

Industrial | For Lease

Julian Commerce Center

5120 S Julian Dr | Tucson, AZ 85739



JULIAN COMMERCE
CENTER

Renovations Currently Underway



CBRE

 **Schnitzer**
PROPERTIES

Under Construction

Property Overview

The Julian Commerce Center is a versatile property located at the I-10/Irvington Rd interchange offering excellent accessibility and visibility. The property features ample parking and potential for trailer parking, of which is in high demand within the Tucson market. Renovations are currently underway, and completion estimated for Summer 2026. Planned renovation to include HVAC warehouse, upgraded lighting, modern finishes, additional loading, etc.



Building Size	±139,855 SF
Lease Rate	\$0.85-\$0.90/SF/Month NNN
Bay Size	±30,833 SF – ±139,855 SF
Clear Height	16'



Year of Renovation	2026
Loading	(4) 12'x14' grade level doors (13) 9'x10' dock high doors
Power	4,000 Amps [(2) 2,000 Amp SES], 480v, 3-phase



Gas Provider	Southwest Gas
Construction	Concrete Tilt-Up
Zoning	CI-1, Light Industrial (Pima County)
Parking Ratio	6:1,000 SF



Close-Up Map



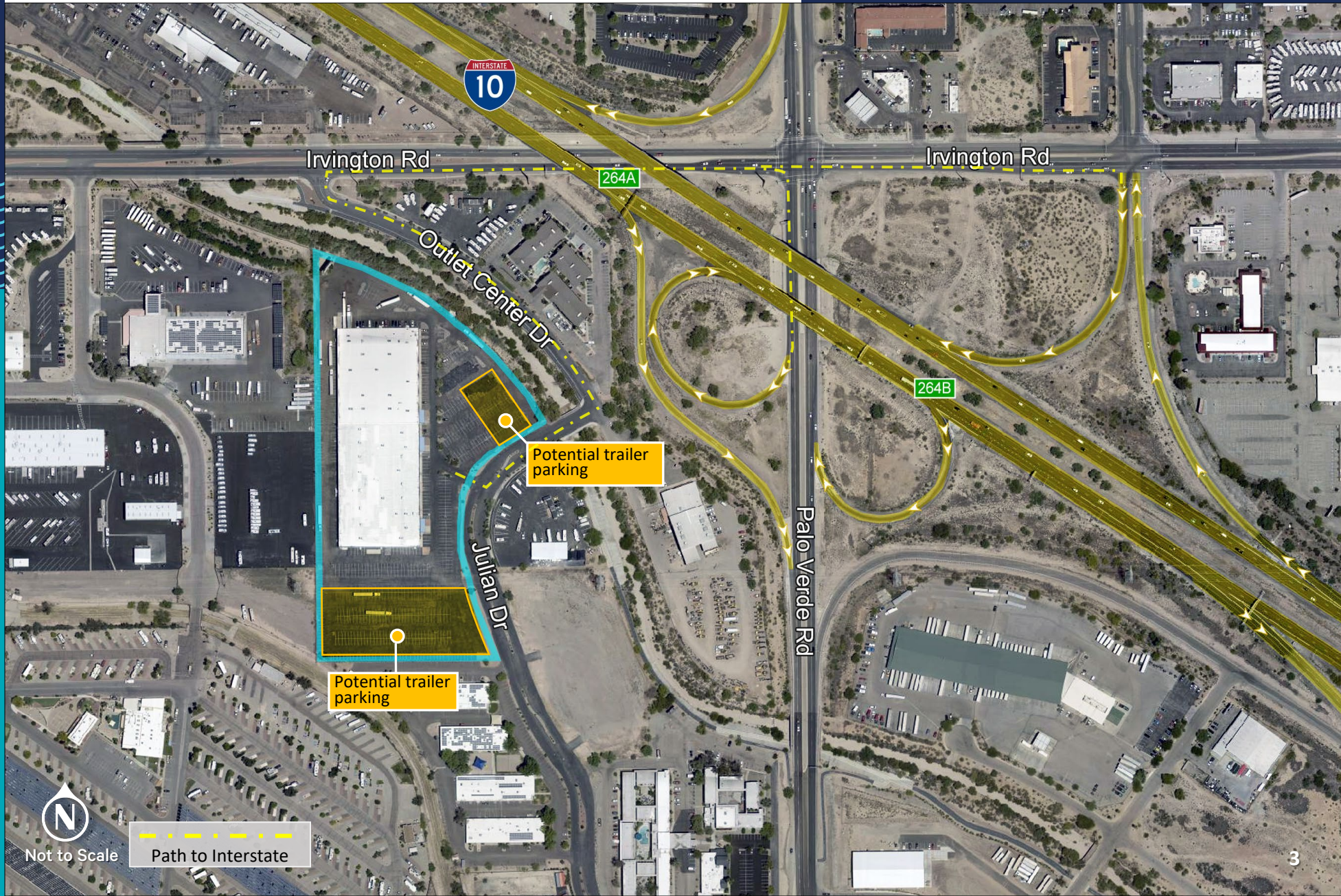
Highway

Less than half a mile to Interstate 10



Airport

4 miles from the Tucson International Airport



Not to Scale

Path to Interstate

Industrial Specifications

Suite	Total SF	Office SF	Warehouse SF	Power	Loading Doors	Monthly Lease Rate PSF	CAM PSF	Monthly Rent
110	30,833	2,210	28,623	480v, 3-Phase	4D / 1G	\$0.90	\$0.15	\$32,375
130	30,428	2,199	28,229	480v, 3-Phase	3D / 1G	\$0.90	\$0.15	\$31,949
110/130	61,261	4,409	56,852	480v, 3-Phase	7D / 1G	\$0.88	\$0.15	\$63,099
160	35,027	2,191	32,836	480v, 3-Phase	3D / 1G	\$0.90	\$0.15	\$36,778
190	43,567	2,211	41,356	480v, 3-Phase	3D / 1G	\$0.89	\$0.15	\$45,310
160/190	78,594	4,402	74,192	480v, 3-Phase	6D / 2G	\$0.87	\$0.15	\$80,166
110-190	139,855	8,811	131,044	480v, 3-Phase	13D / 4G	\$0.85	\$0.15	\$140,275

