



BANK SURPLUS - PRIME COMMERCIAL OPPORTUNITY

BEAVER, PA

Preview:

Thursday, November 13th at 1:00pm ET

Online Bidding Closes:

Thursday, November 20th at 12:00 PM ET

Property Location:

**998 3rd Street,
Beaver, Pennsylvania 15009**

Property #: TAA2536



**Tranzon Alderfer, Sanford L. Alderfer
PA Auctioneer/Broker # AY000115L
2780 Shelly Road,
Harleysville, Pennsylvania 19438**

**Michael Foster
P:716-507-9009
mfoster@tranzon.com**

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ATTENTION PROSPECTIVE BIDDERS

All information contained in this and other advertisements was obtained from sources believed to be accurate. However, no warranty or guarantee, either express or implied, is intended or made. All purchasers must independently investigate and confirm any information or assumptions on which any bid is based. Neither auction company nor sellers shall be liable for any errors or the correctness of information.

Property sold "As Is, Where Is, With All Faults." Prospective bidders should verify all information. The property is offered for sale to qualified purchasers without regard to prospective purchaser's race, color, religion, sex, marital status or national origin. The property and improvements will be sold "As Is" without representation or warranty of any kind, including and representations regarding environmental conditions affecting the property.

The real property shall be sold subject to conditions, restrictions, rights-of-way, easements, and reservations, if any, of record; subject to the rights, if any of tenants-in-possession, under law. Neither the auction company nor the sellers make or has made any representation or warranty with respect to the accuracy, correctness, completeness, content, or meaning of the information contained herein. All prospective purchasers recognize and agree that any investigation, examination, or inspection of the property is within the control of the owner or other parties in possession and their agents.

Any decision to purchase or not to purchase is the sole and independent business decision of the potential purchaser. No recourse or cause of action will lie against any of the above-mentioned parties should purchaser become dissatisfied with it's decision, whatever it may be, at a later date.

Tranzon companies are member companies of Tranzon, LLC and are independently owned and operated.

Bank Surplus – Prime Commercial Opportunity

Beaver, PA

Property #: TAA2536

Online Auction:

Bidding ends November 20th
at 12:00pm ET

Inspection Date & Time:

Thursday, November 13th
at 11:00am ET

Property Location:

998 3rd Street,
Beaver, Pennsylvania 15009

Auction Location:

www.tranzzon.com



- **Prime Location in Heart of Beaver, PA - Surrounded by Thriving Commercial, Retail & Government Offices**
- **Approximately ±2,384 SF with Dual Entrances for Flexible Access**
- **Classic Brick Veneer Exterior – Columned Entry – 3-Lane Covered Drive-Thru & Multiple Ingress/Egress**
- **Open Interior Layout featuring Four Private Office Suites - Spacious Common Area & Lobby - Two ADA-compliant Restrooms, Staff Break Room/Kitchenette & Additional Storage**
- **Located on a just over ½ acre Site including 16 Paved Parking Spaces: accessible from both Dravo Ave and Turnpike Street – Corner Location!**
- **Directly along PA-68 Nearby Access to I-376 and PA-65**
- **Zoned SC (Service Commercial District), permitting a wide range of professional-Retail-Office & Similar Uses**
- **Regional Lender Orders Immediate Liquidation of Surplus Assets!**
- **Multiple other Locations being Auctioned in WV, KY, PA, OH & IN. Call Today for the List of Branches & Surplus Asset Properties!**

- **All Properties Selling Free and Clear of Liens- Title Insurance Available!**
- **First Time to Market – Bid Your Price to Own Your Prime Property!**

Cooperating Broker's Fee: 1% of the high bid will be paid to a properly registered broker at settlement.

Summary of Terms of Sale: All property is sold in "as is, where is" condition. A 10% buyer's premium shall be added to the high bid in order to determine the total sale price. The high bidder is required to execute a purchase agreement and deliver it to Tranzon before the close of business on the day of the auction. Buyer shall tender to the designated escrow agent a non-refundable deposit of ten percent of the total sale price within 24 hours of auction conclusion. The balance of the purchase price is due by the date specified in the purchase agreement. Title to the property shall be conveyed by Special Warranty Deed at closing. Additional terms are provided in the Terms and Conditions of the Auction Sale and the purchase agreement.



Tranzon Alderfer
mfoster@tranzon.com
www.tranzon.com/TAA2536

Michael Foster
 716-507-9009
www.tranzon.com/TAA2536

Tranzon Alderfer, Sanford L. Alderfer, PA Auctioneer/Broker #AY000115L



PHOTOS

tranzon[®]

Photo Gallery



Photo Gallery



Photo Gallery



AERIALS

tranzon[®]

Untitled

Pennsylvania, AC +/-



Boundary

Tammy Greenwell



The information contained herein was obtained from sources deemed to be reliable. Land id™ Services makes no warranties or guarantees as to the completeness or accuracy thereof.

Site Map on Satellite Imagery - 0.4 Miles Wide

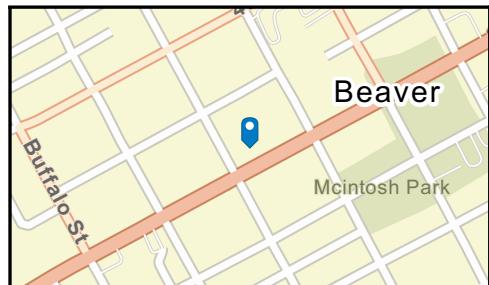
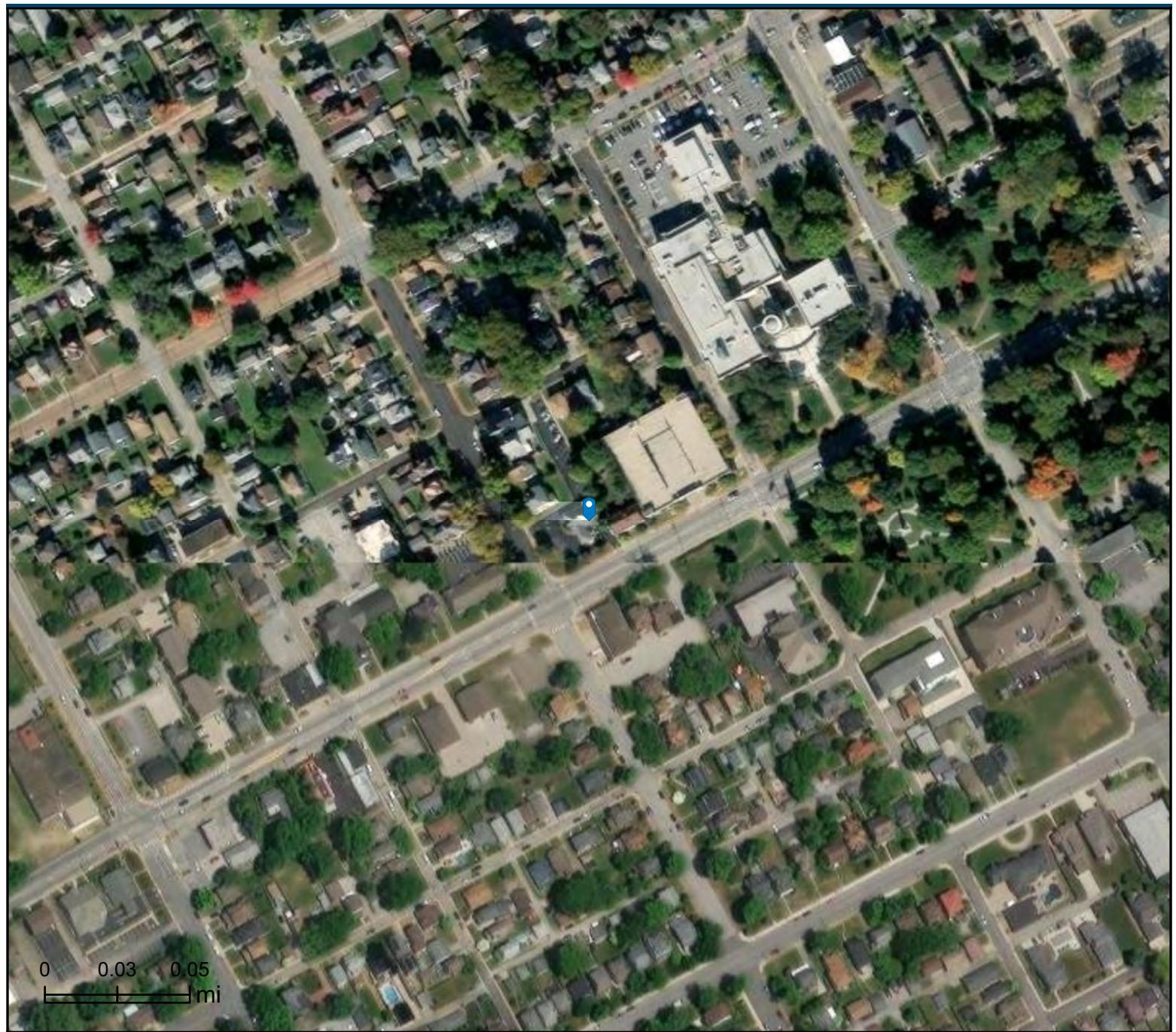
998 3rd St, Beaver, Pennsylvania, 15009

Rings: 1, 3, 5 mile radii

Prepared by Esri

Latitude: 40.69356

Longitude: -80.30970



June 27, 2025

Site Map on Satellite Imagery - 0.8 Miles Wide

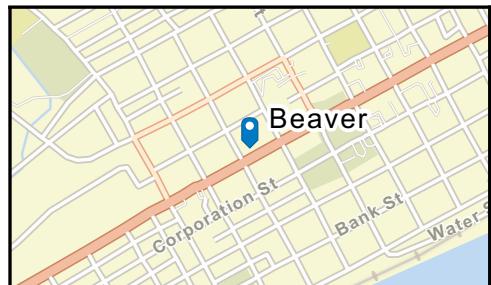
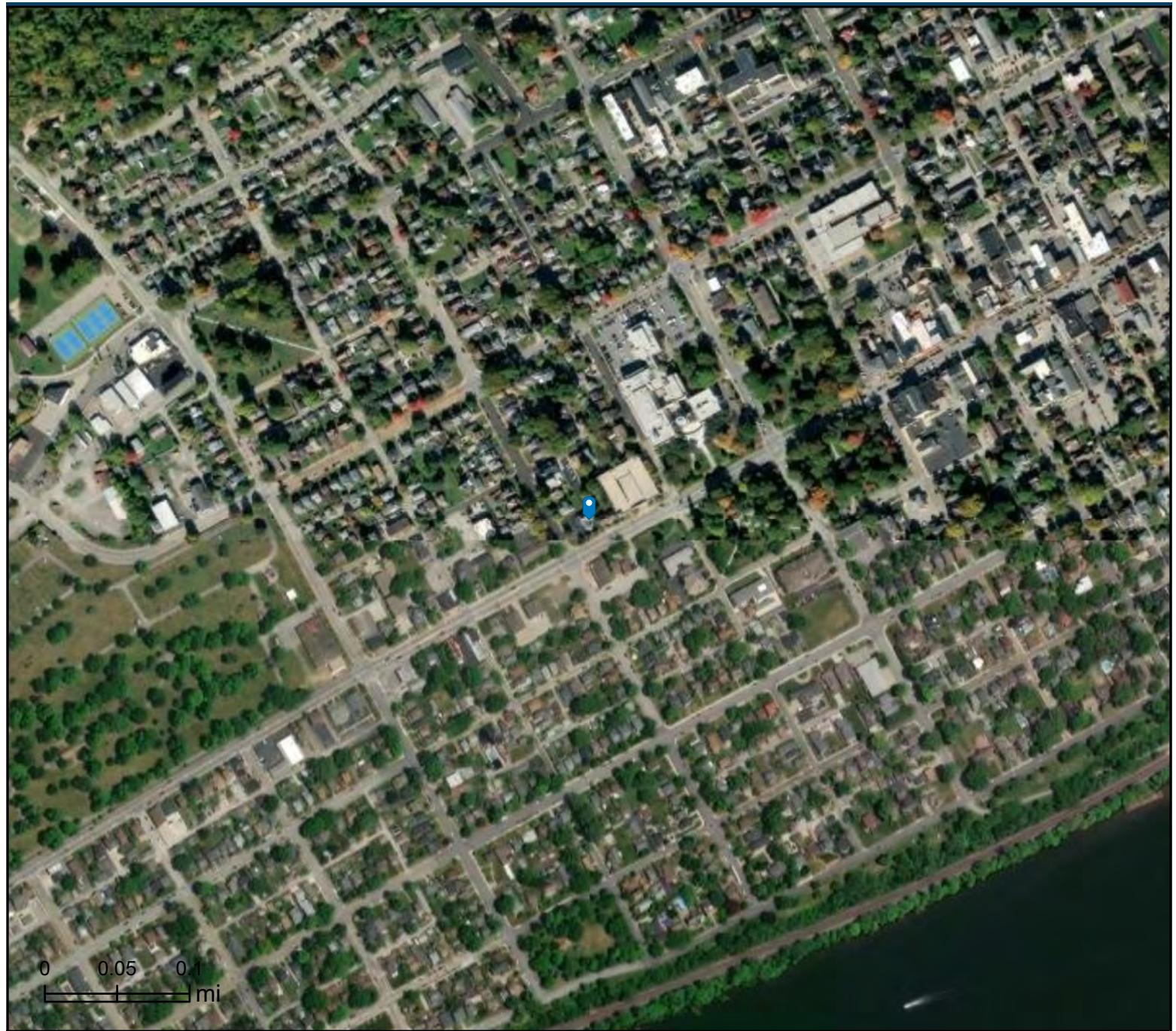
998 3rd St, Beaver, Pennsylvania, 15009

Rings: 1, 3, 5 mile radii

Prepared by Esri

Latitude: 40.69356

Longitude: -80.30970



June 27, 2025

Site Map on Satellite Imagery - 1.6 Miles Wide

998 3rd St, Beaver, Pennsylvania, 15009

Rings: 1, 3, 5 mile radii

Prepared by Esri

Latitude: 40.69356

Longitude: -80.30970



ASSESSOR INFORMATION

Page datalets/datalet.aspx?mode=sketch not registered

PARID: 160020304000

HOME SAVINGS AND LOAN

ROLL: REAL

998 3RD ST

Parcel

Property Location	998 3RD ST
Unit Desc	-
Unit #	
Legal Description	PTLOT 95 GEN PL BLDG
Tax District	16 - BEAVER BOROUGH
School District	S03 - BEAVER
Status	1 - TAXABLE
LUC	611 - BANKING AND BANK-RELATED FUNCTIONS
Topo	1 - Level
Utilities	1 - All Public
Roads	1 - Paved
Total Cards	1
Living Units	0
Billed Acres	.51

Current Owner Details

Name	HOME SAVINGS AND LOAN COMPANY OF YOUNGSTOWN OH
In Care Of	
Mailing Address	PO BOX 1111 YOUNGSTOWN OH 44501
Deed Book	3130
Deed Page	707

Tax Mailing

Mailing Name	HOME SAVINGS AND LOAN
Address	PO BOX 1111
	YOUNGSTOWN OH 44501

Mortgage Company

Sales

Recorded Date	Sale Price	New Owner	Old Owner	Book	Page
03-08-2002	0	HOME SAVINGS AND LOAN	POTTERS BANK	3130	707
01-10-2001	400,000	POTTERS BANK	SEBASTIAN DAVID E	3081	296
01-06-2000	237,500	SEBASTIAN DAVID E	PLEVEL,JOSEPH S JR &	3053	448
11-07-1985	92,000	PLEVEL,JOSEPH S JR &	GULF OIL COMPANY OF PENNA	1256	698
07-01-1971	32,989	GULF OIL COMPANY OF PENNA	SEARIGHT,J C	982	148
01-01-1930	0	SEARIGHT,J C		264	153

Values

Appraised Land	100,900
Appraised Building	548,700
Appraised Total	649,600
Clean and Green	0
Taxable Land	100,900
Taxable Building	548,700
Total Taxable Value	649,600

LAND PAR

Line #	Type	Code	CAMA SQ FT	CAMA Acres	Value

1 S - 1 - 22,216 .5100 \$100,940

OBJ

Card	Line	Code	Year Built	Width x Length	Area	Grade	Condition	RCNLD Value
1	1	PA1 - PAVING ASPHALT PARKING	2001	9999 x 1	9,999 C - AVERAGE QUALITY	A - AVERAGE		8,690
1	2	PA1 - PAVING ASPHALT PARKING	2001	3001 x 1	3,001 C - AVERAGE QUALITY	A - AVERAGE		3,460

Commercial

Card	Building Number	Year Built	# Units	Structure Code	Grade	Number of Identical Units	Improvement Name	Gross Floor Area
1	1	2001		351 - 351	B- - GOOD -	1	PREMIER BANK	0

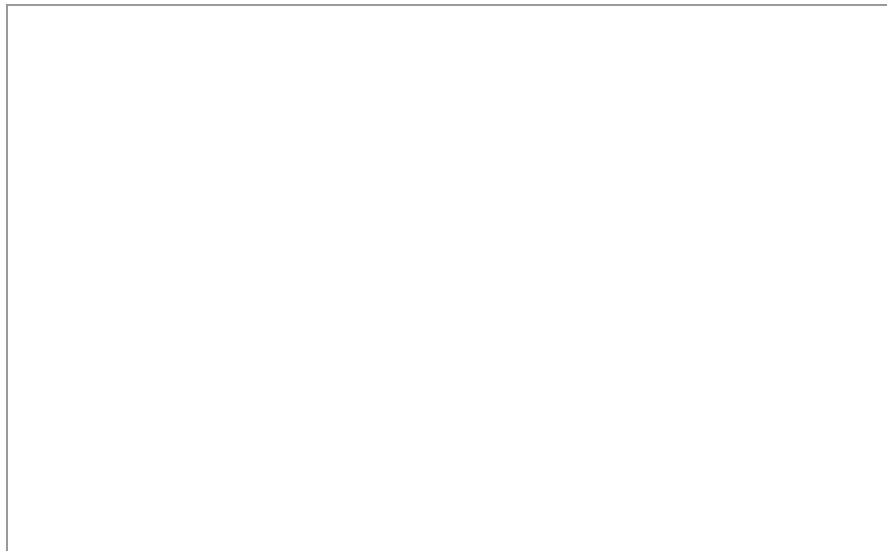
Interior/Exterior Details

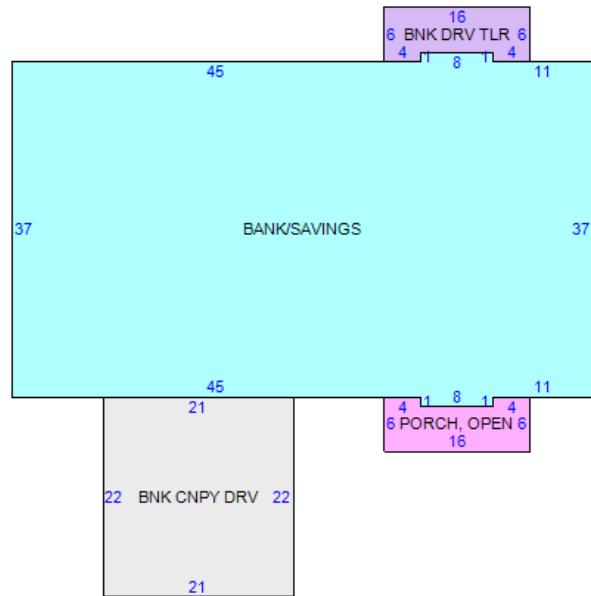
Card	1
Line	1
Sect	01
From Level	01
To Level	01
Year Built	
Area	2,384
Perimeter	206
Use Type	051 - BANK/SAVINGS INST
Use Grp	15
Wall Height	14
Physical	A-
Functional	A-
Interior Finish %	%
Exterior Wall	01 -
Construction	1 - WOOD FRAME/JOIST/BEAM
Partition	2 - NORMAL
Heat/Air	3 - HOT AIR
Plumbing	2 - NORMAL

Summary of All Other Features

1 of 4

Card	1
Line	1
Int/Ext Line	1
Code and Description	PR1 - PORCH, OPEN
Measurement 1	16
Measurement 2	6
Elevator Stops	
Ident Units	2
Sketch Area	

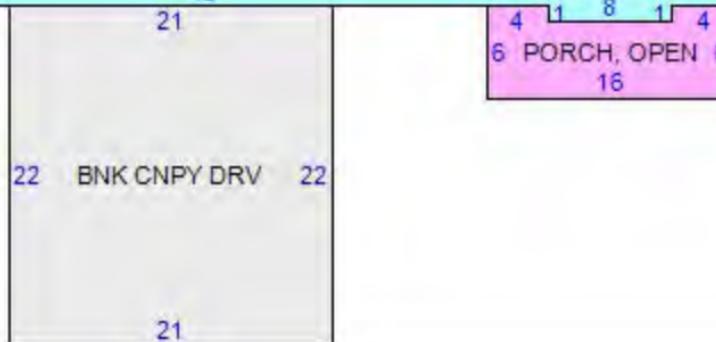




Item	Area
BANK/SAVINGS - 051:BANK/SAVINGS INST	2384
PORCH, OPEN - PR1:PORCH, OPEN	96
PAVING ASP - PA1:PAVING ASPHALT PARKING	9999
PAVING ASP - PA1:PAVING ASPHALT PARKING	3001
BNK CNPY DRV - BC1:BANK CANOPY-DRIVE IN	462
ATM STRUCTUE - BT0:ATM STRUCTURE	
BNK DRV TLR - BE9:BANK DRIVE-IN TELLER BOOTH	10



160020304000 03/09/2020



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PARID: 160020304000	HOME SAVINGS AND LOAN	ROLL: REAL 998 3RD ST
Assessment History		
<hr/>		
Date	Reason CD	Notice Date Effective Date 319 Land Land Asmt Bldg Asmt Total Asmt Tax Year
23-JUN-25	J - COURT ORDERED REAPPRAISAL	23-JUN-23 15-JUN-23 \$0 \$100,900 \$548,700 \$649,600 2026
15-JUL-24	J - COURT ORDERED REAPPRAISAL	23-JUN-23 15-JUN-23 \$0 \$100,900 \$548,700 \$649,600 2025
08-JUN-23	J - COURT ORDERED REAPPRAISAL	23-JUN-23 15-JUN-23 \$0 \$100,900 \$548,700 \$649,600 2024
08-JUN-23	B - NEW CONSTRUCTION	23-JUN-22 23-JUN-22 \$0 \$30,650 \$51,950 \$82,600 2023
08-JUN-23	B - NEW CONSTRUCTION	24-JUN-21 24-JUN-21 \$0 \$30,650 \$51,950 \$82,600 2022

1 of 1
[Return to Search Results](#)

Asmt Year

Actions
[!\[\]\(9c8ee003afcb6f6a71601185bbfeecdf_img.jpg\) Printable Summary](#)
[!\[\]\(a974ce2d25619d761f34c4c0153316b5_img.jpg\) Printable Version](#)



