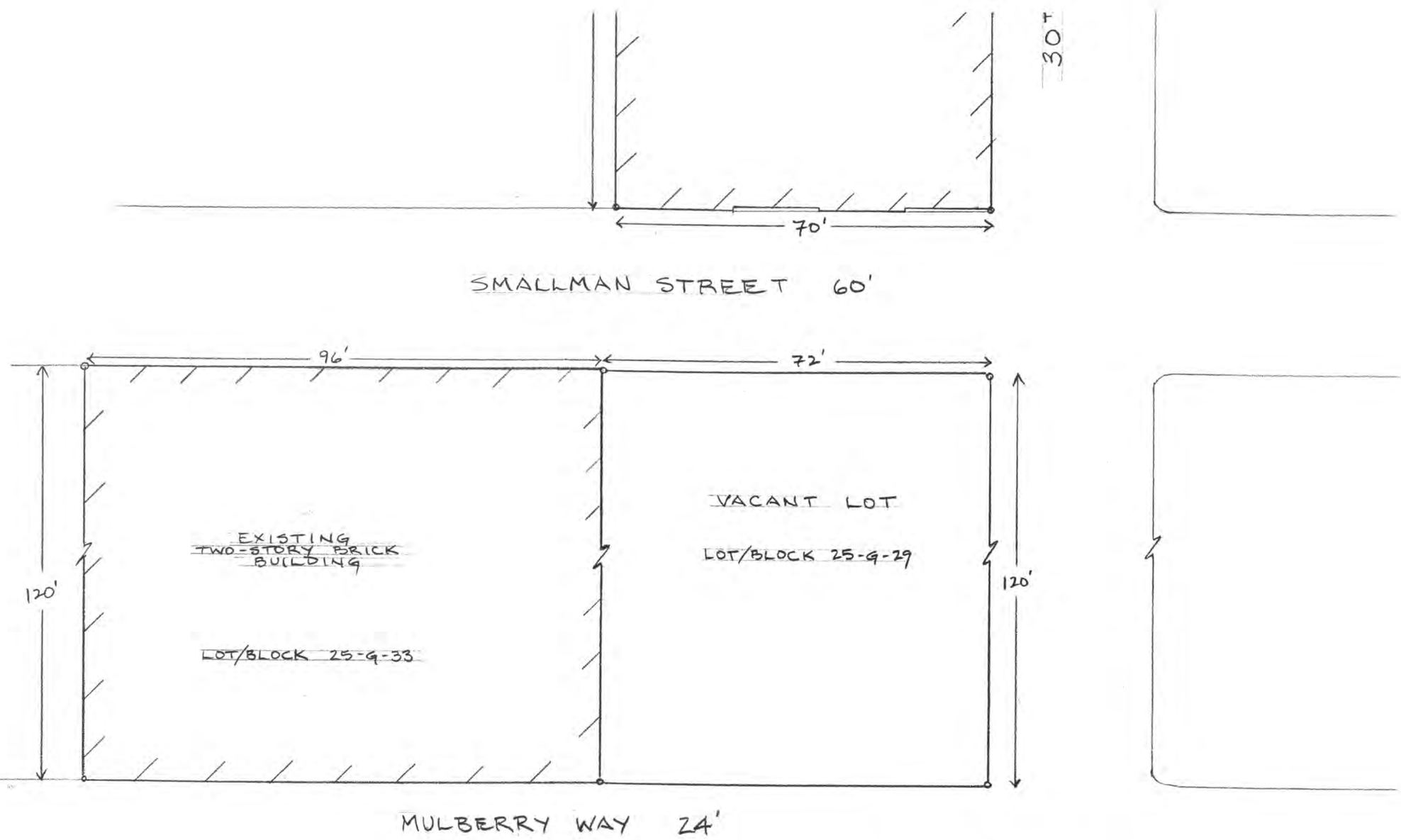
PLAN OF PROPERTY OF
FOURSOME PARTNERS ASSOCIATES
SITUATE IN
6TH (FORMERLY 15TH) WARD - CITY OF PGH.
ALLEGHENY COUNTY, PA

SCALE 1" = 20'

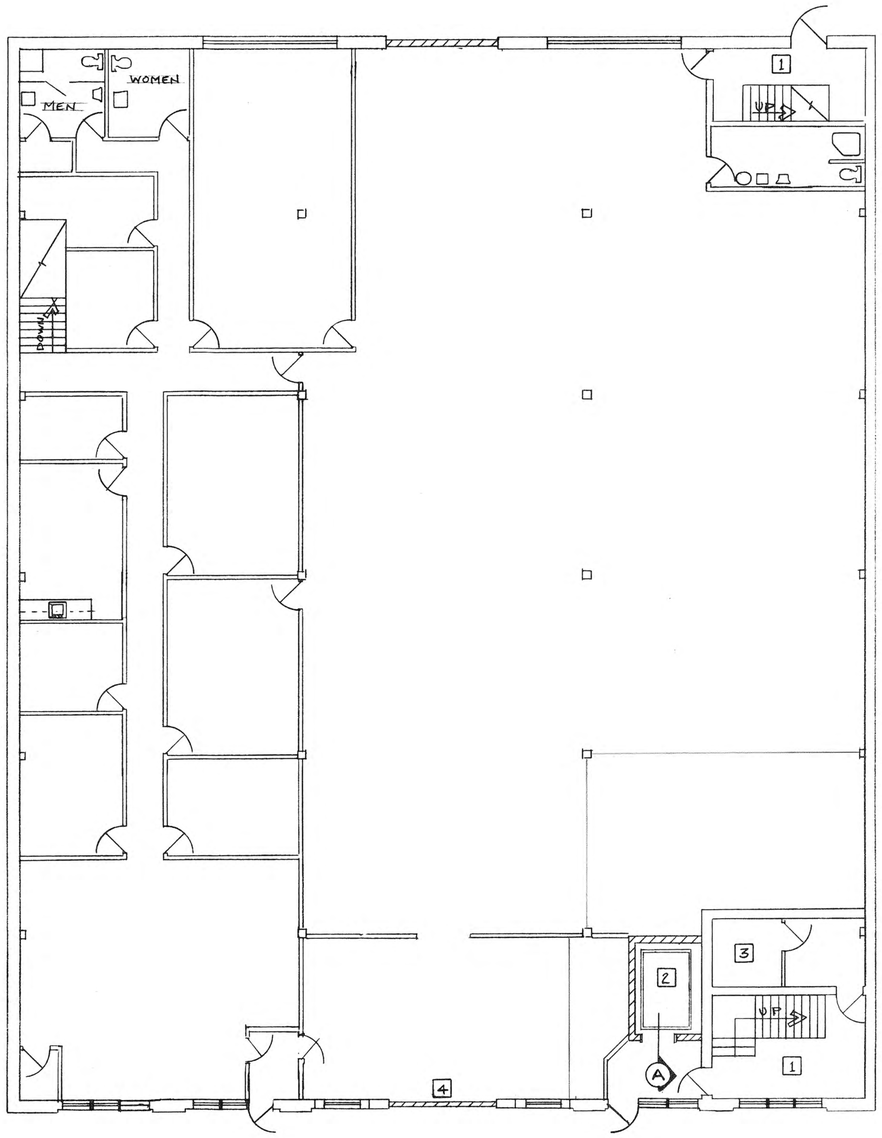


PLAN OF PROPERTY OF
FOURSOME PARTNERS ASSOCIATES
SITUATE IN
6TH (FORMERLY 15TH) WARD - CITY OF PGH
ALLEGHENY COUNTY, PA

SPRINGFIELD PLAN OF DENNY ESTATE
RECORDED IN DEED BOOK VOLUME 6, PP. 180-182
DESIGNATED AS LOT/BLOCK 25-G-7,
25-G-11, 25-G-29
AND 25-G-33

SCALE 1" = 20'

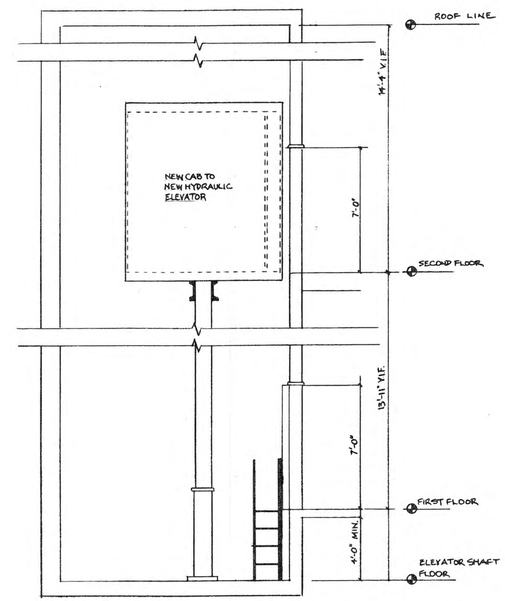
SEPTEMBER 10, 1997
REV. 12-12-97



FIRST FLOOR PLAN
SCALE 1/8"=1'0"

KEY NOTES

1. EXISTING STAIRWELLS
2. NEW HYDRAULIC ELEVATOR
3. ELEVATOR MACHINE ROOM - EXISTING
4. EXISTING DRIVE-IN GARAGE DOOR



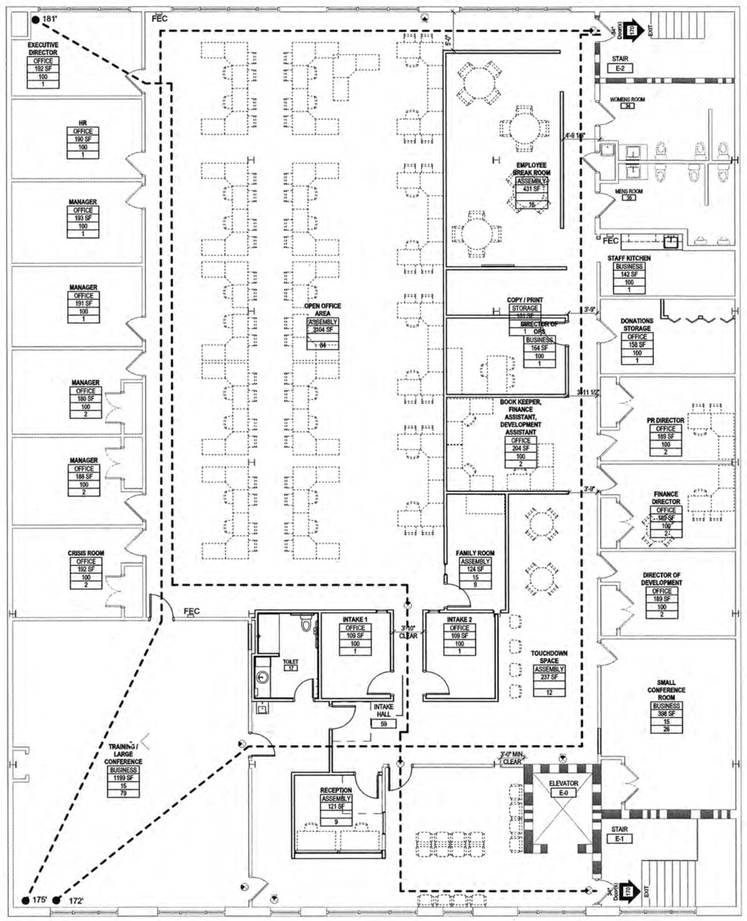
A ELEVATOR SECTION
1/2"=1'-0"

REAL ESTATE ENTERPRISES 243 MOREWOOD AVE PGH, PA 15213	THE CARMIKE BLDG. 2934 SMALLMAN ST. FIRST FLOOR & ELEVATOR PLAN

VETERANS LEADERSHIP PROGRAM
NEW OFFICE SPACE RENOVATION

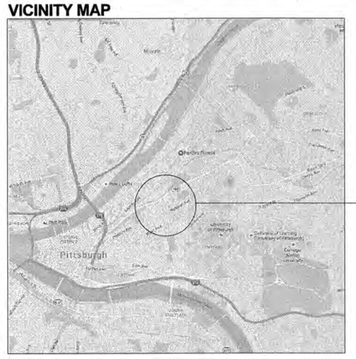
2934 SMALLMAN STREET, FLOOR 2
PITTSBURGH, PA 15201