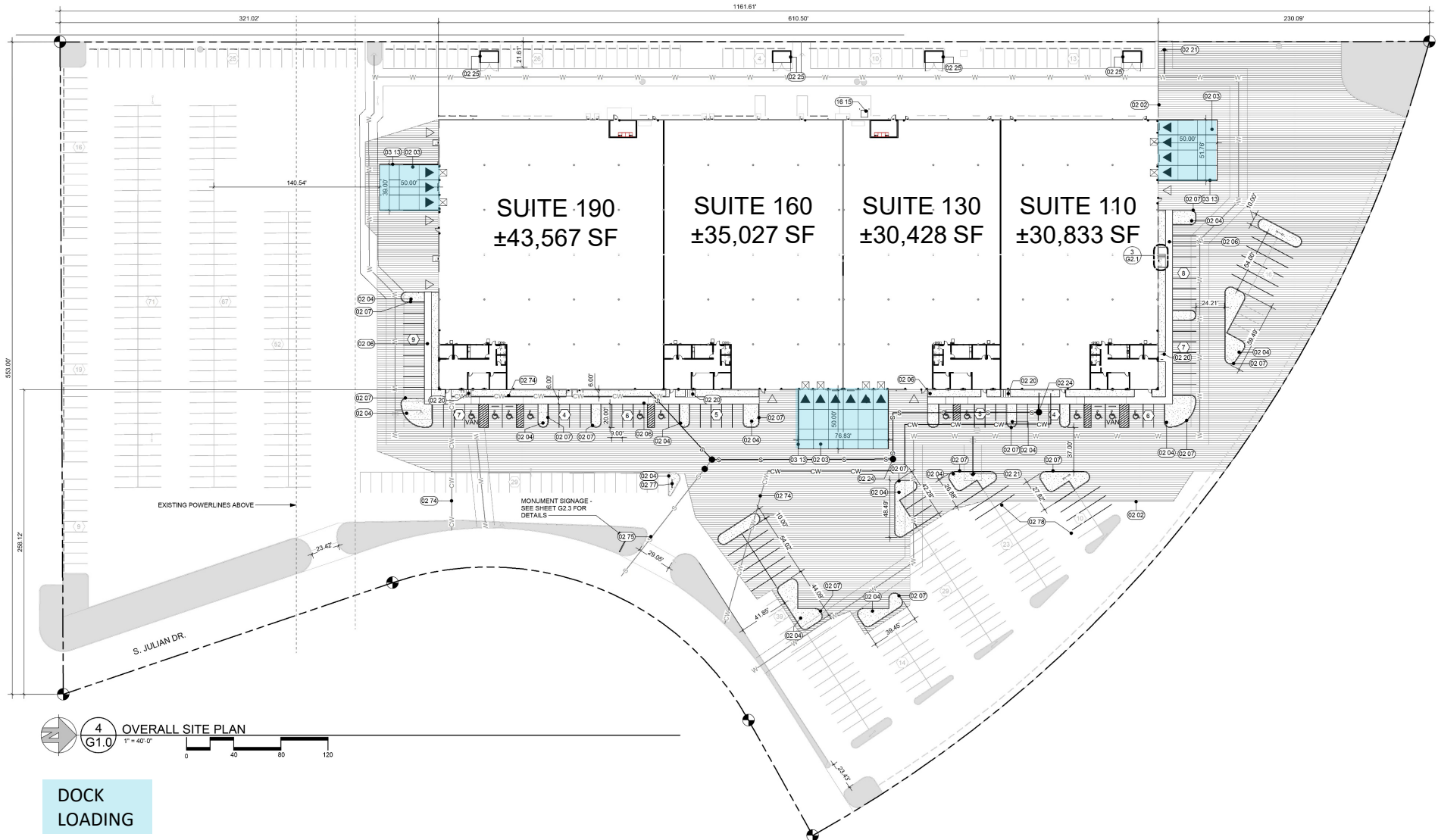


New Site Plan

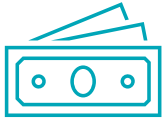
Total ±139,855 SF



**JULIAN COMMERCE
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SUITE 110



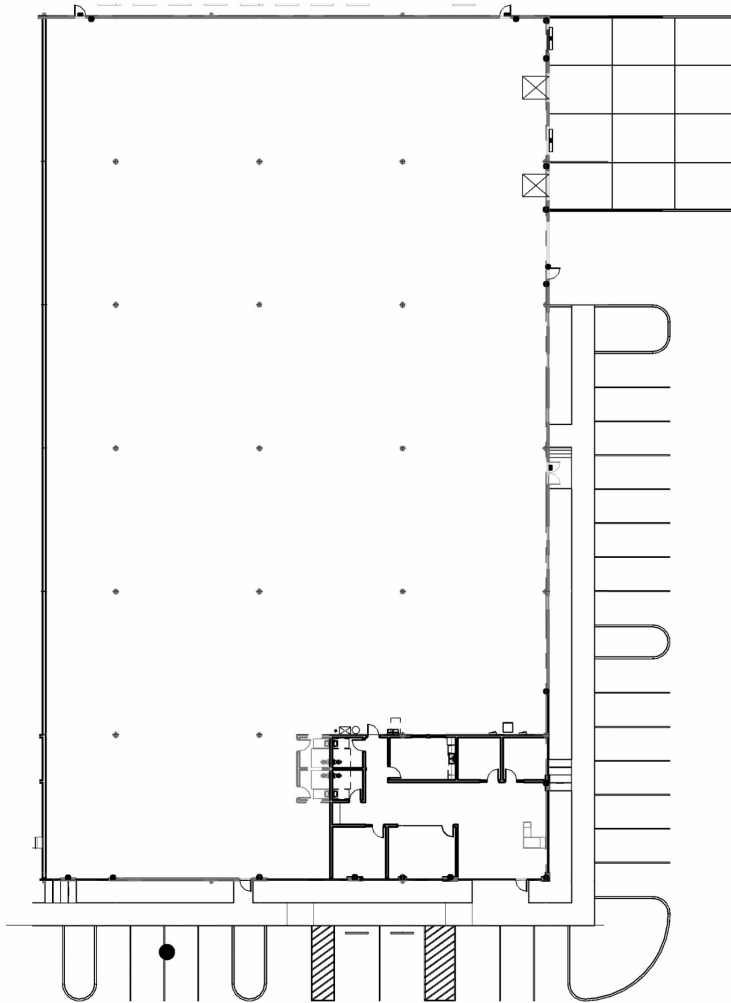
\$0.90 PSF
Monthly Lease
Rate



\$0.15 PSF
CAM Charges



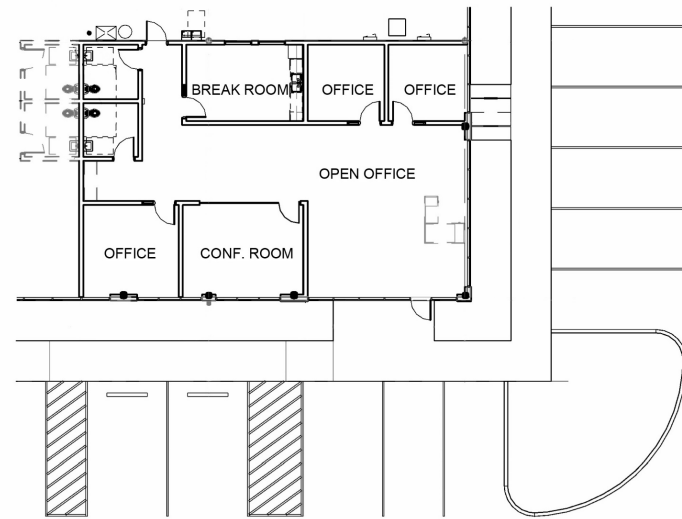
\$32,375
Monthly Rent



1
T110 SUITE 110
1/32" = 1'-0"

Suite	110
Total SF	±30,833
Office SF	±2,210
Warehouse SF	±28,623
Loading Doors	4 Dock, 1 Grade