Beaver County
Courthouse
810 Third Street
Beaver, PA 15009
724-728-5700

Beaver County

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Divided by Rivers - United by People

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Search Result 1 of 1		Keyboard Shortcuts	
Return to Results	New Search	N Next Result	P Previous Result
		Q New Query	B Return to Query

Webpage is for Non-Official Use only
General Parcel Information

PARCEL NUMBER: 16-002-0304-000
 Deed Book - Page:

NAME: HOME SAVINGS AND LOAN
ADDRESS: COMPANY OF YOUNGSTOWN OH
 PO BOX 1111
 YOUNGSTOWN OH 44501
LOCATION: 998 3RD ST
DISTRICT: 16 (BEAVER BOROUGH WARD 3)
PROPERTY TYPE: 611
SELLING PRICE: \$0.00

Assessment Information

LAND	BUILDING	TOTAL
100,900	548,700	649,600

Prior Year unpaid taxes are handled through Tax Claim Department. Call 724-770-4480

Billing History

Year	Control	Billed	Date	Due @ Face
2025	1625-1 / 0	\$2,384.03	1/13/2025	\$0.00
2024	1624-1 / 0	\$2,384.03	1/8/2024	\$0.00
2023	1623-1 / 0	\$2,147.60	1/9/2023	\$0.00
2022	1622-1 / 0	\$2,147.60	1/3/2022	\$0.00
2021	1621-1 / 0	\$2,147.60	1/4/2021	\$0.00
2020	1620-1 / 0	\$2,147.60	1/3/2020	\$0.00
2019	1619-1 / 0	\$2,147.60	1/9/2019	\$0.00
2018	1618-1 / 0	\$2,147.60	1/30/2018	\$0.00
2017	1617-1 / 0	\$2,147.60	1/23/2017	\$0.00
2016	1616-1 / 0	\$1,833.72	1/21/2016	\$0.00
2015	1615-1 / 0	\$1,833.72	1/14/2015	\$0.00
2014	1614-1 / 0	\$1,833.72	1/15/2014	\$0.00
2013	1613-1 / 0	\$1,833.72	1/7/2013	\$0.00
2012	1612-1 / 0	\$1,833.72	1/20/2012	\$0.00
2011	1611-1 / 0	\$1,833.72	1/18/2011	\$0.00
2010	1610-1 / 0	\$1,833.72	1/11/2010	\$0.00
2009	1609-1 / 0	\$1,833.72	1/12/2009	\$0.00
2008	1608-1 / 0	\$1,833.72	2/1/2008	\$0.00
2007	1607-1 / 0	\$1,544.62	1/8/2007	\$0.00
2006	1606-1 / 0	\$1,462.02	2/27/2006	\$0.00
2005	1605-1 / 0	\$1,462.02	1/4/2005	\$0.00



ZONING INFORMATION



FLOOR PLANS

tranzon[®]



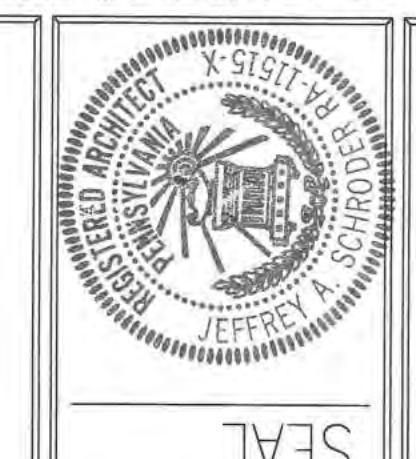
OVERTON

ASSOCIATES

DESIGN/BUILD FIRM
626 ANNAPOIS ROAD

EDENSBURG, MD 20710
PHONE 301.927.4544
FAX 301.927.2567

JEFFREY A. SCHRODDE
ARCHITECT
208 Melton Drive
Lewin, PA 15642
724.861.5225
fax 724.861.5220



POTTERS BANK
998 THIRD STREET
BEAVER, PA 15009
00.53

Plan Date	12-22-00
Issued for:	Permit Bid Const
Plan	Floor Plan

Drawing Title
A-1

©2008 OVERON & ASSOCIATES LLC

NORTH

VAPOR BARRIER OR COMMERCIAL
ROSIN SIZED 000 IN. THK.
(BETWEEN SHEATHING LAYERS)

5/8" THK. FINISHED T&G PLYWOOD FLOOR

1/2" THK. PLYWOOD SUB-FLOOR
W/ EXTERIOR GLUE

2x10 PERIMETER
CEILING FRAMING

2x10 JOISTS @ 16" O.C., FIRESTOPPED
@ PERIMETER

1/2" DEEP 25 MSG GALV. STL. CHANNELS
@ 24" O.C. PERPENDICULAR TO JOISTS

FINISH LAYER 5/8" FIRECODE DRYWALL
PERPENDICULAR ATTACH TO UNDERSIDE

BASE LAYER 5/8" FIRECODE DRYWALL
PERPENDICULAR ATTACH TO UNDERSIDE
OF 2x10 JOISTS

BOT. FRAMING
10'-4" OFF.

NOTE:
PROVIDE FASTENERS
SPECIFIED & SPACED
PER UL DES
II REQUIREMENTS.

WALL TYPES:	
1 FINISH THICKNESS 11/16"	4" FACEBRICK WITH 1/2" AIRSPACE, 1/2" OSB WALL SHEATHING (7/16" ACTUAL), 5 1/2" (2 X 6) WOOD STUD @ 16" O.C. WITH F.S.R FACED FIBERGLASS BATT INSULATION AND 1/2" TH. DRYWALL TAPE, SANDED AND READY FOR FINISH.
2 FINISH THICKNESS 11/2"	SAME AS WALL TYPE 1 BUT WITH (2) LAYERS 1/2" TH. FIRECODE DRYWALL, FULL HT.
3 FINISH THICKNESS 9"	SAME AS WALL TYPE 1 BUT WITH 2 X 4 FRAMING IN LIEU OF 2 X 6. COORDINATE WITH ATT WALL THICKNESS REQUIREMENTS.
4 FINISH THICKNESS 6 3/4"	3/4" MDO PLYWOOD (FINISH) SHEATHING, 5 1/2" (2 X 6) WOOD STUD @ 16" O.C. WITH FSR FACED FIBERGLASS BATT INSULATION AND 1/2" THICK DRYWALL TAPE, SANDED AND READY FOR FINISH.
5 FINISH THICKNESS 4 1/2"	3 1/2" (2 X 4) WOOD STUD @ 16" O.C. WITH (1) LAYER 1/2" TH. DRYWALL FULL HT. EACH SIDE. DRYWALL TO BE TAPE, SANDED AND READY FOR FINISH.
6 FINISH THICKNESS 4 1/2"	SAME AS WALL TYPE 5 BUT WITH 3 1/2" TH. SOUND BATT INSULATION FULL HT. OF STUD CAVITY.
7 FINISH THICKNESS 6 3/4"	SAME AS WALL TYPE 6 BUT WITH 5 1/2" (2 X 6) WOOD STUD @ 16" O.C.
8 FINISH THICKNESS 6"	3 1/2" (2 X 4) WOOD STUD @ 16" O.C. WITH (2) LAYERS 5/8" TH. FIRECODE DRYWALL FULL HT. EACH SIDE. DRYWALL TO BE TAPE, SANDED AND READY FOR FINISH. UL DESIGN NO. U 301
9 FINISH THICKNESS 4"	SAME AS WALL TYPE 5 BUT WITH 1/2" DRYWALL ON ONE (ROOM) SIDE ONLY.
NOTE: EXTEND WALL TYPES 5 6 7 & 9 TO 2" BELOW BOTTOM CHORD OF ROOF TRUSS. ATTACH WALL FRAMING TO TRUSS WITH CONNECTORS @ 24" O.C. ALLOWING FOR TRUSS DEFLECTION TO OCCUR (SIMPSON CONNECTORS OR APPROVED EQUAL.)	

SITE PLANS

POTTERS BANK

998 THIRD STREET
BEAVER, PA 15009

OWNER: POTTERS BANK
519 BROADWAY
EAST LIVERPOOL, OHIO 43920
CONTACT: ED BAUMGARDNER
(330) 385-0710

ARCHITECT: JEFFREY A. SCHRODER, ARCHITECT
208 MELLON DRIVE
IRWIN, PA 15642
CONTACT: JEFF SCHRODER
(724) 861-5225 - PHONE
(724) 861-5220 - FAX

CIVIL ENGINEER: PHILLIPS & ASSOCIATES
CIVIL ENGINEERS
1122 MOSSIDE BLVD.
WALL, PA 15148
CONTACT: GEOFF PHILLIPS, P.E.
(412) 825-4090

STRUCTURAL ENGINEER: TATE, SHAHZAD & ASSOCIATES
9700 MILL RACE DRIVE
VIENNA, VA 22182
CONTACT: ALI SHAHZAD
(103) 757-5169

MECHANICAL ENGINEER: RG. FLEISCHMAN CO.
1030 INDIANA ROAD
VERONA, PA 15141
CONTACT: BOB FLEISCHMAN
(412) 793-3393

ELECTRICAL ENGINEER: STARR ENGINEERING
424 SOUTH MAIN STREET
P.O. BOX 2581
PITTSBURGH, PA 15220
CONTACT: DICK STARR
(412) 921-1201

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION.
- ALL EXISTING DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED BY ALL TRADES AT THE SITE. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONDITIONS AS DEPICTED OR IMPLIED BY THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE POTTERS BANK REPRESENTATIVE AND THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO ANY CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO SUCH DISCREPANCIES IF THE REQUIRED NOTIFICATION HAS NOT BEEN GIVEN.
- ANY AND ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL HAVE WRITTEN APPROVAL BY THE POTTERS BANK REPRESENTATIVE PRIOR TO BEING EXECUTED BY ANY SUB-CONTRACTOR, VENDOR, OR SUPPLIER.
- AT ALL CONNECTIONS, JOINTS, AND INTERFACES BETWEEN EXISTING AND NEW WORK, THE INTEGRITY OF THE EXISTING CONSTRUCTION IS TO BE MAINTAINED AND/OR MODIFIED AS REQUIRED TO CONTINUE PERFORMANCE OF ITS INTENDED FUNCTION.
- OVERLAPPING AND/OR CONFLICTING REQUIREMENTS: MOST STRINGENT APPLIES AND WILL BE ENFORCED, UNLESS MORE DETAILED LANGUAGE WRITTEN DIRECTLY INTO THE CONTRACT DOCUMENTS CLEARLY INDICATES THAT A LESS STRINGENT REQUIREMENT IS ACCEPTABLE. REFER TO UNCERTAINTIES TO THE ARCHITECT AND/OR ENGINEER FOR A DECISION BEFORE PROCEEDING.
- STRUCTURAL WORK: DO NOT CUT-AND-PATCH STRUCTURAL WORK IN SUCH A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR THE LOAD/DEFLECTION RATIO. SUBMIT PROPOSAL AND REQUEST, AND OBTAIN ARCHITECT/ENGINEER'S APPROVAL BEFORE PROCEEDING WITH CUT-AND-PATCH OF STRUCTURAL WORK.
- PENETRATIONS: CONTRACTORS SHALL MAINTAIN, IN ALL CIRCUMSTANCES, PROPER RATINGS WHEN PENETRATING WALLS, FLOORS, AND CEILINGS.
- DIMENSIONS GIVEN ON PLANS AND SCHEDULES ARE FOR ROUGH FRAMING PURPOSES. ALL CONTRACTORS AND MANUFACTURERS SHALL COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, AND WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
- INDUSTRY STANDARDS: APPLICABLE STANDARDS OF THE CONSTRUCTION INDUSTRY HAVE THE SAME FORCE AND EFFECT ON THE PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THEREWITH. STANDARDS REFERENCED IN THE CONTRACT DOCUMENTS OR IN GOVERNING REGULATIONS HAVE PRIORITY OVER NON-REFERENCED STANDARDS. INsofar AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH STANDARDS IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE INDICATED.
- SUBMITTALS: INCLUDE FULL DOCUMENTATION, INCLUDING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, WHERE APPLICABLE. PROVIDE DETAILED PERFORMANCE COMPARISONS AND EVALUATION TESTING LABORATORY REPORTS. COORDINATE INFORMATION FOR: EFFECT ON OTHER WORK, TIME SCHEDULES, COSTS FOR PROPOSED CHANGE ORDERS, CONTRACTOR'S GENERAL CERTIFICATION OF RECOMMENDED SUBSTITUTIONS, AND SIMILAR INFORMATION GERMANE TO THE CIRCUMSTANCES.
- SHOP DRAWINGS AND DATA: SUBMIT SIX (6) SETS OF SHOP DRAWINGS FOR SPECIAL COMPONENTS AND INSTALLATIONS NOT FULLY DIMENSIONED OR DETAILED IN MANUFACTURER'S PRODUCT DATA.
- COORDINATION: COORDINATE VARIOUS ELEMENTS OF THE WORK AND ENTITIES TO PERFORM THE WORK. COORDINATE THE WORK WITH EXISTING FACILITIES/CONDITIONS AND WITH WORK BY SEPARATE CONTRACTORS AND THE OWNER.
- CLEANING AND PROTECTION: CLEAN EACH ELEMENT OF THE WORK AT THE TIME OF INSTALLATION TO PROVIDE A SAFE ENVIRONMENT.
- FINAL CLEANING: SUB-CONTRACTOR AT CLOSEOUT TIME, CLEAN OR RE-CLEAN ENTIRE WORK TO NORMAL LEVEL OF "FIRST CLASS" MAINTENANCE/CLEANING OF BUILDING PROJECTS OF SIMILAR NATURE. REMOVE NON-PERMANENT PROTECTION AND LABELS, POLISH GLASS, CLEAN EXPOSED FINISHES, TOUCH-UP MINOR FINISH DAMAGE, REMOVE DEBRIS, AND PERFORM SIMILAR CLEAN-UP OPERATIONS TO PRODUCE A "CLEAN" CONDITION AS JUDGED BY THE ARCHITECT.
- WARRANTY: THE CONTRACTOR AND SUB-CONTRACTOR SHALL WARRANT THEIR WORK IN THIS PROJECT TO BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP AND BE OBLIGATED TO REPAIR OR REPLACE THE WORK FOR A PERIOD OF ONE (1) YEAR FOLLOWING SUBSTANTIAL COMPLETION OF THE PROJECT (UNLESS NOTED OTHERWISE).

GOVERNING CODES:

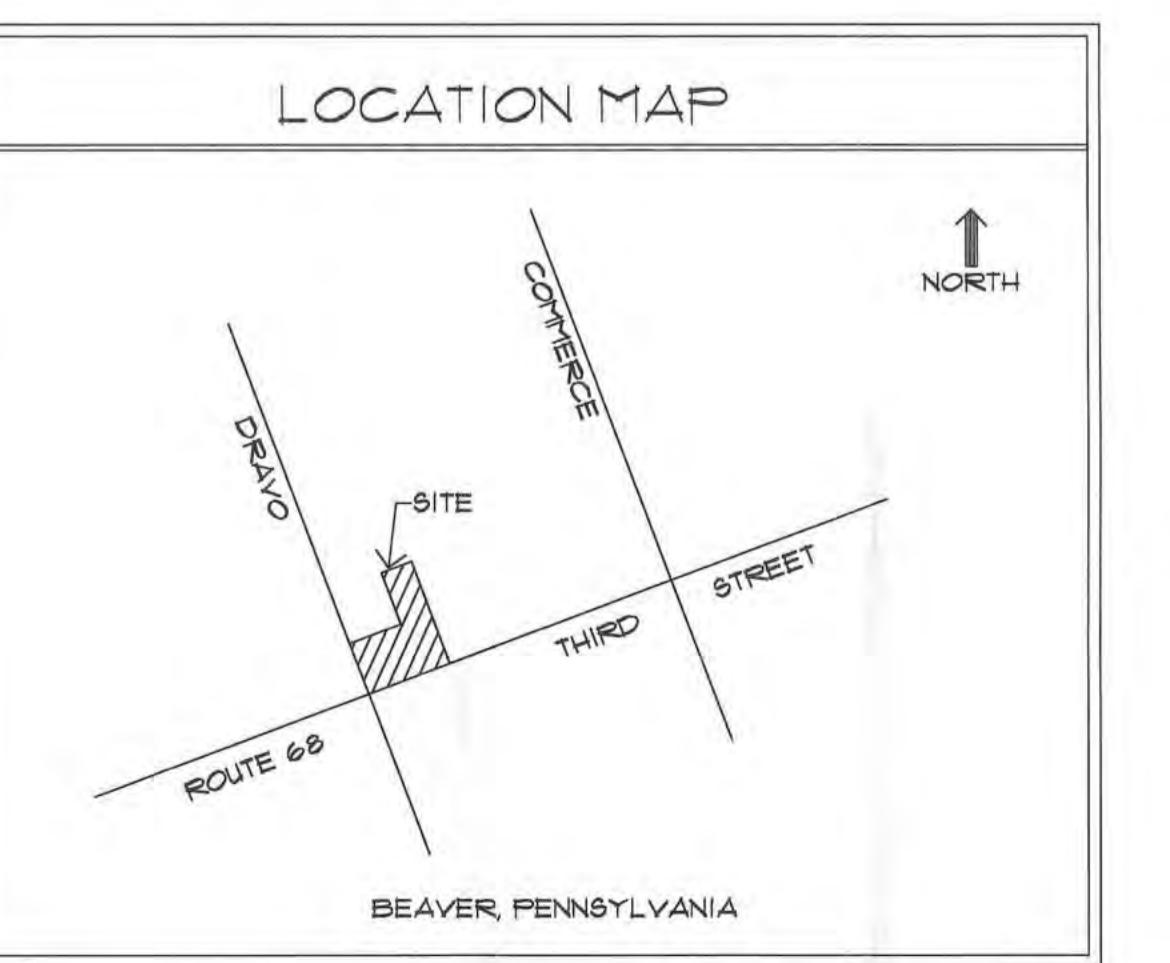
LABOR & INDUSTRY

USE GROUP: D-0 FINANCIAL INSTITUTION
CONSTRUCTION TYPE: WOOD FRAME

BUILDING INFORMATION:

PHYSICAL DATA:

BUILDING AREA: 2,384 SF.
BUILDING HEIGHT: 18 FT. (AVG. HT. OF ROOF PLANE)



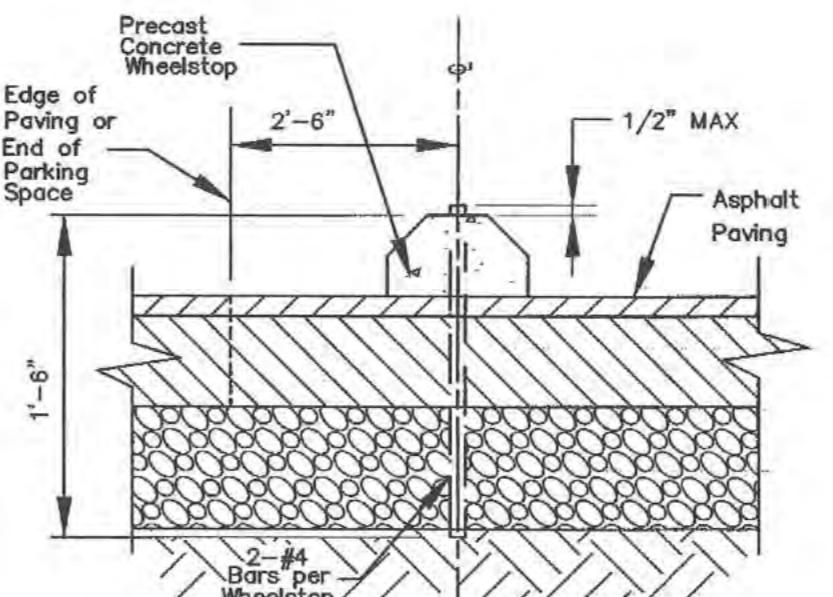
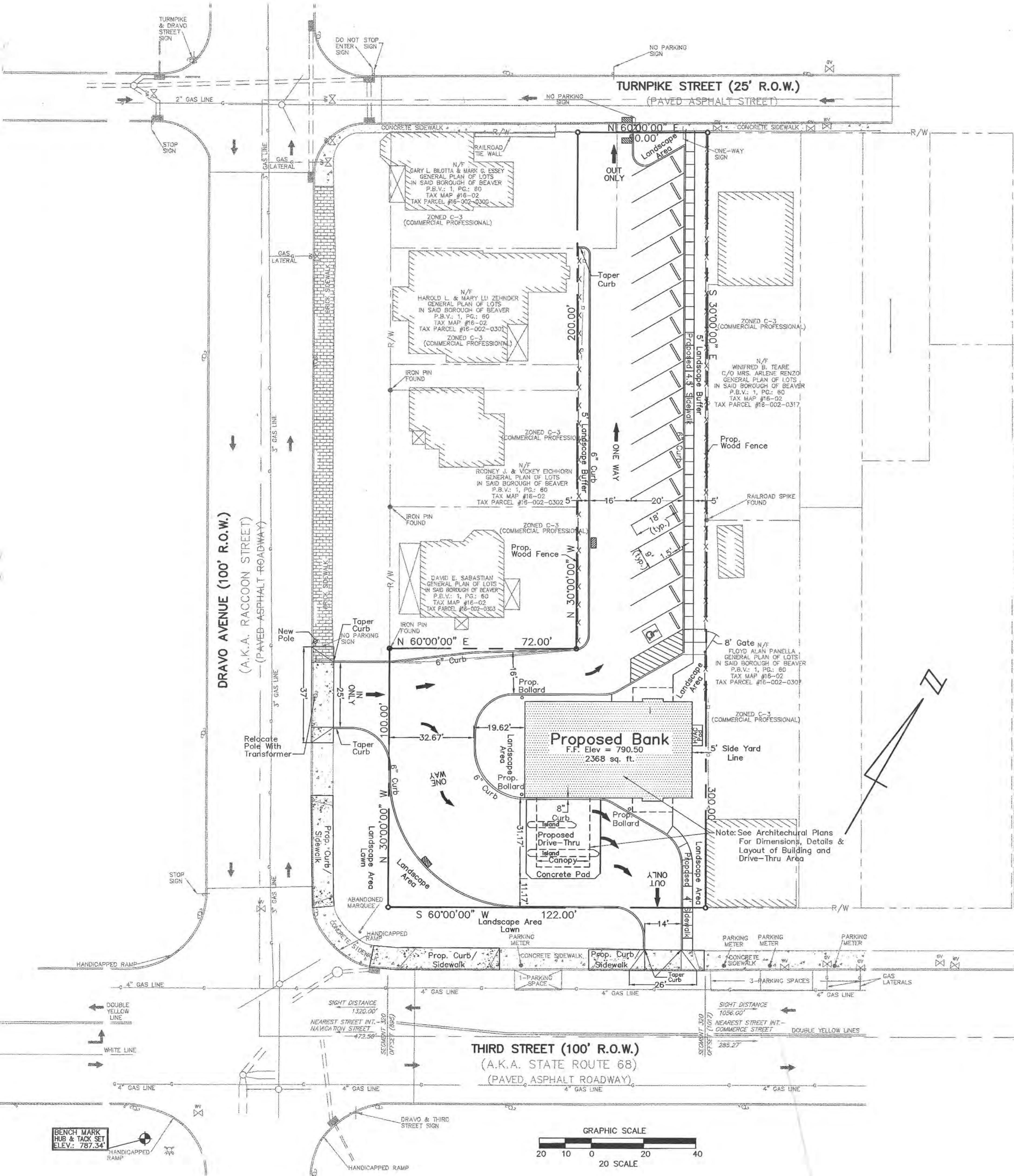
INDEX OF CONSTRUCTION DRAWINGS			
DRAWING	DRAWING TITLE	REVISION	DATE
CS-1	COVER SHEET - DRAWING INDEX - NOTES		12-22-00
C-1	EXISTING CONDITIONS PLAN		12-22-00
C-2	SITE PLAN		12-22-00
C-3	GRADING PLAN		12-22-00
C-4	DRAINAGE/UTILITY PLAN		12-22-00
C-5	E & S PLAN		12-22-00
C-6	DRIVeway ENTRANCE PLAN		12-22-00
A-1	ARCHITECTURAL FLOOR PLAN		12-22-00
A-2	BUILDING ELEVATIONS		12-22-00
A-3	BUILDING ELEVATIONS		12-22-00
A-4	BUILDING SECTIONS & DETAILS		12-22-00
A-5	BUILDING SECTIONS & DETAILS		12-22-00
A-6	DOOR & HARDWARE SCHEDULE/TOILET ROOM ACCESSORIES		12-22-00
A-7	FURNITURE PLAN & ROOM FINISH SCHEDULE		12-22-00
A-8	CASEWORK ELEVATIONS & DETAILS		12-22-00
A-9	CASEWORK ELEVATIONS & DETAILS		12-22-00
A-10	ARCHITECTURAL OUTLINE SPECIFICATION		12-22-00
S-1	STRUCTURAL SPECIFICATION & GENERAL NOTES		12-22-00
S-2	FOUNDATION PLANS		12-22-00
S-3	ROOF FRAMING PLAN		12-22-00
S-4	SECTIONS & FRAMING DETAILS		12-22-00
P-1	PLUMBING PLAN		12-22-00
M-1	MECHANICAL PLAN		12-22-00
E-1	POWER PLAN, LEGEND, PANEL SCHEDULES		12-22-00
E-2	REFLECTED CEILING / LIGHTING PLAN & SCHEDULES		12-22-00
E-3	PANEL SCHEDULES, RISER DIAGRAM, NOTES		12-22-00



