GENERAL STRUCTURAL NOTES

GENERAL

1. All work shall be in conformance with the Uniform Building Code, 1979 Edition and any applicable local ordinances.
2. The Contractor shall notify the Engineer of any discrepancies on drawings requiring clarification or revision before commencing with the work.
3. Drawings shall not be scaled. All dimensions related to existing conditions shall be verified by the Contractor. Details not specifically shown shall be of same nature as other similar conditions.

FOUNDATIONS

1. All foundations shall bear on firm, undisturbed, native soils or engineered fills at or exceeding depths shown on the drawings.
2. All footing excavations shall be neat. Over excavations in depth and width shall be filled with concrete. All loose soils shall be removed from excavations prior to placement of concrete.

CONCRETE

1. Concrete shall meet the following minimum compressive strengths at 28 days.
   SLAB ON GRADE. . . . . .2000 psi
   FOUNDATIONS. . . . . .2000 psi
2. Minimum reinforcing steel cover requirements:
   a. Cast against and exposed to earth. . . . 3"
   b. Formed and exposed to earth or weather . . 2"
   c. Not exposed to earth or weather:
      Slabs, Walls, Joists. . . . . 3/4"
      Beams, Columns. . . . . 1 1/2"
3. Reinforcing steel shall conform to ASTM A-615, grade 60 for #6 bars and larger and grade 40 for #5 bars and smaller. Steel shall be kept clean and free of rust scales.
4. Welded wire fabric shall conform with ASTM A-185, and shall be lapped 9" minimum at splices.
5. Reinforcing bars shall be in as long lengths as practicable. All reinforcing steel shall be "Cold Bent." All reinforcing bars shall extend as far as possible and end in a standard hook unless detailed otherwise. At corners and intersections bars shall return a minimum of 18".
6. Reinforcing, anchor bolts and inserts shall be rigidly held in place prior to placing concrete.

CARPENTRY

1. All joists, studs, plates, blocking, beams, posts and ledgers shall be Douglas Fir No. 2, unless otherwise noted. Beams and posts 6x and larger shall be Douglas Fir No. 1.
2. Wood in contact with concrete shall be pressure treated Douglas Fir or Foundation Grade Redwood conforming to AWPI LP2 Standard.
3. Nails shall be common wire or galvanized box. Nails used in exterior applications shall be galvinized. Pre-drill nail holes where wood tends to split.
4. Joist hangers, metal connectors and other miscellaneous timber connectors shall be per Simpson Co., San Leandro, California or equal. Fill all pre-drilled holes, per manufacturers instructions, unless otherwise noted.
5. Machine bolts and anchor bolts shall conform to ASTM A-307. Provide plate or malleable iron washers under head and nut where bearing is against wood. Bolt holes in wood shall be 1/16" larger than bolt sizes, unless otherwise noted. Nuts shall be tightened when placed and retightened before closing in.
6. Structural plywood shall be CD grade with exterior glue conforming to PS-1-74 of the American Plywood Association.
7. All nailing not specifically called out on plans shall be per table 25-Q of the Uniform Building Code.
8. All double plates shall be lapped a minimum of 4'-0" at splices with 16d @ 16 o.c. and 2-16d each end unless noted.
9. GluLams and MiniLams shall be manufactured to the minimum stresses and camber as shown on the drawings and shall be industrial appearance grade with exterior glue unless noted.
10. Prefabricated roof trusses:
    Manufacturer shall submit shop drawings and calculations prepared and signed by a licensed Civil Engineer in the State of California. Contractor shall review and approve dimensions and details shown on shop drawings. Submit shop drawings and calculations to Building Official prior to erection.

MASONRY

1. Concrete block shall be Grade N (f'm=1500 psi) conforming with ASTM specification C90. Half stresses used in design, therefore no special inspection required.
2. All cells shall be fully grouted. Grout shall be 2000 psi at 28 days.
3. Mortar shall be Type S conforming to UBC standard 24-20.
4. All horizontal steel to be placed in bond beam block.
5. All reinforcing bars shall be securly tied at each end, top and bottom of each pour and at a maximum of 192 bar diameters. O.C.
6. Grout may be placed in 4'-0" lifts without clean outs. 8'-0" lifts require clean outs at the bottom of all cells. Grout for each pour shall be stopped 1 1/2" below the top of the last course of block. Grout shall not be stopped at a bond beam course. All grout to be throughly consolidated by vibrating immediately after placing.
7. Provide one #4 reinforcing bar each side at each opening. Extend bar 24 inches beyond the corner of the opening. These bars are in addition to other typical reinforcement shown on the plans.
8. See concrete section for general notes or reinforcing steel.

STEEL

1. All work shall be in conformance with the AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, 8th Edition.
2. Steel plates and shapes shall conform to ASTM A36.
3. All structural welding shall have special inspection per Section 306 of the Uniform Building Code.
4. All steel exposed to wet conditions shall be galvanized.
5. Steel tubes shall conform to ASTM A500, Grade B.
6. Steel pipes shall conform to ASTM A501 or ASTM A53, Grade B.