Power	480v, 3-Phase

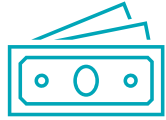
Drawings and plans are not to scale. Any measurements are approximate and are for illustrative purposes only. There is no guarantee, warranty or representation as to the accuracy or completeness of any plans or designs.



2
T110 SUITE 110 OFFICE
1/16" = 1'-0"



**JULIAN COMMERCE
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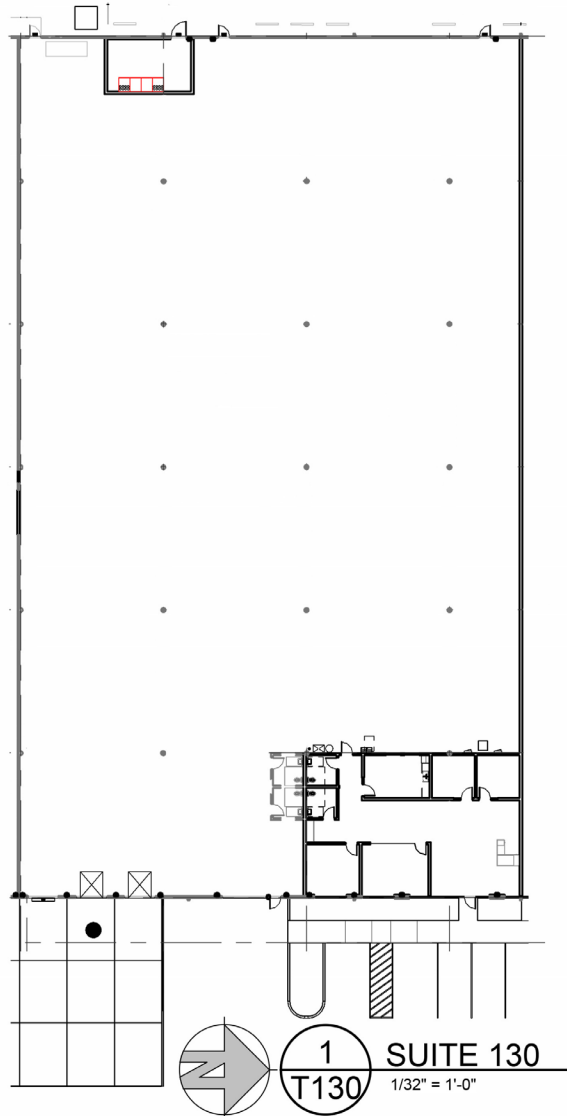
\$0.90 PSF
Monthly Lease Rate