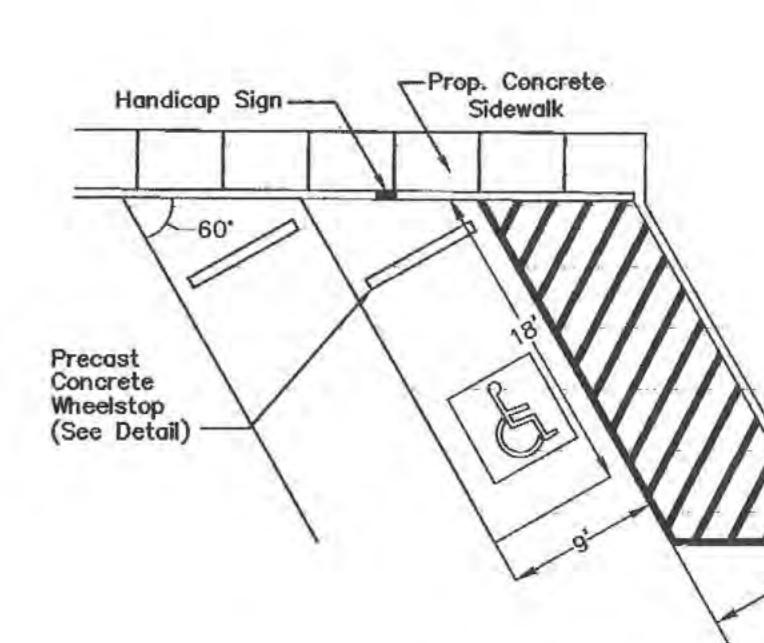
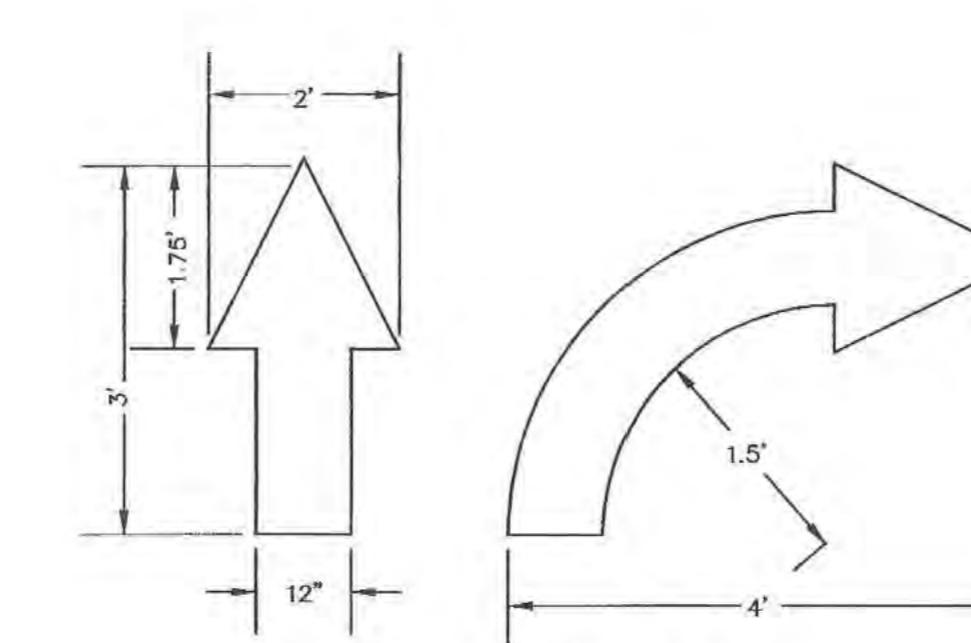
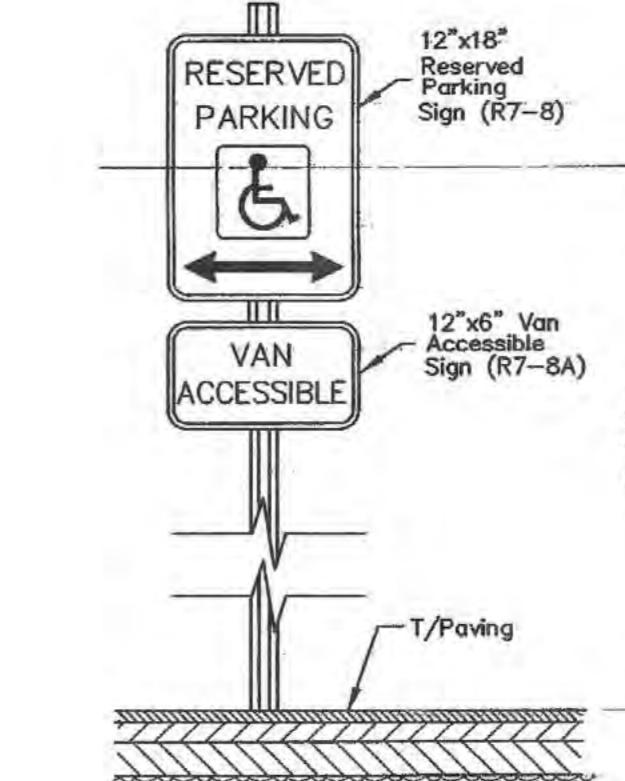
REVISION	Init. Date
◀◀◀◀◀	
PROJECT	POTTERS BANK 998 THIRD STREET BEAVER, PA 15009
FILE	00.53
Sheet Number	Drawn by _____ Plan Date 12-22-00
CS-1	Drawn by _____ Plan Date 12-22-00
Drawing Title	Cover Sheet - Drawing Index - Notes
Drawing Scale	As Noted
Drawing Index No.	2000-14936
Comments	384776 Bldg. PLAN APPROVAL 12-22-00 This approval is based on the information contained in the drawings and specifications, and is subject to any changes made by the architect or engineer. Any changes made to the drawings or specifications must be approved by the architect or engineer before they are used. Fire & Prevention: X Approval Type: B Doc. Class: D Building Code: 04 ELA: FAF GFT: 04 SPR: 04 Examiner: J. Kno Drawing Index No. 2000-14936 Date: 12-22-00 Signature: J. Kno

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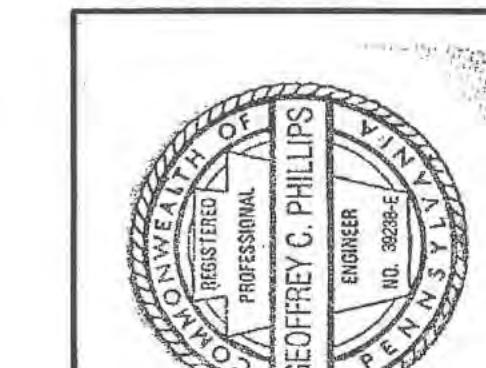
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Precast Concrete Wheelstop



NO.	REVISION DESCRIPTION	BY DATE
1		
2		
3		
4		
5		
6		
7		



SITE PLAN
POTTERS BANK
BOROUGH OF BEAVER
BEAVER COUNTY, PENNSYLVANIA
OVERTON & ASSOCIATES

PHILLIPS & ASSOCIATES
INCORPORATED
CIVIL ENGINEERS
1122 MOSSSIDE BOULEVARD
WALL, PENNSYLVANIA 15140
PHONE (412) 825-4090
FAX (412) 825-4092

GENERAL PLAN NOTES:

1. BOUNDARY, TOPOGRAPHIC AND UTILITY INFORMATION SHOWN ON THIS PLAN IS PER "FINAL ALTA/ASCM LAND TITLE SURVEY". PREPARED BY: MCILVRIE, DIDIANO & MOX LLC. SURVEY DATED 8/22/00.
2. THE LOCATION, DIRECTION AND SIZE OF ALL UTILITIES AND UNDERGROUND CONSTRUCTION ARE FOR INFORMATION PURPOSES ONLY. THEY ARE NOT NECESSARILY THE EXACT LOCATION OF EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND THE EXISTENCE OF ALL UTILITIES AND STRUCTURES ABOVE AND BELOW GROUND BEFORE CONSTRUCTION BEGINS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO INITIATING EARTH MOVING ACTIVITIES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL/STATE INSPECTIONS.

ZONING REQUIREMENTS

Zoned: C-3 Commercial Professional
Front Yard: 15'
Side Yard: 5'
Rear Yard: 20'
Height: 35'

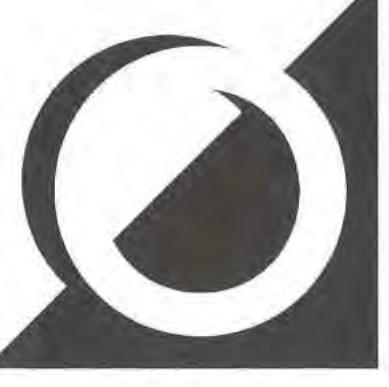
PARKING REQUIREMENTS

Proposed Building Area: 2368 a.f.
Required Frontage: 92' 6"
Required Rear: 20'
Required Parking: 6 Spaces per 400 s.f.
Proposed Parking: 17 Spaces
1 Handicap
18 Total Spaces

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE STOP CALL
Pennsylvania One Call System Inc.

1-800-242-1776

DRAINED BY: JC	CHECKED BY: GCP
SCALE: 1"=20'	DATE: 12/22/00
JOB NUMBER: F00052	
SHEET NUMBER: C-2	



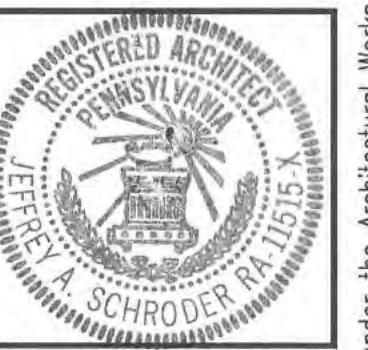
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OVERTON & ASSOCIATES, LLC D/B/A
OVERTON & ASSOCIATES OF MIDATLANTIC, LLC
in Delaware, Virginia, and New Jersey

JEFFREY A. SCHRODER
ARCHITECT

2008 Mellon Drive

Irwin, PA 15642
724.861.5225
fax 724.861.5220



-KUJECL

POTTERS BANK

998 THIRD STREET
BEAVER, PA 15009

Plan Date 12-22-00
Issued for:

Permit _____
Bid _____

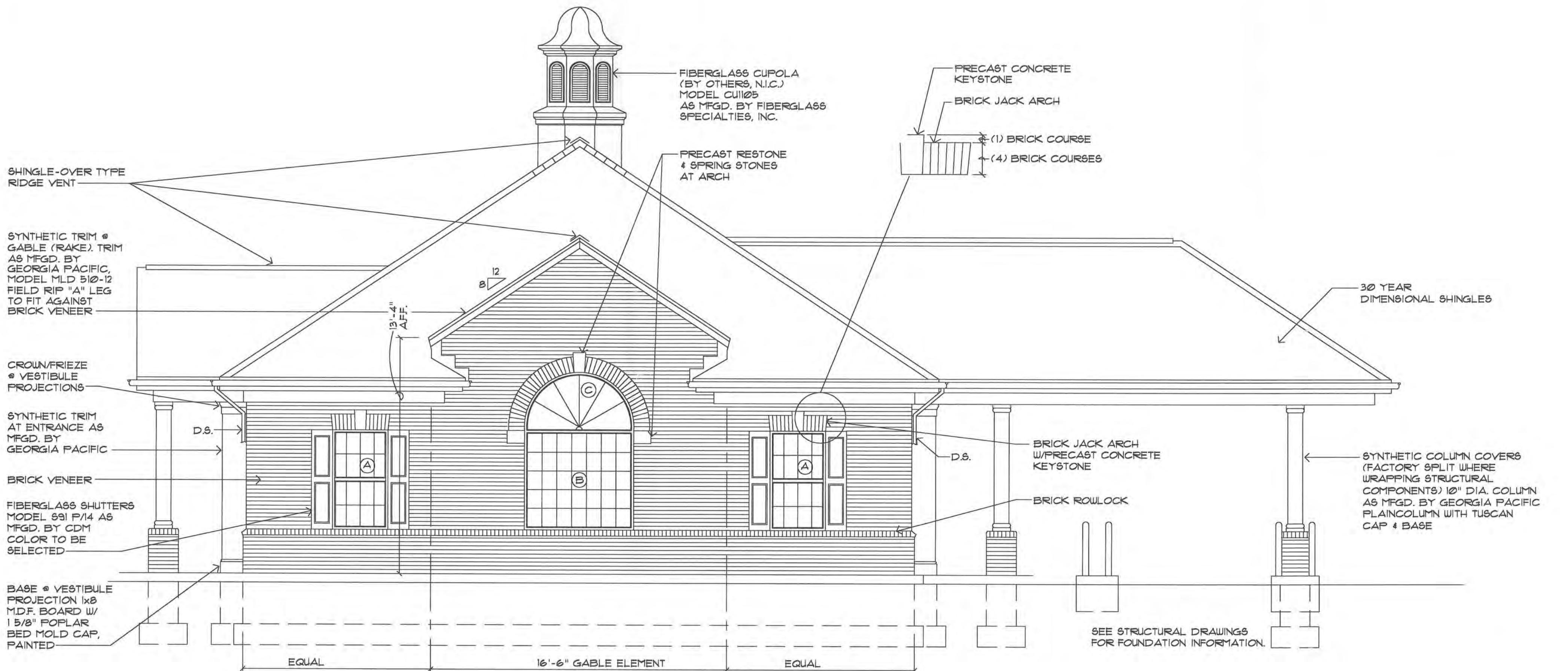
Solutions

Plan D
Issued

Pe

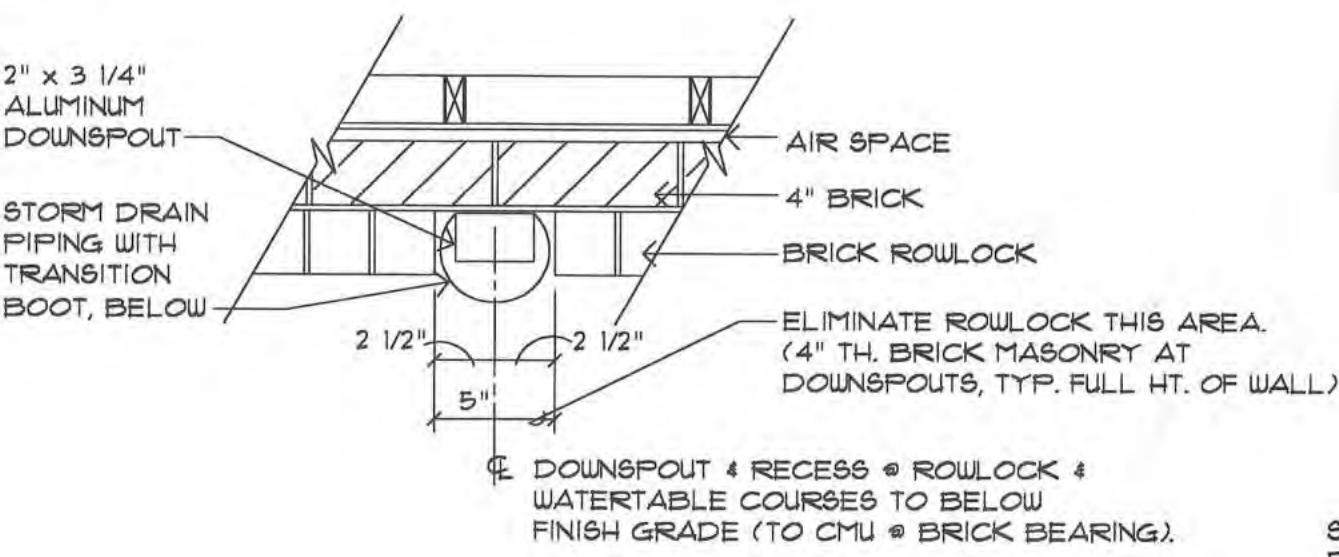
Drawing Title Building E
Drawing Scale 1/4"=1'-0"

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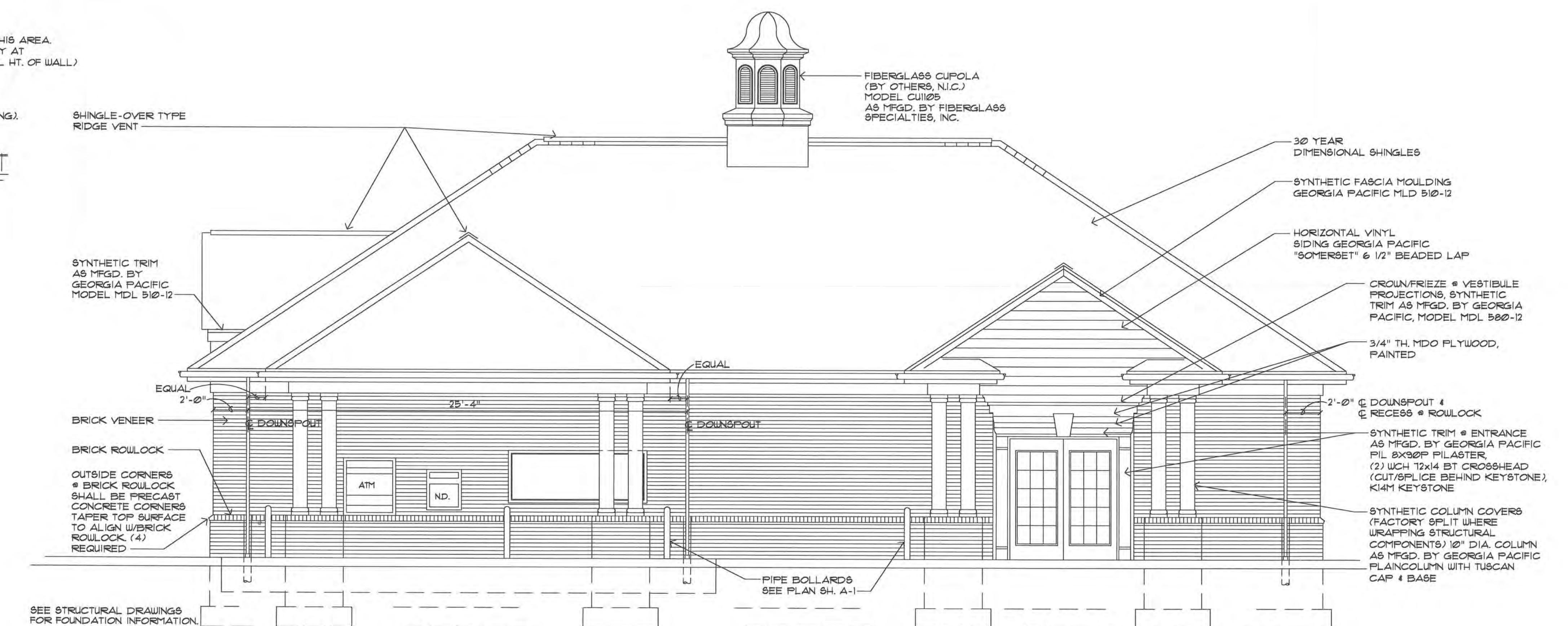
DRAVO AVENUE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



