

SE 1/4, SEC 18, TWN 22N, R1W WM

# LAKELAND VILLAGE DIVISION 15 PRELIMINARY ENGINEERING ROADWAY AND UTILITY DRAWINGS

OCTOBER 27, 2023

<u>SHEET NO.</u>	<u>TITLE</u>
1.	TITLE SHEET
2.	PUD LAYOUT DRAWING
3.	DIVISION 15 PLAT, ROAD, AND UTILITIES LAYOUT
4.	PUBLIC ROAD PROFILES
5.	PRIVATE ROAD PROFILES
6.	STORM DRAINAGE PIPING PROFILES
7.	SEWER PIPING PROFILES
8.	SEWER SYSTEM DETAILS
9.	WATER SYSTEM DETAILS
10.	EROSION CONTROL PLAN

No.	Date	By	Ckd.	Appr.	Revision



Approved By:

Drawn By: PHM Date: 10-27-23  
Designed By: PHM Date: 10-27-23  
Checked By: PHM Date: 10-27-23  
Approved By:

*ESA*

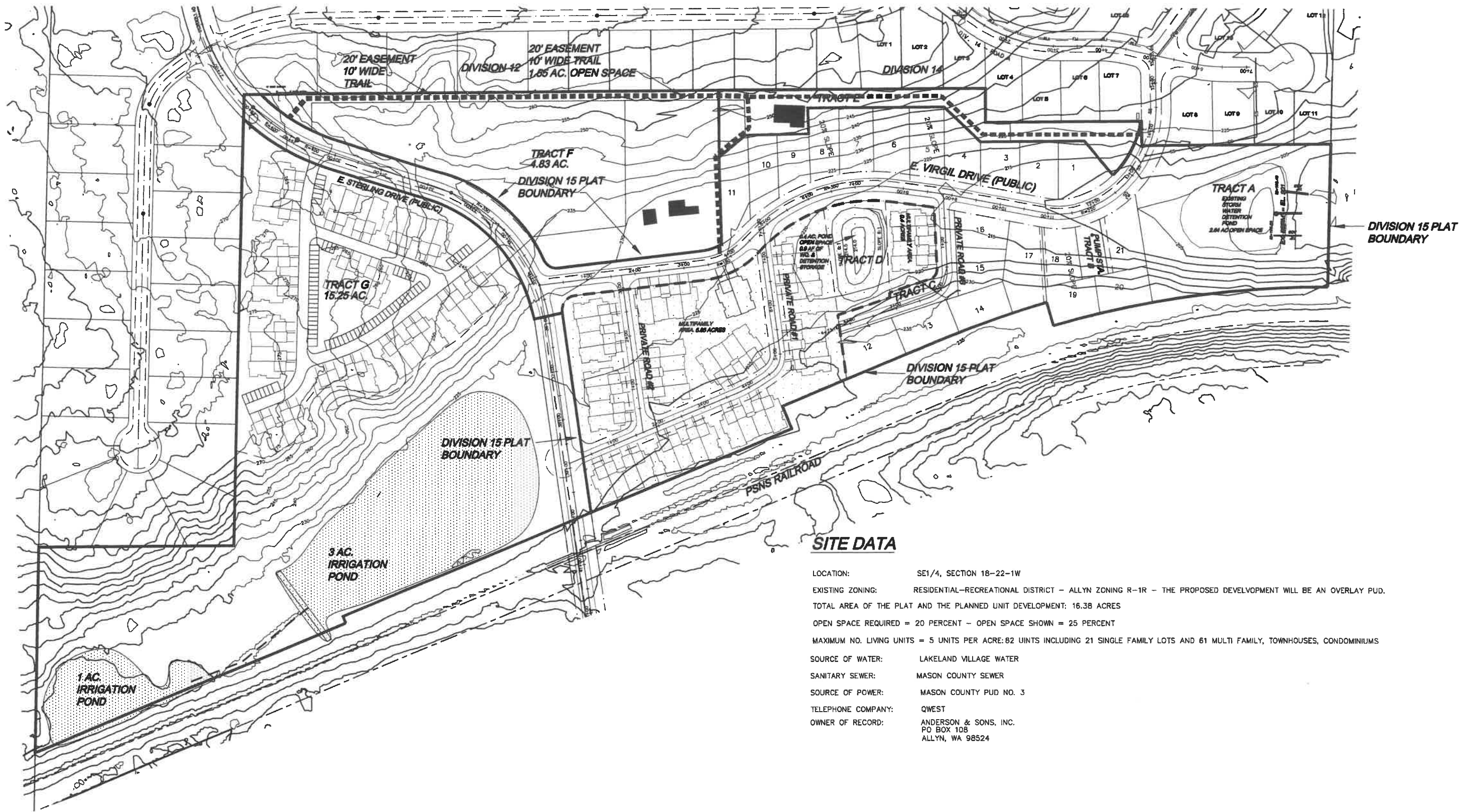
Engineering Services Associates  
Located on Beautiful Hood Canal  
N.E. 210 Cherokee Beach Road  
Bellevue, Wa. 98528 (360) 275-7384

Scale:  
Horiz. \_\_\_\_\_  
Vert. \_\_\_\_\_  
Job No. \_\_\_\_\_

ANDERSON & SONS, INC  
TITLE SHEET  
LAKELAND VILLAGE  
DIVISION 15 PRELIMINARY ENGINEERING DESIGN  
FOR PRELIMINARY PLAT REVIEW AND APPROVAL

Sheet 1  
of 10

PRELIMINARY PLAT OF LAKELAND VILLAGE DIVISION 15  
 IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M.  
 MASON COUNTY, WASHINGTON



**SITE DATA**

LOCATION: SE1/4, SECTION 18-22-1W  
 EXISTING ZONING: RESIDENTIAL-RECREATIONAL DISTRICT - ALLYN ZONING R-1R - THE PROPOSED DEVELOPMENT WILL BE AN OVERLAY PUD.  
 TOTAL AREA OF THE PLAT AND THE PLANNED UNIT DEVELOPMENT: 16.38 ACRES  
 OPEN SPACE REQUIRED = 20 PERCENT - OPEN SPACE SHOWN = 25 PERCENT  
 MAXIMUM NO. LIVING UNITS = 5 UNITS PER ACRE: 82 UNITS INCLUDING 21 SINGLE FAMILY LOTS AND 61 MULTI FAMILY, TOWNHOUSES, CONDOMINIUMS  
 SOURCE OF WATER: LAKELAND VILLAGE WATER  
 SANITARY SEWER: MASON COUNTY SEWER  
 SOURCE OF POWER: MASON COUNTY PUD NO. 3  
 TELEPHONE COMPANY: QWEST  
 OWNER OF RECORD: ANDERSON & SONS, INC.  
 PO BOX 108  
 ALLYN, WA 98524

No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	GB			COUNTY COMMENTS



Approved By: \_\_\_\_\_  
 Drawn By: PHM Date: 5-8-23  
 Designed By: PHM Date: 5-8-23  
 Checked By: PHM Date: 5-8-23  
 Approved By: \_\_\_\_\_

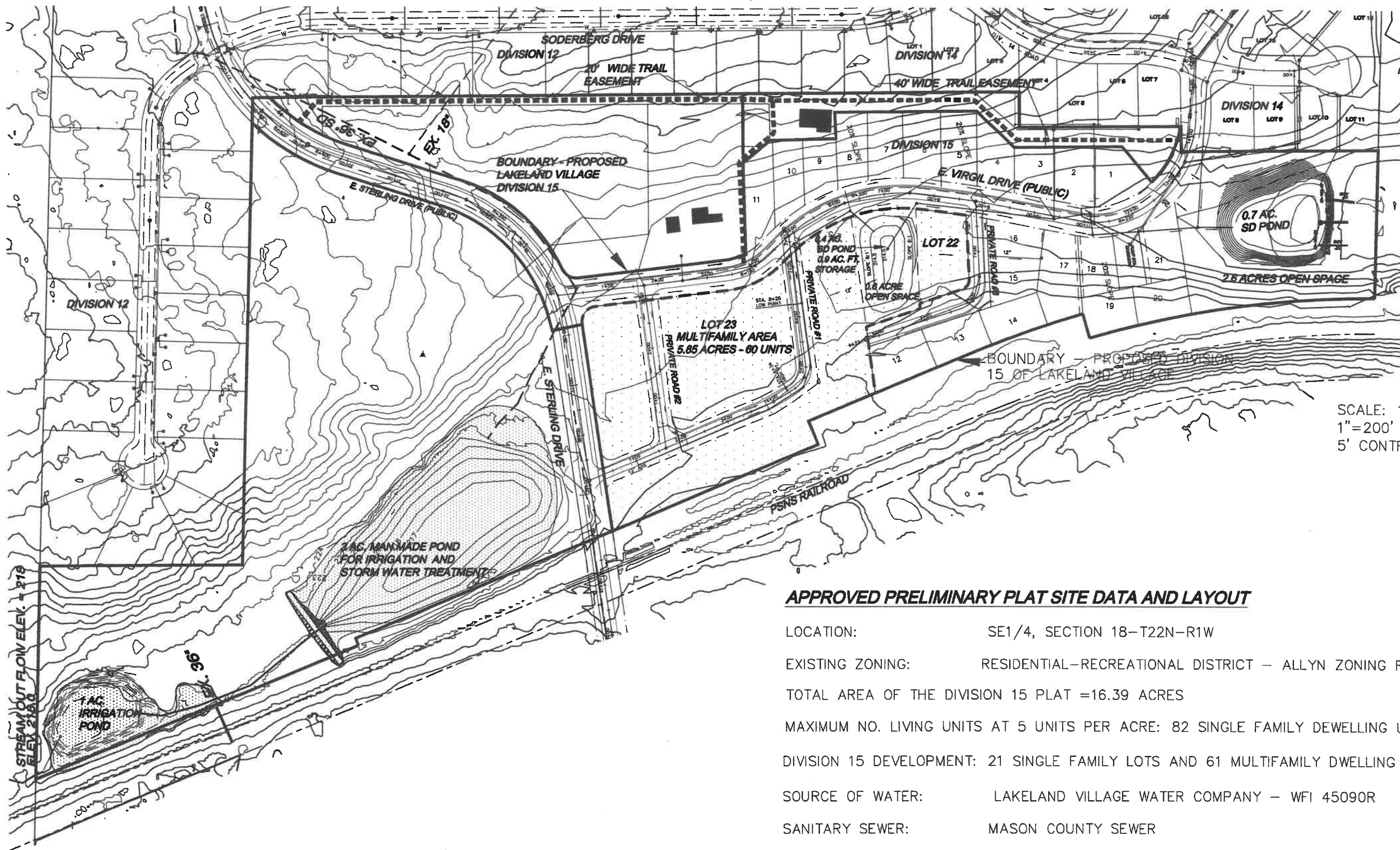
**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale:  
 Horiz. 1"=100'  
 Vert. AS SHOWN  
 Job No.

ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY PLAT LAYOUT  
 WITH POSSIBLE MF UNIT LAYOUT

Sheet 2  
 of 10

PRELIMINARY PLAT OF LAKELAND VILLAGE DIVISION 15  
 IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M.  
 MASON COUNTY, WASHINGTON

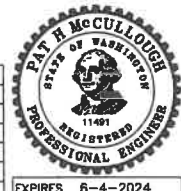


SCALE: 1" = 100' FULL MAP  
 1" = 200' ON 11X17 MAP  
 5' CONTOURS

**APPROVED PRELIMINARY PLAT SITE DATA AND LAYOUT**

LOCATION: SE1/4, SECTION 18-T22N-R1W  
 EXISTING ZONING: RESIDENTIAL-RECREATIONAL DISTRICT - ALLYN ZONING R-1R  
 TOTAL AREA OF THE DIVISION 15 PLAT = 16.39 ACRES  
 MAXIMUM NO. LIVING UNITS AT 5 UNITS PER ACRE: 82 SINGLE FAMILY DWELLING UNITS  
 DIVISION 15 DEVELOPMENT: 21 SINGLE FAMILY LOTS AND 61 MULTIFAMILY DWELLING UNITS.  
 SOURCE OF WATER: LAKELAND VILLAGE WATER COMPANY - WFI 45090R  
 SANITARY SEWER: MASON COUNTY SEWER  
 SOURCE OF POWER: MASON COUNTY PUD NO. 3  
 TELEPHONE COMPANY: QWEST  
 OWNER OF RECORD: ANDERSON & SONS, INC. PO BOX 108 ALLYN, WA 98524