DRAWING INDEX	
SHEET #	SHEET NAME
GENERAL	
G001	COVER SHEET AND LIFE SAFETY CODE REVIEW
ARCHITECTURAL	
A001	ARCHITECTURAL SYMBOLS, ABBREVIATIONS & GENERAL NOTES
AD102	SECOND FLOOR EXISTING AND DEMOLITION PLANS
A102	SECOND FLOOR PLAN
A130	SECOND FLOOR REFLECTED CEILING PLAN
A401	ENLARGED PLANS AND INTERIOR ELEVATIONS
A601	DOOR AND WINDOW SCHEDULES AND DETAILS
A701	SECOND FLOOR FINISH PLAN
FIRE PROTECTION	
F001	FIRE PROTECTION SYMBOLS, DETAILS AND NOTES
PLUMBING	
P001	PLUMBING SYMBOLS AND ABBREVIATIONS, SCHEDULES & NOTES
P102	SECOND FLOOR PLUMBING PLAN
MECHANICAL	
H102	SECOND FLOOR HVAC PLAN
ELECTRICAL	
E102	SECOND FLOOR LIGHTING PLAN
E202	SECOND FLOOR POWER AND SYSTEMS PLAN

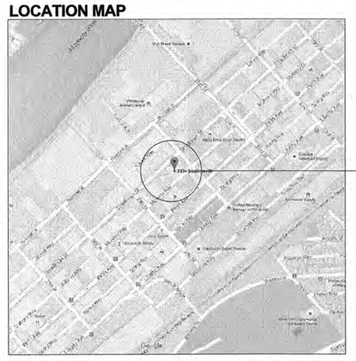


1 LIFE SAFETY CODE REVIEW
1/8" = 1'-0"

VICINITY MAP



LOCATION MAP



LIFE SAFETY MATRIX

LIFE SAFETY REVIEW BASED ON IBC 2012 AND NFPA 101 2015
WHEN CODES CONFLICT, THE MORE STRINGENT CODE WILL APPLY

DESCRIPTION	
GROSS AREA: 10,504 SF	
OCCUPANCY / SCOPE	
	BUSINESS
CONSTRUCTION TYPE	
	IIB
FULLY SPRINKLERED	
	MANUAL ALARM
FIRE EXTINGUISER CABINETS REQUIRED	
	1/ 3000 SF = 3 FIRE EXTINGUISHER CABINETS
EGRESS REQUIREMENTS	
	OCCUPANT LOAD: 100 NSF (NFPA 101, TABLE 7.3.1.2)
	TRAVEL DISTANCE LIMIT: 300 FT (NFPA 101, TABLE A.7.6)
	COMMON PATH LIMIT: 100 FT (NFPA 101, TABLE A.7.6)
	DEAD END LIMIT: 50 FT (NFPA 101, TABLE A.7.6)
	MINIMUM CORRIDOR WIDTH: 44 IN (NFPA 101, 39.2.3.2)
	EGRESS DOORS: 0.2 IN / OCCUPANT (NFPA 101, 7.3.3.1)
	EXITING STAIRS: 0.3 IN / OCCUPANT (NFPA 101, 7.3.3.1)
	OTHER EGRESS COMPONENTS: 0.2 IN / OCCUPANT (NFPA 101, 7.3.3.1)
FIRE RESISTANCE RATING REQUIREMENTS	
	ALL BUILDING ELEMENTS 0 HOURS

EGRESS SYMBOL LEGEND

150 — AREA (SF)
100 — EXIT GENERATOR (OCCS / SF)
15 — OCCUPANTS

34" — EXIT WIDTH
DOOR(S) — EXIT COMPONENT
170 — REQUIRED OCCUPANTS
EXIT — EXIT PATH
2-HOUR RATED WALL

PLUMBING FIXTURE COUNT

	EXISTING	NEW
WATER CLOSET	6	1
URINAL	2	-
SINK / LAVATORY	-	4
DRINKING FOUNTAIN	1	1

PROJECT NORTH
TRUE NORTH

AE WORKS
6587 HAMILTON AVENUE
PITTSBURGH, PA 15206
PH: 412.287.7333 FAX: 412.287.7334
www.ae-works.com

Consultants:

Project Title: VLP NEW OFFICE SPACE RENOVATION

Owner:
VETERANS LEADERSHIP PROGRAM
2417 EAST CARSON STREET
PITTSBURGH, PA 15203
(412)481-8200

MARK	DATE	DESCRIPTION

PERMIT SET

Issued: 03/04/16
Project Number: 16003
Drawn By: ANM
Checked By: JD

Drawing Title:
COVER SHEET AND LIFE SAFETY CODE REVIEW

G001

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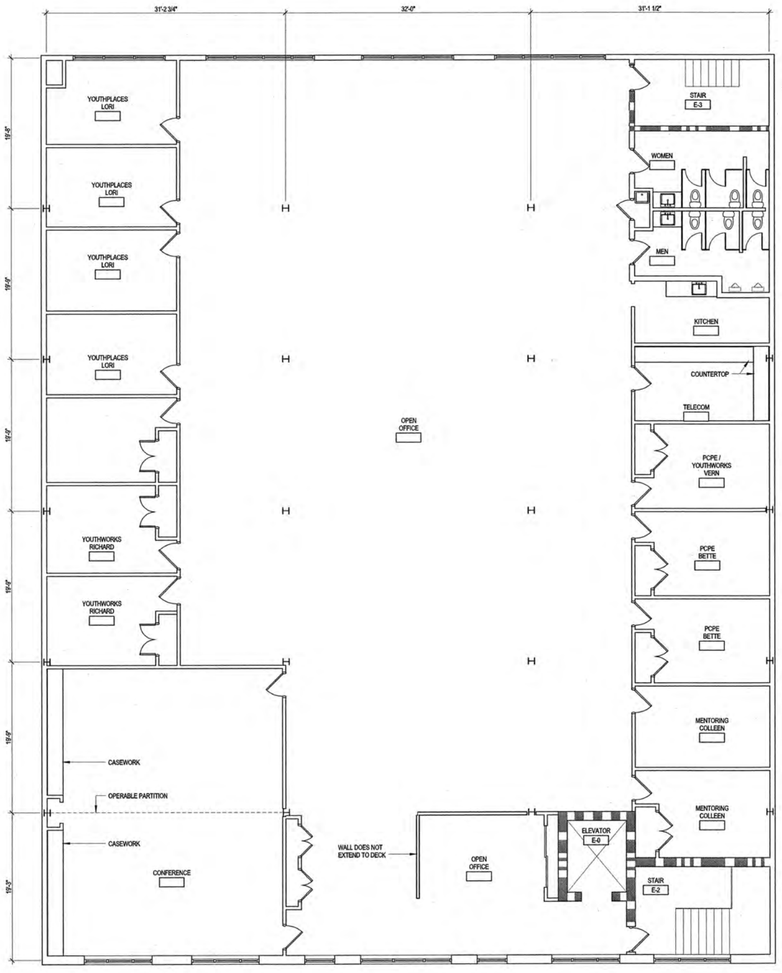
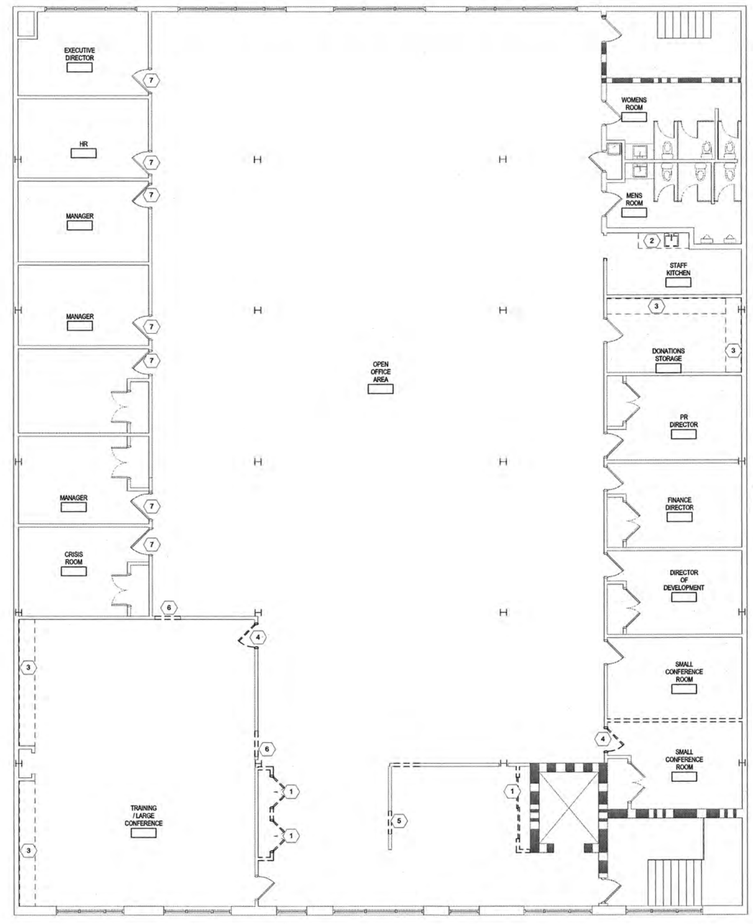


1 SECOND FLOOR PLAN - EXISTING CONDITIONS
1/8" = 1'-0"

GENERAL NOTES

1. ALL WALLS , EXCEPT THOSE ENCLOSING CLOSETS, EXTEND TO DECK ABOVE UNLESS NOTED OTHERWISE.



2 SECOND FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

DEMOLITION KEYED NOTES

KEYED NOTE	DESCRIPTION
1	REMOVE EXISTING CLOSET WALL, DOOR, AND FRAME ASSEMBLY.
2	REMOVE CASEWORK INCLUDING PLUMBING FIXTURES.
3	REMOVE CASEWORK, COUNTERTOP, AND SUPPORTS.
4	REMOVE DOOR(S) AND FRAME ASSEMBLY.
5	CREATE OPENING IN EXISTING GWB PARTITION FOR NEW WINDOW INSTALLATION.
6	REMOVE WALL FOR FUTURE DOOR.
7	REMOVE EXISTING DOOR, KEEP FRAME ASSEMBLY.