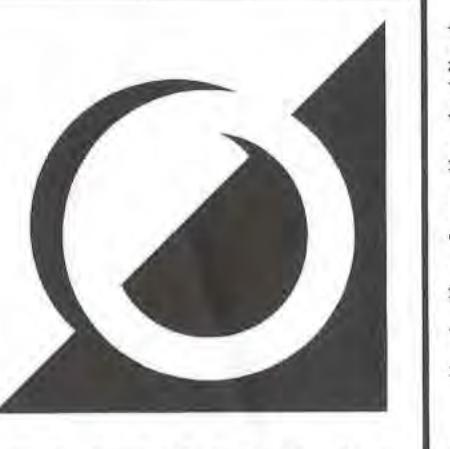
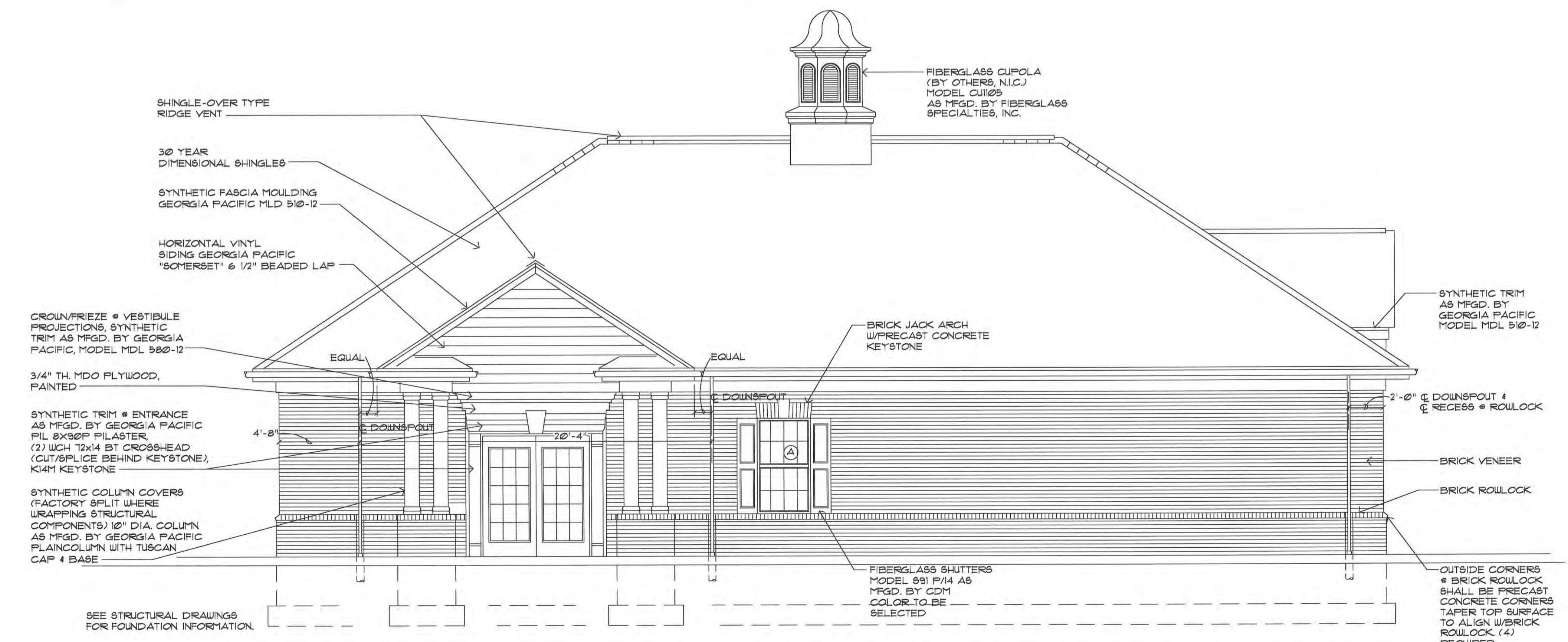
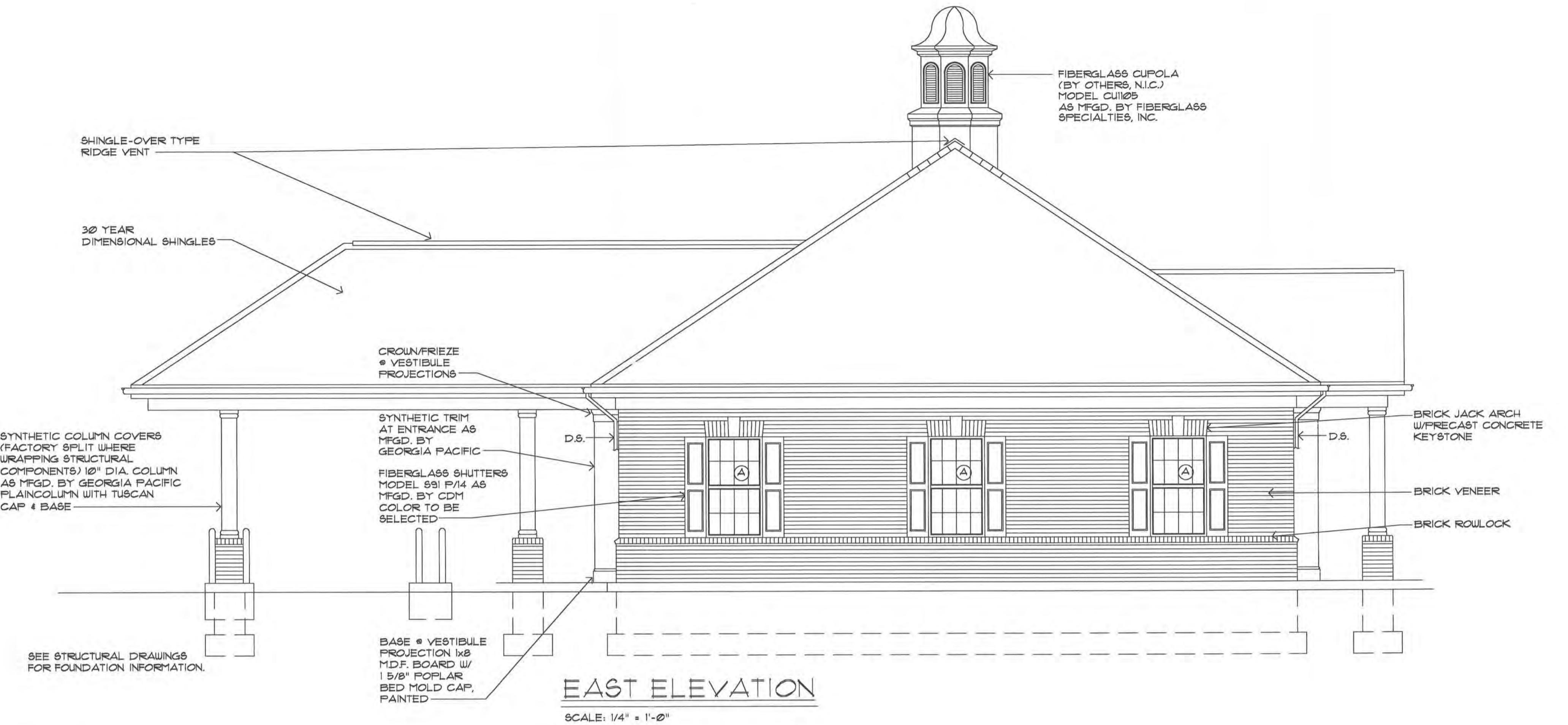
DETAIL: PLAN@ DOWNSPOUT

SCALE: 1 1/2" = 1'-0"



THIRD STREET (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



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ARCHITECT
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Irwin, PA 15622
fax 724.861.5220

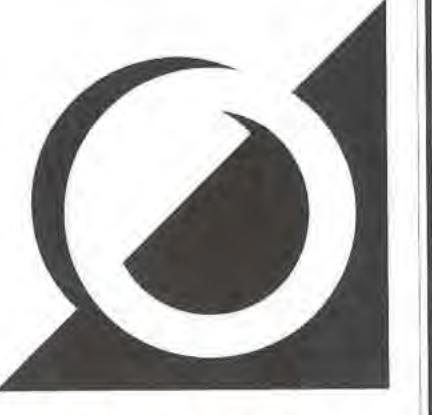


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REVISION Init. Date
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PROJECT
POTTERS BANK
398 THIRD STREET
BEAVER, PA 15009
FILE 00.53

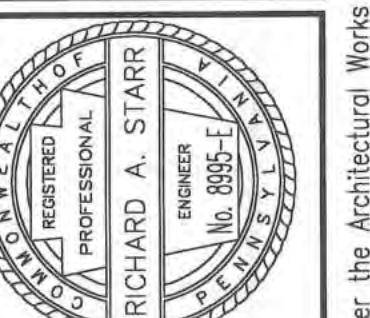
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A-3 Plan Date 12-22-00
Issued for:
Permit
Bid
Const.
Drawing Title Building Elevations
Drawing Scale 1/4" = 1'-0"
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REVISION	Init. Date

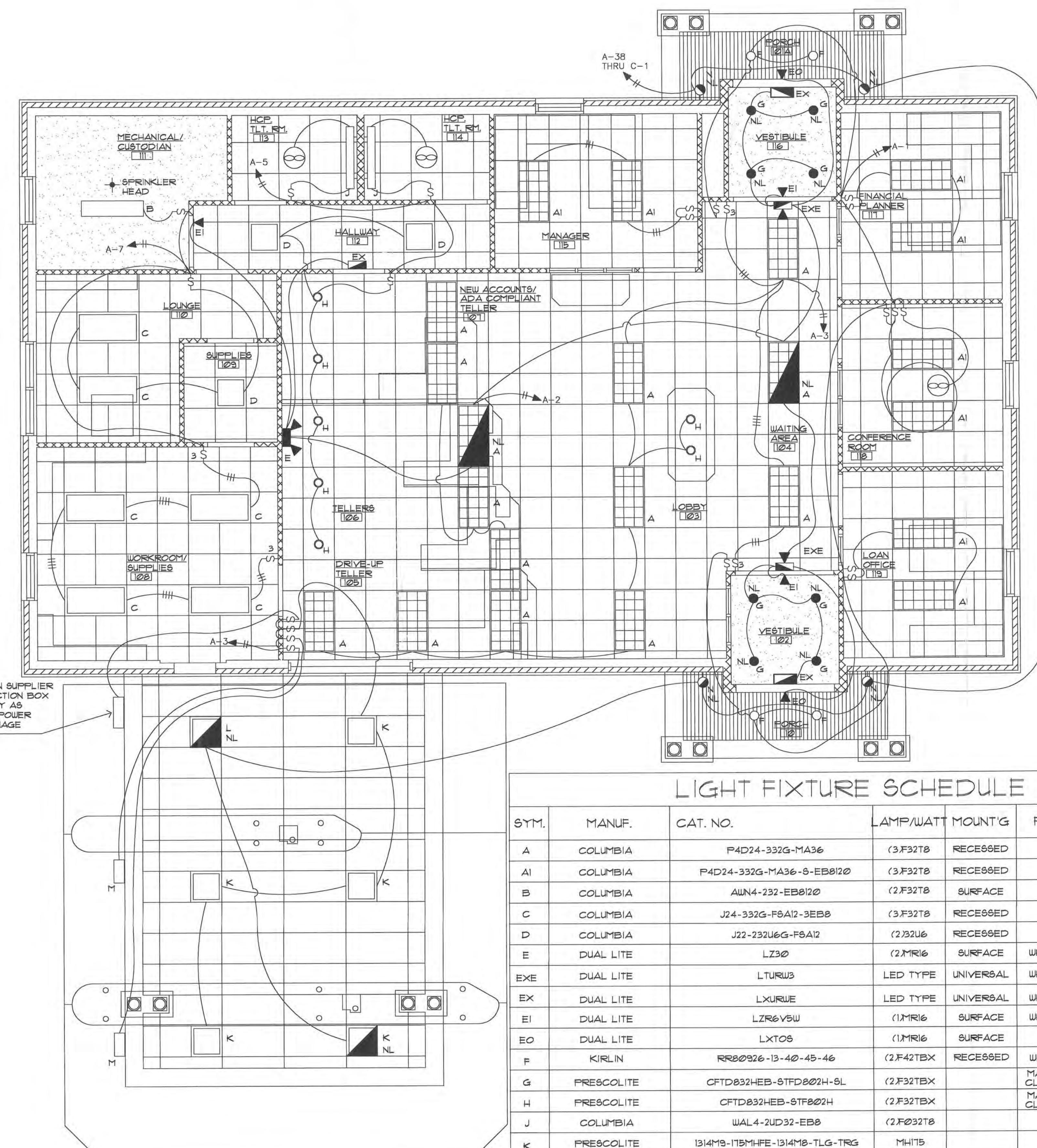
PROJECT	POTTERS BANK 228 THIRD STREET BEAVER, PA 15009
FILE	

Sheet Number	Drawn by DS/AH Plan Date 12-22-00
	Issued for: Permit Bid Const.
Drawing Title	Lighting Plan
Drawing Scale	1/4" = 1'-0"

E-2

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LIGHTING LEGEND:	
	2x4 FLUORESCENT FIXTURE W/ PARABOLIC LENS
	2x4 FLUORESCENT FIXTURE W/ PRISMATIC LENS
	2x4 FLUORESCENT FIXTURE W/ PRISMATIC LENS CONNECT TO NIGHT LIGHT CIRCUIT
	2x2 FLUORESCENT FIXTURE
	WALL MOUNTED FLUORESCENT FIXTURE
	WALL MOUNTED FLUORESCENT SCONCE
	RECESSED FLUORESCENT DOWNLIGHT
	SURFACE MOUNTED 1x4 FLUORESCENT FIXTURE
	TWO HEAD W/ EXIT SIGN
	EMERGENCY LIGHT UNIT
	EXIT SIGN
	INTERIOR/EXTERIOR REMOTE EMERGENCY LIGHT HEADS
	1-POLE 3-WAY SWITCH, 20A, 120V
	2-WAY SWITCH MT'D +48" AFF
	EXHAUST FAN (BY HVAC CONTRACTOR) 120V
	WALL MOUNTED INCANDESCENT
	INDICATES LIGHT ON NITE LIGHT CIRCUIT.

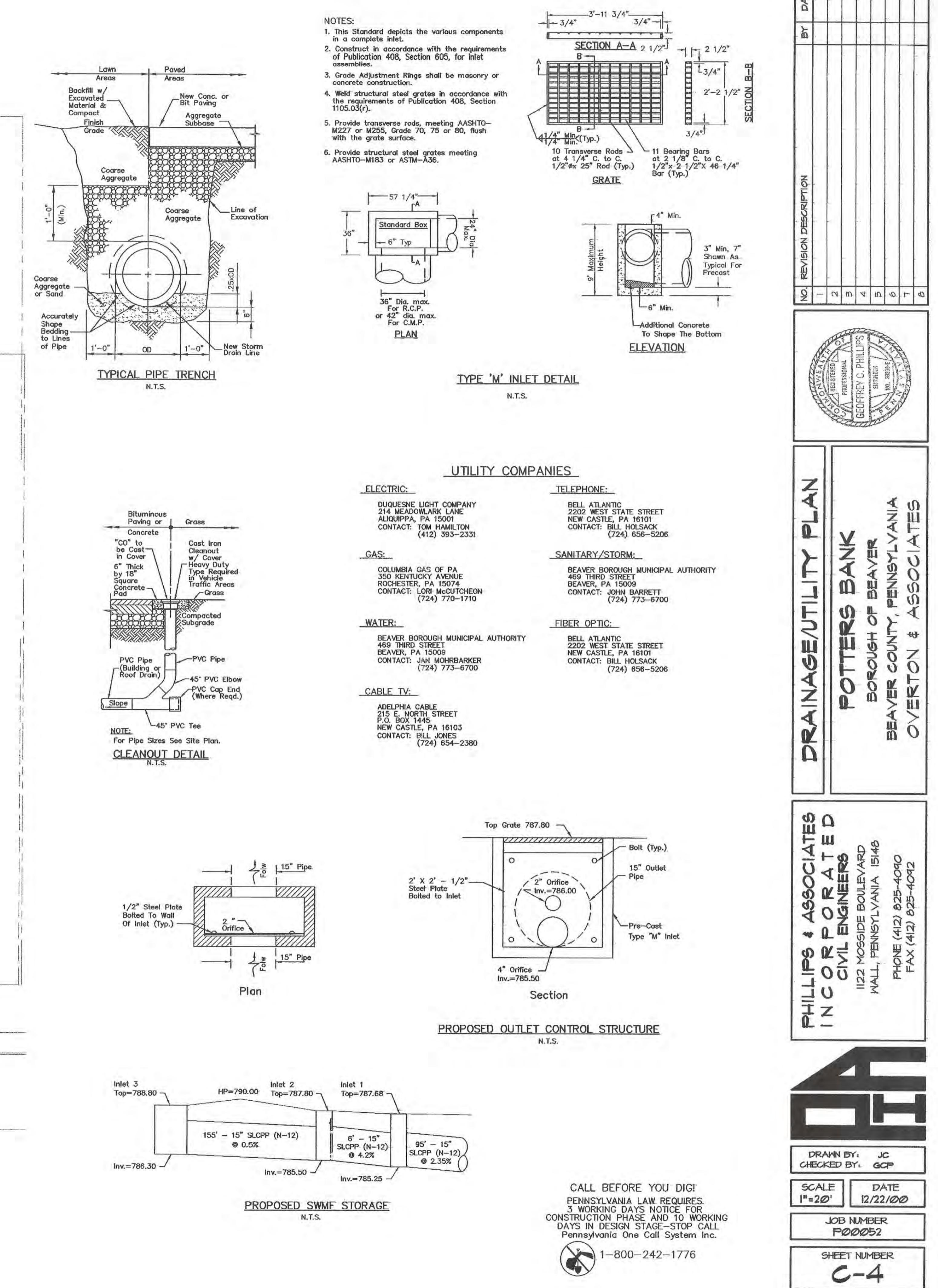
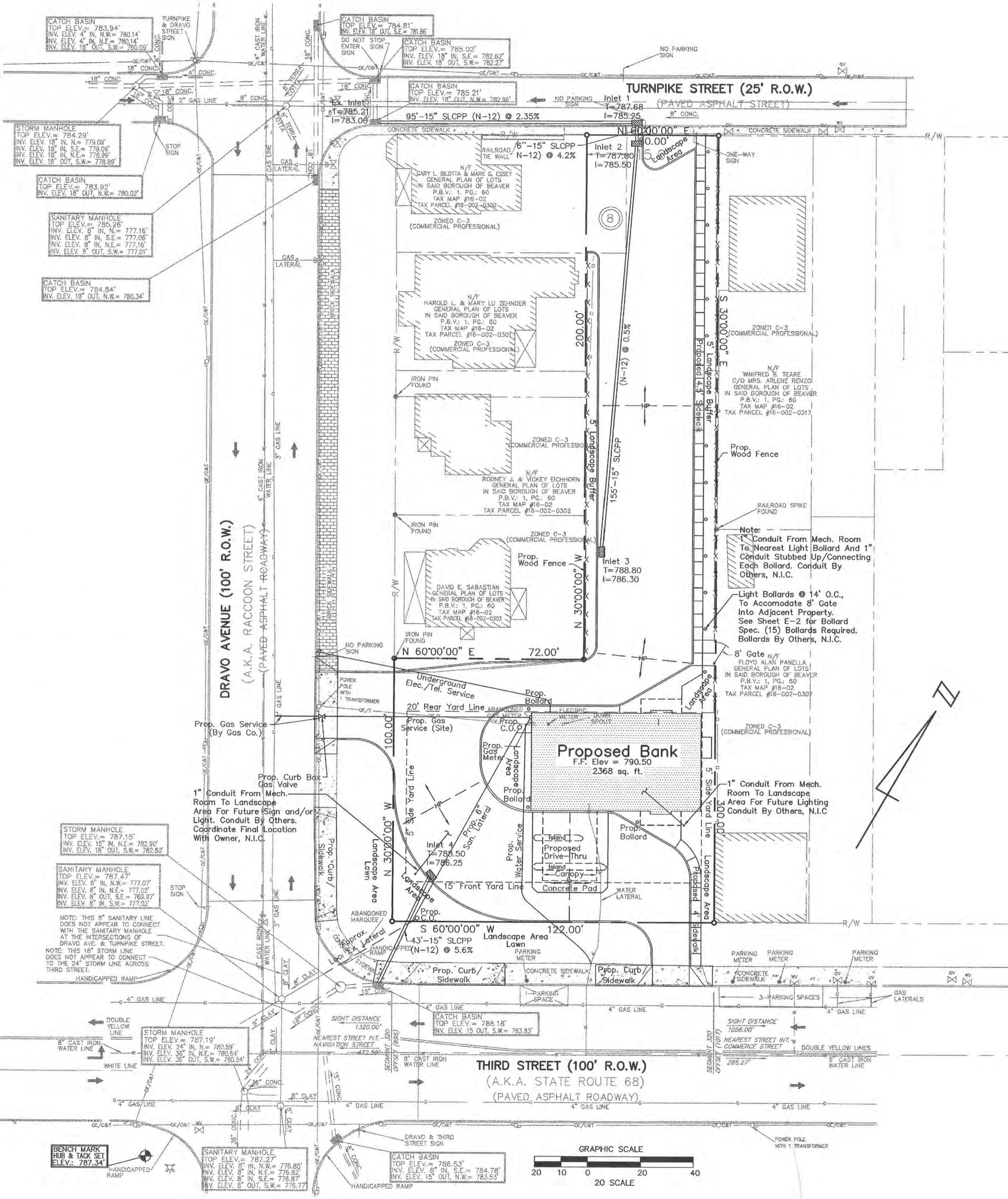


REFLECTED CEILING / LIGHTING PLAN

SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE

SYM.	MANUF.	CAT. NO.	LAMP/WATT	MOUNT'G	FIN.	REMARKS
A	COLUMBIA	P4D24-332G-MA36	(3)F32TB	RECESSED		2x4, 3 LAMP, 18 CELL PARABOLIC LENS, LAY-IN FIXTURE
AI	COLUMBIA	P4D24-332G-MA36-6-EBB120	(3)F32TB	RECESSED		2x4, 3 LAMP, 18 CELL PARABOLIC LENS, LAY-IN FIXTURE, (2) BALLAST SURFACE MOUNTED FLUORESCENT FIXTURE
B	COLUMBIA	AUN4-232-EBB120	(2)F32TB	SURFACE		2x4, 3 LAMP PRISMATIC LENS LAY-IN FIXTURE
C	COLUMBIA	J24-332G-F5A12-3EB8	(3)F32TB	RECESSED		2x2 PRISMATIC LENS, LAY-IN FIXTURE
D	COLUMBIA	J22-232U6G-F5A12	(2)32U6	RECESSED		EMERGENCY EXIT LIGHTING (CAPABILITY FOR (2) REMOTES)
E	DUAL LITE	LZ30	(2)MR16	SURFACE	WHITE	COMBO UNIT WITH 1 HEAD CAPABLE OF 2 REMOTES
EX	DUAL LITE	LTURW3	LED TYPE	UNIVERSAL	WHITE	EMERGENCY EXIT SIGN
EI	DUAL LITE	LZR6V5W	(1)MR16	SURFACE	WHITE	INTERIOR REMOTE EMERGENCY LIGHT
EO	DUAL LITE	LXT05	(1)MR16	SURFACE		EXTERIOR REMOTE EMERGENCY LIGHT
F	KIRLIN	RRB0926-13-40-45-46	(2)F42TBX	RECESSED	WHITE	EXTERIOR RECESSED DOWNLIGHT
G	PRESCOLITE	CFTD832HEB-STFD802H-6L	(2)F32TBX	RECESSED DOWNLIGHT AT DRYWALL CEILING	MATTE CLEAR	
H	PRESCOLITE	CFTD832HEB-STF802H	(2)F32TBX	RECESSED DOWNLIGHT AT LAY-IN CEILING	MATTE CLEAR	
J	COLUMBIA	WAL4-2UD32-EB8	(2)F032TB	SURFACE MOUNTED FLUORESCENT FIXTURE		
K	PRESCOLITE	1314MB-175MHFE-1314MB-TLG-TRG	MH175			175 WATT METAL HALIDE LAY-IN FIXTURE
L	PRESCOLITE	1314MB-175MHFE-1314MB-TLG-TRG	MH175			SAME AS TYPE "K" EXCEPT WITH QUARTZ RESTRIKE
M	HOWARD INDUSTRIES	TC1114				DRIVE UP LANE "SIGNAL" LIGHTS FURNISHED AND INSTALLED BY E.C.
N	ENTRANCE CANOPY	WALL SCONCE (4) REQUIRED. MATERIAL ALLOWANCE \$200.00 / FIXTURE. MOUNTING HT. TO BE DETERMINED				SEE SITE PLAN FOR LIGHT BOLLARDS * SIDEWALK FIXTURES BY OTHERS N.C. FIXTURE COLOR TO BE SELECTED
P	KIM	SL2 / 10 MH120 / LG				