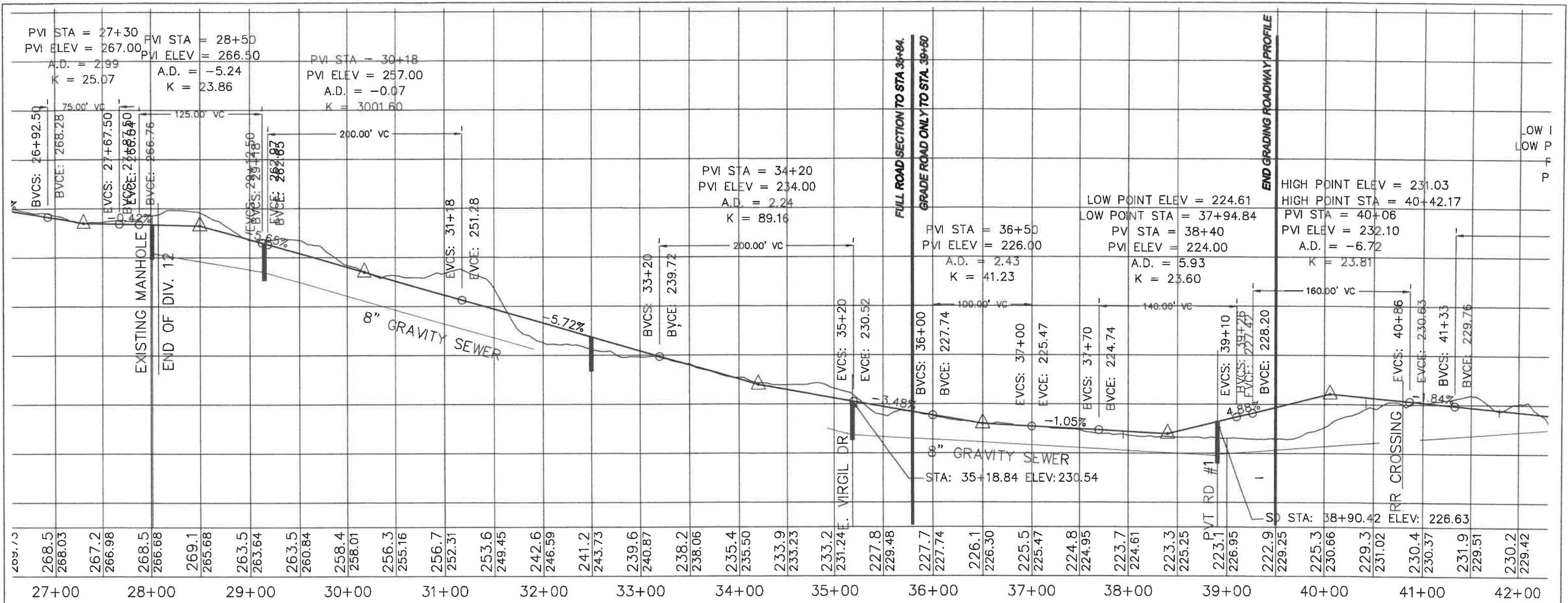
No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	GB			COUNTY COMMENTS



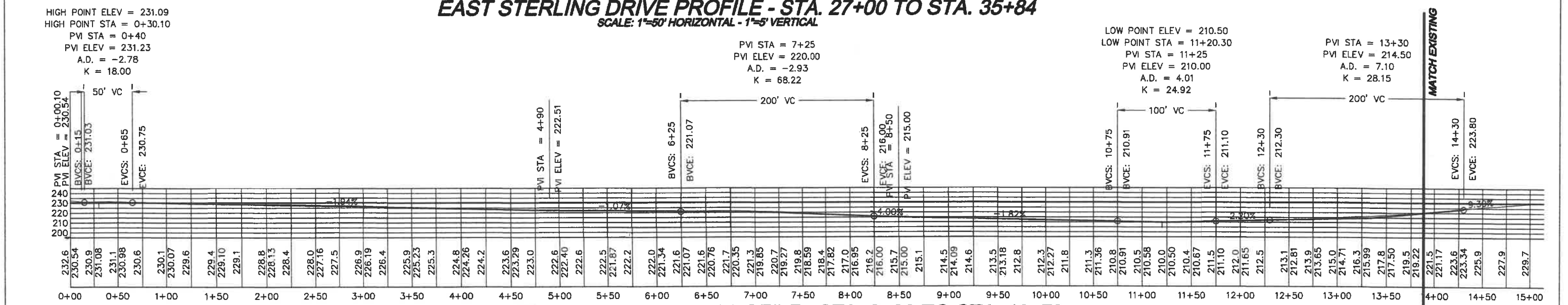
Approved By:	Drawn By: PHM	Date: 10-27-23
	Designed By: PHM	Date: 10-27-23
	Checked By: PHM	Date: 10-27-23
	Approved By:	

**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale:	ANDERSON & SONS, INC	Sheet 3
Horiz. AS SHOWN	LAKELAND VILLAGE	of 10
Vert. AS SHOWN	DIVISION 15 PRELIMINARY PLAT	
Job No.	ROAD LAYOUT AND UTILITIES	



**EAST STERLING DRIVE PROFILE - STA. 27+00 TO STA. 35+84**  
 SCALE: 1"=50' HORIZONTAL - 1"=5' VERTICAL



**EAST VIRGIL DRIVE PROFILE - STA. 0+00 TO STA. 13+70**  
 SCALE: 1" = 50'

No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	CB			COUNTY COMMENTS

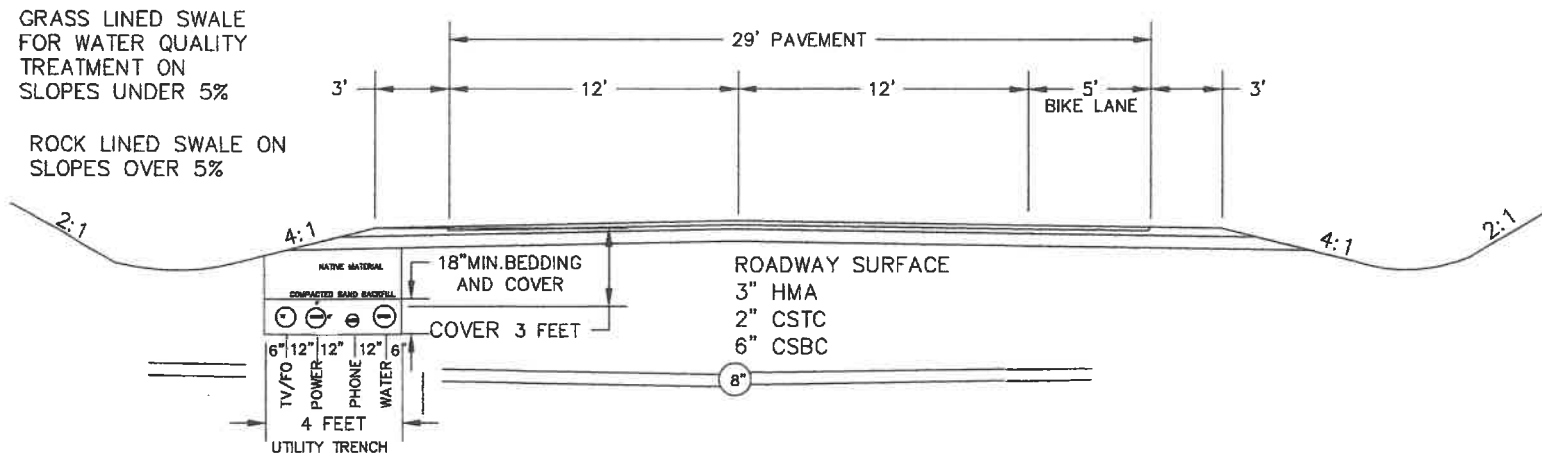


Approved By: \_\_\_\_\_  
 Drawn By: PHM Date: 10-27-23  
 Designed By: PHM Date: 10-27-23  
 Checked By: PHM Date: 10-27-23  
 Approved By: \_\_\_\_\_

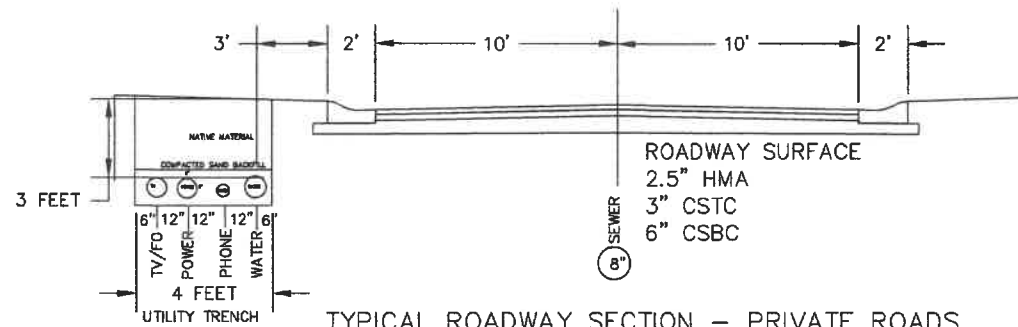
**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale:  
 Horiz. \_\_\_\_\_  
 Vert. AS SHOWN  
 Job No. \_\_\_\_\_

ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 STERLING DR. AND VIRGIL DR. PROFILES



TYPICAL PUBLIC ROADWAY SECTION

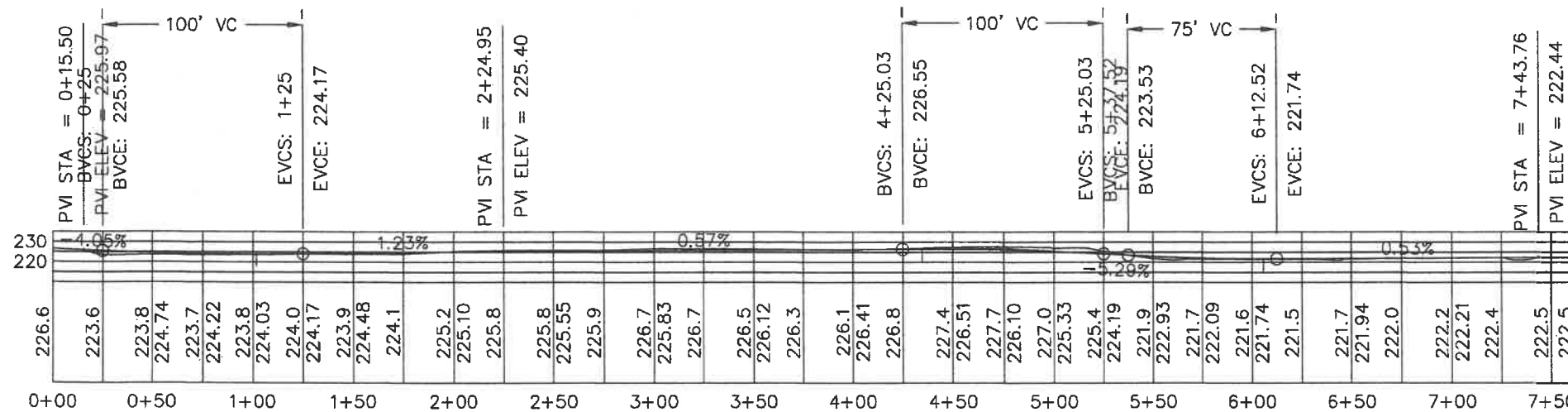


TYPICAL ROADWAY SECTION - PRIVATE ROADS

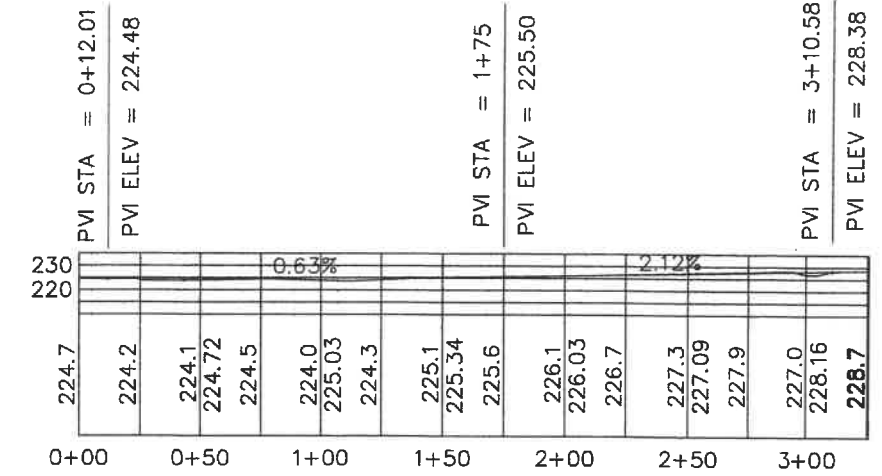
LOW POINT ELEV = 224.03  
 LOW POINT STA = 1+01.68  
 PVI STA = 0+75  
 PVI ELEV = 223.56  
 A.D. = 5.28  
 K = 18.92

HIGH POINT ELEV = 226.58  
 HIGH POINT STA = 4+34.78  
 PVI STA = 4+75.03  
 PVI ELEV = 226.84  
 A.D. = -5.86  
 K = 17.06