PROJECT NORTH
TRUE NORTH

AE WORKS
6587 HAMILTON AVENUE
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Consultants:

Project Title:

VLP NEW OFFICE SPACE RENOVATION

Owner:
VETERANS LEADERSHIP PROGRAM
2417 EAST CARSON STREET
PITTSBURGH, PA 15203
(412)481-8200

REGISTERED ARCHITECT COMMONWEALTH OF PENNSYLVANIA JOSEPH R. DILLAMANI, NO. RA-047

MARK	DATE	DESCRIPTION

PERMIT SET

Issued:	03/04/16
Project Number:	16003
Drawn By:	ANM
Checked By:	JD

Drawing Title:

SECOND FLOOR EXISTING AND DEMOLITION PLANS

AD102

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ABBREVATION LEGEND

&	AND
AAP	ALARM ANNUNCIATOR PANEL
AAV	AUTOMATIC AIR VENT
AB	ANCHOR BOLT
ABV	ABOVE
ACC DR	ACCESS DOOR
ACPL	ACCESS
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADA	AMERICAN DISABILITIES ACT
ADD	ADDENDUM
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADMIN	ADMINISTRATION
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISHED GRADE
AFMD	AIR FLOW MEASURING DEVICE
AHU	AIR HANDLING UNIT
JL	ALIGN
ALT	ALTERNATE
ALUM	ALUMINUM
AMP	AMPERE
AP	ACCESS PANEL
APC	ARCHITECTURAL PRECAST CONCRETE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASY	ASYMMETRIC
ATC	AUTOMATIC TEMPERATURE CONTROL
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AWT	AVERAGE WATER TEMPERATURE
BAT	BATTERY
BC	BALANCING COCK OR BARE COPPER
BDD	BACKDRAFT DAMPER
BFC	BELOW FINISH CEILING
BFE	BOTTOM FOOTING ELEVATION
BFG	BELOW FINISHED GRADE
BG	BUMPER GUARD
BLDG	BUILDING
BLKG	BLOCKING
BLT	BORROWED LIGHT
BLW	BELOW
BM	BEAM
BO	BY OWNER
BOF	BY OWNER FUTURE
BOT	BOTTOM
BR	BRICK
BRG	BEARING
BRKR	BREAKER
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT UP ROOFING
C	CONDUIT
CAB	CABINET
CANTL	CANTILEVER
CAP	CAPACITY
CATV	CABLE TELEVISION
CCTV	CLOSED CIRCUIT TELEVISION
CFH	CUBIC FEET / HOUR
CFM	CUBIC FEET / MINUTE
CH	CHANNEL
CHK V	CHECK VALVE
CHWR	CHILLED WATER RETURN
CHWS	CHILLED WATER SUPPLY
CHWS&R	CHILLED WATER SUPPLY AND RETURN
CJ	CONTROL JOINT
CKT	CIRCUIT
CKT BRKR	CIRCUIT BREAKER
CL	CENTERLINE
CLG	CEILING
CLG MTD	CEILING MOUNTED
CLR	CLR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COL	COLUMN
COMM	COMMUNICATION
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUE / CONTINUOUS
CONTR	CONTRACTOR
CONV	CONVECTOR
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET OR CONTROL POWER TRANSFORMER
CT	CERAMIC TILE
CTR	CENTER
CU	COPPER
CV	CONTROL VALVE
CW	COLD WATER
D	DEPTH OR DEEP
DB	DRY BULB
dB	DECIBEL
DCW	DOMESTIC COLD WATER
DEMO	DEMOLITION
DEPT	DEPARTMENT
DET	DETAILS
DF	DRINKING FOUNTAIN
DHW	DOMESTIC HOT WATER
DIA	DIAMETER
DIAG	DIAGONAL OR DIAGRAM
DIFF	DIFFUSER
DIM	DIMENSION
DISC	DISCONNECT
DISCH	DISCHARGE
DISP	DISPENSER
DIST	DISTRIBUTION
DIV	DIVISION
DL	DOWN LIGHT
DN	DOWN
DP	DISTRIBUTION PANEL
DPR	DAMPER
DR	DRAIN
DS	DOWNSPOUT
DWG	DRAWING
DX	DIRECT EXPANSION
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EC	ELECTRICAL CONTRACTOR
EDB	ENTERING DRY BULB
EF	EXHAUST FAN
EIFS	EXTERIOR INSULATION AND FINISHING SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEC CAB	ELECTRICAL CABINET

ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE
EO	ELECTRICAL OUTLET
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EWB	ENTERING WET BULB
EWC	ELECTRIC WATER COOLER
EWT	ENTERING WATER TEMPERATURE
EX	EXAUST AIR
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F/S	FIRE / SMOKE DAMPER
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FAT	FINAL AIR TEMPERATURE
FC	FLEXIBLE CONNECTION OR FOOTCANDLE
FD	FLOOR DRAIN OR FIRE DAMPER
FDN	FOUNDATION
FDV	FIRE DEPARTMENT VALVE
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHP	FULL HEIGHT PARTITION
FHV	FIRE HOSE VALVE
FIN	FINISH
FIXT	FIXTURE
FL	FLOW LINE
FLA	FULL LOAD AMPERES
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLG C	FLANGE CONNECTION
FLR	FLOOR
FLUOR	FLUORESCENT
FP	FIRE PROOFING
FRMG	FRAMING
FS	FLOOR SINK
FSTOP	FIRESTOPPING
FT	FOOT / FEET
FT HD	FEET OF HEAD
FTC	FOOTCANDLES
FTG	FOOTING
FUR	FURRING
G	GAS OR ELECTRICAL GROUND
GA	GAUGE
GAL	GALLONS
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GEN	GENERATOR
GENL	GENERAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTOR
GL	GLASS
GLV	GLOBE VALVE
GND	GROUND
GPM	GALLONS PER MINUTE
GR	GRADE
GRAV	GRAVITY
GRD BM	GRADE BEAM
GV	GATE VALVE
GWB	GYPSUM BOARD
H	HIGH
HB	HOSE BIB
HC	HEATING CONTRACTOR
HDCP	HANDICAP
HDR	HEADER
HDW	HARDWARE
HID	HIGH INTENSITY DISCHARGE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HORSE POWER
HPD	HIGH PRESSURE DRIP
HPF	HIGH POWER FACTOR
HR	HANDRAIL
HSKP	HOUSEKEEPING
HT	HEIGHT
HTG	HEATING
HTR	HEATER
HV	HIGH VELOCITY
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HW	HOT WATER
HWD	HARD WOOD
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
HWS&R	HOT WATER SUPPLY AND RETURN
HZ	HERTZ
ID	INSIDE DIAMETER
IER	INVERTED ECCENTRIC REDUCER
IG	ISOLATED GROUND
IME	INSULATED METAL ENCLOSURE
IN	INCH
INCAND	INCANDESCENT
INCL	INCLUDED
INSUL	INSULATION
INT	INTERIOR
INTERL	INTERLOCK
INV	INVERT
ISO	ISOLATION
IVS	ISOLATED VALVE STATION
J-BOX	JUNCTION BOX
JST	JOIST
JT	JOINT
KO	KNOCK OUT
kVA	KILOVOLT AMPERE
kVAR	KILOVAR (REACTANCE)
kW	KILOWATT
kWH	KILOWATT HOUR METER
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LB	POUND
LDB	LEAVING DRY BULB
LED	LIGHT EMITTING DIODE
LF	LINEAR FEET
LIN	LINEAR
LOC	LOCATION OR LOCATE
LPT	LOW POINT
LSDC	LINEAR SUPPLY DIFFUSER CEILING
LT	LIGHT
LTG	LIGHTING
LV	LOW VOLTAGE
LVR	LOUVER
LWB	LEAVING WET BULB
LWC	LINEAR WOOD CEILING

LWT	LEAVING WATER TEMPERATURE
MAN	MANUAL
MAT	MIXED AIR TEMPERATURE
MATL	MATERIAL
MAV	MANUAL AIR VENT
MAX	MAXIMUM
MBH	ONE THOUSAND BTU / HOUR
MC	MECHANICAL CONTRACTOR
MC	METAL CLAD CABLE
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MECH	MECHANICAL
MEMB	MEMBRANE
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MLO	MAIN LUGS ONLY
MO	MASONRY OPENING
MOD	MOTOR OPERATED DAMPER
MONO	MONOLITHIC
MTD	MOUNTED
MTG HT	MOUNTING HEIGHT
MTL	METAL
MTLH	METAL HALIDE
MTR	MOTOR
MTS	MANUAL TRANSFER SWITCH
MV	MEDIUM VOLTAGE
N/A	NOT APPLICABLE
NEC	NATIONAL ELECTRIC CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURER ASSOCIATION
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NUMBER OR NORMALLY OPEN
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPER	OPERATED
OPNG	OPENING
OPP	OPPOSITE
PB	PULL BOX
PC	PLUMBING CONTRACTOR
PD	PUMP DISCHARGE
PG	PRESSURE GAUGE WITH COCK
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PNL	PANEL
PR	PAIR
PRD	PRESSURE DIFFERENTIAL VALVE
PRELIM	PRELIMINARY
PRT	PRESSURE TAP
PRV	PRESSURE REDUCING VALVE
PT	PAINT OR POTENTIAL TRANSFORMER
RO	ROUGH OPENING
R	RADIUS
RA	RETURN AIR / RELIEF AIR
RB	RUBBER BASE
RC	REMOVE COMPLETELY
RD	ROOF DRAIN
RE	RELOCATE EXISTING
REC	RECESSED
RECPT	RECEPTACLE
REF	REFERENCE
REFL	REFLECTOR
REG	REGISTER
REINF	REINFORCING
REM	REMOVE
REQD	REQUIRED
RET	RETURN
REV	REVISE
REX	REMOVE EXISTING
RF	RESILIENT FLOOR
RFI	REQUEST FOR INFORMATION
RGS	RIGID GALVANIZED STEEL CONDUIT
RM	ROOM
RN	REMOVE AND REPLACE WITH NEW
RR	REMOVE AND REPLACE
RS	RAPID START
RV	RELIEF VALVE
RWC	RAIN WATER CONDUCTOR
SA	SUPPLY AIR
SAN	SANITARY SEWER ABOVE GROUND
SAN-BXR	SANITARY SEWER - BURIED EXISTING TO REMAIN
SAN-XR	SANITARY SEWER ABOVE GROUND - EXISTING TO REMAIN
SCHED	SCHEDULE
SD	SMOKE DAMPER OR SMOKE DETECTOR
SDISP	SOAP DISPENSER
SF	SQUARE FOOT
SHT	SHEET
SHT MTL	SHEET METAL
SHTG	SHEATHING
SIM	SIMILAR
SM	SURFACE MOUNTED
SNC	SANITARY NAPKIN CABINET
SND	SANITARY NAPKIN DISPOSER
SP	STANDPIPE OR STATIC PRESSURE
SPEC	SPECIFICATIONS
SPS	STATIC PRESSURE SENSOR
SR	SERVICE RECEPTOR
SS	SOIL STACK
ST PR	STATIC PRESSURE
ST STL	STAINLESS STEEL
STD	STANDARD
STER	STERILIZER
STL	STEEL
STOR	STORAGE
STR	STRAINER
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SW	SWITCH
SWBD	SWITCHBOARD
SWGR	SWITCHGEAR
SYM	SYMMETRICAL TOP
T	TOP
TA	THROWAWAY
TAN	TANGENT
TC	TELECOMMUNICATIONS CONTRACTOR
TCV	TEMPERATURE CONTROL VALVE
TDV	TRIPLE DUTY VALVE
TEL	TELEPHONE

TEMP	TEMPERATURE
TH	THERMOMETER
THRES	THRESHOLD
TR	TEMPERATURE RISE
TRANS	TRANSITION
TRANSR	TRANSFORMER
TSTAT	THERMOSTAT
TV	TURNING VANES OR TELEVISION
TYP	TYPICAL
UC	UNDER CABINET OR UNDER CUT
UG	UNDERGROUND
UH	UNIT HEATER
UL	UNDERWRITER'S LABORATORIES
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UPS	UNINTERRUPTIBLE POWER SUPPLY
UTIL	UTILITY
V	VOLT
VAL	VALVE
VD	VOLUME DAMPER
VENT	VENTILATION
VERT	VERTICAL
VFS	VENTURI FLOW STATION
VIF	VERIFY IN FIELD
VL	VENT LINE
VR	VAPOR RETARDER
VS	VENT STACK
VTR	VENT THROUGH ROOF
W	WATT
W/	WITH
W/O	WITHOUT
WB	WET BULB
WCL	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WFMD	WATER FLOW MEASURING DEVICE
WG	WALL GUARD OR WATER GAUGE
WHCH	WHEEL CHAIR
WIN	WINDOW
WMS	WIRE MESH SCREEN
WP	WEATHERPROOF
WPS	WALL PROTECTION SYSTEM
WSCT	WAINSCOT
X	DEMO
XN	TO BE RELOCATED / NEW LOCATION
XR	EXISTING TO REMAIN
ZVB	ZONE VALVE BOX
ZVC	ZONE VALVE CABINET