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DRAINAGE/UTILITY PLAN

POTTERS BANK

BOROUGH OF BEAVER

OVERTON & ASSOCIATES

DRAWN BY: JC
CHECKED BY: GCP

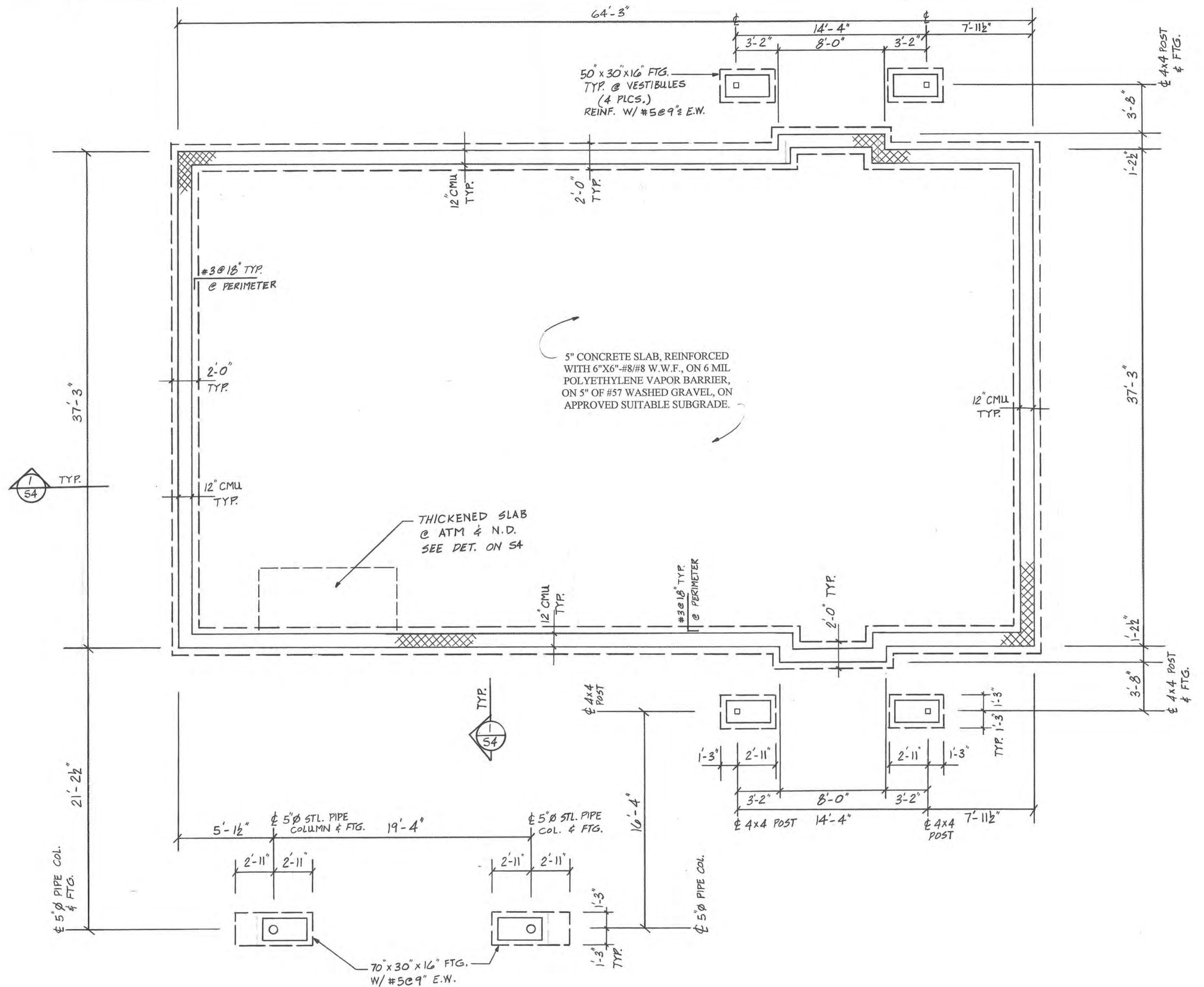
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DATE: 12/22/00

JOB NUMBER: F00052

SHEET NUMBER: C-4

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CONSTRUCTION PHASE, AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL
Pennsylvania One Call System Inc.

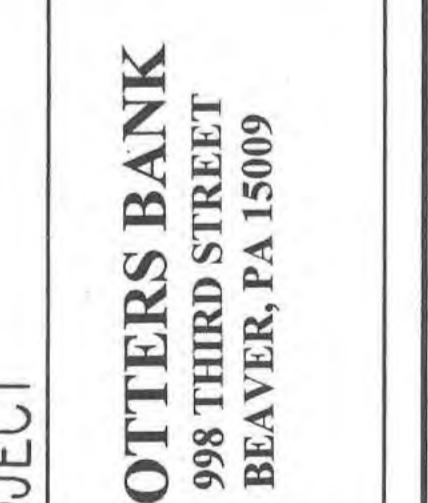
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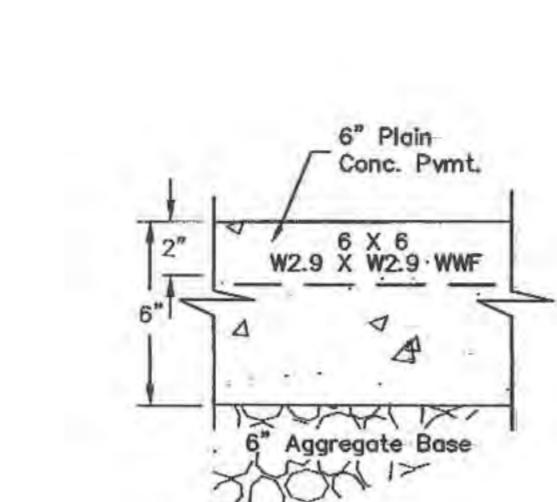
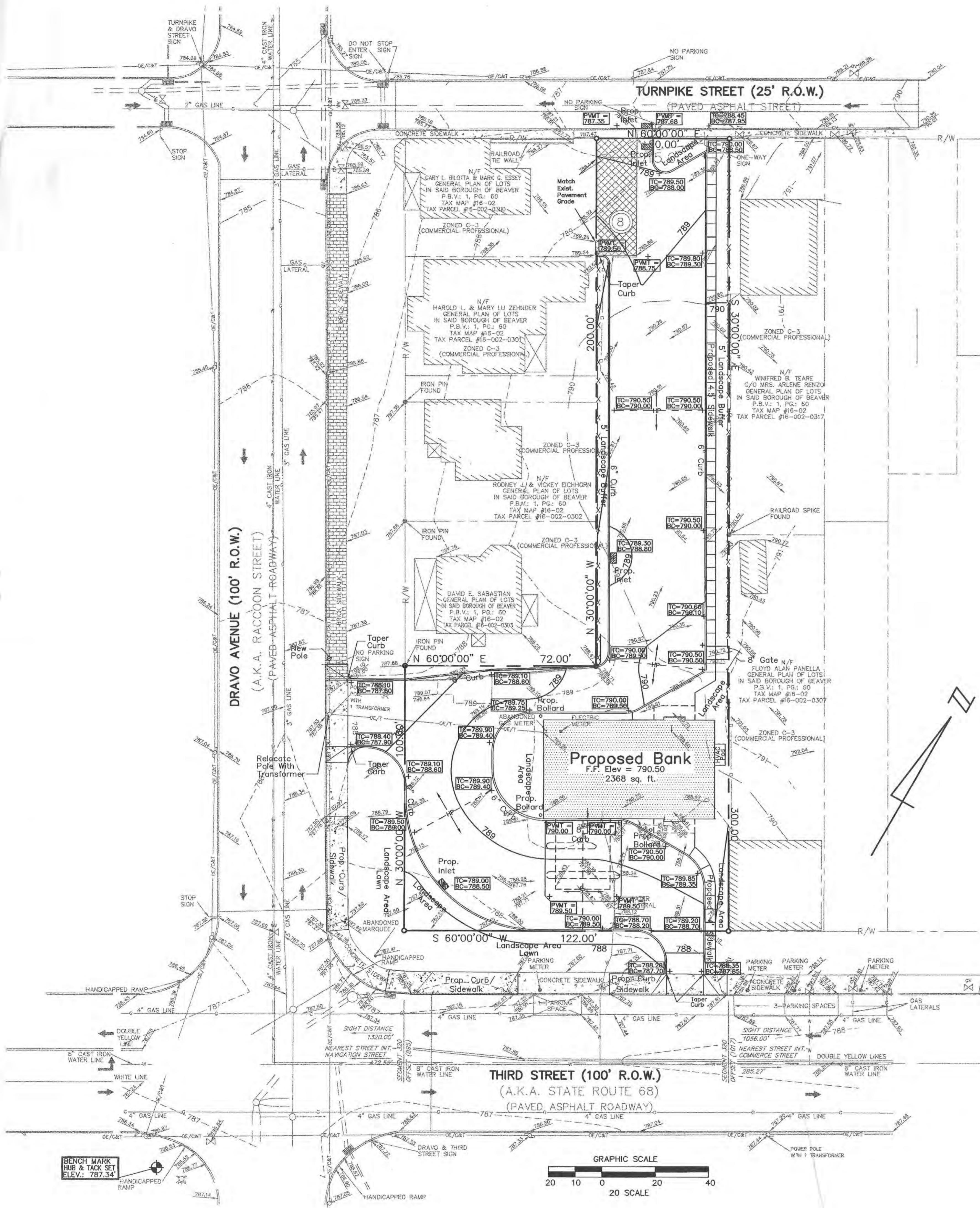


FOUNDATION PLAN

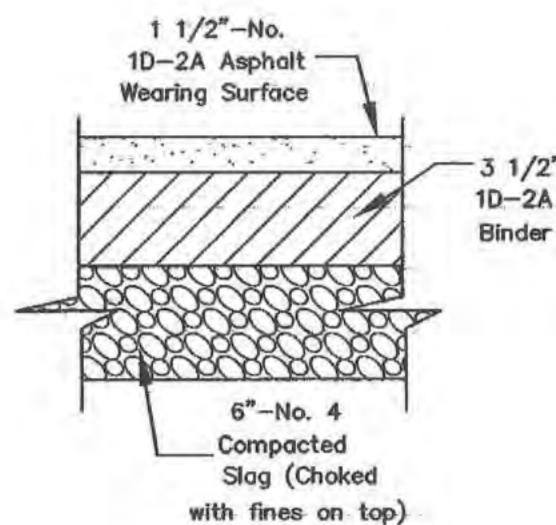
SCALE : 1/4" = 1'-0"

SEE PLAN NOTES & GENERAL SPECIFICATIONS ON S-1

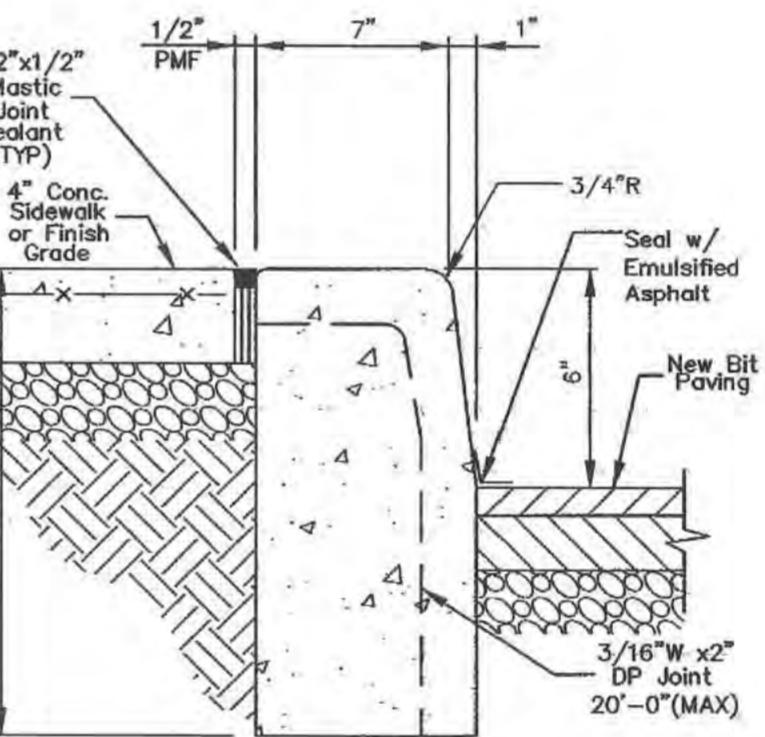
 <h1>OVERTON & ASSOCIATES</h1>																																									
<p>DESIGN/BUILD FIRM 4626 ANNAPOLIS ROAD BLADENSBURG, MD 20710 PHONE 301.927.4544 FAX 301.927.2567</p> <p>OVERTON & ASSOCIATES, LLC D/B/A OVERTON & ASSOCIATES OF MIDATLANTIC, LLC in Delaware, Virginia, and New Jersey</p>																																									
<p>APPROVAL</p> <p>The undersigned hereby grants approval of this plan as drawn, and authorizes OVERTON & ASSOCIATES, LLC, to issue this plan for:</p> <p><input type="checkbox"/> Preparation of Construction Documents <input type="checkbox"/> Preparation of Cost Estimate <input type="checkbox"/> Bidding <input type="checkbox"/> Construction <input type="checkbox"/> Other (please specify) _____</p> <p>Date _____ Signature _____</p>																																									
<p>SEAL</p> <p></p>																																									
<p>REVISION Init. Date</p> <table border="1"> <tr><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td></tr> <tr><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td></tr> <tr><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td></tr> <tr><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td></tr> <tr><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td><td>△</td></tr> </table>		△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△	△
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<p>PROJECT</p> <p>POTTERS BANK 998 THIRD STREET BEAVER, PA 15009</p> <p>FILE _____</p>																																									
<table border="1"> <tr> <td>Sheet Number</td> <td>Drawn by _____ Plan Date _____</td> </tr> <tr> <td colspan="2">Issued for:</td> </tr> <tr> <td>of</td> <td>Permit _____ Bid _____ Const. _____</td> </tr> <tr> <td colspan="2">Sheets _____</td> </tr> <tr> <td colspan="2">Drawing Title</td> </tr> <tr> <td colspan="2">Drawing Scale</td> </tr> <tr> <td colspan="2">1/4" = 1-0"</td> </tr> <tr> <td colspan="2">Drawing Plan</td> </tr> </table>		Sheet Number	Drawn by _____ Plan Date _____	Issued for:		of	Permit _____ Bid _____ Const. _____	Sheets _____		Drawing Title		Drawing Scale		1/4" = 1-0"		Drawing Plan																									
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Drawing Plan																																									



**CONCRETE
PAD SECTION**

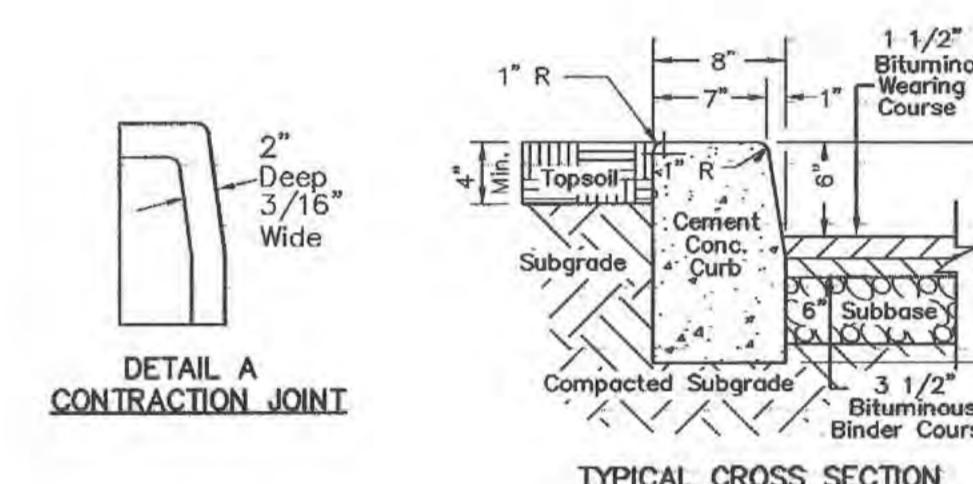


PAVING SECTION
N.T.S.

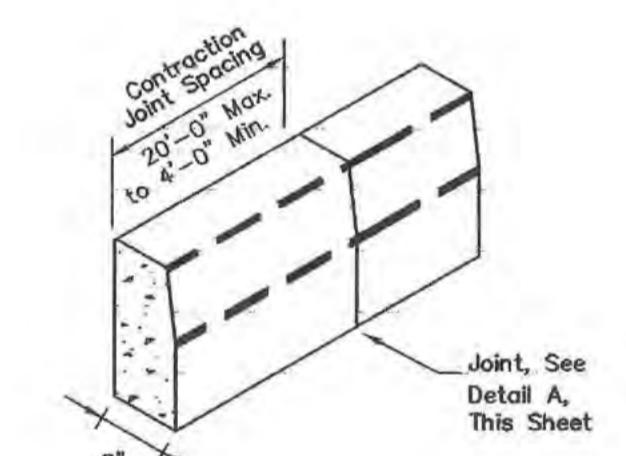


CONCRETE CURB WITH SIDEWALK

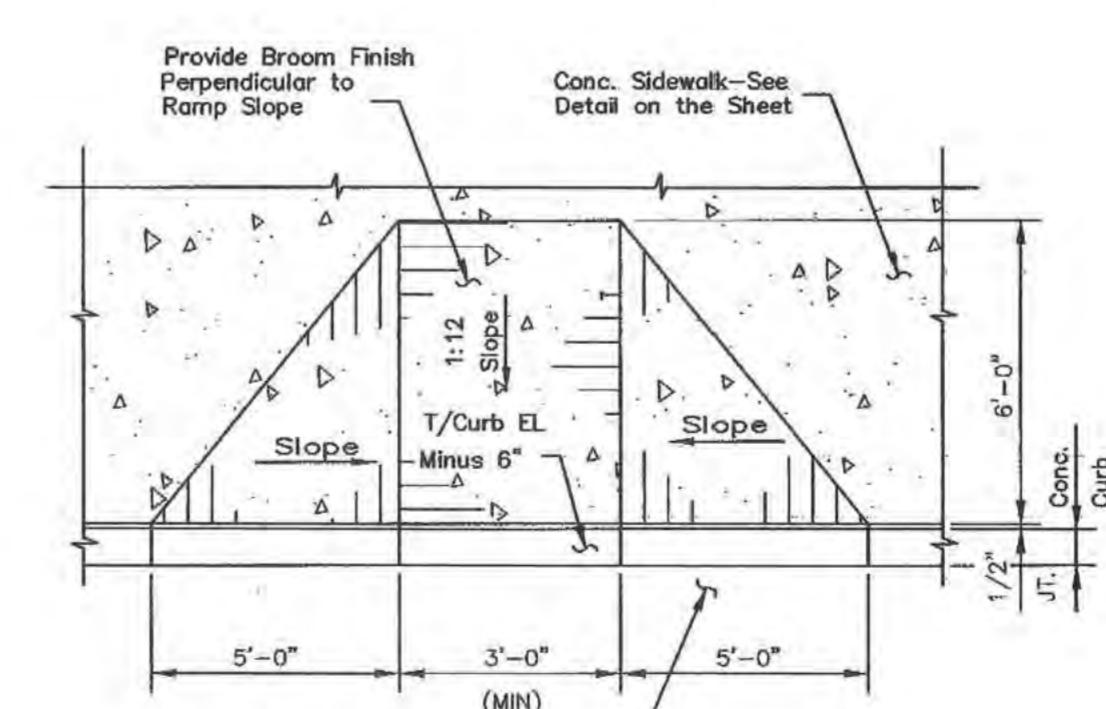
NOTE:
Provide 3/4" Premolded Expansion Joint Filler Material
@ All Intersections and @ Start of Each Placement.



TYPICAL CROSS SECTION



**PLAIN CEMENT (SITE)
CONCRETE CURB**



Existing or New
Bituminous Pavement
HANDICAP RAMP
N.T.S.

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE—STOP CALL
Pennsylvania One Call System Inc.