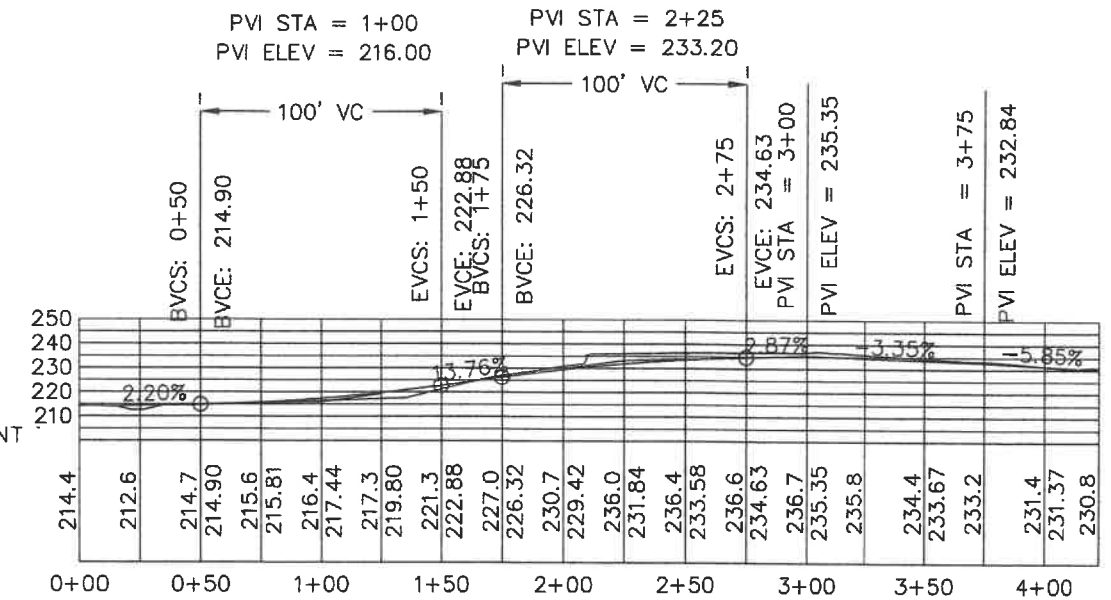
LOW POINT ELEV = 221.73 NOTE: MOVE THE LOW POINT  
 EXISTING LOW POINT STA = 6+05.69  
 PVI STA = 5+75.02  
 PVI ELEV = 221.55  
 A.D. = 5.82  
 K = 12.89



PRIVATE ROAD NO. 1 PROFILE  
 SCALE: 1"= 30 FEET



PRIVATE ROAD NO. 2 PROFILE  
 SCALE: 1"= 30 FEET



PRIVATE ROAD NO. 3 PROFILE  
 SCALE: 1"= 30 FEET



Approved By: \_\_\_\_\_  
 Drawn By: PHM Date: 10-27-23  
 Designed By: PHM Date: 10-27-23  
 Checked By: PHM Date: 10-27-23  
 Approved By: \_\_\_\_\_

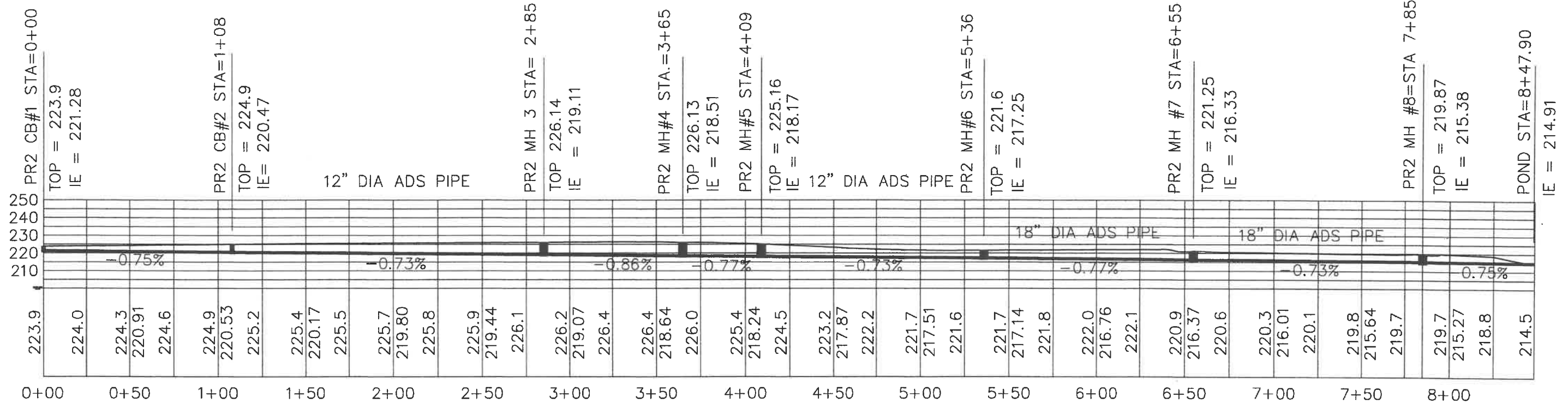
**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale: \_\_\_\_\_  
 Horiz. AS SHOWN  
 Vert. \_\_\_\_\_  
 Job No. \_\_\_\_\_

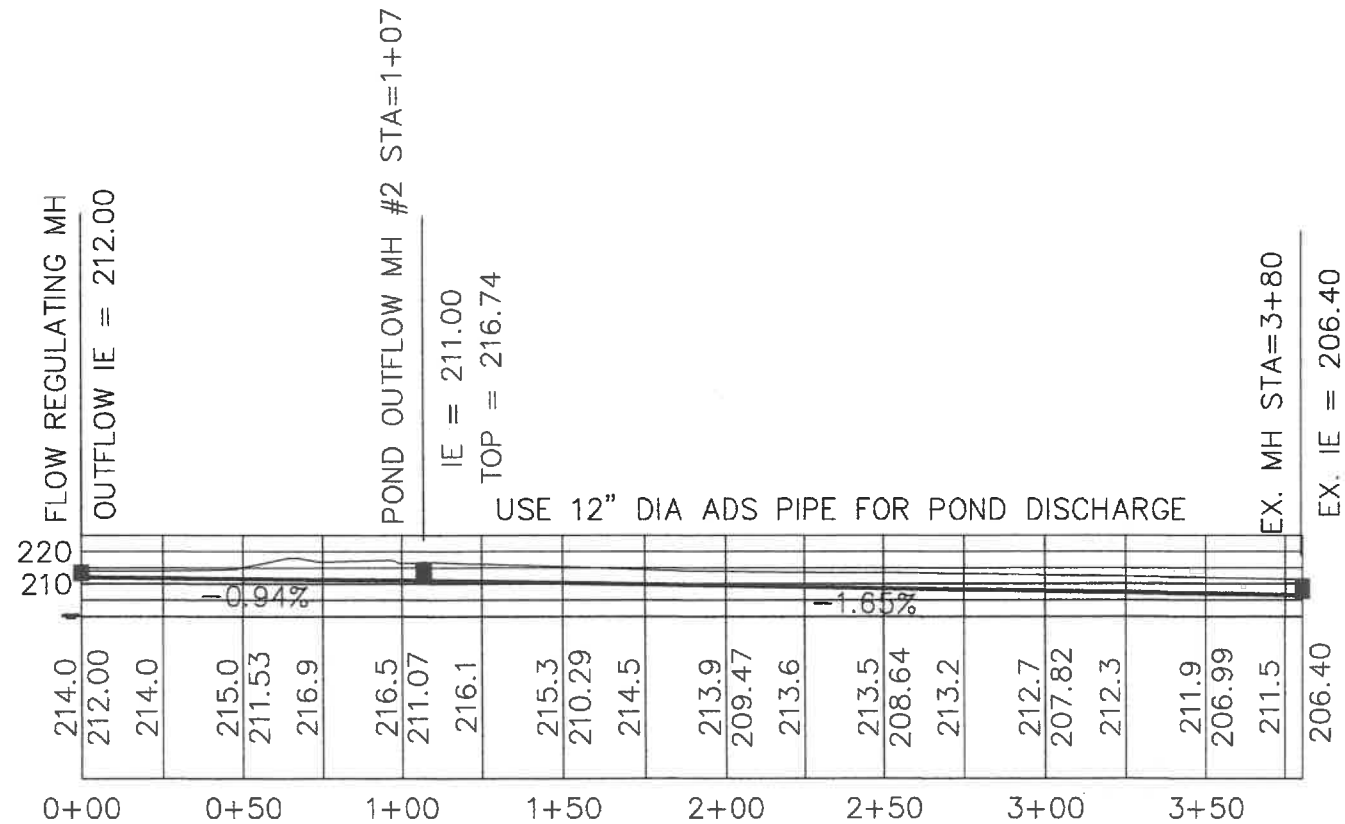
ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 TYP. SECTIONS & PRIVATE ROAD PROFILES

Sheet 5 of 10

No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	CB			COUNTY COMMENTS



**PRIVATE ROAD #1 AND VIRGIL DRIVE STORM DRAINAGE PIPING PROFILE**  
SCALE: 1"=30'



**WATER QUALITY POND DRAINAGE PIPING PROFILE**  
SCALE: 1"=30'



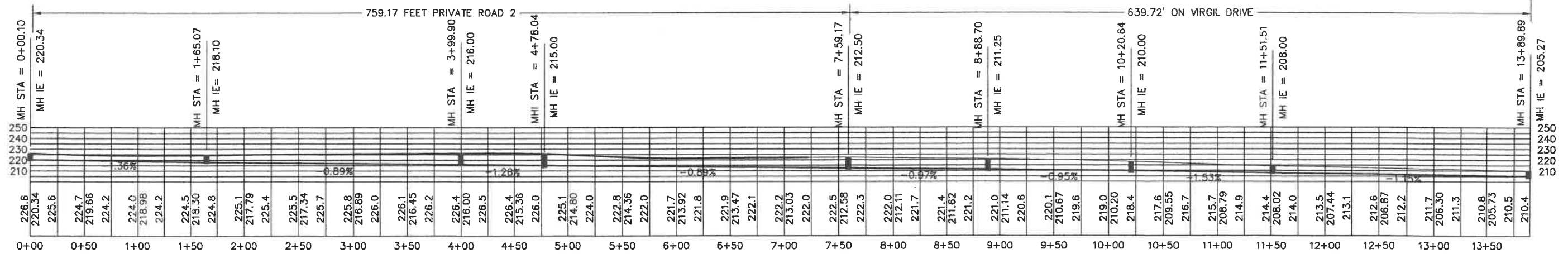
Approved By: \_\_\_\_\_  
 Drawn By: PHM Date: 10-27-23  
 Designed By: PHM Date: 10-27-23  
 Checked By: PHM Date: 10-27-23  
 Approved By: \_\_\_\_\_

**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

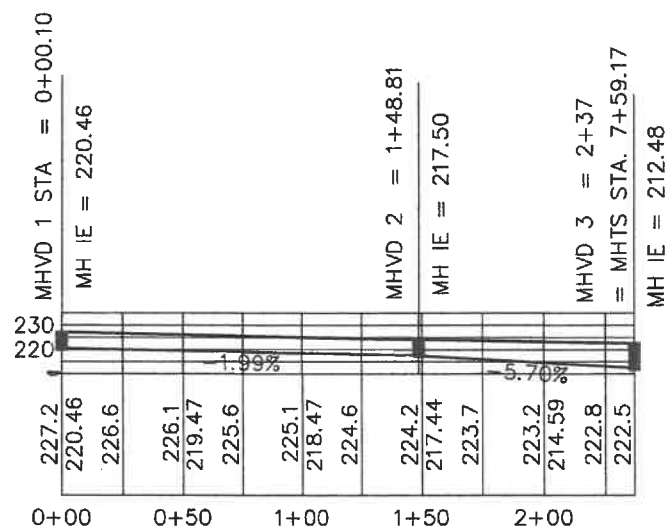
Scale: \_\_\_\_\_  
 Horiz. AS SHOWN  
 Vert. AS SHOWN  
 Job No. \_\_\_\_\_

ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 STORM WATER PIPING PROFILES

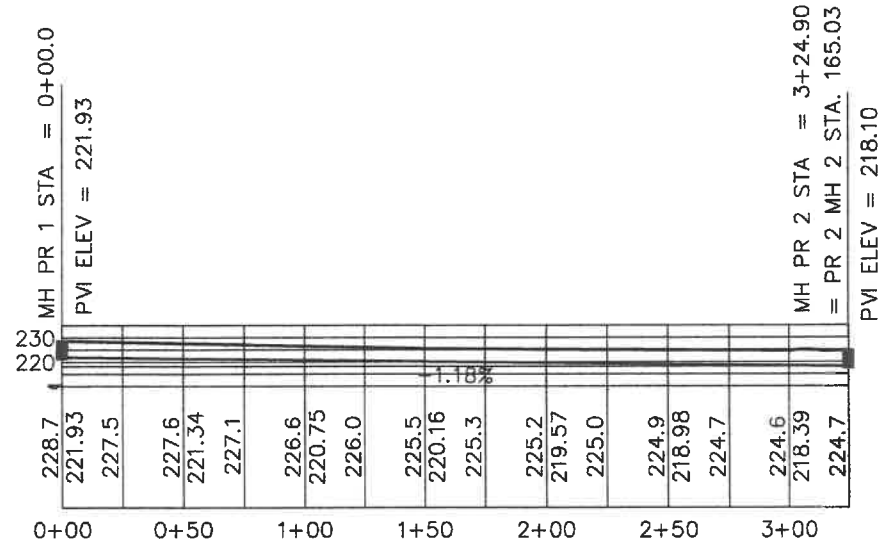
No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	GB			COUNTY COMMENTS