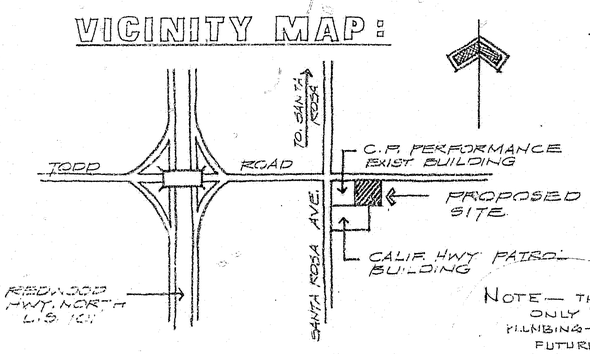
WAREHOUSE SHOWROOM

240 EAST TODD ROAD SANTA ROSA, CA. SONOMA COUNTY

The approval of these plans is subject to complete compliance with code requirements, special inspections when required and field inspection.
Please read all pertinent sections of applicable codes.

CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED PLANS. REQUESTS FOR CHANGES SHALL BE MADE IN WRITING TO THE BUILDING INSPECTION DEPARTMENT. CHANGES MADE WITHOUT PRIOR APPROVAL SHALL BE SUBJECT TO REJECTION OF THE WORK.

VICINITY MAP:



OWNER:

GENERAL CONTRACTOR

MR. WERNER NASE / ROHNERT PARK, CA.
5335 LABATH AVENUE 94928
PH. NO. (707) 584-8770

APPROVAL BY SONOMA COUNTY BUILDING INSPECTION IS BASED ON AND LIMITED TO THE FOLLOWING:

1. BUILDING TYPE VN-SPRINKLERED
2. OCCUPANCY GROUP B2
3. USE OF STRUCTURE OFFICE / WAREHOUSE
4. CONTINUOUS INSPECTION PER UBC IS REQUIRED FOR THE FOLLOWING: N/A

All Grading Shall Comply with Soil Report Requirements

Approved Job Copy Of Plans and Job Cards To be on Job Site.

★ APPROVED ★
FT 6-15-87
Sonoma County Building Inspector

CONSULTANTS:

NOTE— THIS PLAN FOR SHELL ONLY PERMIT
PLUMBING- R/H IN FLOOR FOR FUTURE R/R (SEE SHT 4)
ELECTRICAL- SERVICE TO BUILDING ONLY (SEE SHT 4)
MECHANICAL- SERVICE TO BUILDING ONLY (SEE SHT 4)
NO HEATING OR COOLING IN BLDG.

DESIGNER BUILDING / SITE
JOHN G. ROBERTS
ROHNERT PARK, CA
(707) 584-8770

ENGINEER CIVIL
HUDIS AND ASSOCIATES
SANTA ROSA, CA.
(707) 542-8795

ENGINEER STRUCTURAL
M.K.M ASSOCIATES
SANTA ROSA, CA.
(707) 578-8185

LANDSCAPING
EMPIRE LANDSCAPING
PETALUMA, CA.
(707) 763-4040

TITLE 24
MORTON TECH. INC.
SANTA ROSA, CA
(707) 527-8500

Contractor with copy of Sim. & Soil Reports (separate volume) to comply with Fire Marshal Reports
K.E.
4/16/87

Vincent A. Saunders
Licensed Architect
C 12612

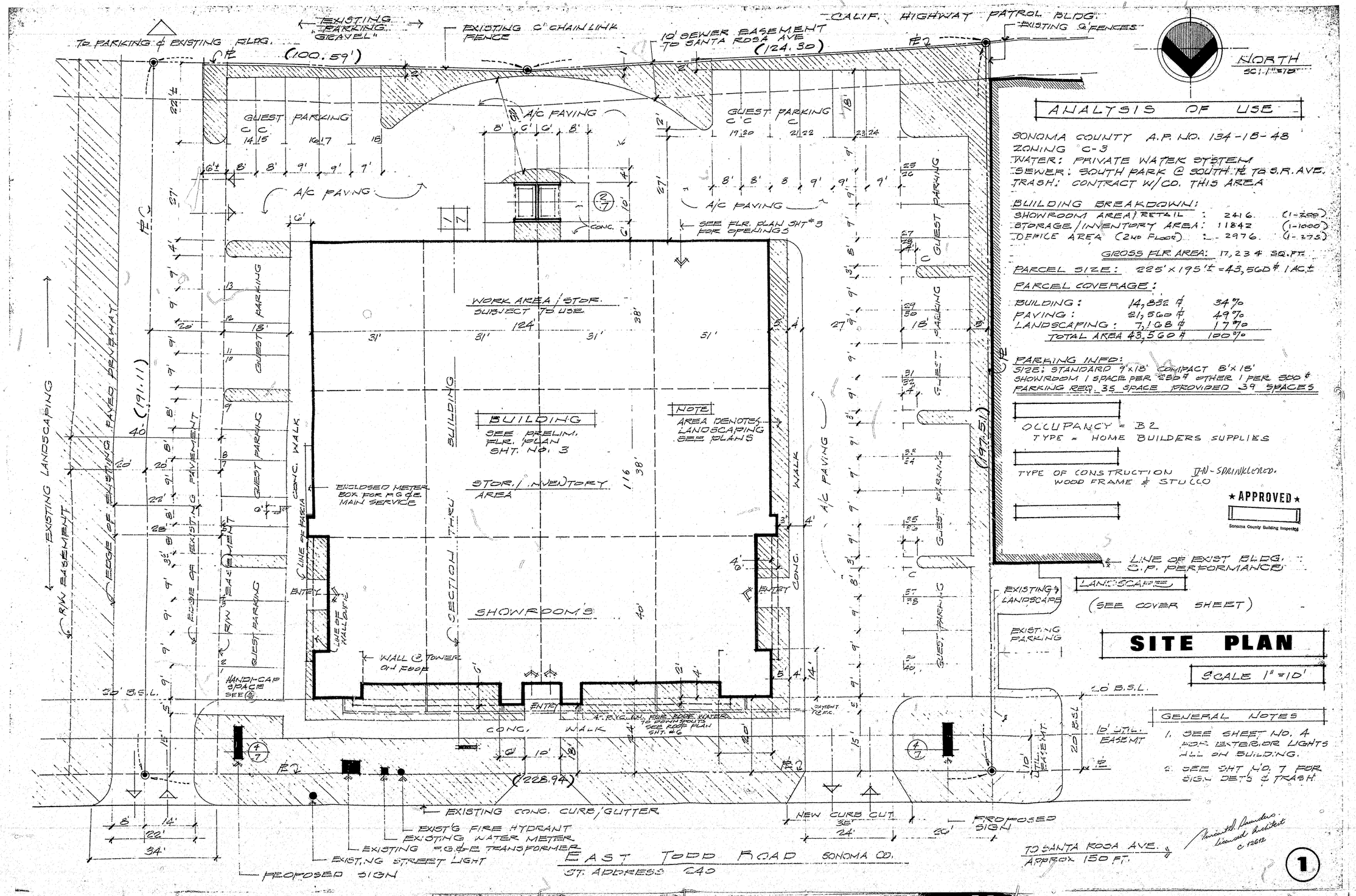
DRAWING INDEX:

1 -- SITE PLAN / ANALYSIS OF USE
2 -- EXTERIOR ELEVATIONS
3 -- FOUNDATION PLAN / DETAILS
4 -- FLOOR PLAN / SCHEDULES (SEE SHT 11 ALSO)
5 -- ROOF FRAM'G / DETAILS
6 -- ROOF PLAN / DETAILS
7 -- SECTION / TRASH / SIGN
8 -- DETAILS, FRAMING
9 -- PLUMBING & MECHANICAL & ELECTRICAL (SEE NOTE THIS PAGE)
10 -- GRADING PLAN
11 -- FIRST AND SECOND FLOOR PLANS
L-1 -- LANDSCAPE DETAILS
L-2 -- IRRIGATION DETAILS
FP1 SPRINKLER PLAN
FP2 SPRINKLER DETAILS

JGR. 1985

"COVER SHEET"

24X



ANALYSIS OF USE

SONOMA COUNTY A.P. NO. 134-18-48
ZONING C-3
WATER: PRIVATE WATER SYSTEM
SEWER: SOUTH PARK @ SOUTH ℄ TO S.R. AVE.
TRASH: CONTRACT W/CO. THIS AREA

BUILDING BREAKDOWN:

SHOWROOM AREA) RETAIL :	2416.	(1-250)
STORAGE / INVENTORY AREA:	11842	(1-1000)
OFFICE AREA (2ND FLOOR) :	2976.	(1-275)

GROSS FLR. AREA: 17,234 SQ. FT.

PARCEL SIZE: 225' x 195' ± = 43,560 # 1 AC. ±

PARCEL COVERAGE:

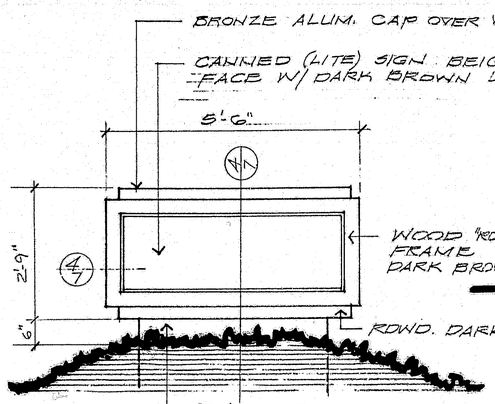
BUILDING:	14,832 #	34 %
PAVING:	21,560 #	49 %
LANDSCAPING:	7,168 #	17 %
TOTAL AREA	43,560 #	100 %

PARKING INFO:
SIZE: STANDARD 9' x 18' COMPACT 8' x 15'
SHOWROOM 1 SPACE PER 250 # OTHER 1 PER 500 #
PARKING REQ. 35 SPACE PROVIDED 39 SPACES

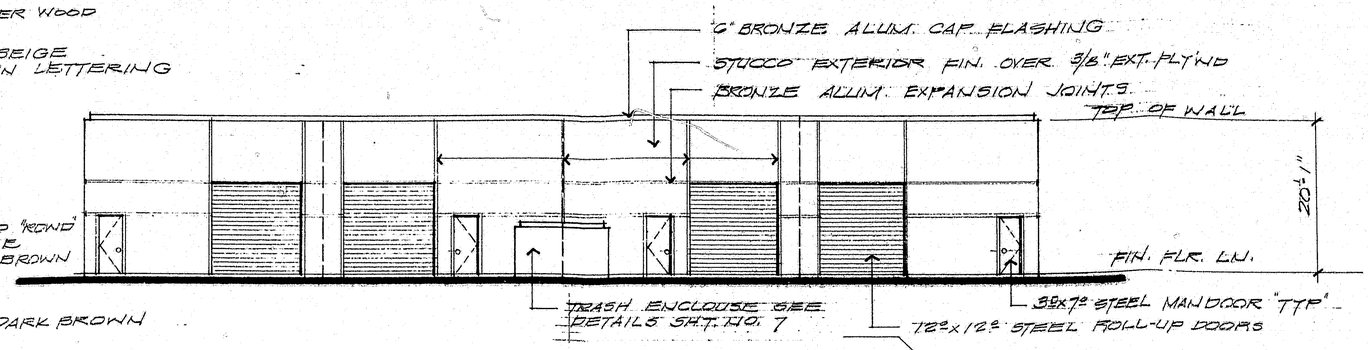
OCCUPANCY = B2
TYPE = HOME BUILDERS SUPPLIES