SYMBOLS LEGEND

DESCRIPTION	SYMBOL
DRAWING BLOCK TITLE MARK	ITEM NUMBER / LETTER; ITEM TITLE / DESCRIPTION; TITLE; 1/8" = 1'-0"; ITEM SCALE
WALL SECTION MARK	SECTION IDENTIFIER; 1; A101; SHEET NUMBER
DETAIL INDICATOR	1; A101; DETAIL IDENTIFIER; SHEET NUMBER; LEADER; DETAIL BOUNDARY
INTERIOR ELEVATION MARK (SINGLE VIEW)	1; A100; ELEVATION IDENTIFIER; SHEET NUMBER
INTERIOR ELEVATION MARK (MULTIPLE VIEWS)	1; 4; A100; 2; 3; ELEVATION IDENTIFIER; SHEET NUMBER
NORTH ARROW	PROJECT NORTH; TRUE NORTH
ROOM NAME INDICATOR	ROOM NAME; ROOM NAME; 000; ROOM NUMBER
COLUMN GRID IDENTIFICATION	00; GRID LINE IDENTICATION; COLUMN GRID LINE; 00
DOOR IDENTIFICATION	101; DOOR NUMBER
WINDOW IDENTIFICATION	W18; WINDOW / CURTAINWALL TYPE
WALL TYPE IDENTIFICATION	M6; WALL TYPE INDICATOR; WALL
REVISION IDENTIFICATION	REVISION CLOUD; 1; REVISION NUMBER
DATUM POINT IDENTIFICATION	LEVEL; 10'-0"; ELEVATION RELATIVE TO FIRST FLOOR TOP OF SLAB
WALL FINISH	PT# ; FINISH; EXTENT OF FINISH

GENERAL PROJECT NOTES:

1. ALL CONSTRUCTION WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE LOCAL JURISDICTION, THE COMMONWEALTH OF PENNSYLVANIA, AND THE CURRENT ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE FAMILY. THE CONTRACTOR SHALL POST NOTICES AND COMPLY WITH THE GOVERNING LAWS OF THE JURISDICTION.
2. THE SITE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTOR'S JOB SITE SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE EMPLOYED TO COMPLETE THE WORK WITHIN THE CONTRACTED TIME. PERSONNEL SHALL BE SKILLED IN THE TASK ASSIGNED.
3. THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK.
4. THE DRAWINGS REFLECT CONDITIONS AS CAN BE INFERRED FROM VISIBLE CONDITIONS, OR FROM DRAWINGS AND INFORMATION FURNISHED BY THE OWNER, BUT CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT PRIOR TO THE EXECUTION OF THE WORK. RECHECK ALL DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND/OR FABRICATED ITEMS.
5. PLAN DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO THE FACE OF THE WALL FINISH OR CENTERLINE OF COLUMN.
6. ALL INDICATIONS OF MASONRY ARE SHOWN IN ACTUAL DIMENSIONS (NOT NOMINAL), UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF PRODUCTS PURCHASED FOR THIS PRODUCT AND STORED ON THE PROJECT SITE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ON PREFERRED LOCATIONS FOR STORED MATERIALS ON THE PROJECT SITE, IF ALLOWED AS PART OF THE REQUIREMENTS OF THIS PROJECT.
8. THE CONTRACTOR SHALL MAINTAIN AREAS UNDER THE CONTRACTOR'S CONTROL TO BE FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. CONTAINERS FOR DEPOSIT OF DEBRIS AND RUBBISH SHALL BE PROVIDED BY THE CONTRACTOR. COORDINATE LOCATION OF CONTAINERS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. REMOVE AND DISPOSE OF DEMOLITION MATERIAL OFF SITE IN ACCORDANCE WITH APPLICABLE CODES AND/OR SPECIFICATIONS.
9. EXTRANEOUS MATERIALS SHALL BE PERIODICALLY REMOVED, AND AT THE CONCLUSION OF THE PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL FIRESAFING/FIRESTOPPING MATERIALS AT ALL THROUGH-WALL AND THROUGH-CEILING PENETRATIONS AS REQUIRED FOR THE CONSTRUCTION WORK AND TO MAINTAIN FIRE RATINGS OF FLOORS AND WALLS. MATERIALS AND INSTALLATION DETAILS SHALL CONFORM TO UNDERWRITER LABORATORIES LISTING FOR RATED ASSEMBLIES.
11. ALL WOOD FRAMING AND SHEATHING SHALL BE FIRE RETARDANT TREATED AS REQUIRED BY THE BUILDING CODE CLASSIFICATION OF 'NONCOMBUSTIBLE'.
12. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DEVIATIONS OR DISCREPANCIES FOUND AND RECEIVE DIRECTION BEFORE PROCEEDING.
13. CONTRACTOR SHALL PROVIDE TEMPORARY DUST ENCLOSURES DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER. IF EXISTING WALLS ARE USED, PENETRATIONS MUST BE SEALED TO CREATE A DUST PROOF ENCLOSURE.
14. MODIFICATIONS TO THE EXISTING MEP SYSTEMS WILL IMPACT ADJACENT SPACES OUTSIDE THE GENERAL SCOPE OF WORK. ANY DISTURBANCE OF EXISTING CONDITIONS AND FINISHES MUST BE REPAIRED TO MATCH THE CONDITIONS PRIOR TO CONSTRUCTION IMPACTS.
15. ASBESTOS AND LEAD ARE NOT ANTICIPATED TO EXIST IN THE WORK AREA. HOWEVER, IF ASBESTOS-CONTAINING MATERIAL IS DISCOVERED OR SUSPECTED, STOP WORK IN THE AREA IMMEDIATELY AND CONTACT THE ARCHITECT.
16. ALL REVISIONS TO THE DRAWINGS MUST PROCEED THROUGH THE ARCHITECT. OWNER/CONTRACTOR REVISIONS MAY BE CONSIDERED INVALID.
17. ALL EXPOSED GYPSUM WALL BOARD EDGES TO HAVE METAL EDGE TRIM.
18. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING AND COORDINATING ALL DRAWINGS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS. DETAILS NOT SHOWN OR DESCRIBED IN THESE NOTES SHALL BE CONSTRUCTED TO SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, SPECIFIED, OR COMMONLY CONSTRUCTED IN THE INDUSTRY.
19. NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT, OR RELOCATED WITHOUT PRIOR APPROVAL BY THE ARCHITECT OR ENGINEER.
20. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION.
21. ALL TEMPORARY BRACING AND SHORING SHALL BE DESIGNED TO SUSTAIN ALL CONSTRUCTION LOADS, LATERAL AND OTHER LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED.
22. CONTRACTOR SHALL COORDINATE LOCATIONS OF LIGHT FIXTURES, SPRINKLER HEADS, REGISTERS, ETC. WITH THE REFLECTED CEILING PLAN LAYOUT.
23. ALL SPRINKLER HEADS, DIFFUSERS AND REGISTERS SHALL BE CENTERED WITH SUSPENDED ACOUSTICAL PANELS, UNLESS NOTED OTHERWISE ON DRAWINGS.
24. ALL VOIDS IN MASONRY, CONCRETE AND OTHER ASSEMBLIES CREATED AROUND PENETRATIONS SHALL BE FILLED/PATCHED WITH CONSTRUCTION TO MATCH SURROUNDING CONDITIONS.

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Consultants:

Project Title:

VLP NEW OFFICE SPACE RENOVATION

Owner:

VETERANS LEADERSHIP PROGRAM
2417 EAST CARSON STREET
PITTSBURGH, PA 15203
(412)481-8200

MARK	DATE	DESCRIPTION

PERMIT SET

Issued:	03/04/16
Project Number:	16003
Drawn By:	ANM
Checked By:	JD

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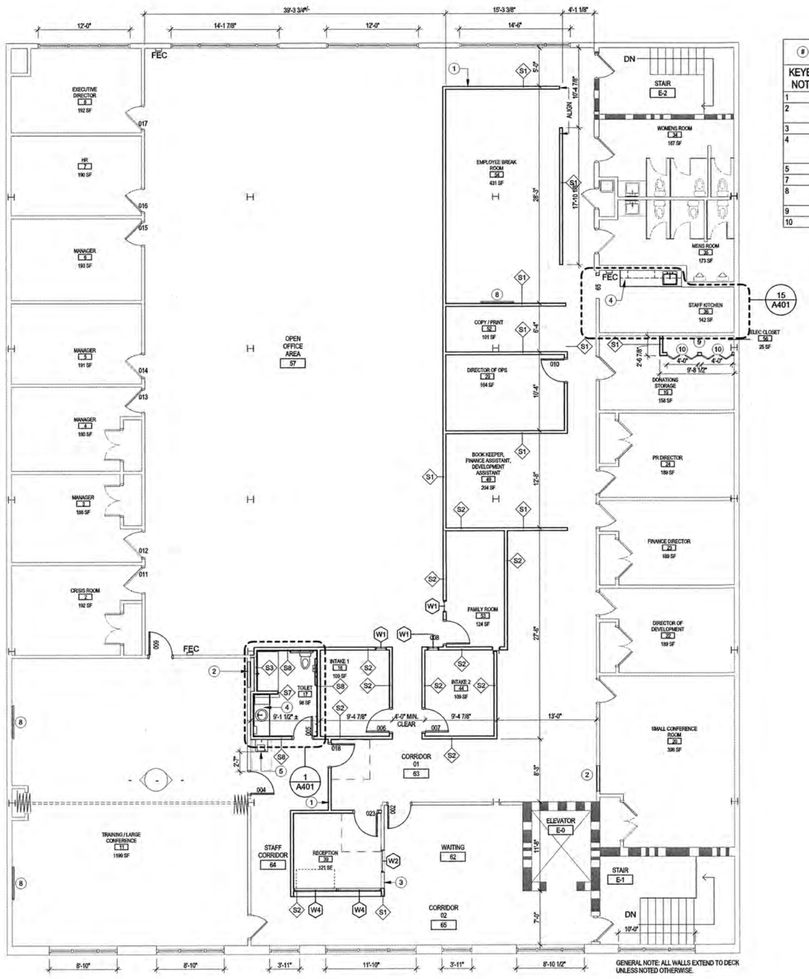
ARCHITECTURAL SYMBOLS, ABBREVIATIONS & GENERAL NOTES