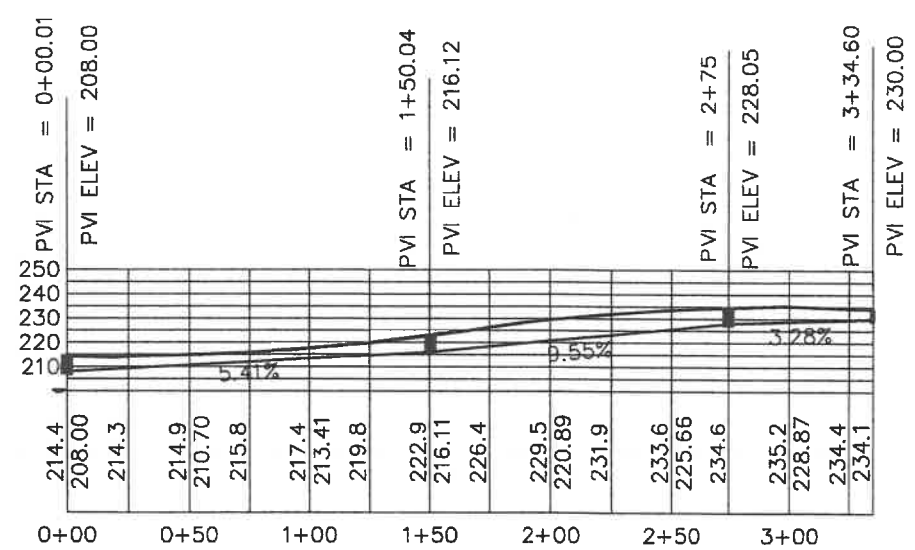
**10" SEWER LINE PROFILE - LOCATED IN PRIVATE RD. #1 AND EAST VIRGIL DR.**  
SCALE: 1" = 50'



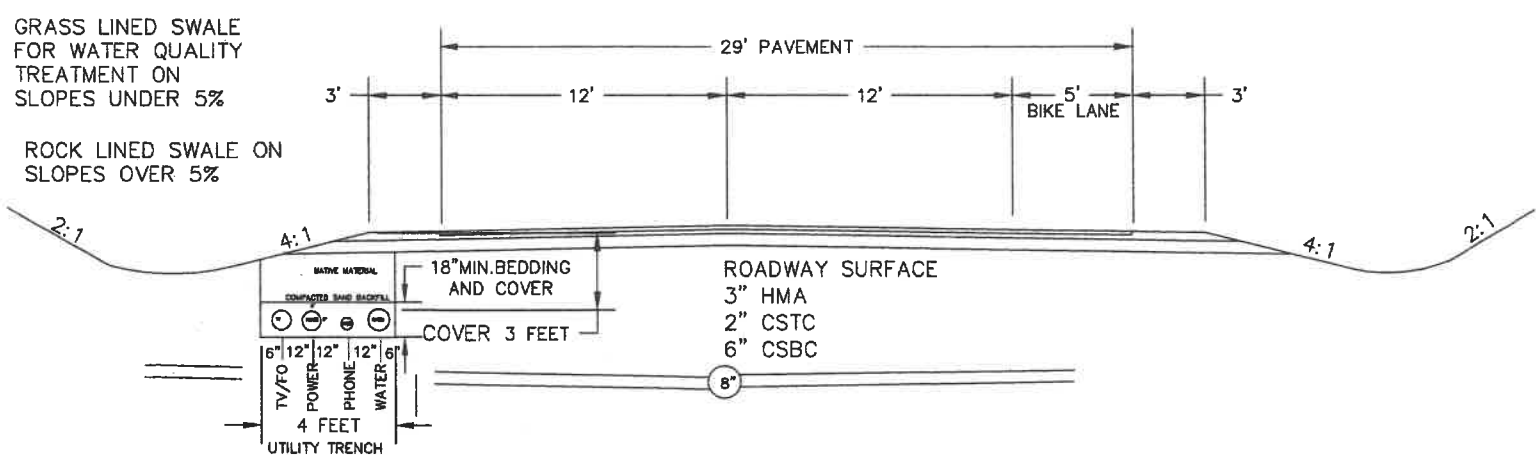
**VIRGIL DRIVE NORTH SEWER PROFILE**  
SCALE: 1" = 40'



**PRIVATE RD. #2 SEWER PROFILE**  
SCALE: 1" = 40'

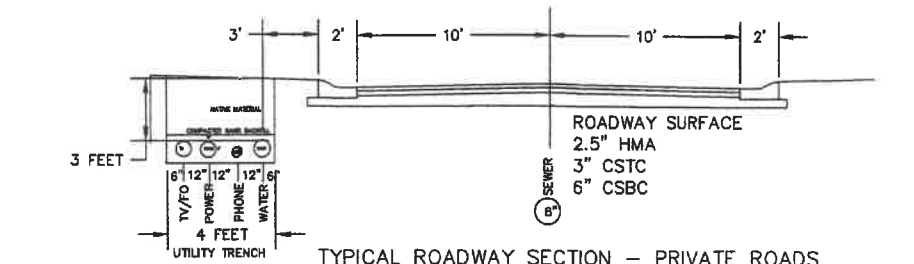


**PRIVATE RD. #3 SEWER PROFILE**  
SCALE: 1" = 40'



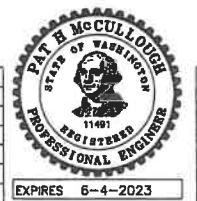
**EAST STERLING DR. AND EAST VIRGIL DRIVE TYPICAL ROADWAY SECTION**  
SCALE: 1" = 5'

NOTE: FOR STERLING DR. SEWER PROFILE - SEE RD. PROFILE.



**PRIVATE ROADS #1, #2, #3 TYPICAL SECTION**  
SCALE: 1" = 5'

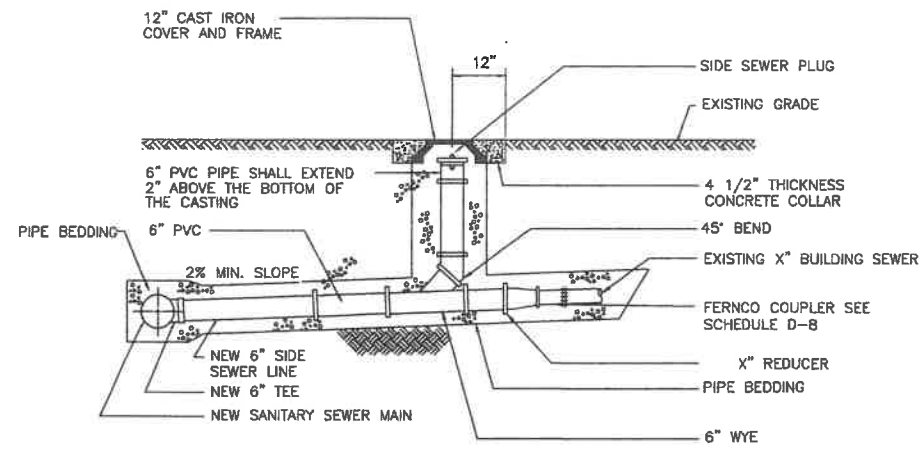
No.	Date	By	Ckd.	Appr.	Revision
1	7-16-17	GB			COUNTY COMMENTS



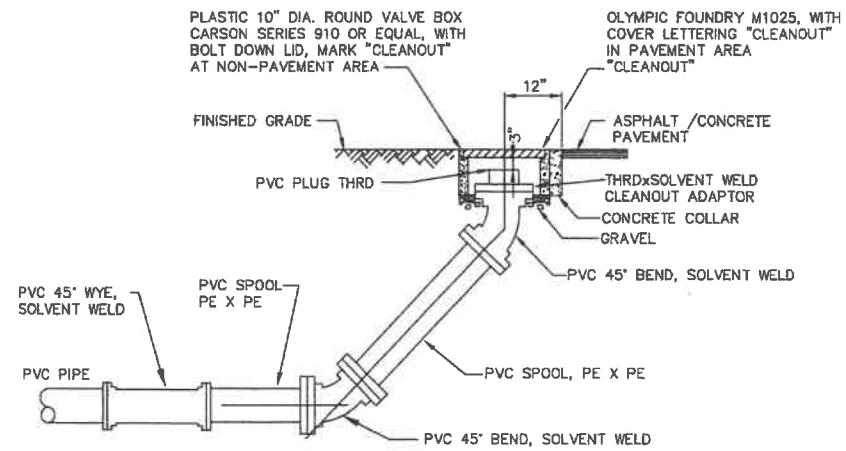
Approved By: \_\_\_\_\_  
 Drawn By: PHM Date: 5-11-23  
 Designed By: PHM Date: 5-11-23  
 Checked By: PHM Date: 5-11-23  
 Approved By: \_\_\_\_\_

**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale: \_\_\_\_\_  
 Horiz. AS SHOWN  
 Vert. \_\_\_\_\_  
 Job No. \_\_\_\_\_  
**ANDERSON & SONS, INC**  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 SEWER PROFILES  
 Sheet 7 of 9

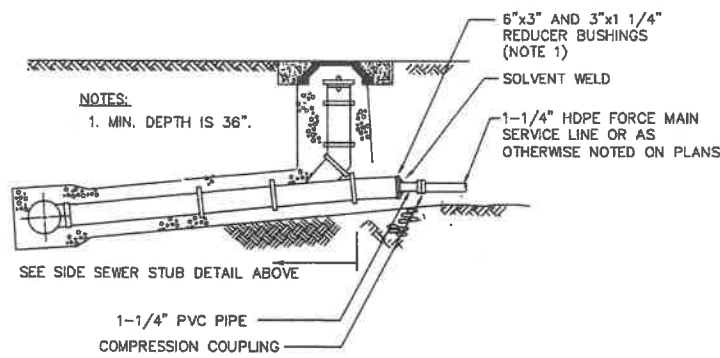


**SIDE SEWER STUB DETAIL**  
NOT TO SCALE

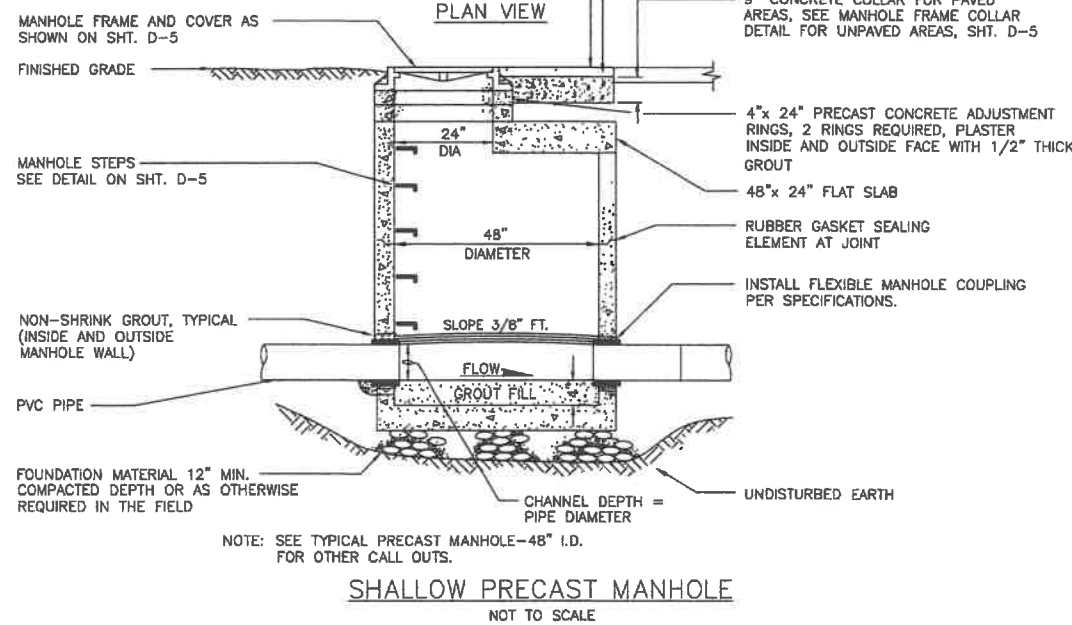
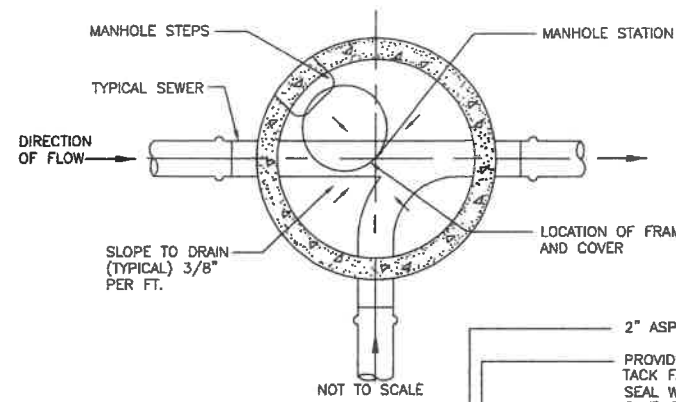


- NOTES:**
1. 6" TO HAVE 6" CLEANOUT
  2. 4" TO HAVE 4" CLEANOUT
  3. INSTALLATION TO BE PER TRENCH DETAILS.