TYPE OF CONSTRUCTION IV-N - SPRINKLERED.
WOOD FRAME & STUCCO

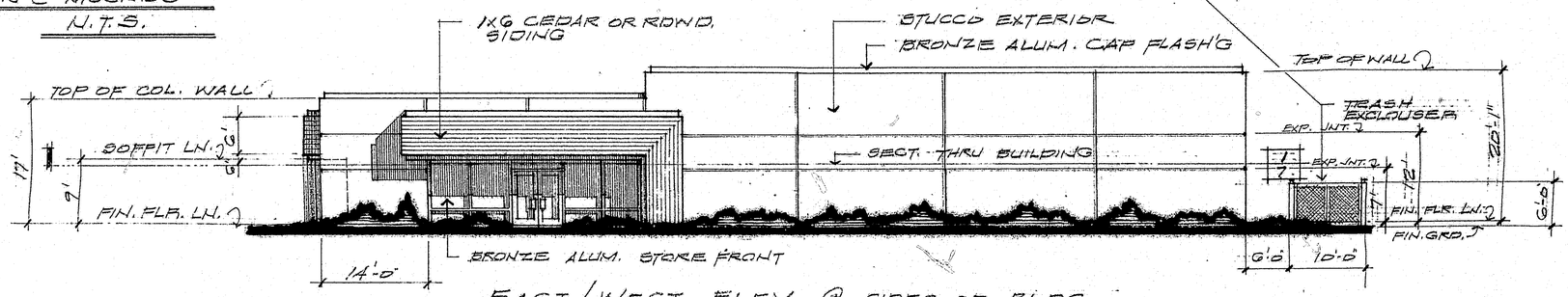
24X



1/2 TYP. SIGN @ MOUNDS
N.T.S.

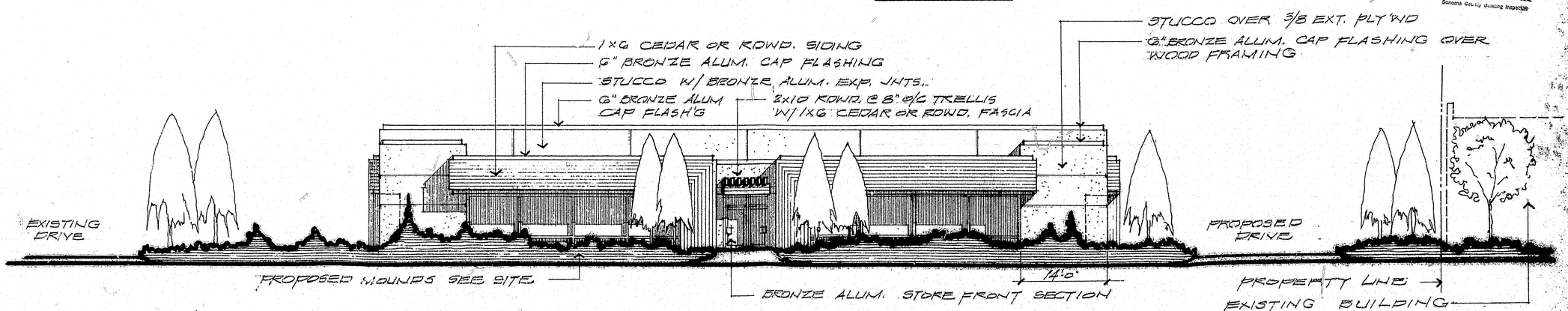


SOUTH ELEV. @ REAR OF BUILDING
SCALE 1/8"=1'-0"



EAST/WEST ELEV. @ SIDES OF BLDG.
SCALE 1/8"=1'-0"