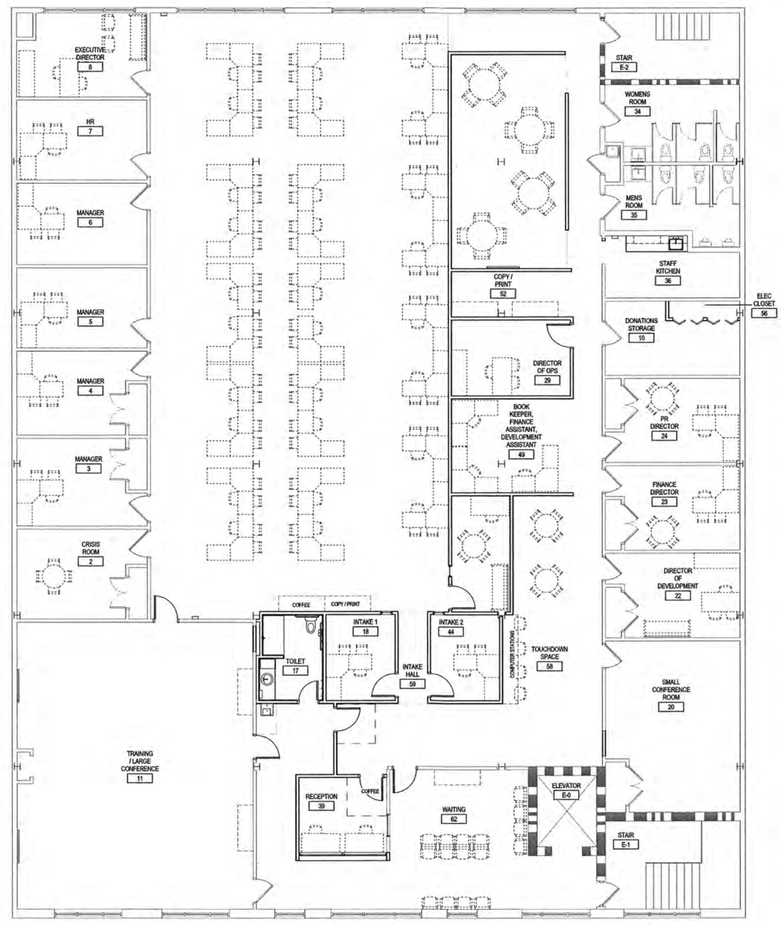
A001

4/19/2016 9:47:43 AM

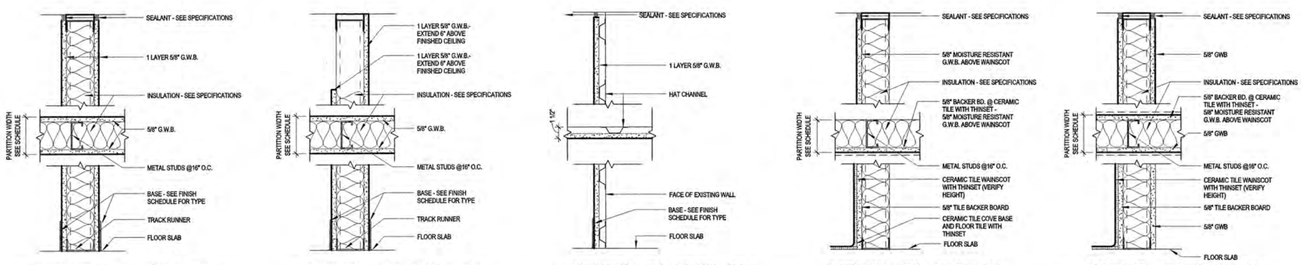


1 SECOND FLOOR PLAN - NEW WORK
1/8" = 1'-0"

#	NEW WORK KEYED NOTES
KEYED NOTE	DESCRIPTION
1	WALL HEIGHT IS 7'-6".
2	INFILL EXISTING OPENING WITH FRAMING AND FINISH MATERIALS TO MATCH EXISTING ADJACENT WALL.
3	EXTEND EXISTING WALL TO DECK (S1)
4	PROVIDE NEW LAMINATE CASEWORK WITH SINGLE BOWL SINK IN LAMINATE COUNTERTOP. COORDINATE SINK WITH TYPE OF COUNTERTOP.
5	ACCESSIBLE (ADA-COMPLIANT) DRINKING FOUNTAIN.
7	NEW CASEWORK.
8	55" WALL MOUNTED TELEVISION (OWNER FURNISHED / CONTRACTOR INSTALLED).
9	KEEP WOOD BLOCKING ON WALL FOR DATA INSTALLATION.
10	4'-0" BI-FOLD DOORS



2 SECOND FLOOR PLAN - FURNITURE LAYOUT (FOR REFERENCE ONLY)
1/8" = 1'-0"



	PARTITION WIDTH	STUD	INSULATION	UL #
S1	4 7/8"	3 5/8"	3 1/2"	
S2	4 7/8"	3 5/8"	3 1/2"	
S5	1 1/2"	7/8"	N/A	
S7	4 5/8"	3 5/8"	3 1/2"	
S8	4 7/8"	3 5/8"	3 1/2"	

3 PARTITION TYPES
1 1/2" = 1'-0"

PROJECT NORTH
TRUE NORTH

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VLP NEW OFFICE SPACE RENOVATION

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MARK	DATE	DESCRIPTION

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SECOND FLOOR PLAN

A102

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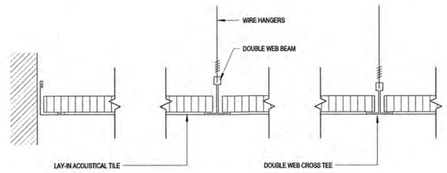
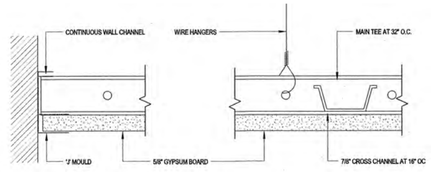
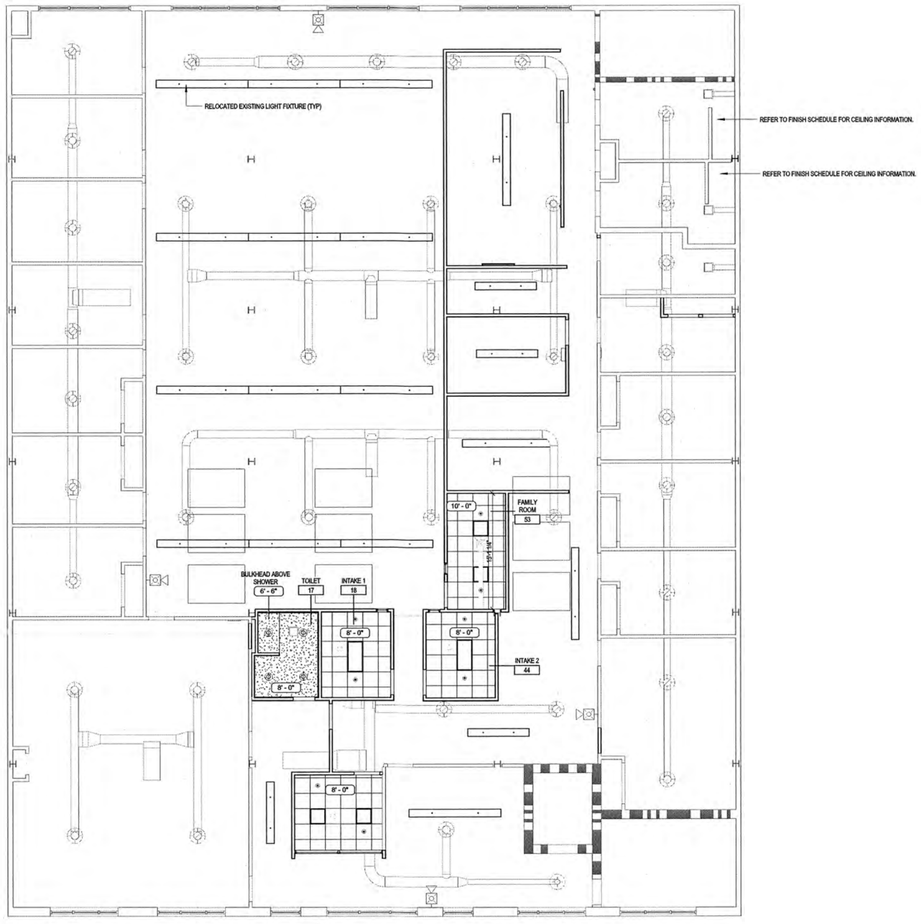


2 ACOUSTICAL CEILING TILE DETAIL
3" = 1'-0"



3 GYPSUM BOARD CEILING DETAIL
3" = 1'-0"



1 SECOND FLOOR PLAN - REFLECTED CEILING PLAN
1/8" = 1'-0"

REFLECTED CEILING PLAN SYMBOL LEGEND	
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
UV / CUH	UNIT VENTILATOR/ CABINET HEATER
RP	RADIANT CEILING PANEL
	RECESSED LIGHT FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	EXIT SIGN
OS	CEILING MOUNTED OCCUPANCY SENSOR

REFLECTED CEILING PLAN SYMBOL LEGEND	
	2' X 4' LAY-IN ACOUSTICAL TILE CEILING SYSTEM. SEE ROOM FINISH SCHEDULE FOR SPECIFIC TYPE
	2' X 2' LAY-IN ACOUSTICAL TILE CEILING SYSTEM. SEE ROOM FINISH SCHEDULE FOR SPECIFIC TYPE
	GYPSUM BOARD BULKHEAD/ SUSPENDED GYPSUM BOARD SYSTEM
X' - X"	CEILING/ BULKHEAD HEIGHT A.F.F.
CT	CURTAIN TRACK.

GENERAL NOTES:

1. SEE FIRE PROTECTION DRAWING SHEETS FOR SPRINKLER HEAD LAYOUT
2. REFLECTED CEILING PLANS SHOW CEILING MOUNTED ITEMS ONLY. ADDITIONAL WALL MOUNTED LIGHTING, HVAC ITEMS, EXIT SIGNS, ETC. ARE INDICATED ON INDIVIDUAL ELECTRICAL AND HVAC FLOOR PLAN SHEETS.
2. EXISTING LIGHT FIXTURES IN PERIMETER OFFICES TO REMAIN. NOT SHOWN ON DRAWINGS

PROJECT NORTH
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REGISTERED ARCHITECT COMMONWEALTH OF PENNSYLVANIA JOHN R DILAMAR NO. 34

MARK	DATE	DESCRIPTION

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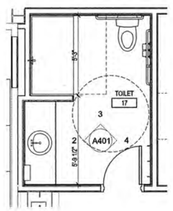
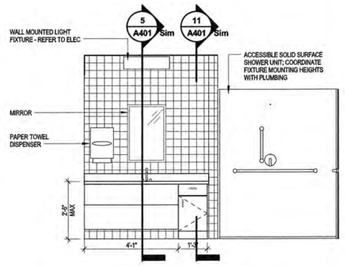
SECOND FLOOR REFLECTED CEILING PLAN

A130

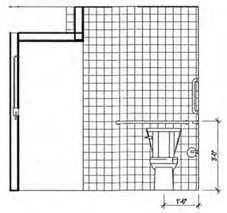
4/19/2016 9:48:03 AM



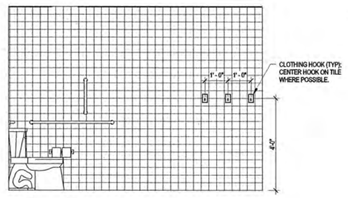
1 ENLARGED TOILET / SHOWER ROOM
1/4" = 1'-0"



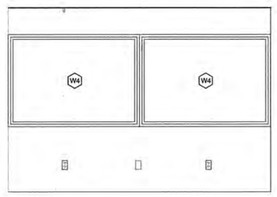
2 ELEVATION - TOILET ROOM WEST
3/8" = 1'-0"



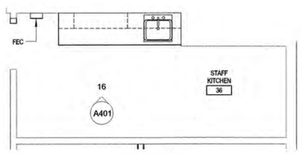
3 ELEVATION - TOILET ROOM NORTH
3/8" = 1'-0"



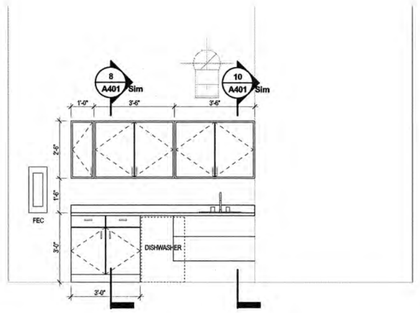
4 ELEVATION - TOILET ROOM EAST
3/8" = 1'-0"



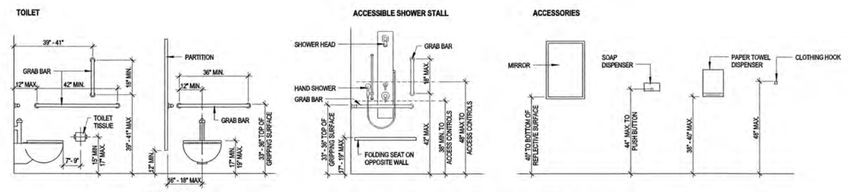
9 ELEVATION - RECEPTION TRANSACTION AREA
3/8" = 1'-0"



15 ENLARGED STAFF KITCHEN
1/4" = 1'-0"

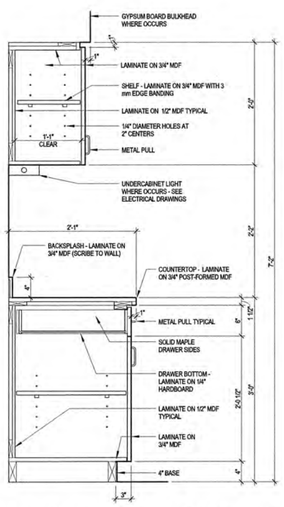


16 ELEVATION - KITCHEN
3/8" = 1'-0"

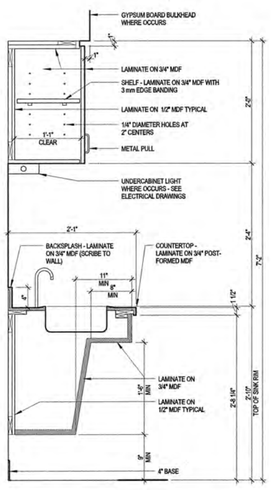


NOTE:
CONTRACTOR SHALL PROVIDE ALL BLOCKING AND SUPPLEMENTAL SUPPORT REQUIRED FOR SECURE AND PROPER INSTALLATION OF TOILET ROOM FIXTURES AND ACCESSORIES.