\$0.15 PSF
CAM Charges

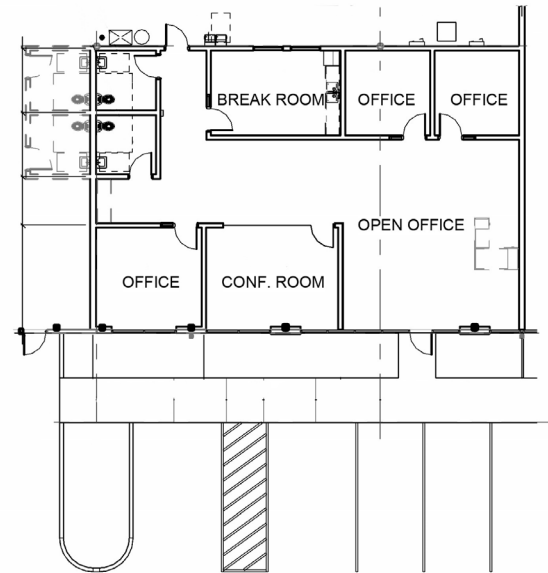


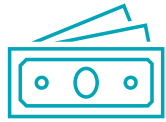
\$31,949
Monthly Rent



Suite	130
Total SF	±28,229
Office SF	±2,199
Warehouse SF	±28,229
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

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\$0.88 PSF
Monthly Lease
Rate

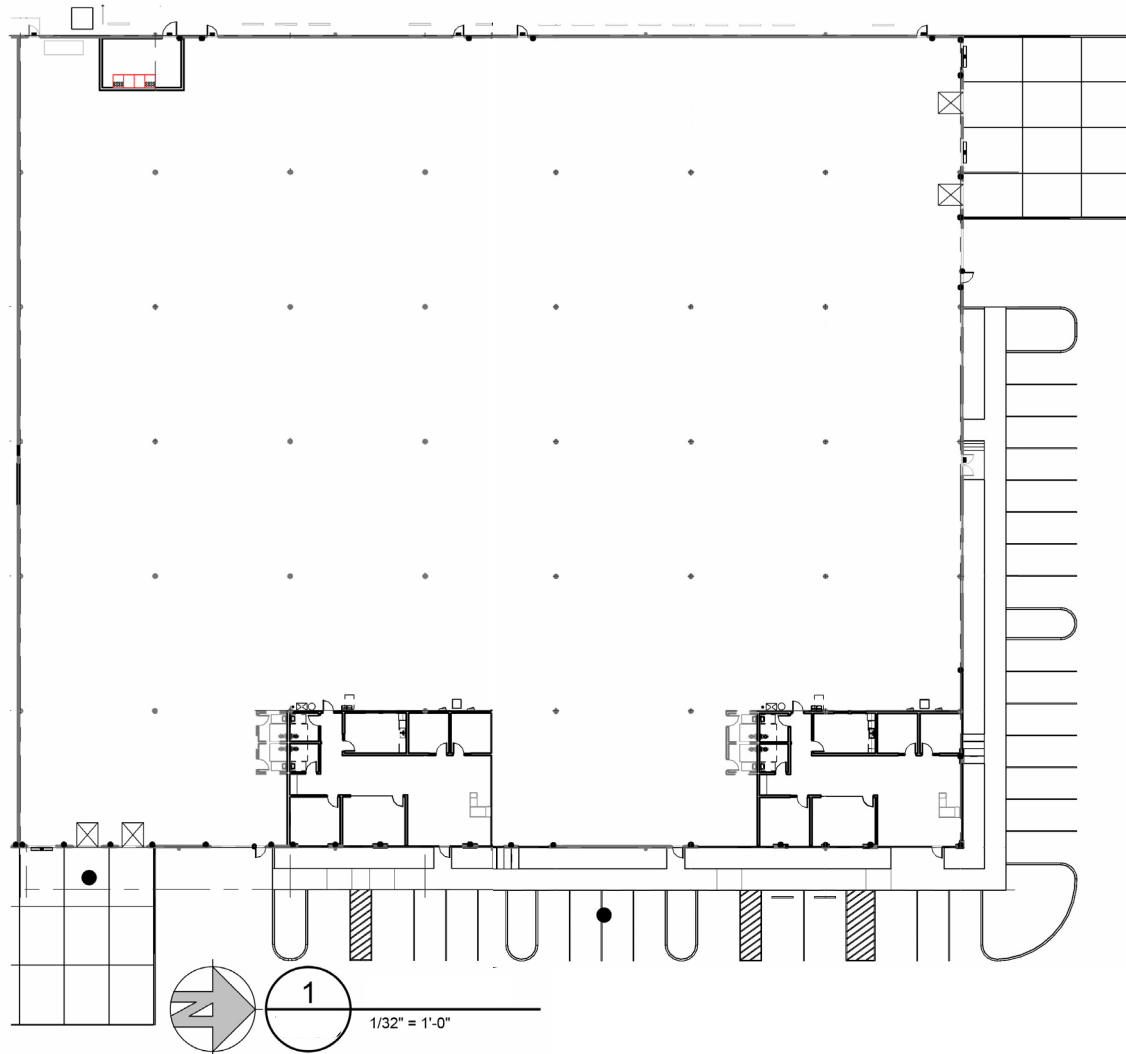


\$0.15 PSF
CAM Charges

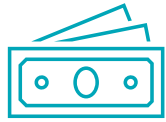


\$63,099
Monthly Rent

Suites	110/130
Total SF	±61,261
Office SF	±4,409
Warehouse SF	±56,852
Loading Doors	7 Dock, 1 Grade
Power	480v, 3-Phase