★APPROVED★
Sonoma County Building Inspection



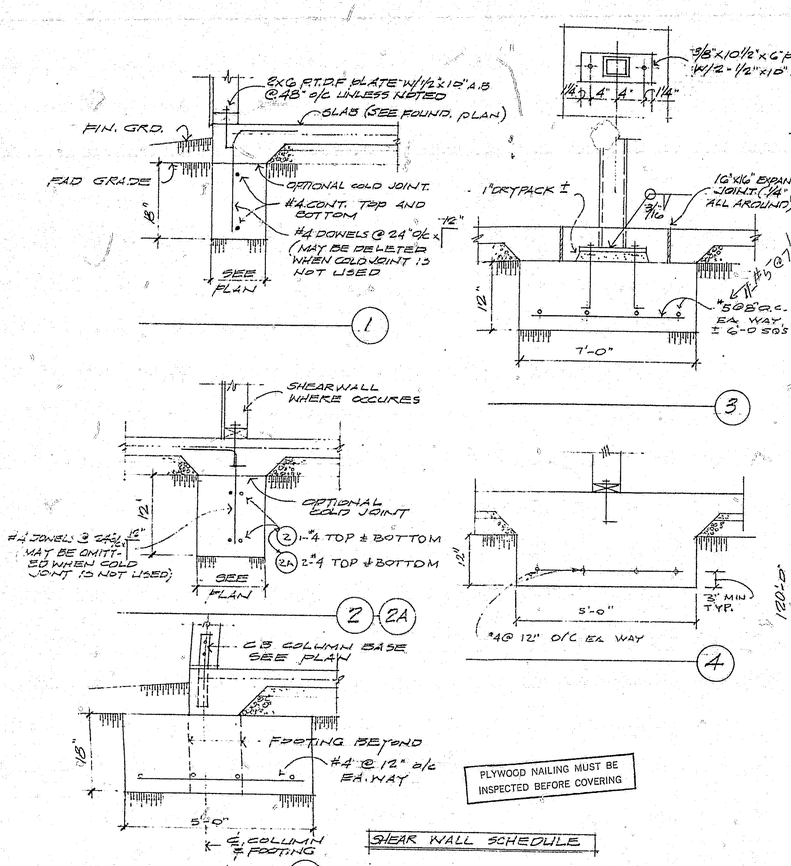
NORTH ELEVATION @ TODD ROAD "FRONT OF BUILDING"
SANTA ROSA, CA. "SONOMA COUNTY"
SCALE 1/8"=1'-0"

Michael Saunders
Licensed Architect
C 12612

PROJECT FOR:
MR. WERNER NASE
ROHNERT PARK, CA.

2

24X



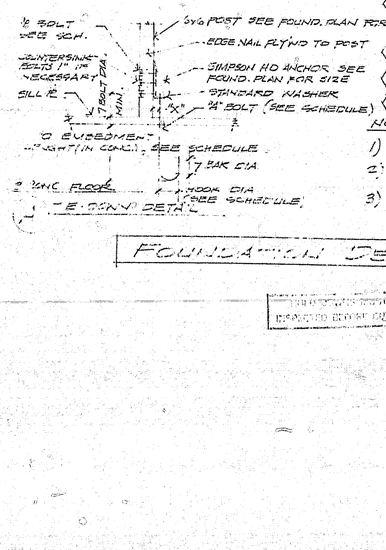
PLYWOOD NAILING MUST BE INSPECTED BEFORE COVERING

SHEAR WALL SCHEDULE

SYMBOL	SHEATHING / NAILING	TIE-DOWNS/EA. END	ANCHOR BOLTS OR BASE PLATE NAILING
1	3/8" C.D.X 8d@3" O/EDGE	HD-2 SEE A	1/2"x10" AB @ 24" O/C
2	3/8" C.D.X. 8d@3" O/EDGE	HD-5 SEE A	"
3	1/2" C.D.X. 10d@3" O.C. EDGE	NONE	1/2"x10" AB @ 16" O/C
4	3/8" C.D.X 8d@4" O/EDGE	NONE	1/2"x10" AB @ 2'-8" O/C
5	SAME AS 4	NONE	1/2"x10" AB @ 32" O.C.
6	SAME AS 4 POST EA. SIDE SEE "4"	NONE	1/2"x10" AB @ 16" O.C.

BOLTING SCHEDULE

ANCHOR SIZE	"F" BOLTS	"A" BOLTS	"d" EMBEDMT	HOOK DIA.	"X"
HD-2	2-5/8φ	5/8 φ	9"	4 1/2"	1 3/8"
HD-5	2-3/4 φ	3/4 φ	11"	5 1/4"	2 1/8"