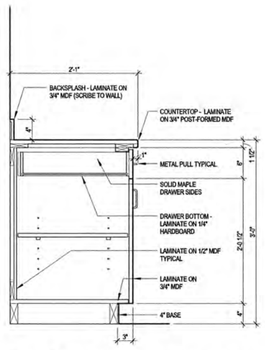
7 TYPICAL TOILET ROOM FIXTURE AND ACCESSORY MOUNTING HEIGHTS
3/8" = 1'-0"



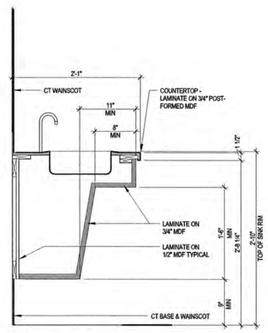
8 WALL CAB/ DOOR & DRAWER BASE - LAMINATE
1" = 1'-0"



10 Wall Cab / Sink Base - LAMINATE
1" = 1'-0"



11 DOOR & DRAWER BASE - LAMINATE
1" = 1'-0"



5 Sink Base - LAMINATE
1" = 1'-0"

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MARK	DATE	DESCRIPTION

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ENLARGED PLANS AND INTERIOR ELEVATIONS

A401

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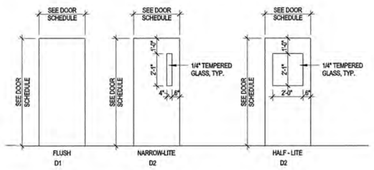
DOOR SCHEDULE

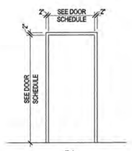
DOOR NUMBER	ROOM NUMBER	ROOM NAME	SIZE PAIR	SIZE WIDTH	SIZE HEIGHT	SIZE THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME HEAD	FRAME JAMB	HARDWARE SET	COMMENTS
002	40	CORRIDOR 01		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
004	11	TRAINING / LARGE CONFERENCE		3' - 0"	7' - 0"	1 3/4"	D2	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
005	17	STAFF CORRIDOR		2' - 6"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
006	18	INTAKE HALL		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
007	44	INTAKE HALL		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
008	53	OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
009	11	TRAINING / LARGE CONFERENCE		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
010	52	CORRIDOR 01		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
011		OPEN OFFICE AREA		3' - 4"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
012		OPEN OFFICE AREA		3' - 4"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
013		OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
014		OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
015		OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
016		OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
017		OPEN OFFICE AREA		3' - 0"	7' - 0"	1 3/4"	D3	WOOD	MATCH EXISTING	ETR	ETR	ETR	ETR		
018		STAFF CORRIDOR		3' - 0"	7' - 0"	1 3/4"	D1	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		
023		CORRIDOR 01		3' - 0"	7' - 0"	1 3/4"	D2	WOOD	MATCH EXISTING	F1	H.M.	H1	J1		

WINDOW SCHEDULE

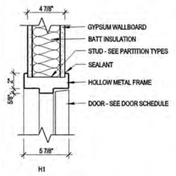
KEYED NOTE	COUNT	HEIGHT	WIDTH	SILL HEIGHT A.F.F.	COMMENTS
	2	4' - 0"	5' - 8 1/2"	2' - 10"	
W1	3	6' - 0"	1' - 6"	1' - 0"	
W2	1	2' - 0"	3' - 0"	3' - 0"	



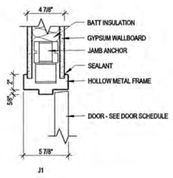
1 DOOR TYPES
1/4" = 1'-0"

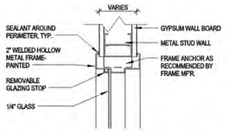


2 FRAME TYPES
1/4" = 1'-0"

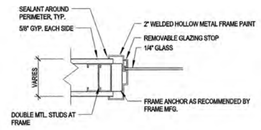


3 JAMB TYPES
1 1/2" = 1'-0"

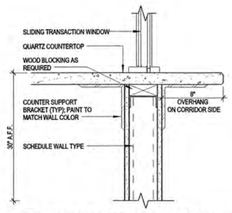




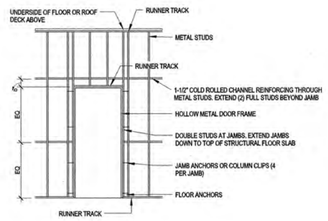
5 HM WINDOW HEAD - STL STUD - 1/4" GLASS
1 1/2" = 1'-0"

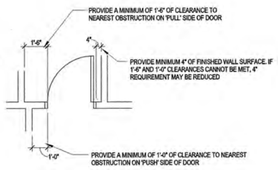


6 HM WINDOW JAMB - STL STUD - 1/4" GLASS
1 1/2" = 1'-0"

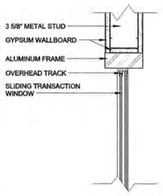


7 TRANSACTION WINDOW SILL
1 1/2" = 1'-0"

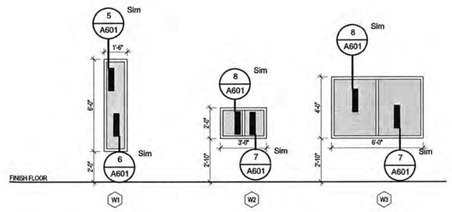




4 DOOR INSTALLATION DETAIL
1/4" = 1'-0"



8 TRANSACTION WINDOW HEAD
1 1/2" = 1'-0"



9 WINDOW TYPES
1/4" = 1'-0"

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Consultants:

Project Title:
VLP NEW OFFICE SPACE RENOVATION

Owner:
VETERANS LEADERSHIP PROGRAM
2417 EAST CARSON STREET
PITTSBURGH, PA 15203
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MARK	DATE	DESCRIPTION

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Checked By: JD

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DOOR AND WINDOW SCHEDULES AND DETAILS

A601

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FINISH SCHEDULE

ROOM NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH NORTH	WALL FINISH SOUTH	WALL FINISH EAST	WALL FINISH WEST	CEILING MATERIAL	COMMENTS
2	CRISIS ROOM	CPT1	RB	PT2	PT1	PT1	PT1	OPEN	
3	MANAGER	CPT1	RB	PT1	PT2	PT1	PT1	OPEN	
4	MANAGER	CPT2	RB	PT2	PT1	PT1	PT1	OPEN	
5	MANAGER	CPT1	RB	PT1	PT2	PT1	PT1	OPEN	
6	MANAGER	CPT1	RB	PT2	PT1	PT1	PT1	OPEN	
7	HR	CPT1	RB	PT1	PT2	PT1	PT1	OPEN	
8	EXECUTIVE DIRECTOR	CPT1	RB	PT1	PT2	PT1	PT1	OPEN	
10	DONATIONS STORAGE	CPT1	RB	PT2	PT1	PT1	PT1	OPEN	
11	TRAINING / LARGE CONFERENCE	CPT1	RB	PT1	PT1	PT2	PT1	OPEN	
17	TOILET	CT	CT	PT1/CT	PT1/CT	PT1/CT	PT1/CT	GWB	
18	INTAKE 1	CPT1	RB	PT1	PT1/CT	PT1	PT2	ACT	
20	SMALL CONFERENCE ROOM	CPT1	RB	PT1	PT1	PT2	PT1	OPEN	
22	DIRECTOR OF DEVELOPMENT	CPT1	RB	PT2	PT1	PT1	PT1	OPEN	
23	FINANCE DIRECTOR	CPT1	RB	PT2	PT1	PT1	PT1	OPEN	
24	PR DIRECTOR	CPT1	RB	PT1	PT2	PT1	PT1	OPEN	
29	DIRECTOR OF OPS	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
34	WOMENS ROOM	LVT	RB	PT1	PT1	PT1	PT1	ACT	CEILING: SUSPENDED CEILING GRID TO REMAIN; REPLACE ACOUSTICAL CEILING TILES
35	MENS ROOM	LVT	RB	PT1	PT1	PT	PT1	ACT	CEILING: SUSPENDED CEILING GRID TO REMAIN; REPLACE ACOUSTICAL CEILING TILES
36	STAFF KITCHEN	LVT	RB	PT1	PT1	PT1	PT1	OPEN	
39	RECEPTION	CPT1	RB	PT1	PT1	PT1	PT1	ACT	
44	INTAKE 2	CPT1	RB	PT1	PT1	PT2	PT1	ACT	
49	BOOK KEEPER, FINANCE ASSISTANT, DEVELOPMENT ASSISTANT	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
52	COPY / PRINT	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
53	FAMILY ROOM	CPT1	RB	PT1	PT1	PT1	PT1	ACT	
54	EMPLOYEE BREAK ROOM	CPT1	RB	PT1	PT1	PT2	PT1	OPEN	
56	ELEC CLOSET	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
57	OPEN OFFICE AREA	CPT1	RB	PT1	PT1	PT2	PT1	OPEN	
58	TOUCHDOWN SPACE	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
59	INTAKE HALL	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
62	WAITING	LVT	RB	PT1	PT1	PT1	PT1	OPEN	
63	CORRIDOR 01	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
64	STAFF CORRIDOR	CPT1	RB	PT1	PT1	PT1	PT1	OPEN	
65	CORRIDOR 02	LVT	RB	PT1	PT1	PT1	PT1	OPEN	CT FLOORING IN FRONT OF ELEVATOR TO REMAIN.
E-0	ELEVATOR	–	–	–	–	–	–	–	
E-1	STAIR	–	–	–	–	–	–	–	
E-2	STAIR	–	–	–	–	–	–	–	

INTERIOR FINISHES:

PAINT

PT1
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD

PT2
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TBD

CARPET

CPT 1
MANUFACTURER: SHAW CONTRACT GROUP
STYLE: BRIGHT WORK; GLIMMER 59329
COLOR: TBD
SIZE: 24X24
INSTALLATION: MONOLITHIC

