Amp; 3 PH; 4 W, 120/208V
- Separately Metered - Gas & Electricity
- Separate Water Meter

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110 Eureka Square Interior



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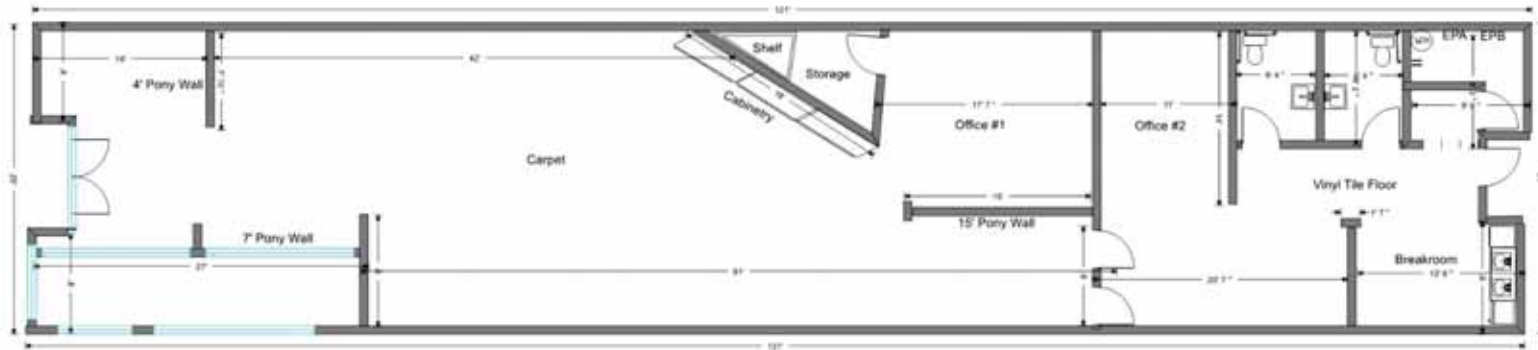
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 ± 3,033 Square Feet (25' W x 121' D)



- End Cap Unit
 - Glass Double Entrance Doors
 - Upgraded 2' x 2' Drop T-Bar 9' 7" AFF
 - Upgraded Parabolic Light Fixtures 2' x 4'
 - Recessed Fire Sprinkler Heads
 - Large Open Area
 - Conference Room
 - 2 Offices
 - Server Room
 - 2 ADA Restrooms
 - Storage Room
 - Breakroom (Sink with Cabinets Above & Below)
 - Carpet & Vinyl Tile Flooring
 - 2 HVAC Units
 - 2 Electrical Panels (EPA: 100 Amp; 3 PH; 4 W; 240V) and (EPB: 50 Amp; 3 PH; 4 W; 208/120V)
 - Rear Door
- AFF = Above Finish Floor
 WH = 40-Gallon Gas Water Heater
 = Plumbing Stub Outs

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210 Eureka Square Interior



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