PHILLIPS & ASSOCIATES
INCORPORATED
CIVIL ENGINEERS
1122 MOSSSIDE BOULEVARD
WALL, PENNSYLVANIA 15148

DRAWN BY: JC
CHECKED BY: GCP

1"=20'

SHEET NUMBER
C-3



OVERTON
& ASSOCIATES

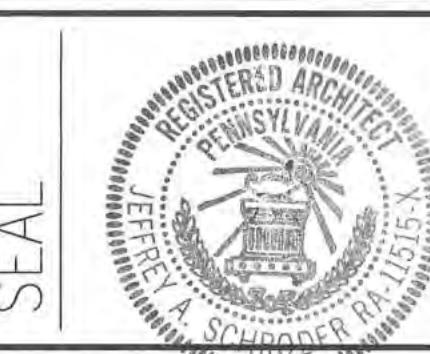
DESIGN/BUILD FIRM

4626 ANNAPOLIS ROAD
BLADENSBURG, MD 20710

PHONE 301.927.4544
FAX 301.927.2567

OVERTON & ASSOCIATES, LLC D/B/A
OVERTON & ASSOCIATES OF MIDATLANTIC, LLC
in Delaware, Virginia, and New Jersey

JEFFREY A. SCHRODER
ARCHITECT
208 Mellon Drive
Irwin, PA 15642
724.861.5220
fax 724.861.5220



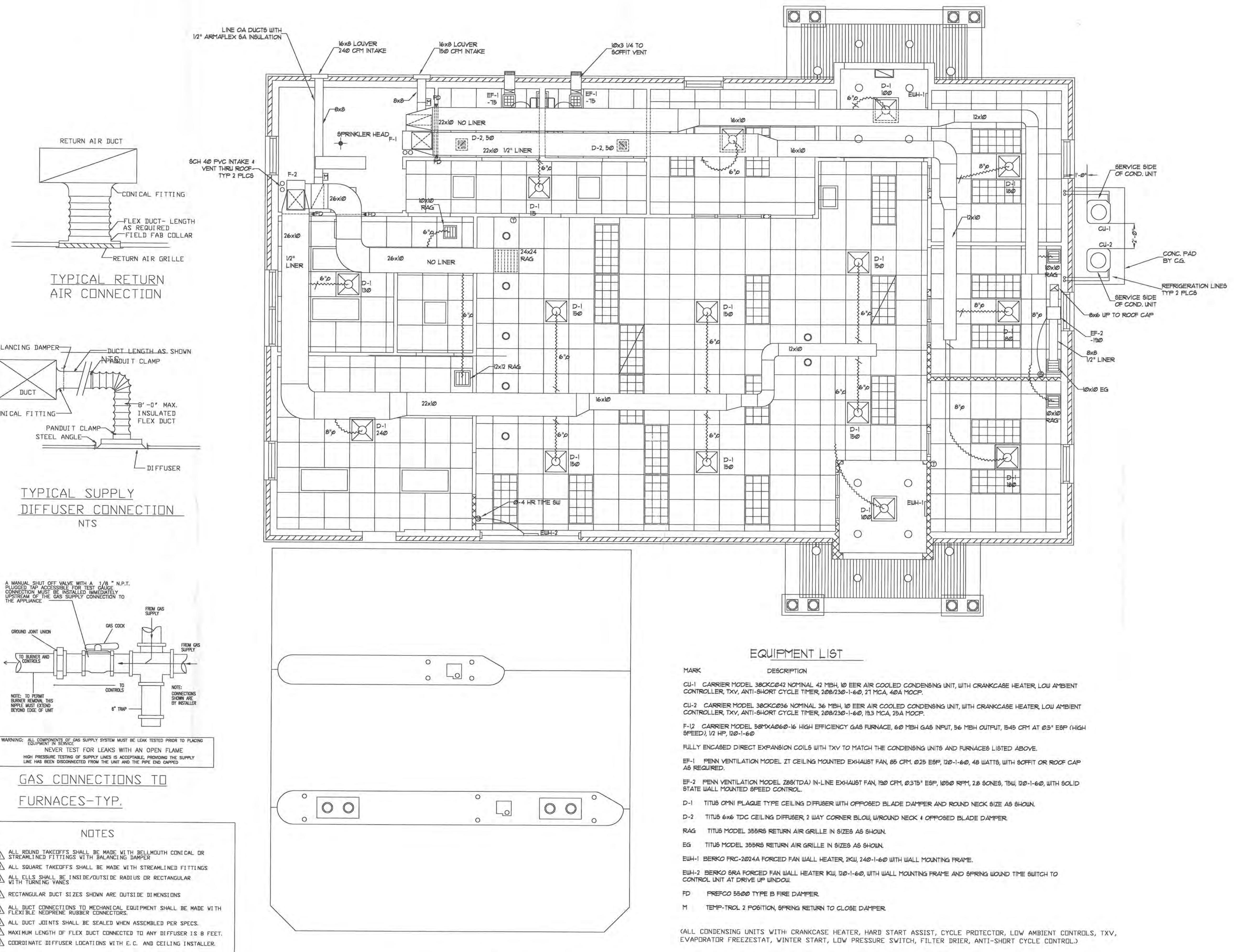
REVISION	Init. Date

PROJECT

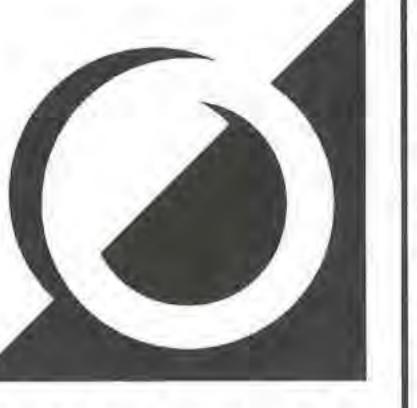
POTTERS BANK
328 THIRD STREET
BEAVER, PA 15029
FILE

Sheet Number	Drawn by RGF
M-1	Plan Date 12-22-00
	Issued for:
	Permit _____
	Bid _____
	Const. _____
Drawing Title	Mechanical Plan
Drawing Scale	1/4" = 1'-0"

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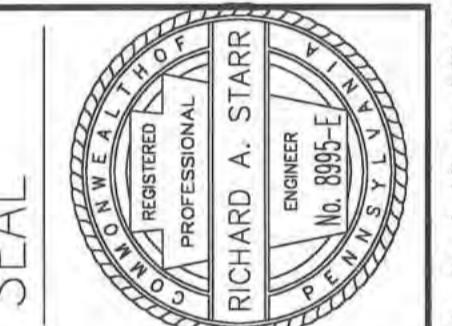
THIS DRAWING IS DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE ACCOMPLISHED. THE EXACT ROUTING OF THE NEW DUCTWORK AND PIPING IS TO BE DETERMINED DURING THE CONTRACTOR'S FIELD SURVEY AND INSTALLATION WORK. THE CONTRACTOR SHALL FURNISH ALL DUCTS, PIPING, FITTINGS, VALVES, ETC AS MAY BE REQUIRED TO SUIT THE CONDITIONS OF THE CONSTRUCTION AND TO PROVIDE COMPATIBLE DUCTWORK AND PIPING WITHOUT ADDITIONAL COST TO HIM. IT IS IMPERATIVE THAT THE CONTRACTOR COORDINATE HIS WORK WITH THE OTHER CONTRACTORS AND MAKE CAREFUL FIELD MEASUREMENTS. DO NOT SCALE THE DRAWINGS. THESE DRAWINGS MUST BE USED IN CONJUNCTION WITH THE SPECIFICATIONS. THE DESCRIPTION OF THE WORK, MATERIALS AND EQUIPMENT IS INCOMPLETE WITHOUT THE SPECIFICATIONS.



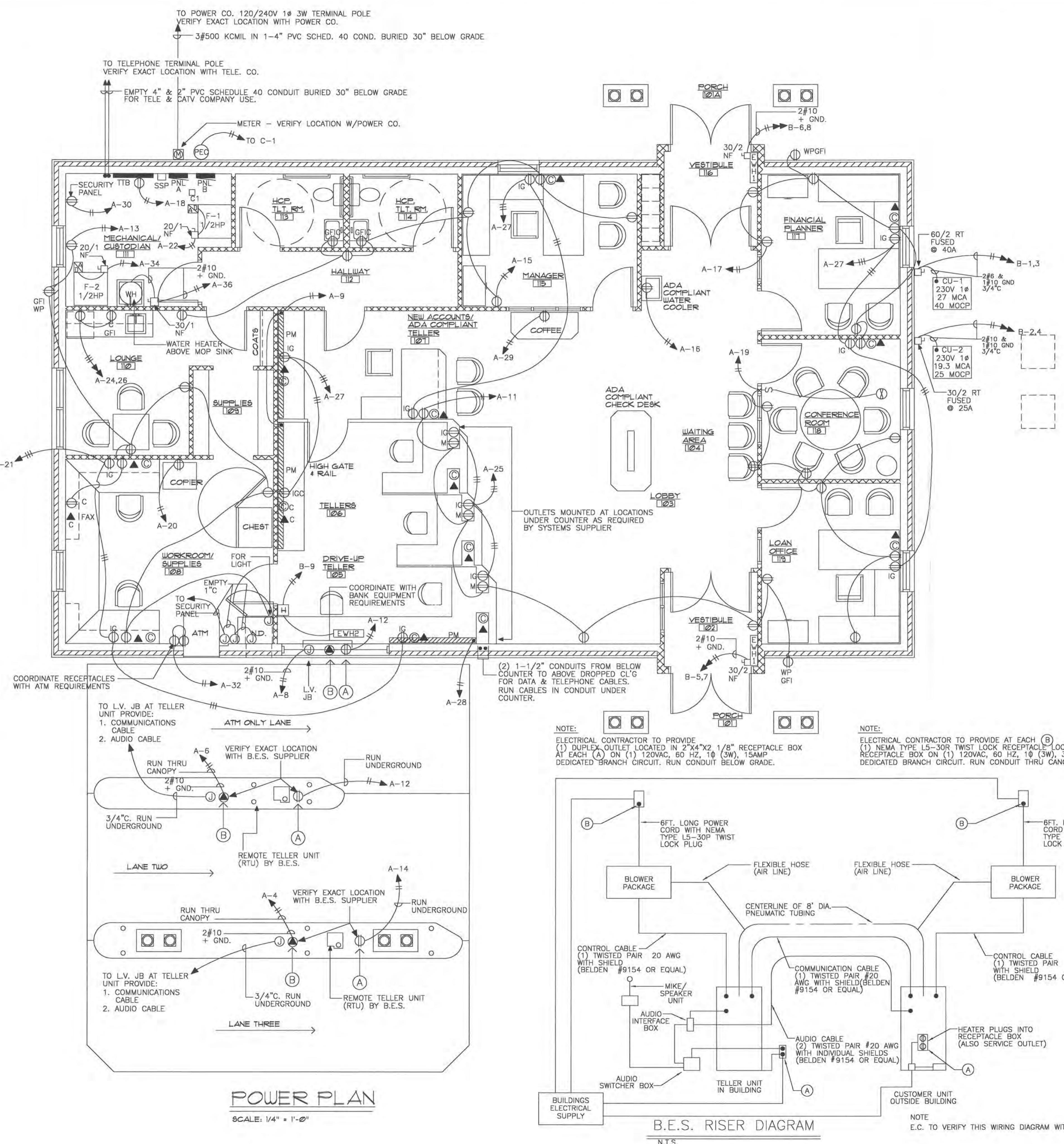
OVERTON
& ASSOCIATES

DESIGN/BUILD FIRM
4626 ANNAPOLIS ROAD
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PHONE 301.927.4544
FAX 301.927.2567
OVERTON & ASSOCIATES, LLC 0/3/A
OVERTON & ASSOCIATES OF MIDATLANTIC, LLC
in Delaware, Virginia, and New Jersey

JEFFREY A. SCHROEDER
ARCHITECT
208 Mellon Drive
Irwin, PA 15642
fax 724.861.5225



SYMBOL LEGEND	
	DUPLEX CONVENIENCE OUTLET, 20A, 120V, MOUNT 18" UNLESS INDICATED OTHERWISE. "C" INDICATES MOUNT AT COUNTER HEIGHT. "GFI" INDICATES GROUND FAULT INTERRUPTING. "IG" INDICATES ISOLATED GROUND SURGE SUPPRESSOR TYPE. "WP" INDICATES WATERPROOF COVER. "M" INDICATES MOUNT INSIDE MONITOR.
	ELECTRICAL PANEL (NEW)
	TTB TELEPHONE TERMINAL BOARD - 4' x 8' x 3/4" PLYWOOD BOARD FOR TELEPHONE CO. USE.
	TELEPHONE OUTLET FLUSH 1-GANG BOX WITH 1-HOLE PLATE MOUNTED + 18" AFF UNLESS INDICATED OTHERWISE. RUN EMPTY 3/4" CONDUIT WITH PULLWIRE FROM BOX TO ABOVE DROPPED CEILING FOR WIRING BY OTHERS. "M" INDICATES MOUNT IN MONITOR.
	COMPUTER OUTLET SAME AS TELEPHONE.
	DISCONNECT SWITCH - SIZE AND TYPE AS INDICATED.
	JUNCTION BOX - SIZE WIRE FILL PER N.E.C.
	WATER HEATER FURNISHED BY PC, WIRED BY E.C. 120V, 2500 W.
	WIRE IN CONDUIT OR MC CABLE. ARROWS INDICATE NO. OF POSITIONS ON PANEL. CROSSES INDICATE NO. OF WIRES (NOT INCLUDING EQUIPMENT GROUND WIRE PER N.E.C.).
	PLUGMOLD MOUNTED ABOVE COUNTER W/ (1) SINGLE 15A RECEPTACLE EVERY 12".
	SPECIAL RECEPTACLE TO MATCH PLUG ON EQUIPMENT.
	ELECTRICAL WALL HEATER FURNISHED BY M.C., INSTALLED & WIRED BY E.C. 4 KW, 240V 1Ø.
	ELECTRICAL WALL HEATER FURNISHED BY M.C., INSTALLED & WIRED BY E.C. 120V, 1Ø, 0.5 KW - VERIFY EXACT LOCATION.
	PHOTOCELL 2P, - 300W, 120V - TO CONTROL (1) CONTACTOR.
	FURNACE BY HVAC CONTRACTOR, 120V, HP AS INDICATED.
	AIR DUCT SMOKE DETECTOR BY M.C., 120V, FACTORY WIRED TO SHUT DOWN FAN UPON OPERATION. E.C. TO PROVIDE 120V POWER.
	SSP SURGE SUPPRESSION PANEL 120/240V 1Ø3W. HUBBELL #HBL3W100
	CU OUTSIDE CONDENSING UNIT BY M.C., 230V 1Ø. VERIFY EXACT LOCATION.
	H HAND TIMER SUPPLIED BY M.C., INSTALLED AND WIRED BY E.C.

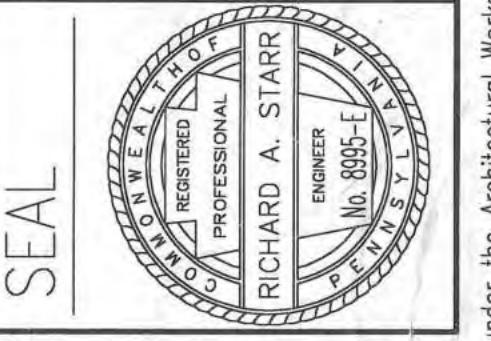




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JEFFREY A. SCHRODER
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208 Mellon Drive
Irwin, PA 15642
724.861.5225
fax 724.861.5220



REVISION	Init. Date
△△△△	

PROJECT	POTTERS BANK 998 THIRD STREET BEAVER, PA 15003
FILE	

Sheet Number	DS/AH Plan Date 12-22-00
Issued for:	Permit Bid Const.
Drawing Title	Lighting Plan
Drawing Scale	1/4" = 1'-0"

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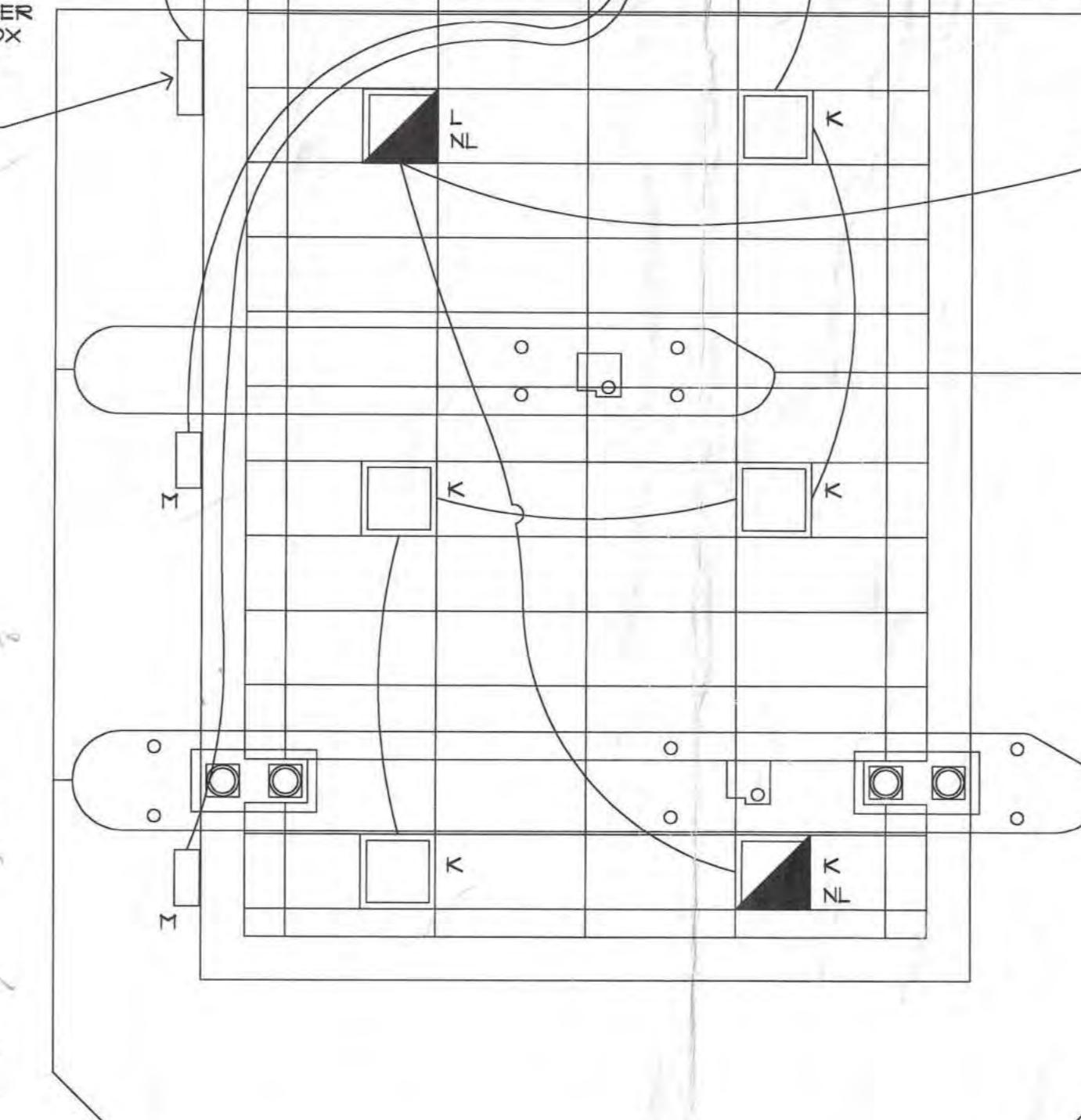
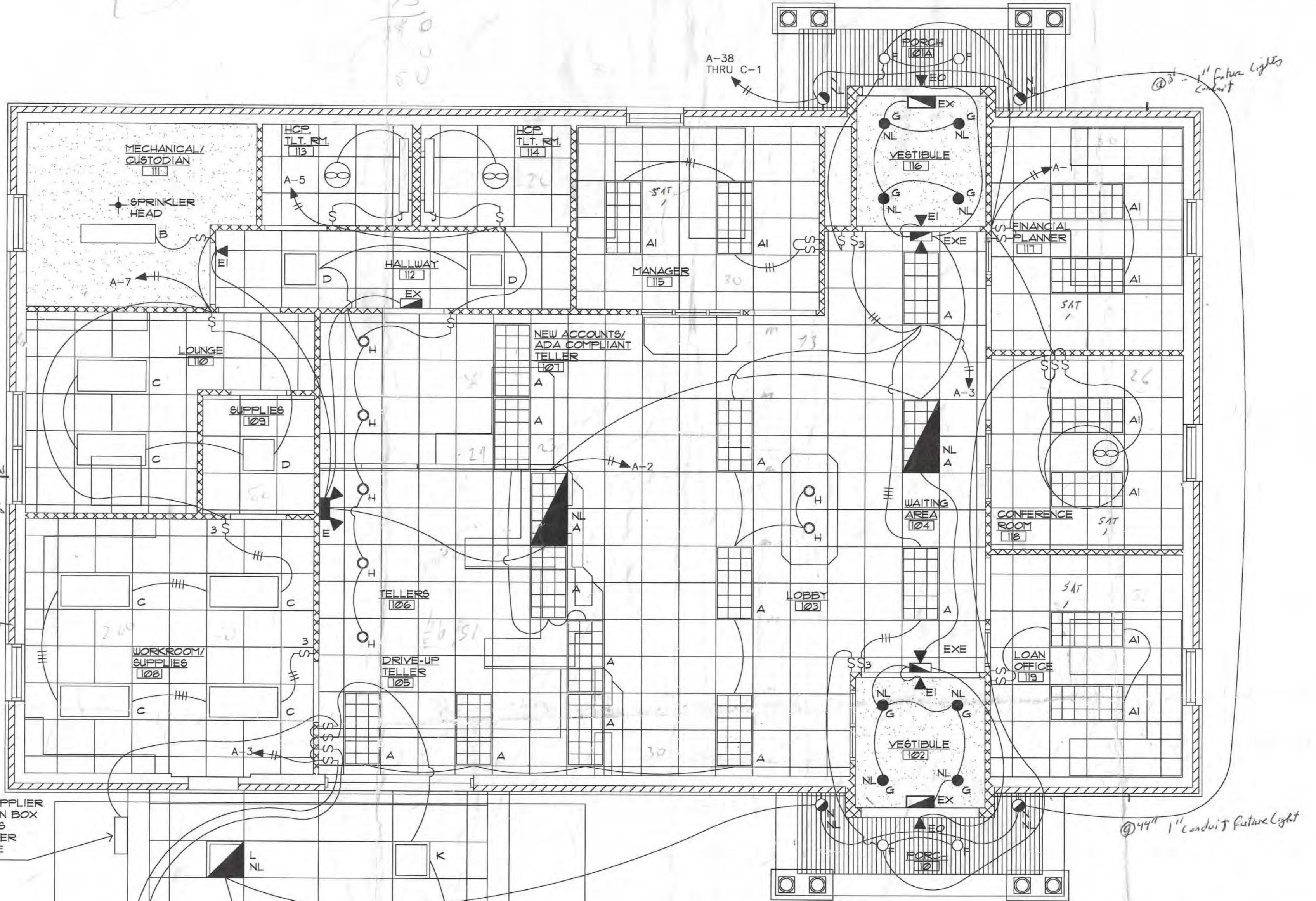
LIGHTING LEGEND:

- [Diagram: 2x4 fluorescent fixture with parabolic lens]
- [Diagram: 2x4 fluorescent fixture with prismatic lens]
- [Diagram: 2x4 fluorescent fixture with prismatic lens, connect to night light circuit]
- [Diagram: 2x2 fluorescent fixture]
- [Diagram: Wall mounted fluorescent fixture]
- [Diagram: Wall mounted fluorescent sconce]
- [Diagram: Recessed fluorescent downlight]
- [Diagram: Surface mounted 1x4 fluorescent fixture]
- [Diagram: Two head w/ exit sign]
- [Diagram: Emergency light unit]
- [Diagram: Exit sign]
- [Diagram: Interior/exterior remote emergency light heads]
- [Diagram: 1-pole 3-way switch, 20A, 120V]
- [Diagram: 2-way switch mt'd +48" aff]
- [Diagram: Exhaust fan (by HVAC contractor) 120V]
- [Diagram: Wall mounted incandescent]
- [Diagram: NL indicates light on nite light circuit]

ATM SIGNAGE BY SIGN SUPPLIER
E.C. TO PROVIDE JUNCTION BOX
W/ELECTRICAL SUPPLY AS
REQUIRED (CONFIRM POWER
REQUIREMENTS W/SIGNAGE
SUPPLIER).