LUXURY VINYL TILE

LVT 1
MANUFACTURER: CENTIVA
STYLE: PORCELAIN
SERIES: CONTOUR
COLOR: TBD
SIZE: 18X18

LAMINATE

LAM 1
MANUFACTURER: WILSONART
STYLE: TBD
COLOR: TBD
LOCATION: COUNTERTOPS

LAM 2
MANUFACTURER: WILSONART
STYLE: TBD
COLOR: TBD
LOCATION: CABINETS

CERAMIC TILE

CT 1
MANUFACTURER: CROSSVILLE, INC
STYLE: VISTA AMERICANA
COLOR: TBD
SIZE: 18X18
LOCATION: FLOOR

CT 2
MANUFACTURER: CROSSVILLE, INC
STYLE: VISTA AMERICANA
COLOR: TBD
SIZE: 6X18
LOCATION: WALLS

CT 3
MANUFACTURER: CROSSVILLE, INC
STYLE: VISTA AMERICANA
COLOR: TBD
SIZE: 6X12
LOCATION: COVE BASE

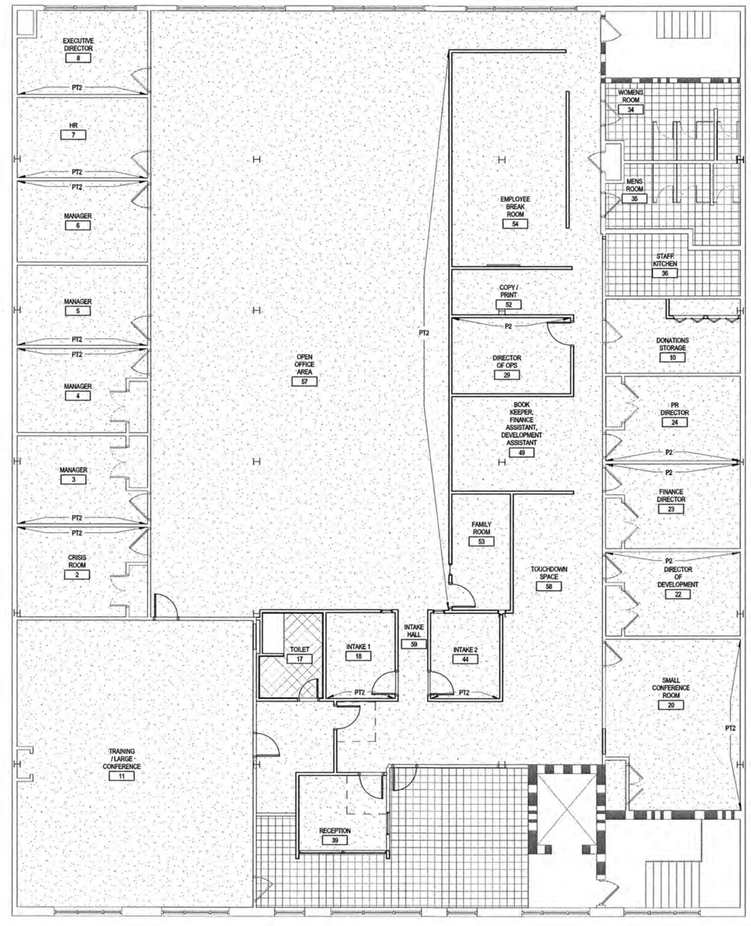
ACOUSTIC CEILING TILE

ACT1
MANUFACTURER: ARMSTRONG
STYLE: CORTEGA
COLOR: WHITE
SIZE: 12X24

FINISH FLOOR LEGEND

- LUXURY VINYL TILE — LVT1
- CARPET TILE — CPT1
- CERAMIC TILE — CT1

GENERAL NOTE: ALL WALLS TO RECEIVE PT1 U.N.O.



1 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

PROJECT NORTH
TRUE NORTH

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Project Title:

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SECOND FLOOR FINISH PLAN

A701

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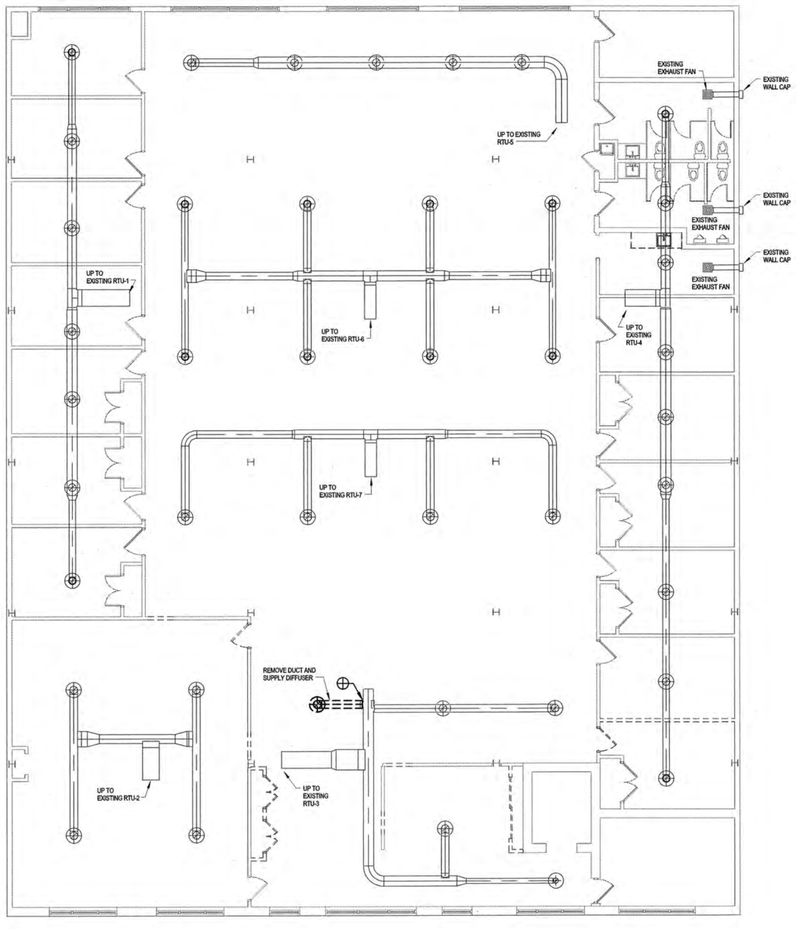
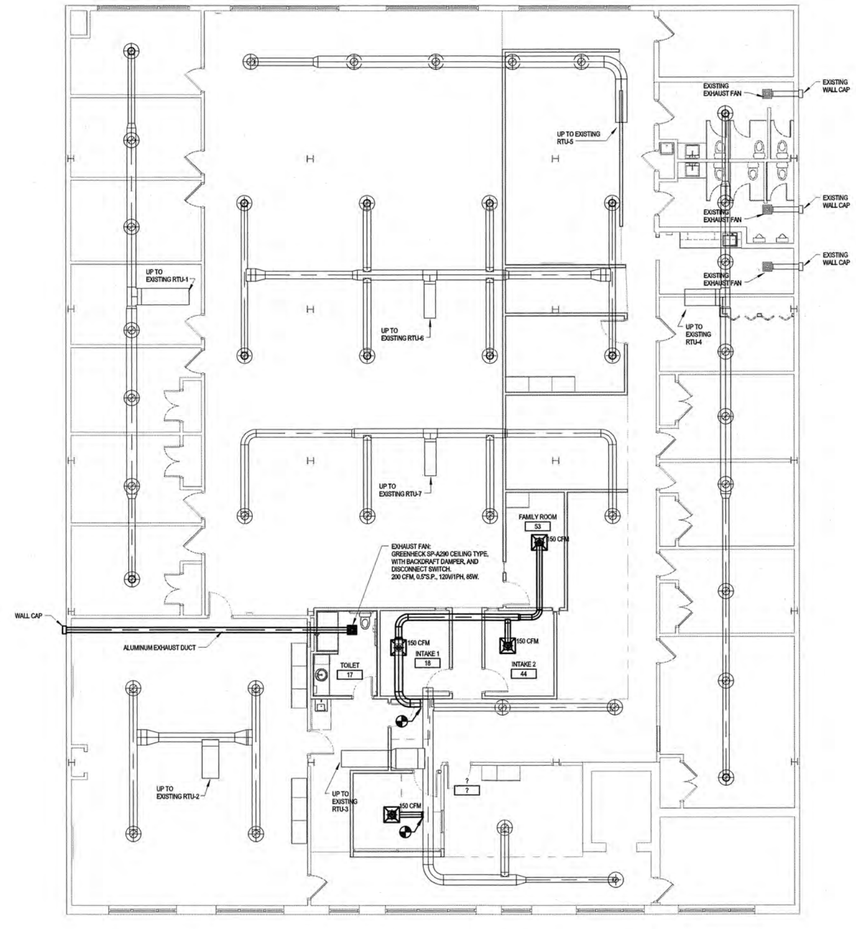


1 SECOND FLOOR HVAC DEMOLITION PLAN
1/8" = 1'-0"



2 SECOND FLOOR HVAC NEW WORK PLAN
1/8" = 1'-0"

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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
SCOTT P. LIZOTTE
ENGINEER
PE061443

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SECOND FLOOR HVAC PLAN

H102

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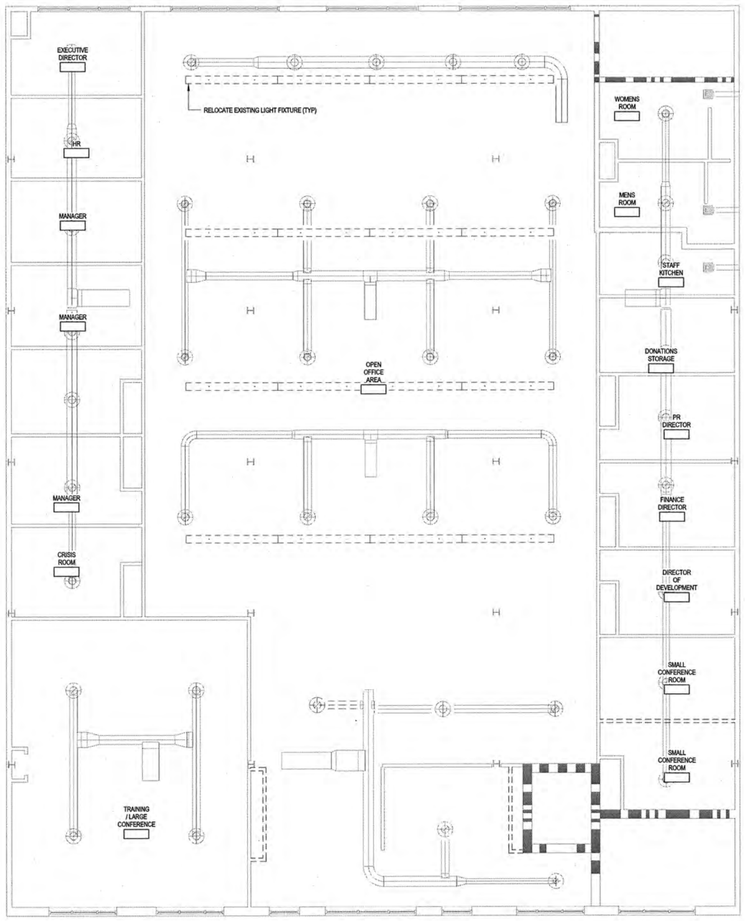
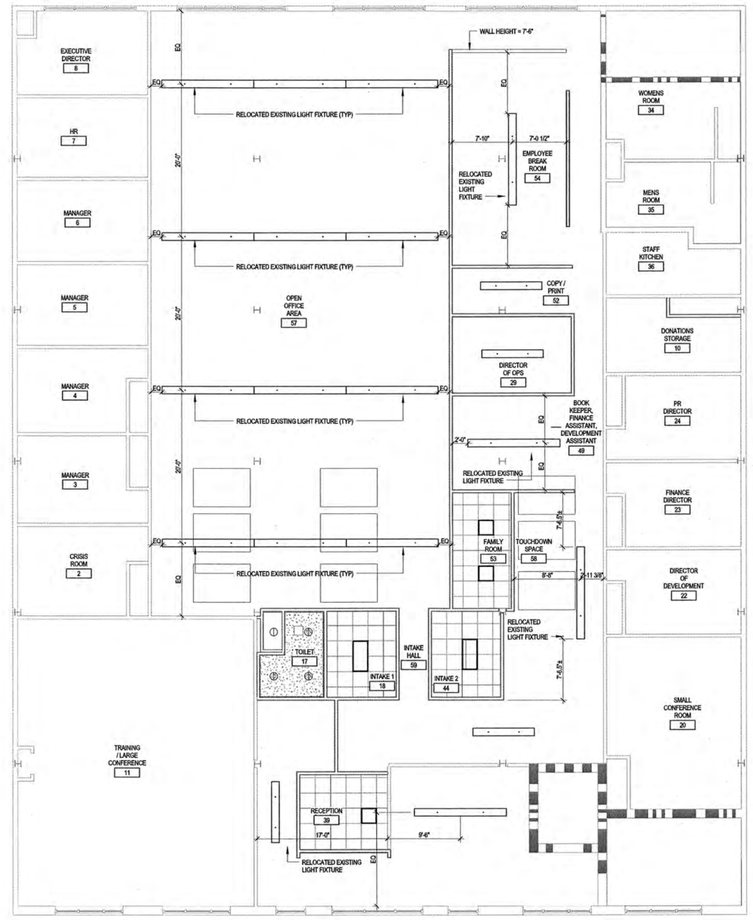


1 SECOND FLOOR LIGHTING DEMOLITION PLAN
1/8" = 1'-0"



2 SECOND FLOOR LIGHTING PLAN - NEW WORK
1/8" = 1'-0"

LIGHTING FIXTURE COUNT

TYPE	SIZE	SYMBOL	COUNT
PENDANT	1' X 12'		16
PENDANT	1' X 8'		2
RECESSED CAN	6" DIA.		4
WALL-MOUNTED TRACK	-		8
TROFFER	2' X 4'		2
TROFFER	2' X 2'		4

GENERAL NOTE: EXISTING LIGHT FIXTURES IN PERIMETER OFFICES TO REMAIN. NOT SHOWN ON DRAWINGS.