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\$0.90 PSF
Monthly Lease
Rate



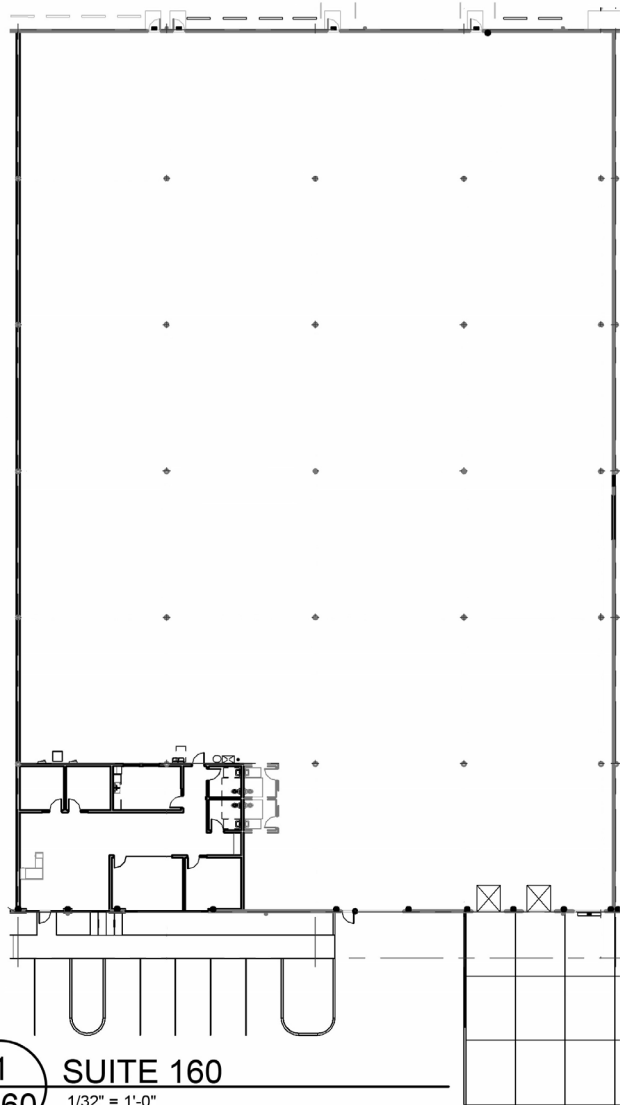
\$0.15 PSF
CAM Charges



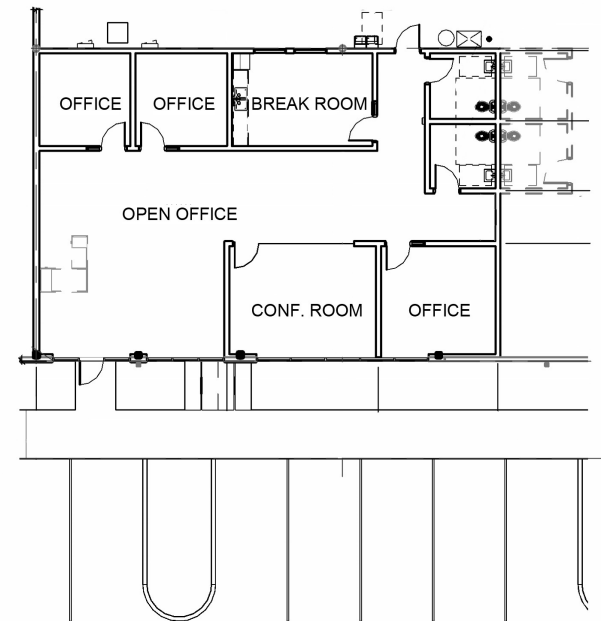
\$36,778
Monthly Rent

Suite	160
Total SF	±35,027
Office SF	±2,191
Warehouse SF	±32,836
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

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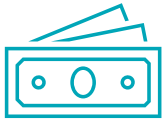
1 SUITE 160
T160 1/32" = 1'-0"