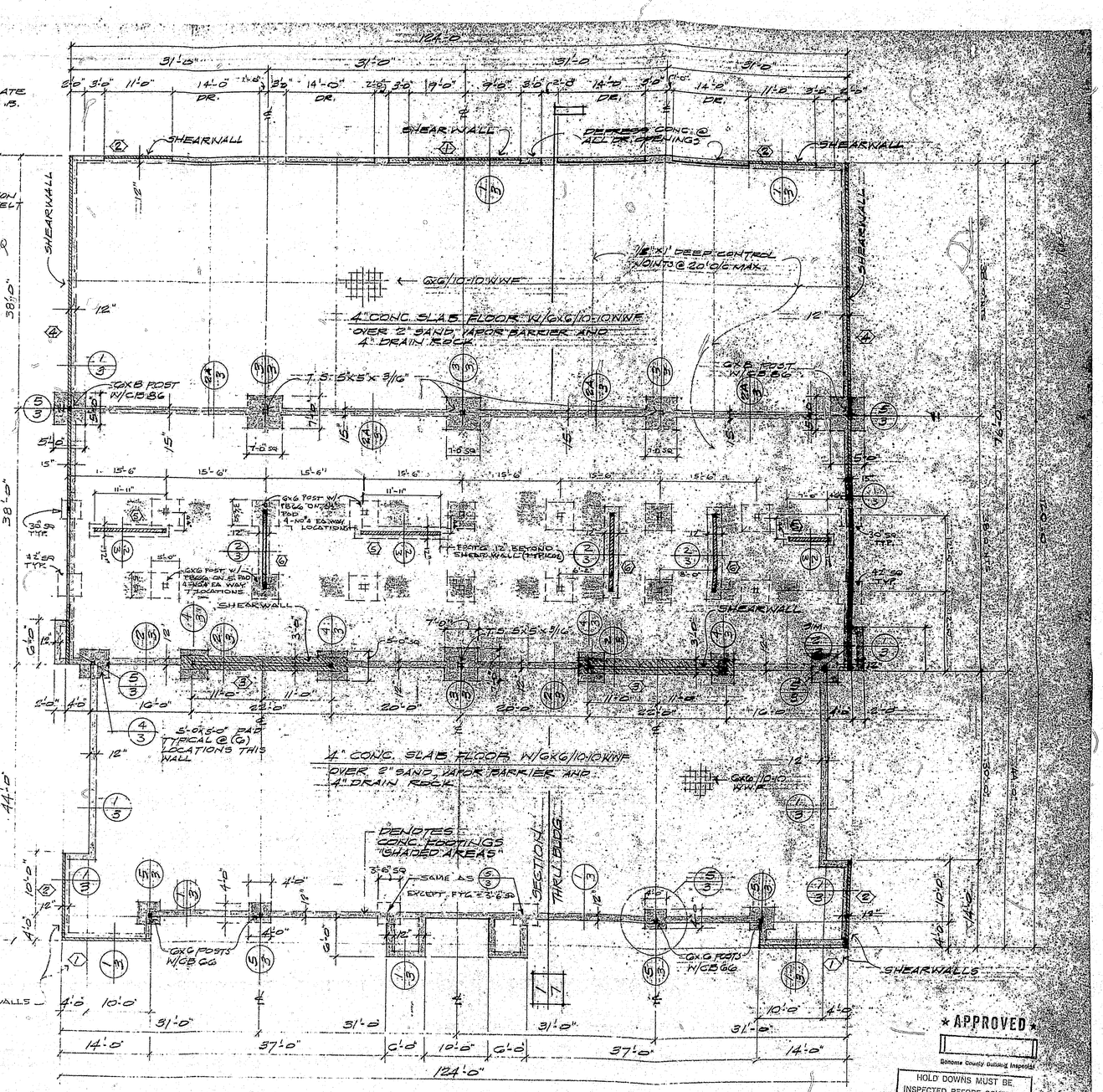


NOTES:

1) FIELD NAILING FOR ALL PLY'ND SHALL BE @ 12" O/C
2) BLOCK ALL PLY'ND EDGES
3) PLY'ND SPLICES SHALL OCCURE @ ℄ OF FRAMING MEMBER OR BLOCKING

FOUNDATION DETAILS & SHEAR SCH.

NOT TO SCALE



FOUNDATION PLAN

SCALE 1/8"=1'-0"

★ APPROVED ★

Sonoma County Building Inspector

HOLD DOWNS MUST BE INSPECTED BEFORE COVERING

REGISTERED BUILDING DESIGNER JOHN G. ROBERTS No. 1054 STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER STRUCTURAL JEFFREY PAUL KERNAGHAN No. SE 2538 STATE OF CALIFORNIA

3

24X

ROOM FINISH SCHEDULE

RM.	WALLS MAT.	WALLS FIN.	CEIL. MAT.	CEIL. FIN.	FLR. MAT.	FLR. FIN.	BASE MAT.	BASE FIN.	REMARKS
101									
102									
103									
104									
105									
106									
107									

SPECULATION BLDG ONLY
TO BE SUBMITTED WITH
TENANT IMPROVEMENT
DRAWINGS

FINISH SCHEDULE "P"
"A"
"B"
"C"

DOOR SCHEDULE

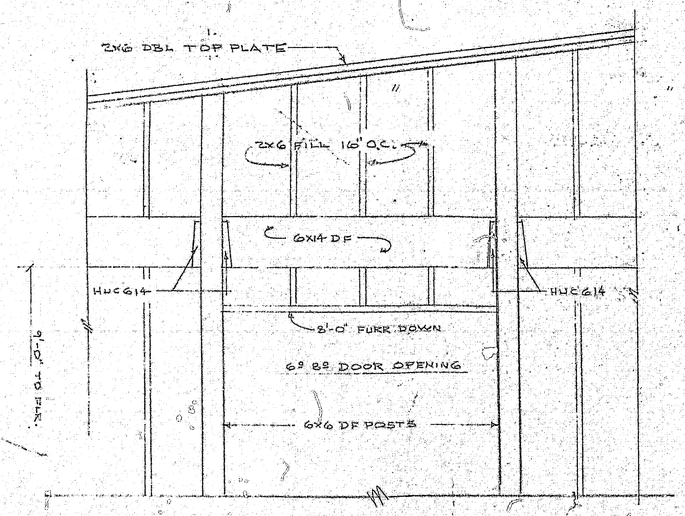
NO.	WIDTH	HEIGHT	REMARKS
A	3'-0"	6'-8"	STL. FIRE DOOR
B	14'-0"	14'-0"	CANNISTER STL. ROLL-UP
C	3'-0"	6'-8"	HOLLOW CORE HANDICAP
D	6'-0"	8'-0"	STOREFRONT ALUM.
E	3'-0"	6'-8"	HOLLOW CORE
F	2'-6"	6'-8"	HOLLOW CORE