PROVIDE LIGHTING CONTROL PANEL FOR AUTOMATIC SHUTOFF OF LIGHTING.

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SECOND FLOOR LIGHTING PLAN

E102

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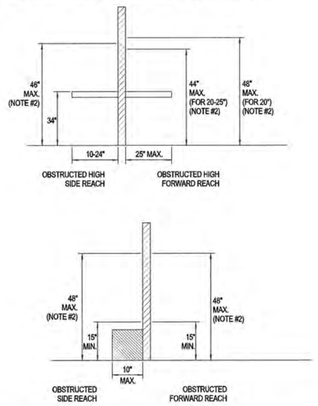
STANDARD MOUNTING HEIGHTS

CEILING	RECESSED LIGHTING FIXTURES, CEILING MOUNTED RECEPTACLES, INDICATING LIGHTS, ETC.
7'-0" A.F.F.	WALL MOUNTED LIGHTS IN STAIRS, MECH ROOMS, ETC.
6'-8" A.F.F.	TOP MOST PORTION OF OPERATING HANDLE OF DISCONNECT SWITCHES / CIRCUIT BREAKERS
6'-0" A.F.F.	TOP OF PANELBOARDS (<8'-0" TALL)
4'-0" A.F.F.	WALL SWITCHES, THERMOSTATS, CONTROL DEVICES, TO CENTER OF BOX
3'-6" A.F.F.	ABOVE COUNTER DEVICES, GFI RECEPTACLES IN RESTROOMS.
1'-6" A.F.F.	RECEPTACLES, FURNITURE FEEDS
0'-0"	IN FLOOR JUNCTION BOXES FLUSH TO FINISHED FLOOR (FF)

1. IN MASONRY CONSTRUCTION THE MOUNTING HEIGHTS SHALL BE USED FOR REFERENCE TO THE NEAREST BLOCK OR BRICK COURSING.
2. THE ABOVE MOUNTING ELEVATIONS ARE TO CENTER OF DEVICE AND SHALL BE ADHERED TO UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE ON THE DRAWINGS AND/OR SPECIFICATIONS.
3. COORDINATE THE INSTALLATION AND MOUNTING ELEVATIONS OF ALL EQUIPMENT, DEVICES, CONTROLS AND APPURTENANCES WITH ARCHITECT AND ALL AFFECTED TRADES PRIOR TO INSTALLATION. DOCUMENT ALL MOUNTING ELEVATIONS FOR ALL EQUIPMENT, DEVICES, CONTROLS AND APPURTENANCES AT THE TIME OF SHOP DRAWING SUBMITTAL.

ADA INSTALLATION GUIDELINES



NOTES:
1. THESE GUIDLINES SHALL BE USED FOR THE INSTALLATION OF THE FOLLOWING DEVICES:
   - WALL SWITCHES
   - CONTROL SWITCHES
   - RECEPTACLES
   - VISUAL DISPLAY TOUCH PANELS
2. NOTE THAT THIS HEIGHT IS TO THE TOP-MOST PART OF THE DEVICE THAT AN OCCUPANT REQUIRES ACCESS TO.

ELECTRICAL SYMBOLS LEGEND

THIS IS A STANDARD SYMBOL LIST. ALL SYMBOLS MAY NOT APPEAR ON THIS PROJECT.

POWER SYMBOLS

xx	DUPLEX RECEPTACLE IN A 4" SQUARE BOX WITH PLASTER RING (IN DRYWALL) SINGLE GANG BOX IN MASONRY. XX: WP=WEATHERPROOF, SS=SURGE SUPPRESSOR, GFI= GROUND FAULT INTERRUPTER, TR=TAMPER RESISTANT, S=SURFACE MTD
xx	DOUBLE DUPLEX RECEPTACLE IN A 4" SQUARE BOX XX: WP=WEATHERPROOF, SS=SURGE SUPPRESSOR, GFI= GROUND FAULT INTERRUPTER, TR=TAMPER RESISTANT, S=SURFACE MTD
x	WALL MOUNTED VOICE/DATA OUTLET X = CABLING CONFIGURATIONS: 2 = 1 DATA, 1 PHONE 4 = 2 DATA, 2 PHONE
IM	INTERCOM MASTER STATION
IS	INTERCOM SLAVE STATION
*	INDICATES MOUNTED ABOVE COUNTER

2L1

VOLTAGE: 120/208 Wye | PHASE: 3 | WIRES: 4 | LOCATION: DIRECTOR OF OP... | A.I.C. RATING:
MAIN TYPE: MCB | FED FROM: PANEL 3 | FEED THRU LUGS:
BUSS RATING: 100 A | MOUNTING: | TVSS:
MCB RATING: 100 A | ENCLOSURE: | METER:

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	A	B	C	Poles	Trip	Circuit Description	CKT
1	RECEPTACLE	20 A	1	1.26			1.26			1	20 A	RECEPTACLE	2
3	RECEPTACLE	20 A	1		1.26			1.26		1	20 A	RECEPTACLE	4
5	RECEPTACLE	20 A	1			1.26			0.84	1	20 A	RECEPTACLE	6
7	RECEPTACLE	20 A	1	1.26			1.18			1	20 A	RECEPTACLE	8
9	RECEPTACLE - COPIER	20 A	1		1.20			1.20		1	20 A	RECEPTACLE - COPIER	10
11	RECEPTACLE	20 A	1			1.08			0.84	1	20 A	RECEPTACLE	12
13	RECEPTACLE	20 A	1	0.96			0.96			1	20 A	RECEPTACLE	14
15	RECEPTACLE	20 A	1		1.08			0.43		1	20 A	RECEPTACLE	16
17	RECEPTACLE	20 A	1			0.54			0.36	1	20 A	RECEPTACLE	18
19	RECEPTACLE	20 A	1	1.68									20
21	RECEPTACLE	20 A	1		0.84			0.36		1	20 A	RECEPTACLE	22
23	EIWH-1	20 A	1			1.50			0.00	1	20 A	Spare	24
25	Spare	20 A	1	0.00			0.00			1	20 A	Spare	26
27	Spare	20 A	1		0.00			0.00		1	20 A	Spare	28
29	Spare	20 A	1			0.00			0.00	1	20 A	Spare	30
			Total Load:	8560 VA			7630 VA		6420 VA				
			Total Amps:	73 A			65 A		54 A				

Legend:

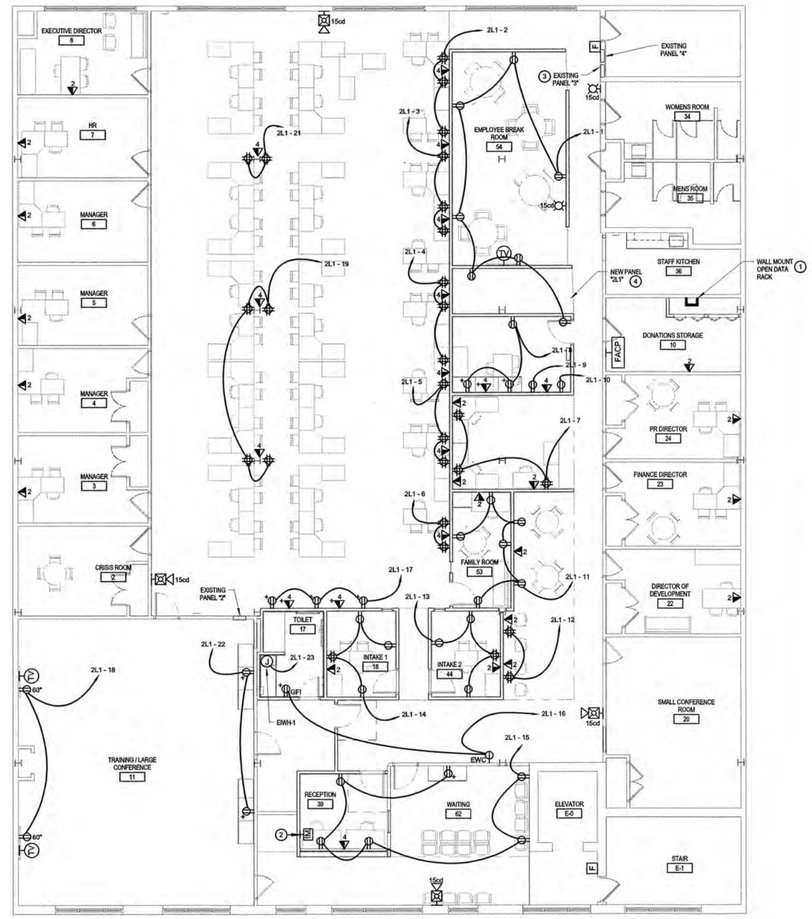
PANEL 3

VOLTAGE: 120/208 Wye | PHASE: 3 | WIRES: 4 | LOCATION: STAIR E-2 | A.I.C. RATING:
MAIN TYPE: MCB | FED FROM: | FEED THRU LUGS:
BUSS RATING: 225 A | MOUNTING: RECESSED | TVSS:
MCB RATING: 200 A | ENCLOSURE: NEMA 1 | METER:

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	A	B	C	Poles	Trip	Circuit Description	CKT
1				0.00			0.00						2
3	EXISTING CIRCUIT	30 A	3		0.00			0.00		3	30 A	EXISTING CIRCUIT	4
5						0.00			0.00				6
7				0.00			0.00						8
9	EXISTING CIRCUIT	30 A	3		0.00			0.00		3	30 A	EXISTING CIRCUIT	10
11						0.00			0.00				12
13				0.00			0.00						14
15	EXISTING CIRCUIT	30 A	3		0.00			0.00		3	30 A	EXISTING CIRCUIT	16
17						0.00			0.00				18
19				8.56			0.00						20
21	NEW PANEL 2L1	100 A	3		7.63			0.00		3	30 A	EXISTING CIRCUIT	22
23						6.42			0.00				24
25													26
27													28
29													30
			Total Load:	8560 VA			7630 VA		6420 VA				
			Total Amps:	73 A			65 A		54 A				

Legend:



1 SECOND FLOOR POWER & SYSTEMS PLAN
1/8" = 1'-0"

ELECTRICAL KEYNOTES

1. WALL MOUNTED DATA RACK SHALL BE KENDALL HOWARD 16U V-LINE SERIES OR APPROVED EQUAL. PROVIDE THE FOLLOWING EQUIPMENT IN RACK:
   - (2) 48 PORT PATCH PANELS
   - (2) WIRE MANAGEMENT RACKS
2. AIPHONE INTERCOM MASTER STATION #AX-8MV-W. PROVIDE AIPHONE #AX-DV-P SLAVE STATION AT FRONT DOOR.
3. PROVIDE NEW 100A-3P CIRCUIT BREAKER IN EXISTING PANEL 3, MATCH AIC RATING OF EXISTING PANEL. EXTEND (4) #1 & (1) #6 GRD IN 1 1/2" CONDUIT TO NEW PANEL "2L1".

PROJECT NORTH
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Consultants:

Project Title:

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COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL SCOTT P. LIZOTTE ENGINEER #SE061443

MARK	DATE	DESCRIPTION

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SECOND FLOOR POWER AND SYSTEMS PLAN

E202

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