2 SUITE 160 OFFICE
T160 1/16" = 1'-0"



SUITE 190



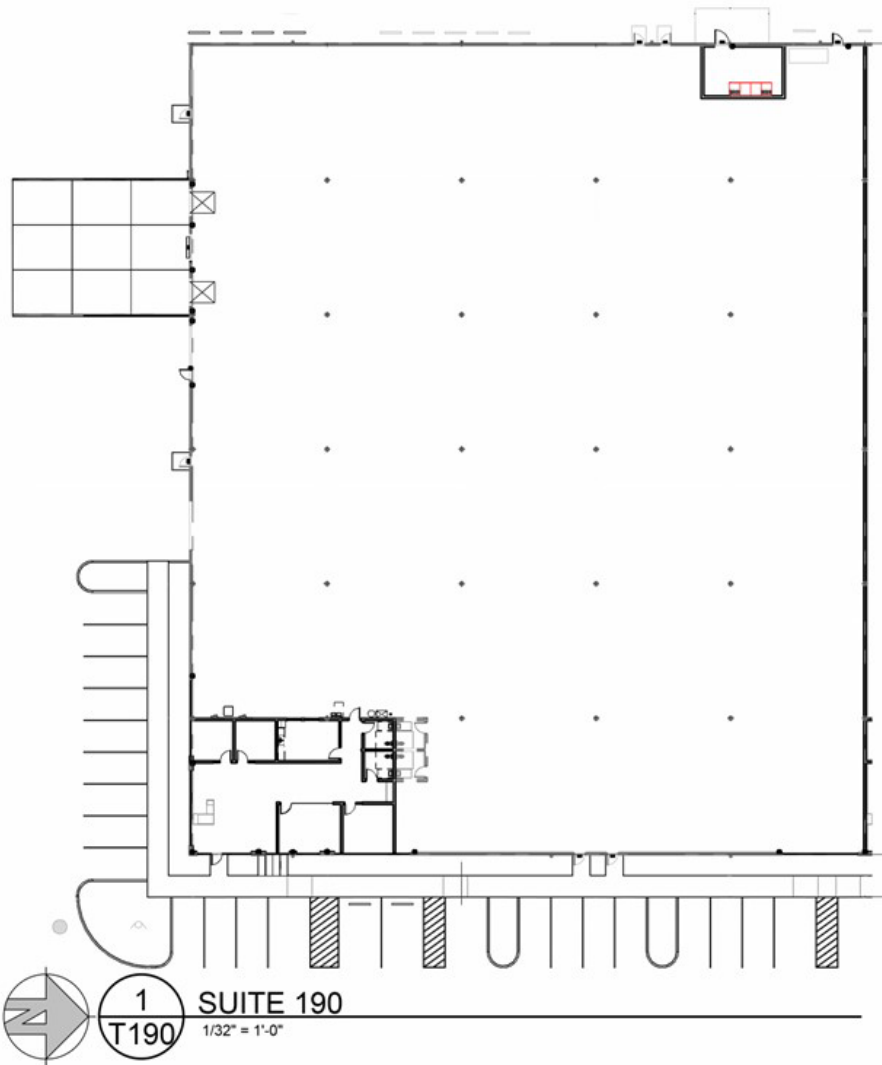
\$0.89 PSF
Monthly Lease
Rate



\$0.15 PSF
CAM Charges

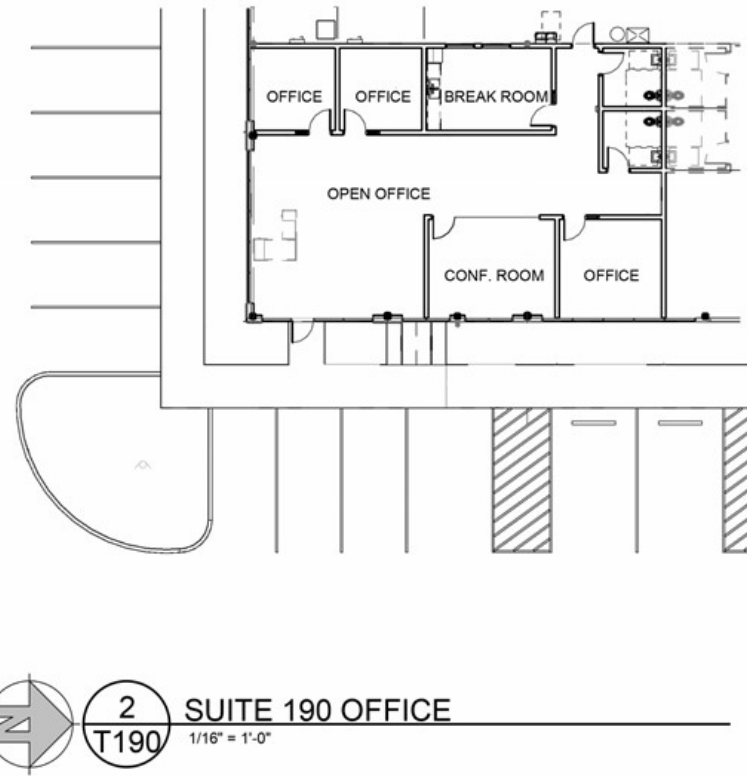


\$45,310
Monthly Rent

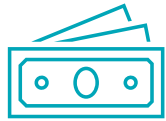


Suite	190
Total SF	±43,567
Office SF	±2,211
Warehouse SF	±41,356
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

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\$0.87 PSF
Monthly Lease
Rate