REFLECTED CEILING / LIGHTING PLAN

SCALE: 1/4" = 1'-0"



LIGHT FIXTURE SCHEDULE

SYM.	MANUF.	CAT. NO.	LAMP/WATT	MOUNT'G	FIN.	REMARKS
A	COLUMBIA	P4D24-332G-MA36	(3)F32TB	RECESSED		2x4, 3 LAMP, 18 CELL PARABOLIC LENS, LAY-IN FIXTURE
AI	COLUMBIA	P4D24-332G-MA36-S-EB8120	(3)F32TB	RECESSED		2x4, 3 LAMP, 18 CELL PARABOLIC LENS, LAY-IN FIXTURE, (2) BALLAST SURFACE MOUNTED FLUORESCENT FIXTURE
B	COLUMBIA	AWN4-232-EBB120	(2)F32TB	SURFACE		2x4, 3 LAMP PRISMATIC LENS LAY-IN FIXTURE
C	COLUMBIA	J24-332G-F8A12-3EBB	(3)F32TB	RECESSED		2x2 PRISMATIC LENS, LAY-IN FIXTURE
D	COLUMBIA	J22-232U6G-F8A12	(2)B2U6	RECESSED		EMERGENCY EXIT LIGHTING (CAPABILITY FOR (2) REMOTES)
E	DUAL LITE	LZ30	(2)MR16	SURFACE	WHITE	EMERGENCY EXIT SIGN
EX	DUAL LITE	LTRWU3	LED TYPE	UNIVERSAL	WHITE	COMBO UNIT WITH 1 HEAD CAPABLE OF 2 REMOTES
EO	DUAL LITE	LXT06	(1)MR16	SURFACE	WHITE	EXTERIOR REMOTE EMERGENCY LIGHT
F	KIRLIN	RR80926-13-40-45-40	(2)F42TBX	RECESSED	WHITE	EXTERIOR RECESSED DOWNLIGHT
G	PRESCOLITE	CFTD832HEB-STFD802H-SL	(2)F32TBX	RECESSED DOWNLIGHT AT DRYWALL CEILING		
H	PRESCOLITE	CFTD832HEB-STF802H	(2)F32TBX	RECESSED DOWNLIGHT AT LAY-IN CEILING		
J	COLUMBIA	WAL4-2UD32-EB8	(2)F032TB			SURFACE MOUNTED FLUORESCENT FIXTURE
K	PRESCOLITE	I314M8-175MHFE-1314M8-TLG-TRG	MH175			175 WATT METAL HALIDE LAY-IN FIXTURE
L	PRESCOLITE	I314M9MM-175MHFE-1314M8-TLG-TRG	MH175			SAME AS TYPE "K" EXCEPT WITH QUARTZ RESTRIKE
M	HOWARD INDUSTRIES	TC1114				DRIVE UP LANE "SIGNAL" LIGHTS FURNISHED AND INSTALLED BY E.C.
N	ENTRANCE CANOPY	WALL SCONCE (4) REQUIRED. MATERIAL ALLOWANCE	\$200.00 / FIXTURE. MOUNTING HT. TO BE DETERMINED			
P	KIM	SL2 / 10 MH120 / LG				SEE SITE PLAN FOR LIGHT BOLLARDS • SIDEWALK FIXTURES BY OTHERS NL: FIXTURE COLOR TO BE SELECTED

©2000 OVERTON & ASSOCIATES LLC

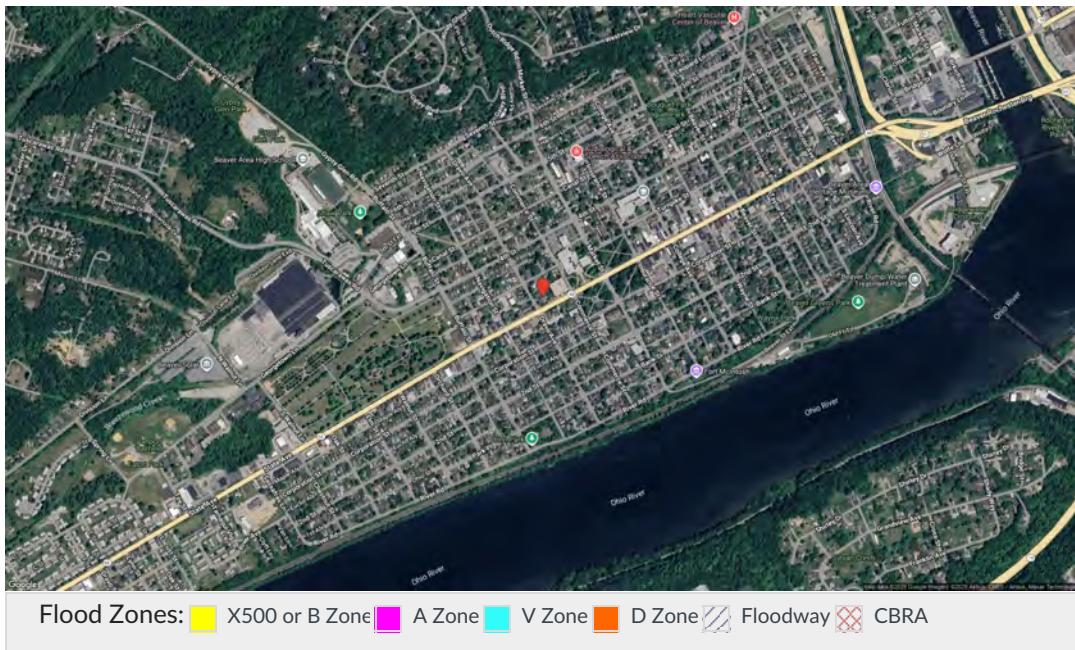
TITLE COMMITMENT

To be posted upon completion

FLOOD MAP

tranzon[®]

Overview Map



998 3RD ST BEAVER, PA 15009-2025

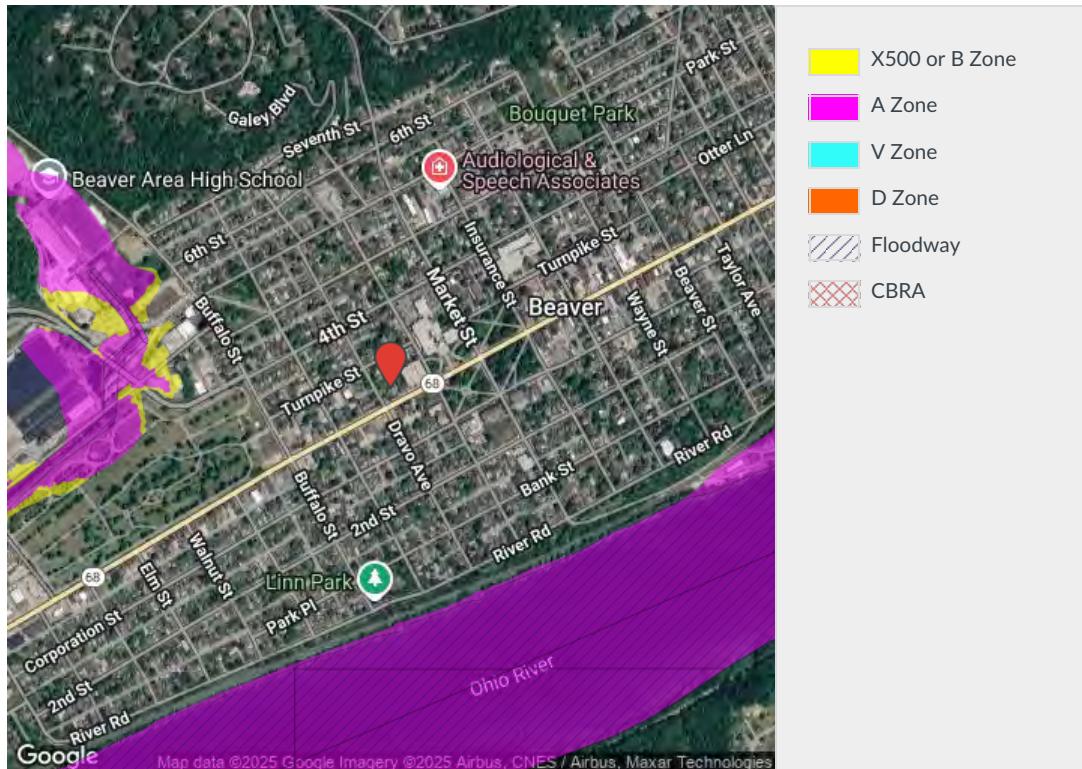
LOCATION ACCURACY: *User-defined location*

Flood Zone Determination Report

Flood Zone Determination: **OUT**

COMMUNITY 420104 PANEL 0158D

PANEL DATE August 17, 2015 MAP NUMBER 42007C0158D



BROKER REGISTRATION AGREEMENT



AUCTION BROKER REGISTRATION AGREEMENT
(the "Agreement")

Please Print or Type Legibly

I, _____ ("Broker/Agent") _____ (Brokerage Firm Name) hereby registers to represent as a buyer's broker my client, (the "Client/Buyer") _____ with Tranzon Asset Advisors (the "Auction Firm") for the auction of real estate located at: **998 3rd Street, Beaver, Pennsylvania 15009** TAA Auction No: **TAA2536**

BROKER/AGENT HEREINAFTER AGREE TO THE FOLLOWING TERMS:

- 1) If Client/Buyer is the high bidder at the auction in which the Seller accepts the written offer to purchase and subsequently closes the transaction in accordance with the terms of the purchase agreement, the listed brokerage will receive a flat referral fee of one percent (1%) of the high bid price at closing, subject to the following terms. It is understood and agreed that Client/Buyer must acknowledge Broker/Agent representation by signing this Agreement. It is understood and agreed that no referral fee or compensation whatsoever shall be due brokerage unless and until each of the following conditions has occurred: (a) my delivery of this Auction Broker Registration Agreement to Tranzon Asset Advisors (the "Auction Firm"), (b) Broker/Agent must physically be in attendance with the Client/Buyer at the auction sale **AND** at least one of the open house/public inspection events (if applicable), in the event of an online auction the Broker/Agent will assist the Client/Buyer with bidding online, (c) execution by Client/Buyer of all necessary closing documentation and payment of the total purchase price and closing costs through the closing agent, and (d) actual and final closing of title as evidenced by execution, delivery, and recording of closing instruments to/by the closing agent, and;
- 2) It is further understood and agreed that if, for any reason whatsoever, the sale is not finally closed, including by acts, omissions, or negligence on the part of the Seller and/or Auction Firm, the Auction Firm and Seller are fully released from any and all liability, claim or charge whatsoever, and no referral fee or other compensation shall be due or payable to Broker/Agent. If Client/Buyer defaults in the purchase, which results in loss of the deposit or any portion thereof, or Client/Buyer pays or becomes liable for damages to Seller, Broker/Agent shall not be entitled to any portion of such forfeited deposit(s) or damages. In the event a commission reduction is required to consummate a sale, Tranzon Asset Advisors reserves the sole right to proportionately reduce the referral fee payable herein, and;
- 3) Broker/Agent hereby represents and warrants that they are: (a) a legally licensed real estate broker/agent (b) serving only as an "arms-length" Broker/Agent in this transaction, not as a principal, and (c) my Client/Buyer has no principal or ownership interest in my brokerage and is not a member of my immediate family or employee/independent contractor of the brokerage, and;
- 4) I understand that a Client/Buyer may only be represented by one Broker/Agent and that Auction Firm shall only recognize and direct payment to the first qualified registration received by our office, and;
- 5) It is understood and agreed that this registration agreement is valid only for the day of the auction (auction ending date for online sales) and expires upon the conclusion of the auction unless my Client/Buyer is the successful bidder at the auction. Any strikes, additions and/or changes to any provision or clause by Broker/Agent or the Client/Buyer will cause this entire Agreement to be completely voidable at the sole and independent discretion of the Auction Firm, and;
- 6) The Broker/Agent acknowledges that they have or will be solely responsible for providing the Client/Buyer with any due diligence (including all information obtained from the Auction Firm), property information, inspection reports, surveys or any information, public or non-public that the Client/Buyer needs or requests concerning their purchase of the Property. The Broker/Agent is operating solely as a legally recognized agent of the Client/Buyer.

CLIENT/BUYER HEREBY AGREES TO THE FOLLOWING:

1. I hereby acknowledge that the within named Broker/Agent is my sole and exclusive representation as buyer's agent in this matter.

**THIS AGREEMENT MUST BE COMPLETED BY ALL PARTIES AND FORWARDED BY FAX TO 270-737-7695 OR EMAIL
(tgreenwell@tranzon.com and edurnil@tranzon.com) NO LATER THAN CLOSE OF BUSINESS ONE (1) DAY PRIOR TO AUCTION DATE, OR
AUCTION STARTING DATE IF SELLING ONLINE. NO LATE REGISTRATIONS WILL BE ACCEPTED OR HONORED.**

CLIENT/BUYER:

Print Name _____
Signature and Acceptance (required for acceptance) _____
Address _____ City _____ State _____
Email _____
(_____) _____ Telephone _____

REGISTERED BROKER/AGENT:

Lic #: _____ ST: _____
Print Name _____
Signature & Acceptance of Forgoing Terms of Registration _____
Name of Real Estate Brokerage _____
Address _____ City _____ State _____
Email _____
(_____) _____ Telephone _____ (_____) _____ Fax _____

Registration accepted and confirmed by Tranzon Asset Advisors:

Tranzon Asset Advisors _____ Date _____ Time _____

TAA Use Only: Returned to Broker/Agent: _____, (Date/Time) Staff Initials: _____, Delivery Method: Fax, Email, Other: _____

ONLINE AUCTION TERMS AND CONDITIONS

Terms and Conditions of the Auction Sale

(the "Terms")

Property Address: 998 3rd Street, Beaver, Pennsylvania 15009 (TAA2536)

NOTE: THESE TERMS AND CONDITIONS OF THE AUCTION SALE ARE BINDING ON ALL PARTIES WHO WISH TO REGISTER AND BID ON THE PROPERTY. THESE ARE LEGALLY BINDING AND MAY NOT BE ALTERED OR CHANGED BY THE BIDDER.

1. Purchase Agreement: The property is offered under the specific terms provided in the Irrevocable Offer to Purchase for Real Estate Assets (the "Purchase Agreement"). A sample of the Purchase Agreement is available for download at www.tranzon.com. You may request a copy of the Purchase Agreement from the auction company by emailing mfoster@tranzon.com or by calling 716-507-9009. The entire Property Information Package with the Purchase Agreement is available at www.tranzon.com. Please download the Property Information Package to view.

- a. Bidders will be required to provide a valid credit card for registration in order to be qualified to bid. A \$5,000 hold will be placed on your credit card at the time of registration. If you are not the winning bidder, the hold will be released within 3 to 5 business days. If you are the winning bidder, the hold will be released upon confirmation that your earnest money deposit has been received in full.
- b. Final deposit is 10% of the Total Sale Price (High Bid + 10% Buyer's Premium). The final deposit is due to Fidelity National Title (the "Designated Escrow Agent") within the specified timeframe in the Purchase Agreement after the online auction is concluded via wire transfer or certified funds. ***Notice to Non-U.S. Citizens: All deposits must be arranged through wire transfers to the Designated Escrow Agent. Certified checks will not be accepted.***
- c. The winning bidder will be required to sign a binding, non-contingent Purchase Agreement immediately following the auction sale.
- d. Bidding increments will be set prior to the auction opening. Bidders may place bids at or above the minimum increment allowed, but no bids below the set minimum increment shall be accepted. Bidders may also choose to place a Max Bid which will automatically and competitively bid for the bidder when other bidders enter competitive bids.

THE BID AMOUNT THAT IS SHOWN AS THE HIGH BID IS WITHOUT A BUYER'S PREMIUM. ALL BIDS ENTERED INTO THE ONLINE BIDDING PLATFORM WILL HAVE A 10% BUYER'S PREMIUM ADDED TO DETERMINE THE TOTAL SALE PRICE.

2. Terms of Sale: At the conclusion of the auction, the winning bidder(s) will be emailed by electronic signature service or faxed a Purchase Agreement to be executed and returned to mfoster@tranzon.com and tgreenwell@tranzon.com or faxed to: 270-737-7695. Successful bidders will deposit Ten Percent (10%) of the Total Sale Price by wire transfer or certified check to the Designated Escrow Agent with the Purchase Agreement within 24 hours of auction conclusion. The entirety of the remaining balance is due at closing on or before the contractual closing date stipulated in the Purchase Agreement. This must be completed within 24 hours of receipt of the documents, or the winning bidder shall be in default and subject to loss of their bidding deposit posted at registration.

3. Buyer's Premium: A 10% buyer's premium will be added to the high bid price to determine the final sale price. The Designated Closing Agent is instructed to show the Buyer's Premium as a cost to the Buyer on the closing statement, and payment of the Buyer's Premium commissions are a condition of closing.



Example:

Bid Price: \$100,000
Plus 10% Buyer's Premium: \$10,000
Total Sale Price: \$110,000

4. Bidder Verification: Tranzon Asset Advisors will verify all bidder registrations prior to granting authorization to bid. If the auction firm is unable to verify the bidder and/or the bidder does not comply with the online terms the bidding rights shall be terminated or extinguished without notice.

5. Bidding Format: Tranzon Asset Advisors and affiliated companies utilize "timed auction events" in an online setting. You will need a continuous internet connection (high speed connection is recommended). Our online only real estate auctions also include an auto-extend feature. Any bid placed within 4 minutes of the auction ending will automatically extend the auction for an additional 4 minutes from the time the bid is placed. For technical assistance please call 866-243-8243.

(Example:) If an auction scheduled to end at 4:00p.m. receives a bid at 3:57p.m. or after, the conclusion of the auction automatically triggers a four (4) minute bidding extension. The auto-extend feature remains active until no further bids are received within the 4-minute time frame. The winning bidder is the final bidder whose bid has not been raised in the 4-minute time frame.

6. Auction Bid Default: In the event a winning bidder fails to acknowledge and sign the tendered Purchase Agreement and/or fails to submit the required earnest money deposit as provided in these Terms, there may be remedies for the seller as a result of default, including, but not limited to, a debit to the credit card provided in the amount the bidder tendered when registering for the auction. The Seller and auction firm reserve the right to pursue the defaulted bidder through all legal means necessary.

7. Closing: Closing shall occur on or before December 23, 2025. The seller will tender a deed granting to the buyer an unencumbered marketable title to the Property to be conveyed by Special Warranty Deed. The seller shall pay for deed preparation, pre-auction title search, their prorated share of taxes, and their own attorney fees, if any. The buyer shall be responsible for all other costs of closing and transfer. All deposits of tenants shall be transferred or credited to the buyer at closing, if applicable. All leases due and payable shall be prorated to the date of closing, as is standard and common practice to the area in which the property is located. The buyer acknowledges that this sale is not contingent upon post sale inspections or financing approval.

8. Seller's Reservation of Restrictive Use of Property: The Seller shall have the right to incorporate, and the Buyer shall accept, a Restrictive Use Covenant (the "Restrictive Use") in the deed, or other transfer documents, which shall run with the land and be binding on the Buyer, and its successors and assigns, that the Property shall not be used as a banking facility, credit union, or any other type of financial entity that provides general banking services, mortgages personal loans or financial services for a period of five (5) years from the date of recording of the deed. The Restrictive Use shall expire without any further action by the Seller herein on the expiration of said time period.

9. Seller's Removal of Security Equipment Prior to Closing: The Seller owns and possesses certain proprietary security equipment, including key panels, monitoring equipment, video and audio recording devices and other similarly situated electronic devices that is desires to remove prior to closing the sale. The Buyer shall cooperate with the Seller, or its agents or employees, to remove in a workman like manner the security equipment located at the Property. If no security equipment is installed at any Property then this clause is void for that specific location.

10. Agency Disclosure: Tranzon Asset Advisors and all regional affiliate offices represent the SELLER in ALL transactions.

11. Disclaimer: All information contained herein is believed to be correct. The information is being furnished to bidders for the bidder's convenience, and it is the responsibility of the bidder to determine that information contained herein is accurate and complete. Any reliance on the contents shall be solely at the recipient's risk.



Each bidder must conduct and rely solely upon their individual investigation and inspection. The property is being sold "AS IS, WHERE IS" with all faults and without warranty as to the condition, use, size, merchantability or other conditions. Bidders are advised to thoroughly review all the information, conduct your analysis and due diligence and seek appropriate assistance prior to bidding or do not bid.

12. Changes, Alterations and Announcements: Tranzon Asset Advisors reserves the right to deny any person admittance to the auction, to postpone or cancel the auction, to withdraw the property from the auction and to change or alter the terms of the auction upon announcement prior to or during the course of the auction sale, without prior notice.

13. Lead Paint Inspection and Waiver: Any prospective bidder may request to have a lead-based paint investigation conducted, at the bidder's expense, prior to the closing of the auction bidding. No inspections conducted after the auction will constitute a contingency for the sale or closing. The winning bidder will acknowledge a complete waiver of all further inspections at the time of signing the purchase agreement.

14. Property Sale: The property is being offered to qualified and registered bidders by the agent auction firm on behalf the seller/client. The sale may be subject to an undisclosed reserve price and the seller/client may have a period of time in which to accept or reject the high bid tendered. The purchase agreement will specify the acceptance period and any conditions upon which the bidder is bidding on the property auction. The agent may advance the bid on behalf of the seller/client through the bidding process up to the reserve amount. If the sale is subject to approval by a court order, including the United States Bankruptcy Court, the approval of the seller is conditioned upon final approval by the court. All properties are subject to sale and/or withdraw prior to the auction without notice.

15. Binding Terms and Technological Issues: These terms and conditions are binding on all registered bidders, all sales are final and bidders assume all risk for technical issues, including but not limited to loss of internet connection, slow connection, time out of the bidding platform or all other technological matters related to bidding on the property through electronic means.

**THIS IS NOT A SOLICITATION OR OFFERING TO RESIDENTS OF ANY STATE OR COUNTRY
WHERE THIS OFFERING IS PROHIBITED BY LAW.**

This auction is conducted by Tranzon Asset Advisors, in cooperation with its affiliate offices in other locations and is solely acting as marketing agent. Tranzon Asset Advisors is solely responsible for the terms and conditions of this auction and the manner in which it is conducted. Tranzon Asset Advisors is a member company of Tranzon, L.L.C., is independently owned and operated, and uses the Tranzon name by license from Tranzon L.L.C., which is not conducting, licensed or otherwise involved in this auction.





ONLINE TIMED AUCTION | FREQUENTLY ASKED QUESTIONS

When should I register for an online auction?

We recommend that you register as soon as possible. This allows you to become familiar with the online process and makes things easier when the auction opens.

Am I obligated to bid once I register?

No. You must register to be able to bid, but registration does not in any way obligate you to bid.

What is a bidding deposit? How is it different from an earnest money deposit?

Auction participants make a financial commitment to perform in order to be approved to bid, sometimes in the form of a credit card hold (see below) and sometimes in the form of certified or wired funds (also known as a bidding deposit) which are refunded after the close of the auction if you are not the winning bidder. Deposit terms and amounts for each auction can vary and are found in the Terms and Conditions.

The earnest money deposit is due upon notification that you are the winning bidder. This deposit acts as a payment toward the total purchase price and security against default. The amount of the deposit can be a percentage of your purchase price or a set amount. If certified or wired funds were required to bid, they will go toward any earnest money deposit amount due.

If you ask for my credit card information during the registration process, do you actually charge my card?