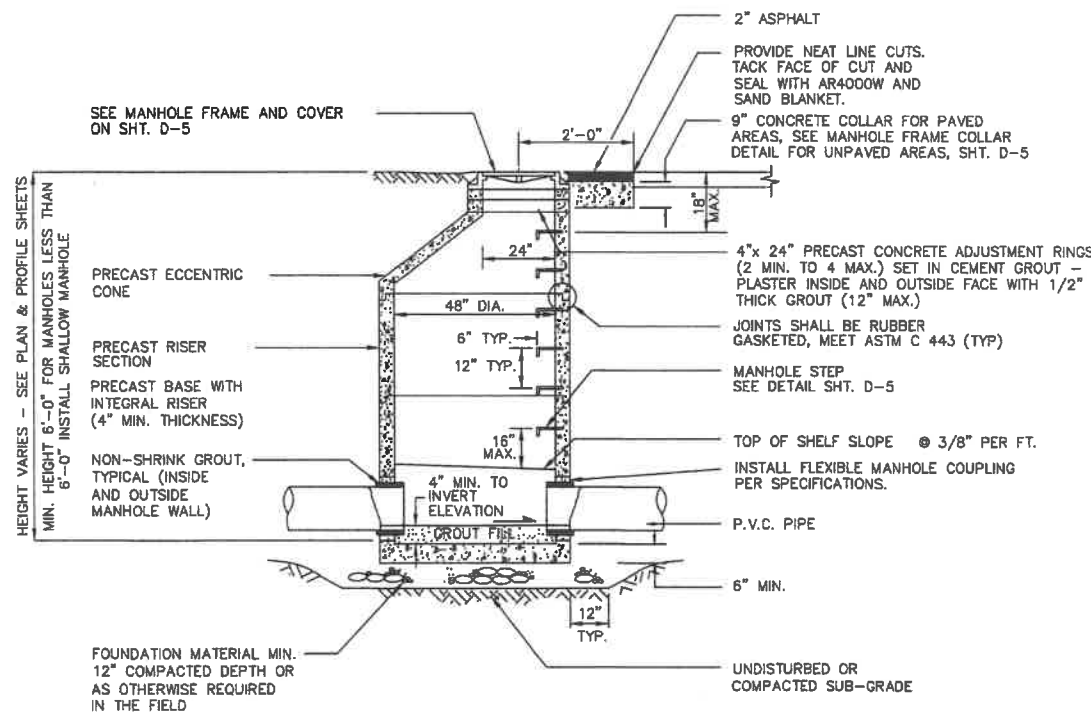
**GRAVITY PIPE CLEANOUT**  
NOT TO SCALE



**FORCE MAIN CONNECTION FROM GRINDER PUMP TO GRAVITY SIDE SEWER**  
NOT TO SCALE



**SHALLOW PRECAST MANHOLE - 48" I.D.**  
NOT TO SCALE



**TYPICAL PRECAST MANHOLE - 48" I.D.**

6", 8", 10" & 12" DIAMETER PIPE

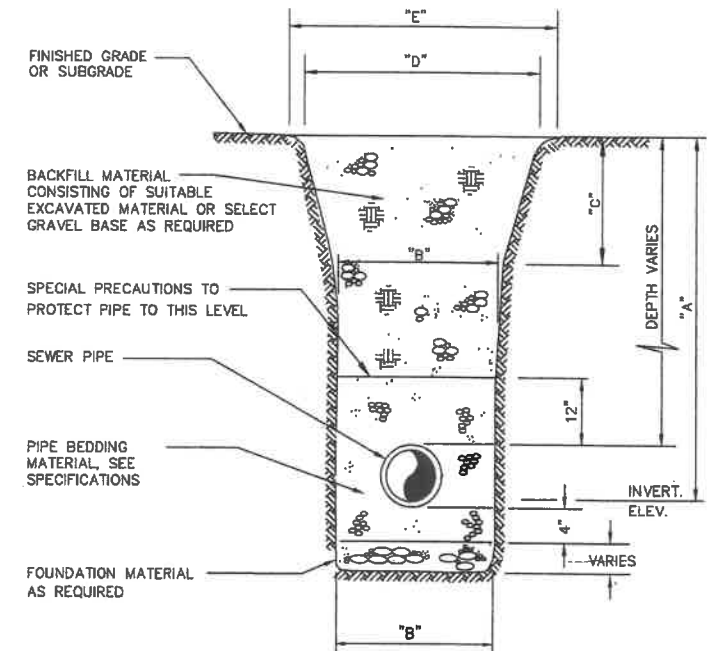
PIPE DEPTH	A	6'	8'	10'	12'	14'	16'	18'	20'	22'	24'	26'	28'
BOTTOM OF TRENCH PAYMENT WIDTH	B	2'- 6"											
TRANSITION FOR TRENCH PAYMENT WIDTH	C	1.5'	1.5'	1.75'	2.25'	2.75'	3.25'	3.75'	4.25'	4.75'	5.25'	5.75'	6.25'
TOP OF TRENCH PAYMENT WIDTH	D	4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'	15'
MAX. SURFACE RESTORATION PAYMENT LIMITS	E	6'	7'	8'	9'	10'	11'	12'	13'	14'	15'	16'	17'

24" DIAMETER PIPE

A	6'	8'	10'	12'	14'	16'	18'	20'	22'	24'	26'	28'
B	4'- 0"											
C	1.5'	1.5'	1.75'	2.25'	2.75'	3.25'	3.75'	4.25'	4.75'	5.25'	5.75'	6.25'
D	7'	7'	7.5'	8.5'	9.5'	10.5'	11.5'	12.5'	13.5'	14.5'	15.5'	16.5'
E	9'	9'	9.5'	10.5'	11.5'	12.5'	13.5'	14.5'	15.5'	16.5'	17.5'	18.5'

**PAYMENT LIMIT SCHEDULE**  
**GRAVITY SEWER PIPE**

- NOTE:**
1. THE TRENCH SECTION SHOWN ON THE PLANS ARE FOR THE PAYMENT LIMITS FOR FOUNDATION MATERIAL AND GRAVEL BASE. PAYMENT FOR ALL FOUNDATION MATERIAL AND GRAVEL BASE USED FOR TRENCH BACKFILL SHALL BE PAID BY THE CUBIC YARD AS COMPUTED FROM THE MEASUREMENT OF THE CONSTRUCTED TRENCH SECTION, TO THE MAXIMUM LIMITS AS INDICATED IN THE TABLES
  2. THE COSTS OF FURNISHING AND PLACING THE PIPE BEDDING MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR PIPE IN PLACE
  3. IN THE EVENT THAT A PORTION OF THIS PAYMENT WIDTH FALLS OUTSIDE THE EXISTING PAVEMENT, THEN ONLY THAT WIDTH COVERED BY THE EXISTING PAVEMENT SHALL BE PAID AS ASPHALT PAVEMENT REPAIR.
  4. IN THE EVENT THAT A PORTION OF THE PAYMENT WIDTH IS IN A GRAVEL SHOULDER, THEN THAT PORTION SHALL BE PAID AS CRUSHED SURFACING TOP COURSE.
  5. WHERE A PAVEMENT REPAIR IS REQUIRED, THE TRENCH SECTION PAYMENT LIMIT LINE WILL BE BOUNDED AT THE TOP BY BOTTOM OF NEW ROAD BALLAST (SUBGRADE)



**GRAVITY SEWER PIPE - TRENCH SECTION**  
NOT TO SCALE

No.	Date	By	Ckd.	Appr.	Revision
1	7-16-07	GB			COUNTY COMMENTS

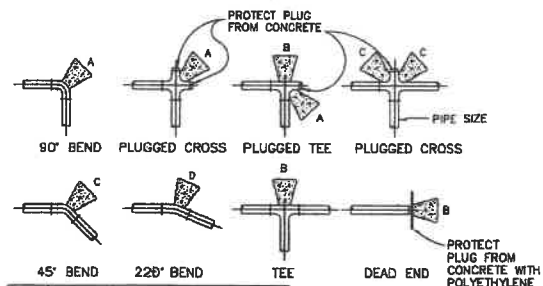


Approved By:	Drawn By:	Date:
	PHM	5-11-23
	Designed By:	
	PHM	5-11-23
	Checked By:	
	PHM	5-11-23
	Approved By:	

**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale:	AS SHOWN
Job No.	
ANDERSON & SONS, INC	
LAKELAND VILLAGE DIVISION 15 PRELIMINARY DESIGN SEWER DETAILS	
Sheet	8
of	10



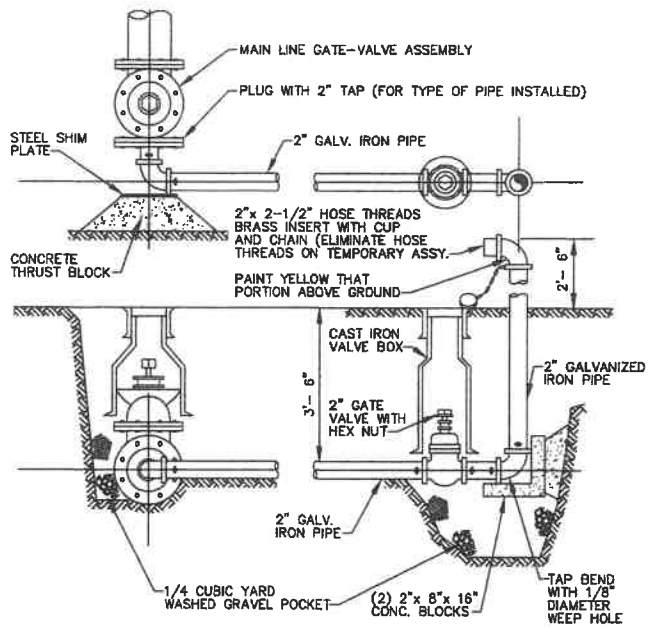


BLOCK LETTER	4"	6"	8"	10"	12"
A	2.3	4.9	8.4	13.0	18.2
B	1.5	3.5	5.8	9.2	12.9
C	1.2	2.7	4.5	7.0	9.9
D	1.0	1.4	2.3	3.6	5.0

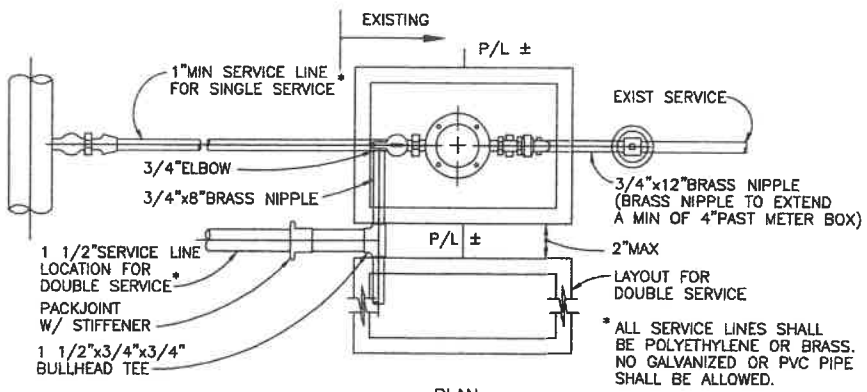
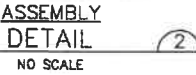
NOTE: CONCRETE THRUST BLOCK SHALL EXTEND FROM PIPE FITTING TO UNDISTURBED SOIL. CONCRETE SHALL NOT BE LESS THAN THE TABULAR VALUES SHOWN.

WRAP ALL GALV. STEEL PIPE BURIED IN THE GROUND W/ "SCOTCHPAK" WRAP ALL STRAIGHT RUNS WITH 0.02-INCH THICK TAPE, SPIRALLY APPLIED

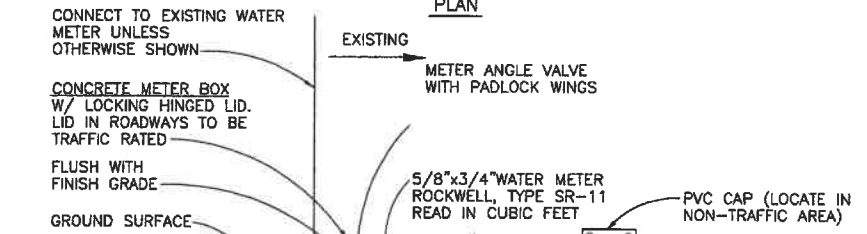
WATER LINE CONCRETE THRUST BLOCK DETAIL



END-LINE BLOW-OFF ASSEMBLY DETAIL

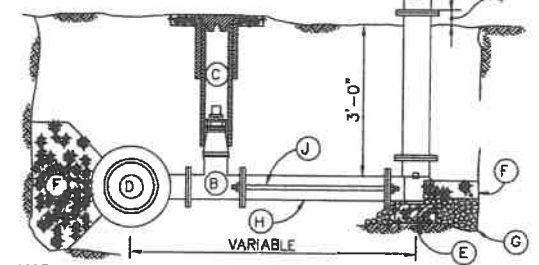


PLAN



PROFILE (SINGLE SERVICE)