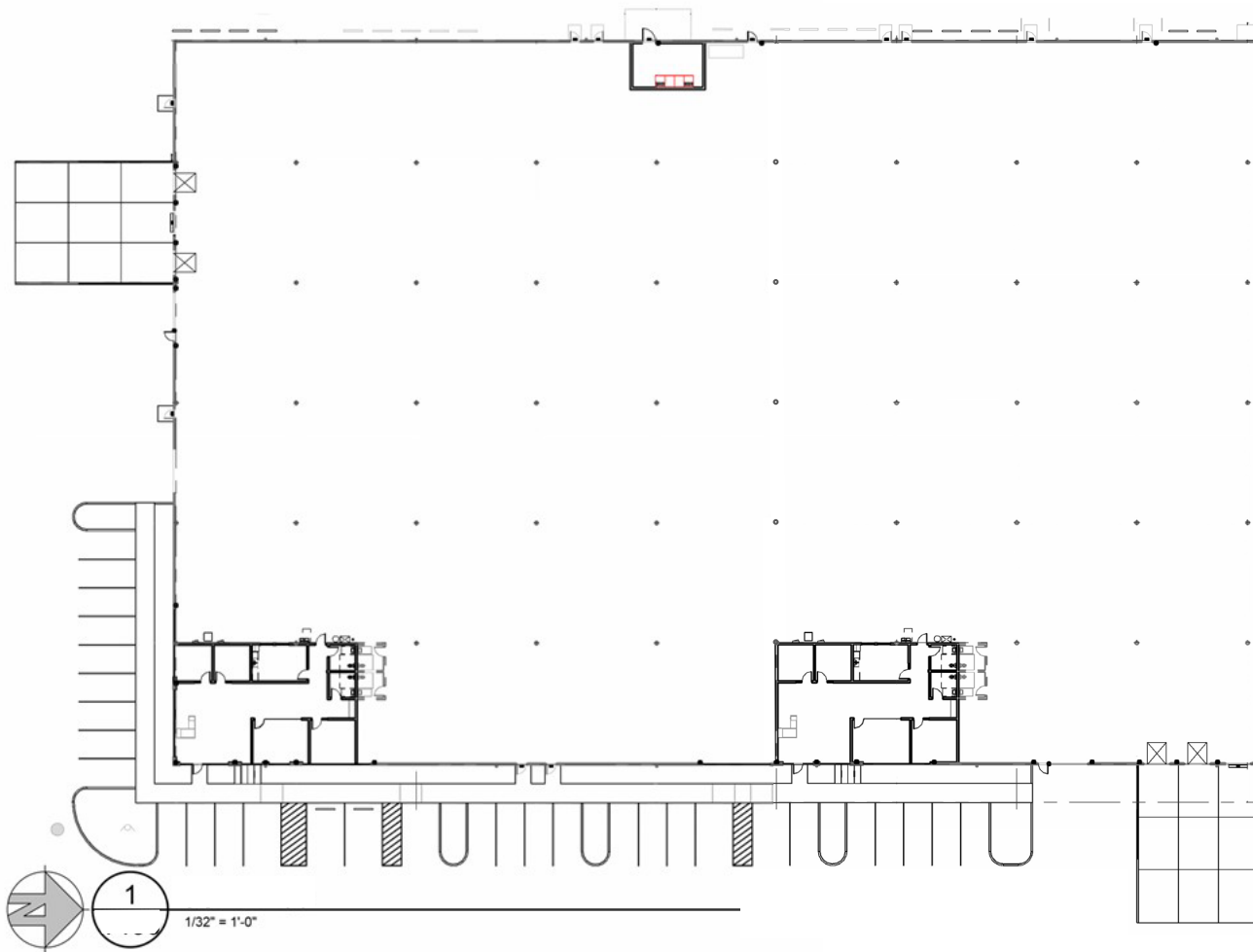
\$0.15 PSF
CAM Charges



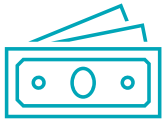
\$80,166
Monthly Rent

Suites	160/190
Total SF	±78,594
Office SF	±4,402
Warehouse SF	±74,192
Loading Doors	6 Dock, 2 Grade
Power	480v, 3-Phase

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SUITES 110-190



\$0.85 PSF
Monthly Lease
Rate



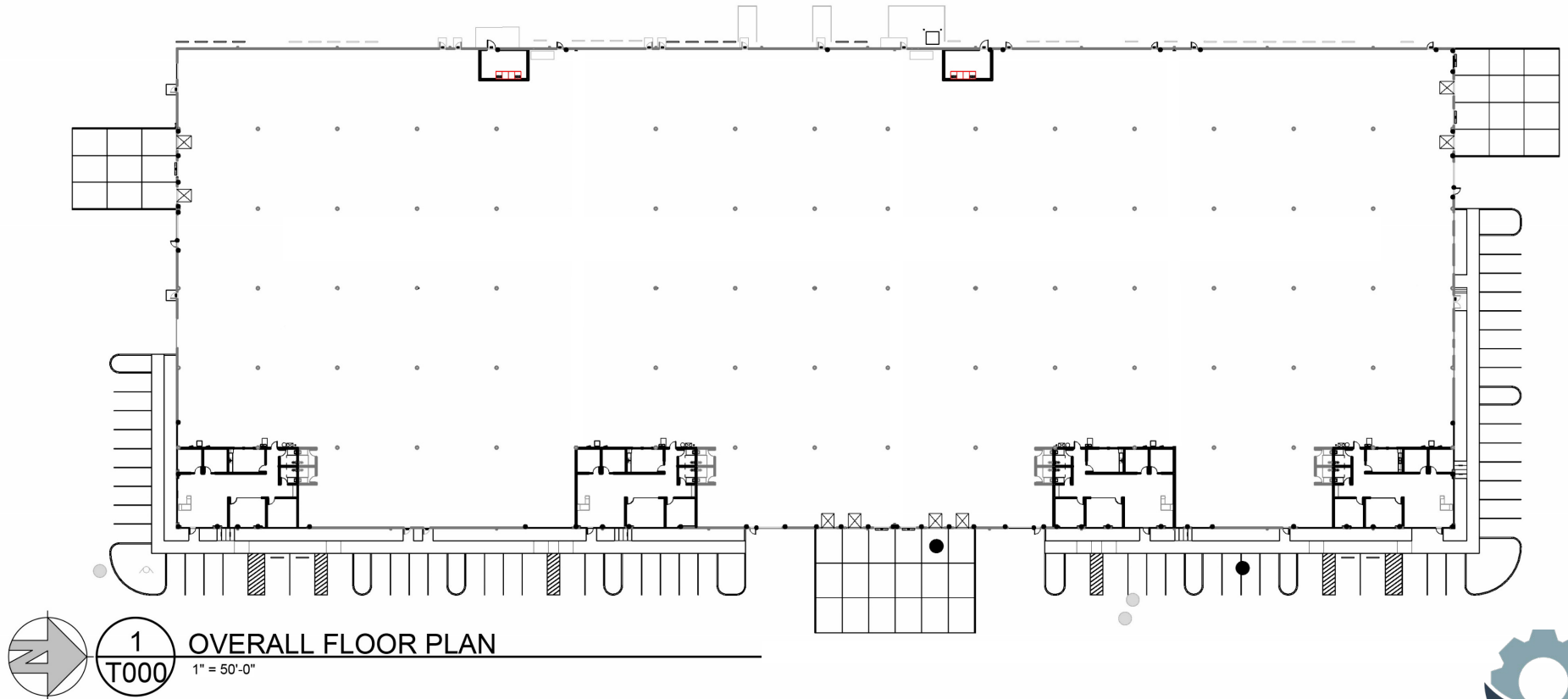
\$0.15 PSF
CAM Charges



\$140,275
Monthly Rent

Suites	110-190
Total SF	±139,855
Office SF	±8,811
Warehouse SF	±131,044
Loading Doors	13 Dock, 4 Grade
Power	480v, 3-Phase