Your card will not be charged at the time of registration. However, a temporary hold may be placed on your card in lieu of a bidding deposit. The hold amount varies for different auctions (read the specific Terms and Conditions on the tranzon.com listing page or in the auction's Property Information Package). If you are not the successful bidder, any hold will be removed after the auction, generally within 24 hours. If you are the high bidder, the hold will remain in place until your obligations under the Terms and Conditions are met. Credit card holds are only processed as a penalty in the event that the high bidder defaults on his or her obligations under the Terms and Conditions.

Is the credit card hold a part of my earnest money deposit if I am the high bidder?

No. If a hold was placed on your credit card, you will need to comply separately with any earnest money deposit requirements. Once receipt of your earnest money deposit is confirmed, the hold on your card will be released. You will want to consult the Terms and Conditions for the auction to make sure you understand these requirements.

How do I register for an online auction?

You can register for an online auction through www.tranzon.com. Simply click "Online Auctions" in the BUY menu. Find the auction you are interested in and click the button that says "Login & Register to Bid." Then follow the instructions to register. You will be notified when your registration has been approved. After you have received approval notification, you can return to the auction at any time when bidding is open, log in, and bid.

When will the auction start? When will bidding end?

Bidding on any Tranzon online auction will begin and end at the times clearly shown on the listing page on tranzon.com and in the Property Information Package for the particular auction – or as extended (see "What is the auto-extend feature?" for more information). Please be careful to note that all times are expressed in Eastern Time (ET), so be sure to convert to local time for auctions outside of the Eastern time zone of the United States.

How should I prepare to participate in an online auction?

Here's a checklist you'll want to make sure to cover before you bid:

- Download and thoroughly read the Property Information Package (PIP), found in the "Documents" list on the property listing page, to make sure you understand what you're bidding on and the terms of the sale.
- Carefully read and accept the auction's Terms and Conditions.
- You're strongly encouraged to attend one of the available property previews or speak to the listed auction contact about scheduling a preview. Auction properties are sold without contingency, so you should see the property for yourself before bidding to ensure that it meets your needs as-is.
- Log into tranzon.com and register on the property listing page for your auction. You will be asked to certify that you have read and accepted the Terms and Conditions for the auction.

Should I wait until the last minute to bid?

You can certainly bid whenever you choose during the time that bidding is open. We recommend, however, that you not wait until the last minute to bid, in order to make sure that you do not miss an opportunity to bid because of technical or other issues that might arise. There is no particular advantage to waiting until the very last moment, as most Tranzon auctions feature an anti-sniping extension called auto-extend (see below) that limits a bidder's ability to become the winning bidder simply by submitting a bid at the very last moment.

What is the auto-extend feature?

If someone bids within the last few minutes of the auction, the timer for the auction will automatically extend. These "auto-extend" time periods can differ for particular auctions, so be sure to check the auto-extend times for your particular auction, which will be clearly noted in the Terms and Conditions. The extension process will continue until no further bids are placed before the closing time, as extended.

For example, an auction has a 2-minute auto-extend provision, and bidding is scheduled to close at 11:00 AM. A bid is placed at 10:59 AM (within 2 minutes of the scheduled closing time). This triggers an automatic two-minute reset of the countdown clock, adjusting the auction's end time to 11:01AM. The time will continue to extend in this way until no bids are placed for at least 2 minutes.

What is the Maximum Bid feature?

The Maximum Bid, or "Max Bid," feature allows you to put into the system your highest bid. The system will then bid on your behalf in the next increment up to but not exceeding that number. If no one bids against you, the system will not further raise your bid. Max Bidding is kind of a "set it and forget it" bid, but you will want to stay tuned to see if other bidders have exceeded your maximum. You can raise your Max Bid at any time prior to the close of bidding.

What happens if two people enter the same Maximum Bid?

If two bidders enter the same number as a Max Bid, the bidder who entered the Max Bid first will be considered the current high bidder at the full Max Bid amount (tie goes to the runner, in this case to the Max Bidder who was first-in-time to enter the Max Bid at that amount). For this reason, if you plan to enter a Max Bid, we recommend you enter it as soon as possible once the bidding starts.

After I have entered a Maximum Bid, what happens when someone enters a manual bid that is less than my Maximum Bid, or at the same level as my Maximum Bid?

After you have entered a Max Bid, if another bidder enters a specific (manual) bid at an amount less than your Max Bid, your bid will be advanced to the next increment higher than the other bidder's manual bid, subject always to not exceeding your Max Bid amount. If the other bidder enters a manual bid in the same amount as your previously-registered Max Bid, your Max Bid will match the manual bid and your Max Bid will be considered the high bid at that amount (again, tie goes to the runner, in this case the Max Bidder who had previously entered a Max Bid at that amount instead of the bidder who entered a manual bid at the same amount later).

I was the high bidder. What happens next?

An agent from our office will either call or email you soon after the bidding closes, typically within 24 hours.

- If the auction did not have a reserve and did not require seller confirmation, our agent will provide you with instructions for submitting your earnest money deposit, scheduling the closing, and other post-auction details.
- If the auction was subject to a reserve or required seller confirmation, our agent will advise whether your high bid has been accepted. If your high bid is accepted, we will provide you with instructions for submitting your earnest money deposit, scheduling of the closing and other post-auction details. If your high bid is not accepted, we will advise you as to next steps. In most cases where the high bid is not accepted by the seller, post-auction offers will be considered and should be submitted through the Tranzon agent.

What if I have other questions?

Call or e-mail the contact listed on the auction's property listing page or contact the Tranzon main office at 866-872-6966 (toll-free). Our auction professionals are always happy to help with any questions you might have.

Terms and Conditions for Timed Online Auctions

The following Terms and Conditions apply to all online auctions conducted by Tranzon member companies. The auction company or companies conducting this auction is or are referred to as "we" or "our" or "Auctioneer" in the following Terms and Conditions, and references to the Auctioneer include all of the Auctioneer's employees, officers, directors, principals, employees, agents and other representatives. The Auctioneer is a member company in Tranzon, LLC. All Tranzon member companies are independently owned and operated.

The Auctioneer is conducting this auction as an online auction only. Bidders are referred to as "you" or "your" or "Bidder(s)" in the following Terms and Conditions. You are required to acknowledge that you have read and understand these Terms and Conditions before you will be allowed to register for and bid at this auction. In addition, the Auctioneer may add additional terms and conditions (the "Additional Terms and Conditions") for this auction, and you will be required to acknowledge that you have read and understand any such Additional Terms and Conditions. Such Additional Terms and Conditions may include notification that there is a published or unpublished reserve, or that the results of the bidding at this auction are subject to Seller confirmation. In the event of any conflict between these Terms and Conditions and any such Additional Terms and Conditions provided by the Auctioneer, the Additional Terms and Conditions shall apply and shall supersede any conflicting provisions in these Terms and Conditions.

Agent for Seller: The Auctioneer does not own the property being sold in this auction. The Auctioneer is representing the Seller exclusively in this auction transaction.

Due Diligence: It is your responsibility to obtain and read the Property Information Package relating to the property being sold at this auction, as well as any and all other information made available on the Tranzon website relating to this auction and the property being sold at this auction. You acknowledge and represent that you have done so. Notwithstanding the foregoing, you also acknowledge and agree that the sale pursuant to this auction is being made on an "as-is, where-is" basis, with no representations or warranties of any kind, expressed or implied, by the Seller and/or the Auctioneer. You further acknowledge that any information contained in the Property Information Package or otherwise obtained through the Tranzon website or directly or indirectly from the Auctioneer and/or the Seller is being presented to the best of the Auctioneer's and the Seller's actual knowledge without independent verification. Therefore, it is your sole and exclusive responsibility to inspect the property; review the documents relating to the property; assess the accuracy and completeness of the information contained in the Property Information Package and any such other documents; and independently verify and confirm any estimates, projections, or assumptions relating thereto, none of which may be considered to be guarantees. In connection therewith, you have the sole and exclusive responsibility to select and consult with any and all professional advisors of your choosing in determining whether to bid at this auction. You acknowledge that you have relied exclusively on your own investigation and determinations and the advice of your own professional advisors, and expressly represent that you have not relied upon any information provided by the Seller or the Auctioneer in any way, whether through the Property Information Package or other documents, through the Auctioneer's website, or by any oral, written or electronic communications with the Auctioneer or the Seller, or otherwise.

No Conditions or Contingencies: Without limiting the generality of the foregoing, you acknowledge and agree (i) that the completion of the sale following the conclusion of the auction is not contingent upon any inspection or verification of any such information, and the Closing Date or Closing Time (as defined below) will not be extended in order to permit any such inspection or review; (ii) that neither the Seller nor the Auctioneer nor any broker participating in the transaction to which this auction relates shall have any liability for any relief, including damages of any kind, rescission or reformation of the Purchase Contract (as defined below) or adjustment to the terms of the Purchase Contract based upon any failure of the property to conform to any description contained in the Property Information Package, or to any standard or any expectation that you may have in connection with the property; and (iii) that the completion of the sale is not subject to any financing or other contingency of any sort. **You represent and warrant that by registering to bid and bidding during this auction, you have conducted all necessary investigations, and have determined to place a bid relying solely on your own independent investigation or verification of material facts concerning the sale and the suitability of the property for your intended use if you are the successful bidder.**

Registration and Verification: In order to bid at this auction, you will be required to register at the Tranzon website, www.tranzon.com (the "Tranzon website"). All Bidders seeking to register for this auction must be eighteen (18) years of age or older, must be eligible to bid in the Auctioneer's sole discretion based on the Auctioneer's past experience with the registering bidder or otherwise, and may be subject to verification through credit card information in the registration process. You may be asked to provide credit card information for this purpose, and we will use a third-party service or other process to verify that your credit card is valid and has available credit.

When your registration to bid on this auction has been approved, you will receive an email notification that you have been approved for bidding. In addition, bidding rights are not absolute, and all registrations, even if successfully verified by credit card as described above, are subject to manual verification at any time, and from time to time, by the Auctioneer. We may suspend or terminate your registration for this auction at any time, and for any and all reasons or for no reason, in our sole discretion. We will notify you by email if your approval to bid at this auction has been terminated or suspended.

Bidding Time: This auction is a timed auction event. Bidding is scheduled to begin and close at the times set forth on the Tranzon website. All time references on the bidding site for Tranzon online auctions are **expressed in Eastern Time**, and you should therefore be mindful of the need to convert to local time when bidding on auctions of properties located in other time zones. It is your responsibility to check the Tranzon website carefully so that you are aware of the scheduled closing time.

Extended Bidding Time: The Auction is scheduled to begin on the "Starting Date and Time" and tentatively end on the "Scheduled Ending Date and Time" that are listed on the property page of Tranzon's website; however, for a bid received just before the Scheduled Ending Date and Time, an automatic extension feature in the online-bidding platform will extend the Scheduled Ending Date and Time and keep the Auction open for an additional period of time beyond the time that the last bid was received, and this process will repeat every time a subsequent bid is received. Subsequent and additional extensions shall be applied to any and all bids placed during any such extension period until an extension period has expired without additional bids being placed, at which time the bidding time, as extended, shall be closed. The number of minutes of Extended Bidding Time may vary in the sole discretion of the Auctioneer. For example, if the extension period specified by the auctioneer is 4 minutes, and the scheduled ending time is 2 PM but a bid is placed at 1:59 PM, the auction closing time would be extended by 4 minutes and the auction would close at 2:03 PM. Because of the possibility of extended bidding time, Bidders should continue to participate in the auction until receiving notification that the auction has closed and, in the case of a presumed High Bidder, until receiving a notification of the amount of the high bid as of the time of closing of the auction.

Bidder Responsibility: Bidders must take care in entering bids, and each Bidder will be responsible for all bids placed under the Bidder's approved registration. Once entered and recorded online, a bid is deemed to be final on behalf of the registered Bidder and may not be modified, retracted or rescinded in whole or in part.

Bid Increments: Once bidding has commenced, any advances on a bid must be made in increments at least as great as those which we, in our sole discretion, have determined. We may, in our sole discretion, change or modify the required bid increments from time to time, or at multiple times, during the auction.

Maximum Bid Amount: We also provide opportunities for a bidder to submit a maximum bid amount (often called a "Max Bid") and to direct that our website bid on such bidder's behalf in scheduled increments until the maximum amount identified by the bidder has been reached. In the event that you later enter a

max bid with the same maximum bid amount as was previously authorized by another bidder's max bid, or enter a specific bid in the same amount as was previously authorized by another bidder's max bid, the other bidder's max bid as previously entered before your bid will be deemed to be the prevailing bid at that amount, and you will be deemed to be outbid. In the event that there should be any dispute among competitive bidders with regard to the identity or amount of the high bid, the Auctioneer may reopen bidding on the property and may, in conjunction with such reopening of the bidding, designate one of the bidders as the "High Bidder" in the Auctioneer's sole discretion. All decisions by the Auctioneer shall be final.

Technical Problems: We have made reasonable efforts to provide for online bidding for this auction. You recognize and acknowledge, however, that technical problems with hardware, software, or internet connectivity, as well as human errors, may arise and may affect, without limitation, the Tranzon website, our online bidding program and process, your or our internet service and access, and your connection to this auction's bidding program and process. You further acknowledge that these and other technical problems may develop at any time and with or without notice. You acknowledge and agree that neither we nor the Seller is in any way responsible for any such technical problems, and that you have no absolute or other right to be able to bid on this auction in the event of any such technical problems. Notwithstanding the foregoing, you further acknowledge and agree that, in the event of any such technical problems, we reserve the right to postpone or cancel the auction and/or extend the bidding time for this auction and/or relist the property for auction at another time, in our sole discretion, and that our decision with regard to any such actions is and will be final.

Terms Specific to This Auction or Property: As noted above, the Auctioneer may provide Additional Terms and Conditions that are specific to this auction or the property or properties being sold at this auction. Without limiting the generality of the foregoing, such Additional Terms and Conditions may, but shall not necessarily be required to, relate to the following provisions, among others: extended bidding time; and bid increments.

Bidding Authorization: A bid deposit in an amount set forth on the Tranzon website or as communicated by the Auctioneer in the Additional Terms and Conditions may be required in order to bid. Any such deposit will be required in actual funds, which the Auctioneer may hold until the completion of bidding and for a reasonable period of time to allow for the return of any such funds after the conclusion of the auction. Alternatively, in some instances a credit card preauthorization may be accepted for bidding authorization, not as a deposit. Please see specific requirements associated with the property for which you are registering to bid, as set forth on the Tranzon website or in the Additional Terms and Conditions.

Earnest Money Deposit: If you are the successful bidder, you may then be required to tender a deposit or an additional deposit in the form of a cashier's check or wire transfer, within 24 hours or such other time as may be specified by the Auctioneer following the close of the auction, to be held by the Auctioneer or a designated escrow agent, all as set forth on the Tranzon website or in the Additional Terms and Conditions.

Purchase Contract: If you are the successful bidder, you will be required to sign a purchase and sale agreement or similar agreement or document, however captioned or titled (the "Purchase Contract") and other necessary documents in the form designated by, and within the time periods established by, the Auctioneer, generally 24 hours. The terms of the Purchase Contract are expressly not negotiable and the Purchase Contract must be signed in the name of the high bidder and, except as may specifically be permitted by the terms of the Purchase Contract or expressly agreed upon in writing by the Seller or Auctioneer in their sole discretion, may not be assigned to any other person or party. The Purchase Contract and such other documents will set forth the specific terms and conditions of the sale, including the time by which the high bidder's purchase of the property must be completed. Copies of some or all of these documents are available on the Tranzon website or may be obtained from the Auctioneer, and it is your responsibility to obtain, read, and understand the provisions of any such documents before bidding at this auction. The Seller's obligations to the successful bidder are exclusively as set forth in the Purchase Contract.

Buyer's Premium: A buyer's premium ("Buyer's Premium") in a percentage specified by the Auctioneer as noted on the Tranzon website for each specific property auction or in the Additional Terms and Conditions may be added to the successful bidder's highest bid price. Any such Buyer's Premium shall become part of the total purchase price in the Purchase Contract, and must be paid by the successful bidder.

Closing: All sales must close within a period of time (the "Closing Time") or on a date certain (the "Closing Date") set forth in the Purchase Contract, unless extended by the Seller in writing. Unless otherwise provided in the Purchase Contract or other documents pertaining to this particular auction, any extensions shall be requested in writing not later than five (5) days before expiration of the Closing Time or the scheduled Closing Date, as the case may be, and any such requests may or may not be considered by the Seller and granted by the Seller in the Seller's sole discretion. In preparation for the closing, the balance of the purchase price and any and all other funds necessary to complete the purchase must be provided by the successful bidder to the Seller or its closing agent(s), in immediately available funds or by wire transfer as directed by the Seller's closing agent(s), not later than forty-eight (48) hours before the scheduled closing or at such other time as may be expressly designated by the Seller's closing agent(s).

High Bidder's Default: Successful Bidders who fail to close in a timely manner for any reason shall be required to release their deposit(s) to Seller as partial and nonexclusive liquidated damages and not as a penalty, and the Seller retains the unilateral right to cancel any escrow and retain the successful bidder's deposit in the event the successful bidder fails to complete the purchase as required by the terms of the Purchase Contract. In addition, in the event the successful bidder fails to submit the executed Purchase Contract and any required earnest money deposit as required by these Terms and Conditions and any Additional Terms and Conditions, the successful bidder agrees to pay to the Auctioneer a fee in the amount of Ten Thousand Dollars (\$10,000.00) or such other amount as may be specified in any Additional Terms and Conditions, which amount may be paid by retention of the high bidder's deposit check or the credit card submitted for bidding authorization, in the sole discretion of the Auctioneer, as a penalty for non-performance. A successful bidder who fails to submit an executed Purchase Contract, fails to make any required earnest money deposit, or fails to close in a timely manner may also be prohibited from bidding on future auctions conducted by the Auctioneer or the Auctioneer's affiliates, in the discretion of the Auctioneer and any such affiliate or affiliates. These remedies are in addition to any other remedies, including specific performance, and/or additional money damages that the Seller and/or the Auctioneer may have in equity or at law. The Auctioneer and the Seller also reserve the right immediately to put the property up for sale again.

General Terms and Conditions: You acknowledge and understand that the Auctioneer reserves the right, for any reason or for no reason in the Auctioneer's sole discretion, (i) to determine who has access to and who may bid at this auction, (ii) to postpone or cancel the auction, (iii) to withdraw the property or any one or more properties from the auction, (iv) to change any terms of the auction or particular conditions of sale upon announcement prior to or during the course of the auction, (v) to bid on behalf of the Seller up to the amount of any reserve price, where permitted by law, (vi) to reject any and all bids, and (vii) to select the winning bid. You further acknowledge that neither the Seller nor the Auctioneer nor any broker involved in this auction is making any representation or warranty as to the manner in which the sale process will be managed, and that, except as may otherwise be provided by law, any acceptance of a winning bid prior to the execution of a binding Purchase Contract may be rescinded by the Seller in the Seller's sole discretion and for any reason whatsoever including the receipt of a subsequent bid, and that the Seller's obligation to sell any property or properties in this auction shall not be binding until such final Purchase Contract is signed and delivered by the Seller and the winning bidder. The Auctioneer may sell the property or any one or more properties subject to this auction in advance of the auction, in the Auctioneer's sole discretion. The sole and exclusive venue for any disputes regarding or relating in any way to this auction or the transactions made in conjunction with this auction shall be in the state courts of general jurisdiction located in the jurisdiction where the property that is subject to this auction is located, or if more than one such jurisdiction is related to such property or properties, in any one of such jurisdictions as the Auctioneer may select, or, at the election of the Seller in its sole discretion in any jurisdiction where the Seller maintains a principal or other place of business, and you irrevocably submit to the jurisdiction of such courts.

PURCHASE AND SALE AGREEMENT

To be posted upon completion

ABOUT TRANZON

tranzon[®]



**SELL YOUR
COMMERCIAL
PROPERTY**

WHY SELL WITH TRANZON?

Simply put, we are dedicated to helping you sell your real estate in the shortest possible time, at the highest possible price.

The traditional way of selling leaves you at the mercy of buyers' schedules and demands. But selling property doesn't have to be a frustrating, drawn-out process. When you partner with Tranzon, the process is as simple as

GOING ONCE, GOING TWICE, SOLD!

GOING ONCE,
You set the date and terms
of your sale.

GOING TWICE,
We attract interested buyers.

SOLD!
Your real estate sells for a
fair market price.

Providing an uncompromising
level of service and integrity to:

- Financial institutions
- Bankruptcy practitioners
- Private individuals
- Trusts and guardians
- Estates
- Corporations

BEGIN WITH A PROFESSIONAL CONSULTATION

Your local Tranzon advisor understands the commercial real estate market in your area. We are there to answer your questions at every step and provide you with expert advice. We'll discuss your circumstances and goals, then we'll use our in-depth knowledge of market conditions to determine your ideal auction strategy.

GOING ONCE,

TRANZON'S MARKET-MAKING SYSTEM™

Tranzon's Market-Making System™ is our proven methodology for the accelerated sale of real estate. It's not a one-size-fits-all approach, but rather a strategic process that includes the development of a multifaceted marketing plan, which we execute in the weeks leading up to your auction. With a massive database of potential buyers and inventive techniques for reaching new people, we get your listing in front of eager buyers across the country and create the competitive conditions needed to yield the highest bidding prices.



GOING TWICE,

THE AUCTION ADVANTAGE



CLEARLY-DEFINED TIMELINE

Count on 4-6 weeks to auction, with closing approximately 30 days after the sale.



SOLD AS-IS

All pre-work and property vetting happens upfront and is disclosed before bidding begins.



BUYERS COMPETE

Pre-qualified buyers drive up the price; demand determines fair market value.

Auctions have long been a go-to sales method for commercial property owners wanting to optimize their return on a timeline they can control. Auctioning offers several benefits over traditional real estate selling methods, including simplicity, control, and competition.

Sell your property with Tranzon's fast, straightforward auctions tailored to your situation:

- **Online only**
- **Live on-site**
- **Simultaneous live & online**
- **Sealed bid**

We can help you choose the best option for your listing!

SOLD!

A BETTER WAY TO REAL ESTATE

Tranzon is dedicated to providing you with a better way to real estate. The Tranzon team includes some of the most highly experienced real estate, marketing, and auction professionals in the country. Our nationwide network combines the benefits of local market knowledge with the resources of a national organization to ensure the success of your sale.

With our custom, hands-on approach to property auctions, you get the Tranzon Advantage.



RELY ON EXPERTS YOU CAN TRUST

- Nationwide company with over 300 years of collective experience
- Auction advisors guide you through the process and answer any questions
- Personalized customer service from local offices across the country
- Tens of thousands of successful auctions



TO HELP BUYERS FIND YOUR PROPERTY

- Professional evaluation leads to a custom sales strategy
- Aggressive marketing plan specific to your asset/audience
- Advanced online tools and proprietary technology
- Target potential buyers on a national scale



AND SELL IT QUICKLY

- Structure the auction to meet your goals
- Bidders are pre-qualified and prepared to buy
- Transparent competition drives a fair market price
- Real estate is sold as-is, without negotiations or slowdowns

**HAVE A PROPERTY TO SELL?
REQUEST A **FREE** PROPERTY EVALUATION
TODAY AT TRANZON.COM.**



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