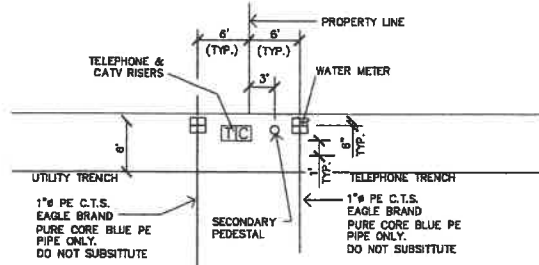
NOTE: PROVIDE BLUE REFLECTORIZED TYPE II PAVEMENT MARKER IN STREET



STANDARD FIRE HYDRANT ASSEMBLY

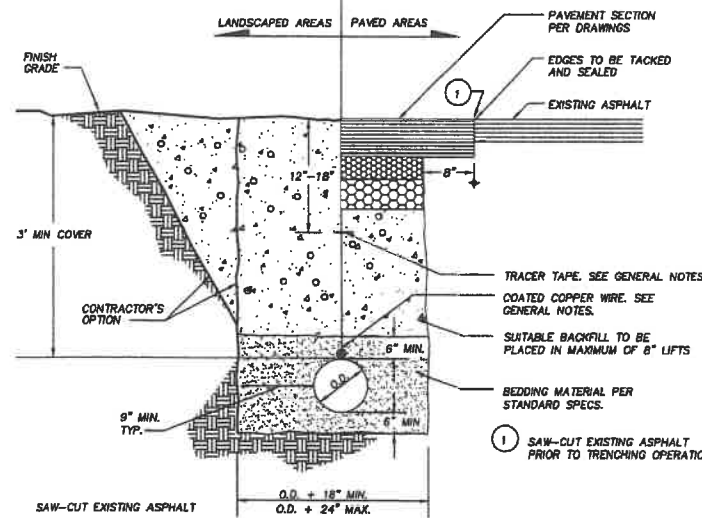
MARK	QUANTITY	ITEM DESCRIPTION
A	1	FIRE HYDRANT: 1-5" PUMPER PORT WITH STORZ (SEATTLE STANDARD THREAD) QUARTER TURN CAP WITH SET SCREW CAP AND CHAIN. 2- 2.5" HOSE NOZZLES-NATIONAL STANDARD THREADS WITH CAPS AND CHAINS. MJ SHOE. PAINT W/ 2 COATS OF RUBBER BASE TRAFFIC RED PAINT. MUELLER CENTURION OR EQUAL OR MATCH EXISTING HYDRANTS.
B	1	AUXILIARY GATE VALVE: 6"-AWWA C500 DOUBLE DISC. PARALLEL SEAT, "O" RING STEM; MJ X FL
C	1	VALVE BOX: SEE DETAIL 4/W-1
D	1	HYDRANT TEE: MJ X FL
E	1	CONCRETE BRICK: 8"x16"x14"
F	1	CONCRETE THRUST BLOCK: POUR IN PLACE; MAINTAIN CLEARANCE FOR DRAIN PORT. SEE CONCRETE THRUST BLOCK DETAIL-90° BEND FOR CONCRETE AREA.
G	1/2 CY	WASHED GRAVEL: 1.5 INCH MINUS
H	VAR	DUCTILE IRON PIPE: 6 INCH, CEMENT MORTAR LINED, CL 52 MIN.
J	2	SHACKLE RODS: PAINT 3/4 INCH DIAMETER SHACKLE RODS OR USE OF MEGA LUG FOLLOWERS IS ACCEPTABLE

AS BUILT DRAWING



DETAIL UTILITY LOCATIONS

NOT TO SCALE



DETAIL WATER MAIN BEDDING

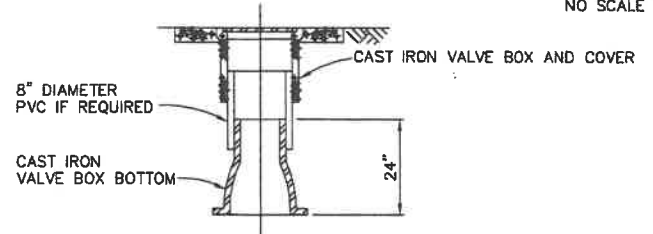
NOT TO SCALE

PROVIDE 14 GA SOLID COPPER TRACER WIRE ABOVE ALL WATER LINES. ENDS OF TRACER WIRE SHALL BE BROUGHT UP NEAR GROUND SURFACE IN GATE VALVE BOX

WHEN VALVES ARE LOCATED IN ROADS OR SIDEWALKS, TOP OF VALVE BOX SHALL BE SET FLUSH WITH GROUND WITH 3" DIA x 8" THICK ENCASEMENT W/ #4 BARS B.O.C. EACH WAY.

VALVE BOX

NO SCALE

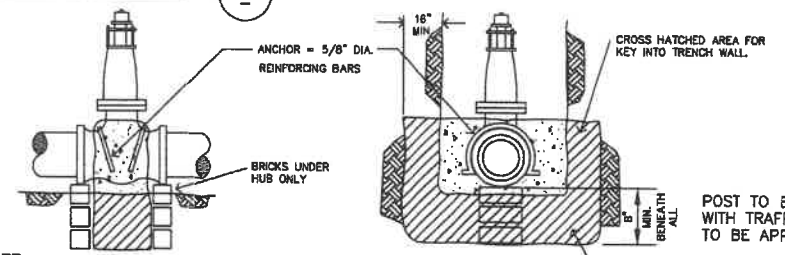


VALVE BOX

NO SCALE

SERVICE LINE CONNECTION

NO SCALE



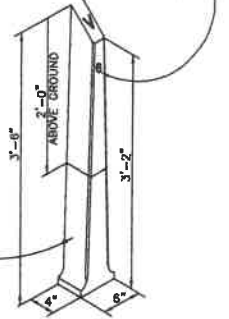
VALVE THRUST BLOCK

NOTE: 1. CONCRETE SHALL BE CLASS 3000 2. VALVE THRUST BLOCKS TO BE INSTALLED WHEN SHOWN ON PLAN.

DETAIL GATE VALVE INSTALLATION

NOT TO SCALE

DISTANCE IN FEET TO VALVE PAINTED ON FACE TOWARDS VALVE MINIMUM OF 2" HIGH STENCIL BLACK ENAMEL PAINT.



CONCRETE VALVE MARKER POST

NO SCALE



Approved By:

Drawn By: PHM Date: 10-27-23  
 Designed By: PHM Date: 10-27-23  
 Checked By: PHM Date: 10-27-23  
 Approved By:

ESA Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale: AS SHOWN  
 Horiz. AS SHOWN  
 Vert. AS SHOWN  
 Job No.

ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 WATER SYSTEM DETAILS

Sheet 9 of 10

No.	Date	By	Ckd.	Appr.	Revision
1	7-16-17	GB			COUNTY COMMENTS

**MINIMUM EROSION AND SEDIMENTATION CONTROL REQUIREMENTS**

1. STABILIZATION AND SEDIMENT TRAPPING. ALL EXPOSED AND UNWORKED SOILS, INCLUDING SOIL STOCKPILES, SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMPs WHICH PROTECT SOIL FROM THE EROSION FORCES OF RAINFALL AND FLOWING WATER. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO VEGETATIVE ESTABLISHMENT, MULCHING, PLASTIC COVERING, AND THE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED. FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS.

AT ALL TIMES OF THE YEAR, THE CONTRACTOR SHALL HAVE SUFFICIENT MATERIALS, EQUIPMENT AND LABOR ON-SITE TO STABILIZE AND PREVENT EROSION FROM ALL DENIED AREAS WITHIN 12-HOURS AS SITE AND WEATHER CONDITIONS DICTATE.

FROM OCTOBER 1ST TO APRIL 30TH, THE PROJECT ENGINEER SHALL VISIT THE DEVELOPMENT SITE A MINIMUM OF ONCE PER WEEK FOR THE PURPOSE OF INSPECTING THE EROSION AND SEDIMENTATION CONTROL FACILITIES, REVIEWING THE PROGRESS OF CONSTRUCTION, AND VERIFYING THE EFFECTIVENESS OF THE EROSION CONTROL MEASURES BEING UNDERTAKEN. THE PROJECT ENGINEER SHALL IMMEDIATELY INFORM THE DIRECTOR OF ANY PROBLEMS OR POTENTIAL PROBLEMS OBSERVED DURING SAID SITE VISITS, AS WELL AS OF ANY RECOMMENDED CHANGES IN THE EROSION CONTROL MEASURES TO BE UNDERTAKEN. WHEN REQUESTED BY THE DIRECTOR, THE PROJECT ENGINEER SHALL PROVIDE THE DIRECTOR WITH WRITTEN RECORDS OF SAID WEEKLY SITE VISITS, INCLUDING DATES OF VISITS AND NOTED SITE OBSERVATIONS.

IN THE EVENT THAT GROUND ON A PROJECT SITE IS LEFT BARE AFTER SEPTEMBER 30TH, THE COUNTY MAY ISSUE A STOP WORK ORDER FOR THE ENTIRE PROJECT UNTIL SATISFACTORY CONTROLS ARE PROVIDED. IN ADDITION, THE OWNER WILL BE SUBJECT TO THE PENALTIES PROVIDED IN SECTION 10 AND SECTION 11 OF THE MASON COUNTY STORMWATER ORDINANCE.

IN THE EVENT THAT GROUND ON A PROJECT SITE IS LEFT BARE AFTER SEPTEMBER 30TH, AND THE COUNTY IS UNSUCCESSFUL IN CONTACTING THE OWNER OR HIS/HER DESIGNATED EMERGENCY CONTACT PERSON, THE COUNTY MAY ENTER THE PROJECT SITE AND INSTALL TEMPORARY GROUND COVER MEASURES AND BILL THE OWNER FOR ALL EXPENSES INCURRED BY THE COUNTY. THESE COSTS WILL BE IN ADDITION TO ANY MONETARY PENALTIES LEVIED AGAINST THE OWNER.

2. DELINEATION OF CLEARING AND EASEMENT LIMITS. CLEARING LIMITS, SETBACKS, BUFFERS, AND SENSITIVE OR CRITICAL AREAS SUCH AS STEEP SLOPES, WETLANDS AND RIPARIAN CORRIDORS SHALL BE CLEARLY MARKED IN THE FIELD AND INSPECTED BY MASON COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO COMMENCEMENT OF LAND CLEARING ACTIVITIES.

3. PROTECTION OF ADJACENT PROPERTIES. ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES OR MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMPs.

4. TIMING AND STABILIZATION OF SEDIMENT TRAPPING MEASURES. SEDIMENT PONDS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER BMPs INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE BMPs SHALL BE FUNCTIONAL BEFORE LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE STABILIZED ACCORDING TO THE TIMING INDICATED IN ITEM (1) ABOVE.

5. SLOPE STABILIZATION. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ROUGHENED SOIL SURFACES ARE PREFERRED TO SMOOTH SURFACES. INTERCEPTORS SHOULD BE CONSTRUCTED AT THE TOP OF LONG, STEEP SLOPES WHICH HAVE SIGNIFICANT AREAS ABOVE THAT CONTRIBUTE RUNOFF. CONCENTRATED RUNOFF SHOULD NOT BE ALLOWED TO FLOW DOWN THE FACE OF A CUT OR FILL SLOPE UNLESS CONTAINED WITHIN AN ADEQUATE CHANNEL OR PIPE SLOPE DRAIN. WHEREVER A SLOPE FACE CROSSES A WATER SEEPAGE PLANE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHOULD BE PROVIDED. IN ADDITION, SLOPES SHOULD BE STABILIZED IN ACCORDANCE WITH ITEM (1) ABOVE.

6. CONTROLLING OFF-SITE EROSION. PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE DEVELOPMENT SITE BY THE IMPLEMENTATION OF APPROPRIATE BMPs TO MINIMIZE ADVERSE DOWNSTREAM IMPACTS.

7. STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS AND OUTLETS. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM THE EXPECTED FLOW VELOCITY FROM A 2-YEAR FREQUENCY, 24-HOUR DURATION STORM FOR THE POST-DEVELOPMENT CONDITION. STABILIZATION ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAMBANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS.

8. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT. AFTER PROPER WRITTEN APPLICATION, THE REQUIREMENT FOR INLET PROTECTION MAY BE WAIVED BY THE DIRECTOR ON A SITE-SPECIFIC BASIS WHEN THE CONVEYANCE SYSTEM DOWNSTREAM OF THE INLET DISCHARGES TO AN APPROPRIATE SEDIMENT CONTAINMENT BMP AND THE CONVEYANCE SYSTEM CAN BE ADEQUATELY CLEANED FOLLOWING SITE STABILIZATION.

9. UNDERGROUND UTILITY CONSTRUCTION. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL BE LIMITED, WHERE FEASIBLE, TO NO MORE THAN 500 FEET OF OPEN TRENCH AT ANY ONE TIME. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCH. DEWATERING DEVICES SHALL DISCHARGE TO AN APPROPRIATE SEDIMENT TRAP OR POND, PRECEDED BY ADEQUATE ENERGY DISSIPATION, PRIOR TO RUNOFF LEAVING THE SITE.

10. CONSTRUCTED ACCESS ROUTES. WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, PROVISIONS MUST BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD BY USE OF APPROPRIATE BMPs SUCH AS A STABILIZED CONSTRUCTION ENTRANCE. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY, AS A MINIMUM, AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.

11. REMOVAL OF TEMPORARY BMPs. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL OF TEMPORARY BMPs SHALL BE PERMANENTLY STABILIZED. THE REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MAY NOT BE REQUIRED FOR THOSE PROJECTS, SUCH AS SINGLE FAMILY PLATS, THAT WILL BE FOLLOWED BY ADDITIONAL CONSTRUCTION UNDER A DIFFERENT PERMIT. IN THESE CIRCUMSTANCES, THE NEED FOR REMOVING OR RETAINING THE MEASURES WILL BE EVALUATED ON A SITE-SPECIFIC BASIS.

12. DEWATERING CONSTRUCTION SITES. DEWATERING DEVICES SHALL DISCHARGE INTO AN APPROPRIATE SEDIMENT TRAP OR POND, DESIGNED TO ACCEPT SUCH A DISCHARGE, PRECEDED BY ADEQUATE ENERGY DISSIPATION, PRIOR TO RUNOFF LEAVING THE SITE.