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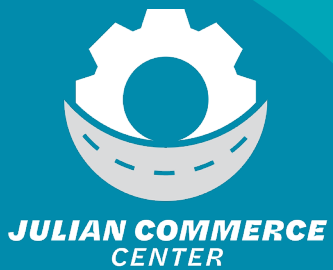


Trade Area

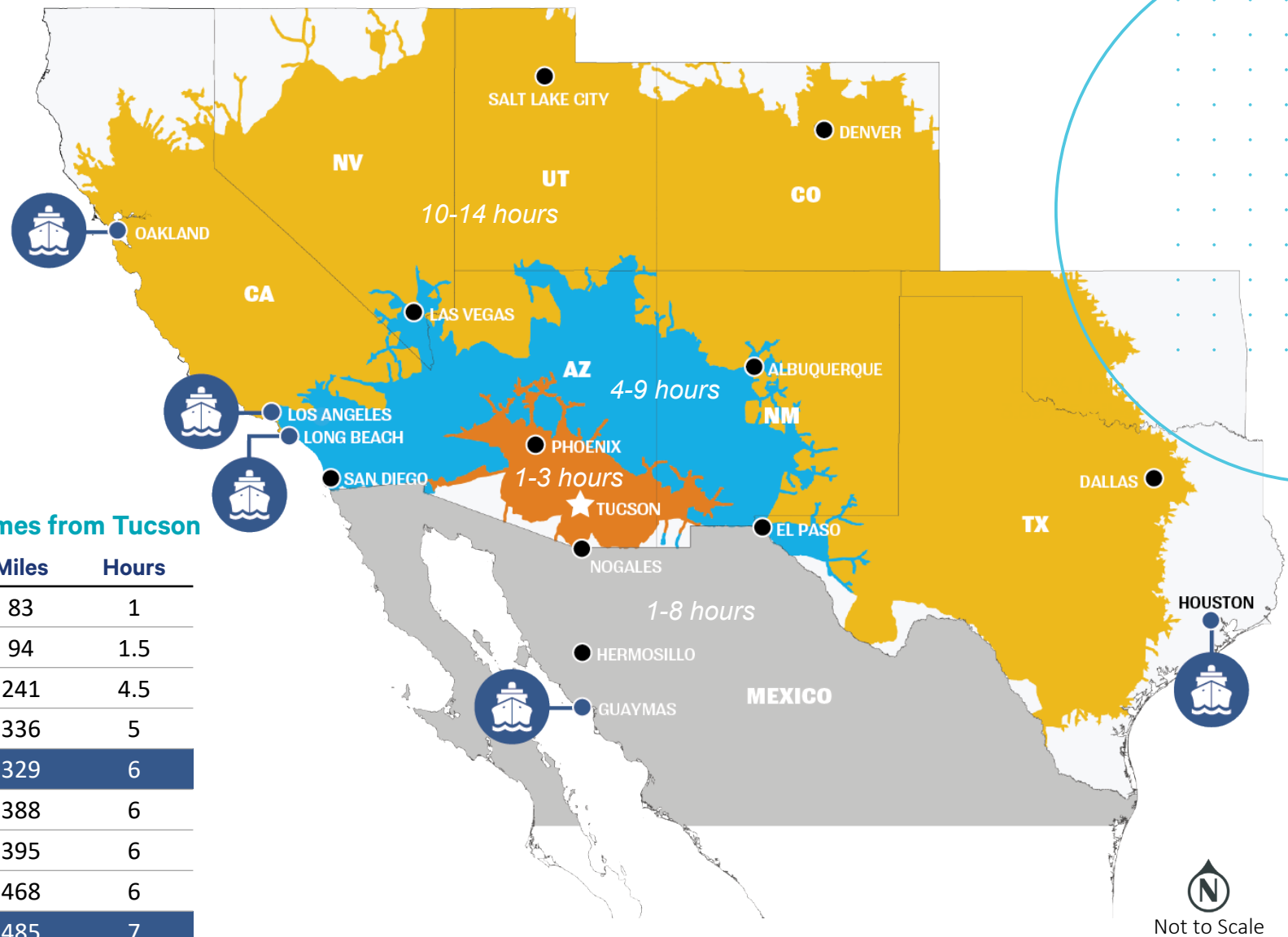


Area Demographics

	1 MILE	3 MILES	5 MILES
2024 Estimates			
Population	9,107	69,482	203,857
Households	3,137	24,432	77,709
Avg. Household Income	\$62,511	\$71,366	\$75,524
Daytime Population	5,582	45,078	126,168



Regional Drive Times



Highway Drive Times from Tucson

Location	Miles	Hours
Nogales	83	1
Phoenix	94	1.5
Hermosillo	241	4.5
El Paso	336	5
Guaymas	329	6
San Diego	388	6
Las Vegas	395	6
Albuquerque	468	6
Los Angeles	485	7
Long Beach	495	7
Salt Lake City	757	11
Oakland	838	13
Dallas	971	13
Houston	1,082	15

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