NOTES:
ALL FIRE DRS SELF CLOSING
ALL STOREFRONT DRS. TO BE ANODIZED BRONZE

WINDOW SCHEDULE

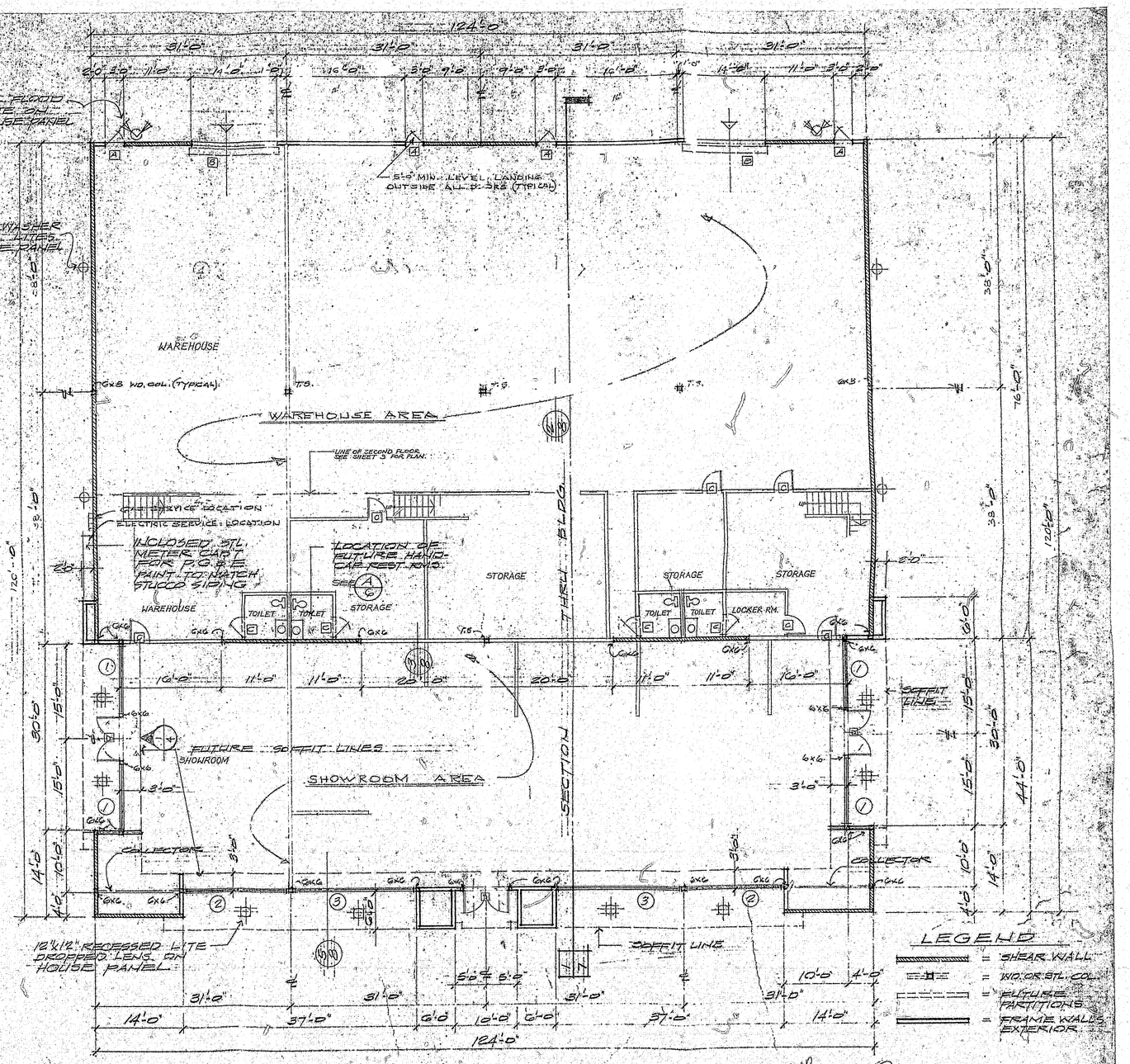
NO.	WIDTH	HEIGHT	REMARKS
1	11'-0"	8'-0"	STOREFRONT
2	17'-0"	"	"
3	19'-6"	"	"
4	4'-0"	3'-0"	ALUMINUM
5	6'-0"	3'-0"	"
6			
7			

NOTES:
ALL STOREFRONT GLASS TO BE VERIFIED FOR DIM. AND LAYOUT PER EXTER. ELEV'S.



SCALE 3/4" = 1'-0"

1/4



FLOOR PLAN

SCALE 1/8" = 1'-0"