13. CONTROL OF POLLUTANTS OTHER THAN SEDIMENT ON CONSTRUCTION SITES. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND LEGALLY DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM OR SURFACE WATERS. POLLUTANTS OF CONCERN INCLUDE, BUT ARE NOT LIMITED TO, FUELS, LUBRICANTS, SOLVENTS, CONCRETE BY-PRODUCTS AND CONSTRUCTION MATERIALS.

14. MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH THE MANUAL. THE APPLICANT SHALL BE RESPONSIBLE FOR ASSURING THAT ANY SUCH FACILITIES DAMAGED DURING FLOODS, STORMS OR OTHER ADVERSE WEATHER CONDITIONS ARE IMMEDIATELY RETURNED TO NORMAL OPERATING CONDITION.

15. FINANCIAL LIABILITY. A PERFORMANCE COVENANT OR PERFORMANCE SURETY, SHALL BE REQUIRED FOR ALL PROJECTS TO ENSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, AS OUTLINED IN SECTION 4.0 OF THE MASON COUNTY STORMWATER ORDINANCE.

**GENERAL EROSION AND SEDIMENTATION CONTROL NOTES**

THE FOLLOWING EROSION AND SEDIMENTATION CONTROL NOTES APPLY TO ALL CONSTRUCTION SITE ACTIVITIES AT ALL TIMES, UNLESS OTHERWISE SPECIFIED ON THESE PLANS:

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT CONSTITUTE AN ACCEPTANCE OF THE PERMANENT ROAD OR DRAINAGE DESIGN.
2. THE OWNER AND HIS/HER CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE OWNER AND/OR CONTRACTOR CAN RESULT IN A FINE. THE DESIGNATED TEMPORARY CONTACT PERSON NOTED ON THIS PLAN MUST BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND ACCEPTED BY THE COUNTY.
3. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY THE COUNTY AND THE SITE IS STABILIZED.
4. PRIOR TO BEGINNING ANY WORK ON THE PROJECT SITE, A PRECONSTRUCTION CONFERENCE MUST BE HELD, AND SHALL BE ATTENDED BY THE GENERAL CONTRACTOR, THE PROJECT ENGINEER, REPRESENTATIVES FROM AFFECTED UTILITIES, AND A REPRESENTATIVE OF MASON COUNTY.
5. THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY. MINOR DEPARTURES FROM THIS PLAN ARE PERMITTED SUBJECT TO THE APPROVAL OF THE COUNTY INSPECTOR. HOWEVER, EXCEPT FOR EMERGENCY SITUATIONS, ALL OTHER DEVIATIONS FROM THIS PLAN MUST BE DESIGNED BY THE PROJECT ENGINEER AND APPROVED BY MASON COUNTY PRIOR TO INSTALLATION.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER AND/OR CONTRACTOR ON A FREQUENT BASIS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL SEDIMENT MUST BE REMOVED FROM SILT FENCES, STRAW BALES, SEDIMENT PONDS, ETC. PRIOR TO THE SEDIMENT REACHING 8-INCHES IN DEPTH.
7. AT NO TIME SHALL CONCRETE, CONCRETE BY-PRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATERIAL BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
8. PERMANENT DETENTION/RETENTION PONDS, PIPES, TANKS OR VAULTS MAY ONLY BE USED FOR SEDIMENT CONTAINMENT WHEN SPECIFICALLY INDICATED ON THESE PLANS.

**EROSION AND SEDIMENTATION CONTROL MAINTENANCE REQUIREMENTS**

1. EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSPECTED AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
2. NECESSARY REPAIRS OR REPLACEMENT OF FACILITIES SHALL BE ACCOMPLISHED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE MAXIMUM POTENTIAL DEPTH.
4. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE ESC FACILITIES ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

**GRADING NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS.
2. MAXIMUM SLOPE STEEPNESS SHALL BE 2:1 HORIZONTAL:VERTICAL FOR CUT AND FILL SLOPES.
3. UNLESS OTHERWISE SPECIFIED, ALL EMBANKMENTS IN THE PLAN SET SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2-03.3(14)B OF THE WSDOT STANDARD SPECIFICATIONS. EMBANKMENT COMPACTIONS SHALL CONFORM TO SECTION 2-03.3(14)C, METHOD B OF SAID STANDARD SPECIFICATIONS.
4. EMBANKMENTS DESIGNED TO IMPOUND WATER SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER SECTION 2-03.3(14)C, METHOD C OF WSDOT STANDARD SPECIFICATIONS.
5. ALL AREAS RECEIVING FILL MATERIAL SHALL BE PREPARED BY REMOVING VEGETATION, NONCOMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIAL, BY SCARIFYING THE SURFACE TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL AND THE HEIGHT IS GREATER THAN 5 FT., BY BENCHING INTO SOUND COMPETENT MATERIAL AS DETERMINED BY A SOILS ENGINEER.

**GENERAL NOTES**

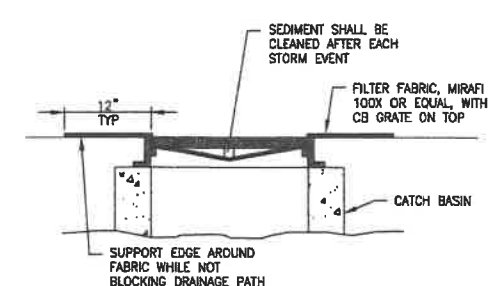
1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION PREPARED BY WSDOT AND APWA AS ADOPTED BY THE MASON COUNTY DEPARTMENT OF PUBLIC WORKS (MCDPW).
2. ANY REVISIONS TO THE ACCEPTED CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE MCDPW PRIOR TO IMPLEMENTATION IN THE FIELD.
3. THE CONTRACTOR SHALL MAINTAIN A SET OF THE ACCEPTED CONSTRUCTION DRAWINGS ON-SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE MCDPW PRIOR TO COMMENCING ANY WORK WITHIN COUNTY RIGHT-OF-WAY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION ALONGSIDE OR WITHIN ALL PUBLIC ROADWAYS. TRAFFIC FLOW ON EXISTING PUBLIC ROADWAYS SHALL BE MAINTAINED AT ALL TIMES, UNLESS PERMISSION IS OBTAINED FROM THE MCDPW FOR ROAD CLOSURE AND/OR DETOURS.
6. THE LOCATIONS OF EXISTING UTILITIES ON THIS PLAN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONTRACT THE "UNDERGROUND LOCATE" CENTER AT PH: 1-800-424-5555, AND NON-SUBSCRIBING INDIVIDUAL UTILITY COMPANIES 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL PROVIDE FOR PROTECTION OF EXISTING UTILITIES FROM DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS.
7. ROCKERIES OR OTHER RETAINING FACILITIES EXCEEDING 4 FT. IN HEIGHT REQUIRE A SEPARATE PERMIT FROM THE MASON COUNTY BUILDING DEPARTMENT.

**DRAINAGE NOTES**

1. THE CONTRACTOR SHALL ENSURE THAT THE DRAINAGE IS INSTALLED AND OPERATIONAL PRIOR TO COMMENCEMENT OF PAVING WORK.
2. ALL STEEL PIPE AND PARTS SHALL BE GALVANIZED. ALL SUBMERGED STEEL PIPES AND PARTS SHALL BE GALVANIZED AND HAVE ASPHALT TREATMENT #1 OR BETTER.
3. DRAINAGE STUBOUTS ON INDIVIDUAL LOTS SHALL BE LOCATED WITH A FIVE FOOT HIGH 2" X 4" STAKE MARKED "STORM". THE STUBOUT SHALL EXTEND ABOVE SURFACE LEVEL AND BE SECURED TO THE STAKE.

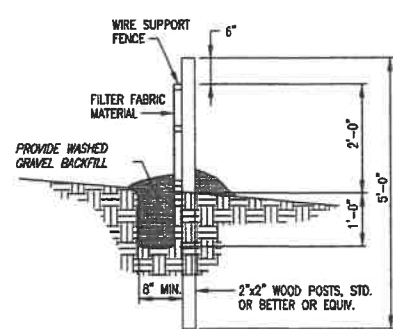
**MAINTENANCE STANDARDS**

1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP.
3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
4. ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING SHALL BE INSTALLED TO CONTROL TRAFFIC.

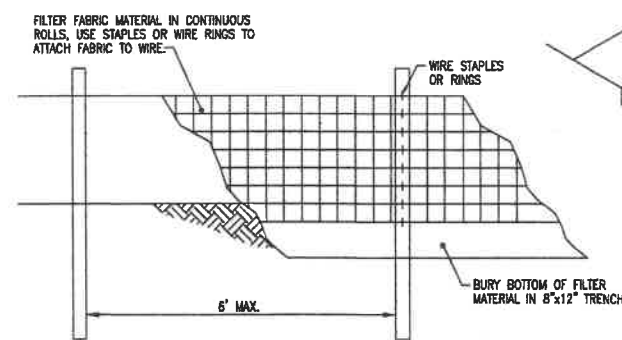


**CATCH BASIN PROTECTION**

**DETAIL 1**  
SCALE: NTS

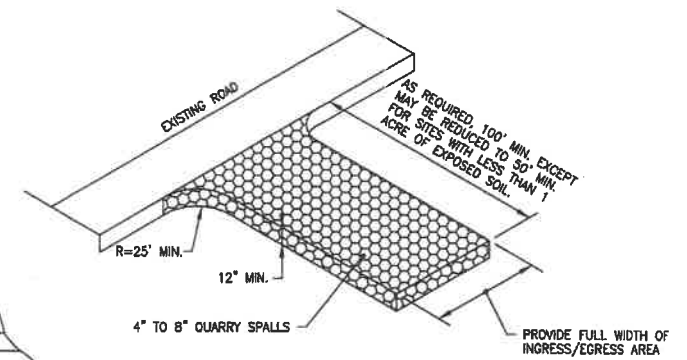


**SECTION**



**SILT FENCE**

**DETAIL 3**  
NTS



**STABILIZED CONSTRUCTION ENTRANCE**

**DETAIL 2**  
NTS



Approved By: \_\_\_\_\_  
 Drawn By: PHM 5-11-23  
 Designed By: PHM 5-11-23  
 Checked By: PHM 5-11-23  
 Approved By: \_\_\_\_\_

**ESA** Engineering Services Associates  
 Located on Beautiful Hood Canal  
 N.E. 210 Cherokee Beach Road  
 Belfair, Wa. 98528 (360) 275-7384

Scale: \_\_\_\_\_  
 Horiz. AS SHOWN  
 Vert. \_\_\_\_\_  
 Job No. \_\_\_\_\_

ANDERSON & SONS, INC  
 LAKELAND VILLAGE  
 DIVISION 15 PRELIMINARY DESIGN  
 EROSION CONTROL DETAILS

Sheet 10  
 of 10

No.	Date	By	Chd.	Appr.	Revision
1	7-16-17	GB			COUNTY COMMENTS

# PRELIMINARY PLAT OF LAKELAND VILLAGE NO. 15

IN A PORTION OF THE SE1/4 OF  
SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M.  
MASON COUNTY, WASHINGTON

Parcel #	Square Feet	Acres
LOT 1	9596.48	0.22
LOT 2	9065.63	0.21
LOT 3	7844.43	0.18
LOT 4	8728.83	0.20
LOT 5	10185.31	0.23
LOT 6	9939.94	0.23
LOT 7	9324.82	0.21
LOT 8	9064.52	0.21
LOT 9	7628.02	0.18
LOT 10	9046.73	0.21
LOT 11	10766.17	0.25
LOT 12	10202.51	0.23
LOT 13	8315.15	0.19
LOT 14	7951.96	0.18
LOT 15	8406.97	0.19
LOT 16	13425.40	0.31
LOT 17	7148.89	0.16
LOT 18	8063.40	0.19
LOT 19	8232.65	0.19
LOT 20	8988.49	0.21

Parcel #	Square Feet	Acres
LOT 21	10423.99	0.24
LOT 22	16322.93	0.37
LOT 23	212867.32	4.89
TRACT A SD/OS	113857.89	2.61
TRACT B SEWER	5820.74	0.13
TRACT C PRIVATE ROAD	17111.36	0.39
TRACT D SD/OS	25598.18	0.59
TRACT E FOR FUTURE DEVELOPMENT 52,072.45 SQ. FT. 1.20 ACRES	52072.45	1.20
TRACT F FOR FUTURE DEVELOPMENT	210457.66	4.83
TRACT G FOR FUTURE DEVELOPMENT	664204.70	15.25
TRACT H FOR FUTURE DEVELOPMENT	24149.03	0.55
VIRGIL DRIVE (60' PUBLIC ROAD)	130121.21	2.99

### SITE DATA

LOCATION: SE1/4 18-22-1W  
EXISTING ZONING: RESIDENTIAL - RECREATIONAL DISTRICT - ALLYN ZONING R-1R  
TOTAL AREA: 38.22 ACRES  
SOURCE OF WATER: LAKELAND VILLAGE WATER  
SANITARY SEWER: MASON COUNTY SEWER  
SOURCE OF POWER: MASON CO. PUD NO. 3  
TELEPHONE COMPANY: CENTURYLINK  
OWNER OF RECORD: ANDERSON & SONS, INC.  
PO BOX 108  
ALLYN, WA 98524

### SURVEYOR'S NOTES

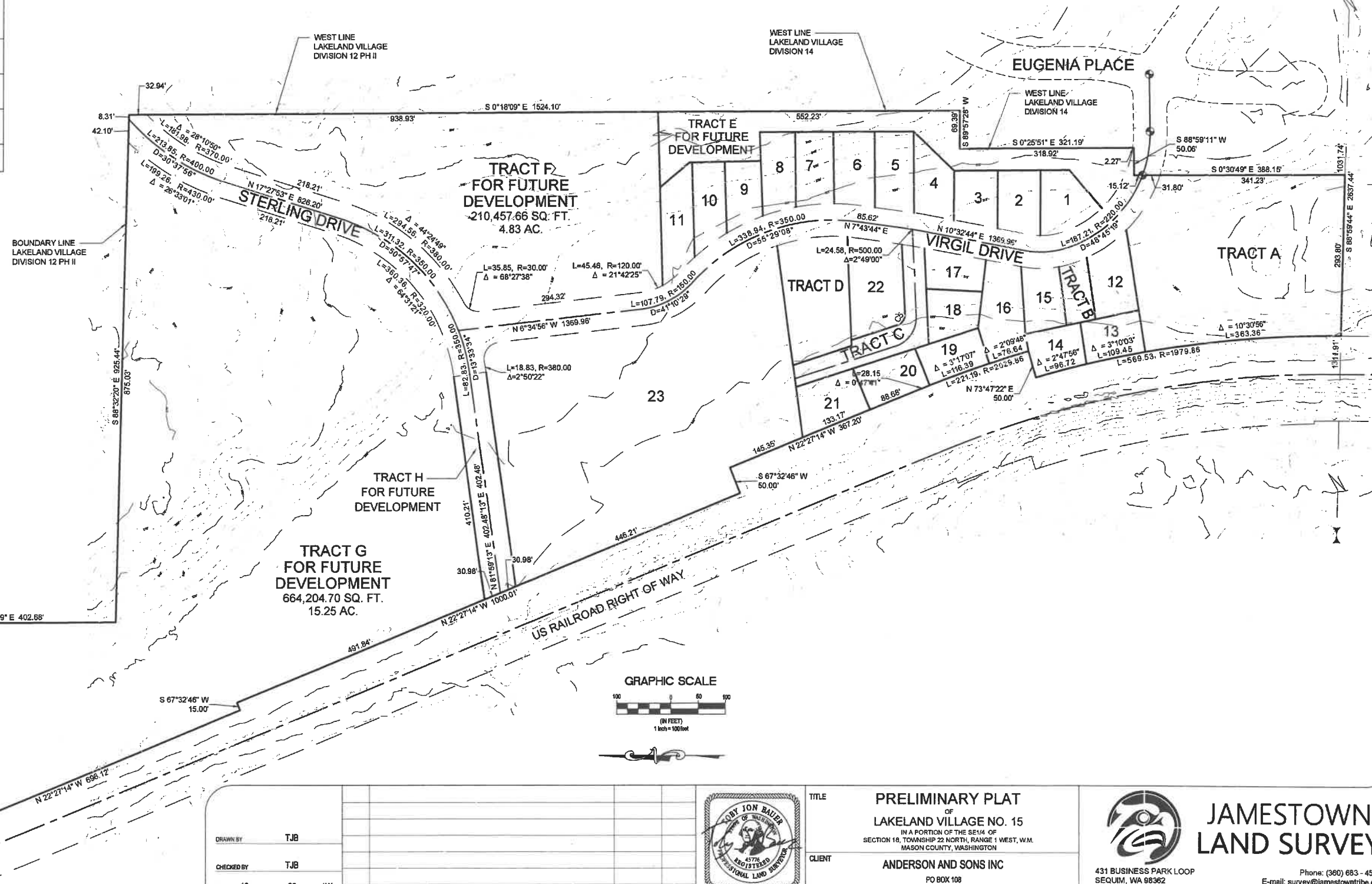
INTENDED USE OF MAP FOR CIVIL ENGINEERING DESIGN  
CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS COMBINED WITH LIDAR DATA.  
NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL  
BOUNDARY INFORMATION BASED ON AFNS 1978-0486637 AND 1996-1010484  
NO SUB-SURFACE UTILITIES LOCATED EXCEPT AS SHOWN  
SURVEY PERFORMED WITH A 3" TOTAL STATION AND/OR GNSS RECEIVER USING FIELD TRAVERSE, GNSS BASED RELATIVE STATIC AND/OR REAL TIME KINEMATIC SURVEY METHODS. SURVEY MEETS OR EXCEEDS ACCURACY REQUIREMENTS CONTAINED IN WAC 332.130.090

### SECTION SUBDIVISION

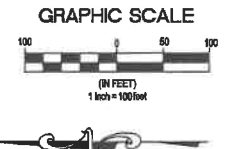
SEE SHEET 2 FOR SECTION SUBDIVISION

### LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M., DESCRIBED AS FOLLOWS:  
PARCEL 1 OF BLA #07-21 PER AFN 1902615 AND REVISED PER AFN 2078519 LYING EASTERLY OF THE RIGHT-OF-WAY FOR THE UNITED STATES NAVY RAILROAD, AS ESTABLISHED IN ORDER ENTERED IN DISTRICT COURT OF THE UNITED STATES FOR THE WESTERN DISTRICT OF WASHINGTON, CAUSE NO. 619, RECORDED JULY 24, 1948, AUDITOR'S FILE NO. 125887;  
SITUATE IN THE COUNTY OF MASON, STATE OF WASHINGTON.



REV.	DESCRIPTION	DATE	BY



TITLE: PRELIMINARY PLAT OF LAKELAND VILLAGE NO. 15  
CLIENT: ANDERSON AND SONS INC  
DATE: 6/27/2023

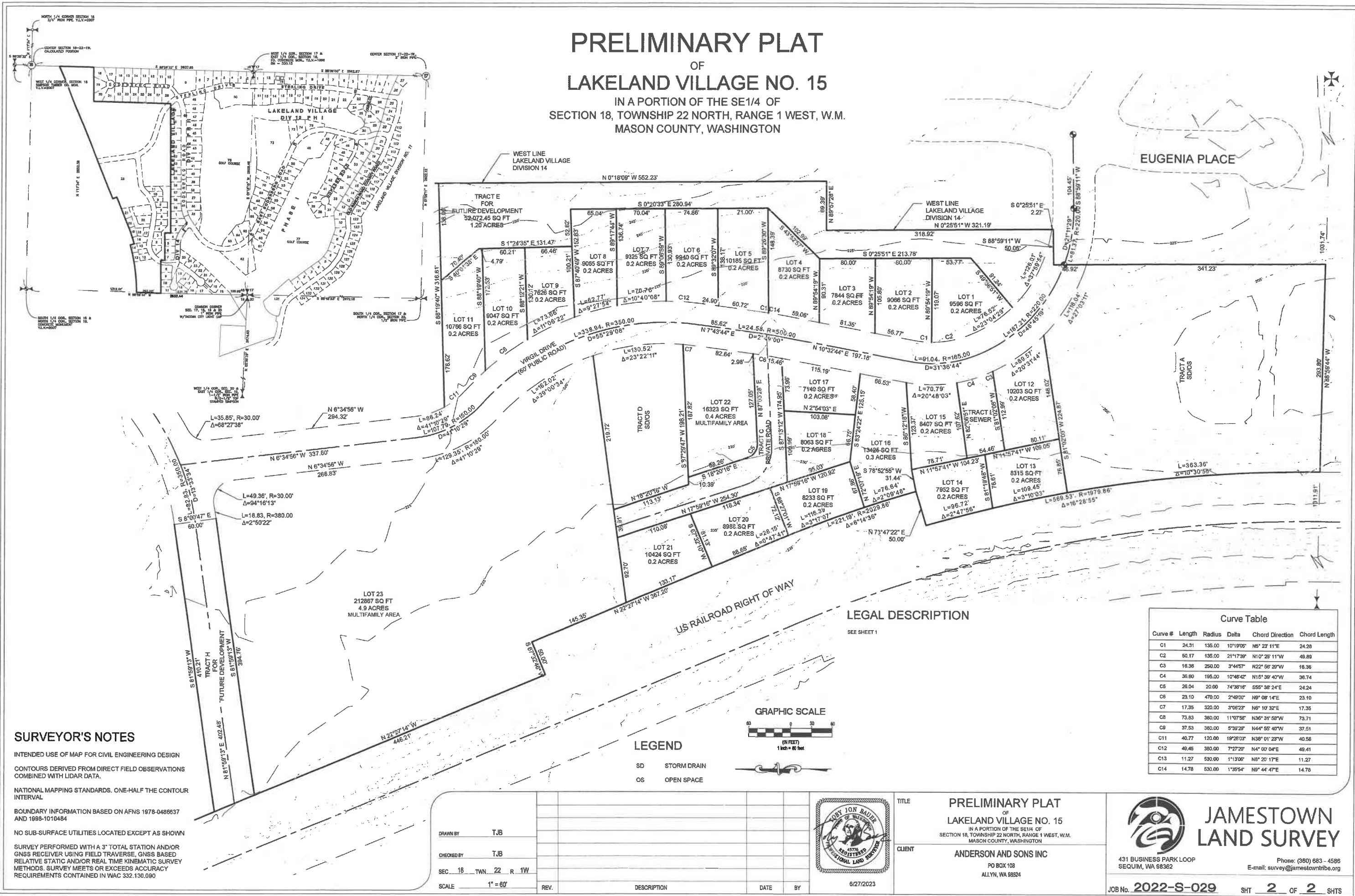
**JAMESTOWN LAND SURVEY**  
431 BUSINESS PARK LOOP  
SEQUIIM, WA 98362  
Phone: (360) 683-4586  
E-mail: survey@jamestowntribe.org

JOB No. 2022-S-029 SHT 1 OF 2 SHTS

File: G:\2022\2022-S-029-ESA - Lakeland Village 180Surveying\Output\Plat.dwg Layout: 2024-81-1 Date: 06/27/2023 09:12:33 Layout: name

# PRELIMINARY PLAT OF LAKELAND VILLAGE NO. 15

IN A PORTION OF THE SE1/4 OF  
SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M.  
MASON COUNTY, WASHINGTON



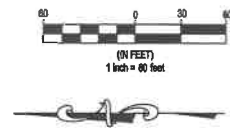
### SURVEYOR'S NOTES

INTENDED USE OF MAP FOR CIVIL ENGINEERING DESIGN  
 CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS  
 COMBINED WITH LIDAR DATA.  
 NATIONAL MAPPING STANDARDS. ONE-HALF THE CONTOUR  
 INTERVAL.  
 BOUNDARY INFORMATION BASED ON AFNS 1978-0486637  
 AND 1998-1010484  
 NO SUB-SURFACE UTILITIES LOCATED EXCEPT AS SHOWN  
 SURVEY PERFORMED WITH A 3" TOTAL STATION AND/OR  
 GNSS RECEIVER USING FIELD TRAVERSE, GNSS BASED  
 RELATIVE STATIC AND/OR REAL TIME KINEMATIC SURVEY  
 METHODS. SURVEY MEETS OR EXCEEDS ACCURACY  
 REQUIREMENTS CONTAINED IN WAC 332.130.090

### LEGAL DESCRIPTION

SEE SHEET 1

### GRAPHIC SCALE



### LEGEND

- SD STORM DRAIN
- OS OPEN SPACE

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	24.31	135.00	10°19'05"	N6°23'11"E	24.28
C2	50.17	135.00	21°17'39"	N10°28'11"W	49.89
C3	18.38	250.00	3°44'57"	N22°56'26"W	18.36
C4	36.80	195.00	10°48'42"	N15°38'40"W	36.74
C5	28.04	20.00	74°38'16"	S55°38'24"E	24.24
C6	23.10	470.00	2°49'00"	N9°08'14"E	23.10
C7	17.35	320.00	3°06'23"	N6°10'32"E	17.35
C8	73.83	380.00	11°07'56"	N36°31'58"W	73.71
C9	37.53	380.00	5°39'29"	N44°55'40"W	37.51
C11	40.77	120.00	19°28'03"	N38°01'23"W	40.58
C12	40.45	380.00	7°27'20"	N4°00'04"E	40.41
C13	11.27	530.00	1°13'06"	N8°20'17"E	11.27
C14	14.78	530.00	1°35'54"	N8°44'47"E	14.78

DRAWN BY	TJB	DATE	6/27/2023
CHECKED BY	TJB	DATE	
SEC	18	TWN	22
R	1W	DATE	
SCALE	1" = 60'	DATE	
REV.		DESCRIPTION	
		DATE	
		BY	

TITLE  
**PRELIMINARY PLAT  
 OF  
 LAKELAND VILLAGE NO. 15**  
 IN A PORTION OF THE SE1/4 OF  
 SECTION 18, TOWNSHIP 22 NORTH, RANGE 1 WEST, W.M.  
 MASON COUNTY, WASHINGTON

CLIENT  
**ANDERSON AND SONS INC**  
 PO BOX 108  
 ALLYN, WA 98524

**JAMESTOWN  
 LAND SURVEY**

431 BUSINESS PARK LOOP  
 SEQUIM, WA 98362

Phone: (360) 683 - 4586  
 E-mail: survey@jamestownlts.com

JOB No. **2022-S-029** SHT **2** OF **2** SHTS

File: G:\2022\022-S-029\B3A - Lakeland Village 15\Surveying\English\Plat.dwg Layout: 2024.dwg Date: 05-27-2023 12:31 Layout: 0bawr