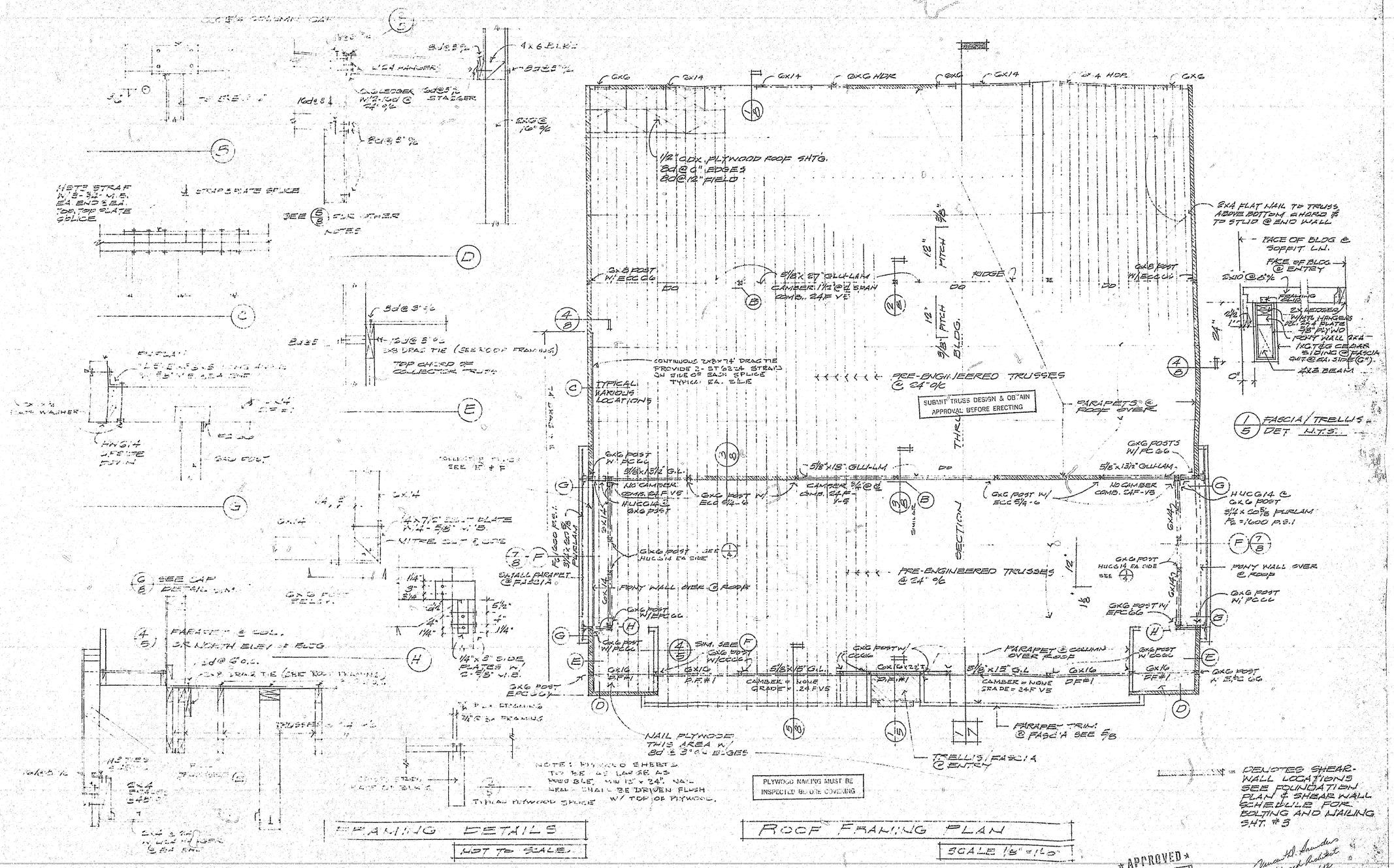
FIRST AND SECOND FLOOR PLANS APPROVED (11)

Richard H. Chandler
Licensed Architect
C-12612

★APPROVED★
Sonoma County Building Inspector

4

24X


FRAMING DETAILS
NOT TO SCALE
ROOF FRAMING PLAN
SCALE 1/8" = 1'-0"
1/2" C.D.X. PLYWOOD ROOF SHT'G.
8d @ 6" EDGES
8d @ 12" FIELD
PRE-ENGINEERED TRUSSES @ 24" o/c
SUBMIT TRUSS DESIGN & OBTAIN APPROVAL BEFORE ERECTING
PARAPETS @ ROOF OVER
FASCIA / TRELLIS DET
PONY WALL OVER @ ROOF
FACE OF BLDG @ SOFFIT LN.
FACE OF BLDG @ ENTRY
2x4 FLAT NAIL TO TRUSS ABOVE BOTTOM CHORD & TO STUD @ END WALL
PARAPET TRIM @ FASCIA SEE 5/8
TRELLIS, FASCIA @ ENTRY
NAIL PLYWOOD THIS AREA W/ 8d @ 3" o.c. EDGES
PLYWOOD NAILING MUST BE INSPECTED BEFORE COVERING
DENOTES SHEAR-WALL LOCATIONS SEE FOUNDATION PLAN & SHEAR WALL SCHEDULE FOR BOLTING AND NAILING SHT. #3
APPROVED
5

24X

HANDICAP RESTR'M. NOTES

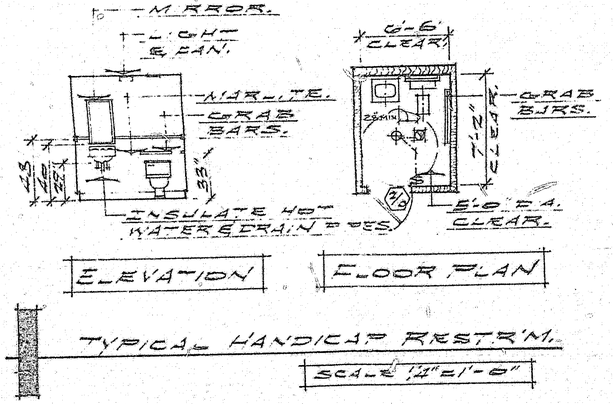
1.- IN HIGH CEILING AREAS, FURR DOWN RESTR'M. CEILING TO 8'-0".

2.- WATERPROOF GYPBOARD ON ALL WALLS & MARLIGHT TO 48" HEIGHT.

3.- EXHAUST FAN TO BE CONNECTED TO LIGHT SWITCH.

4.- PROVIDE 4 AIR CHANGES PER HOUR.

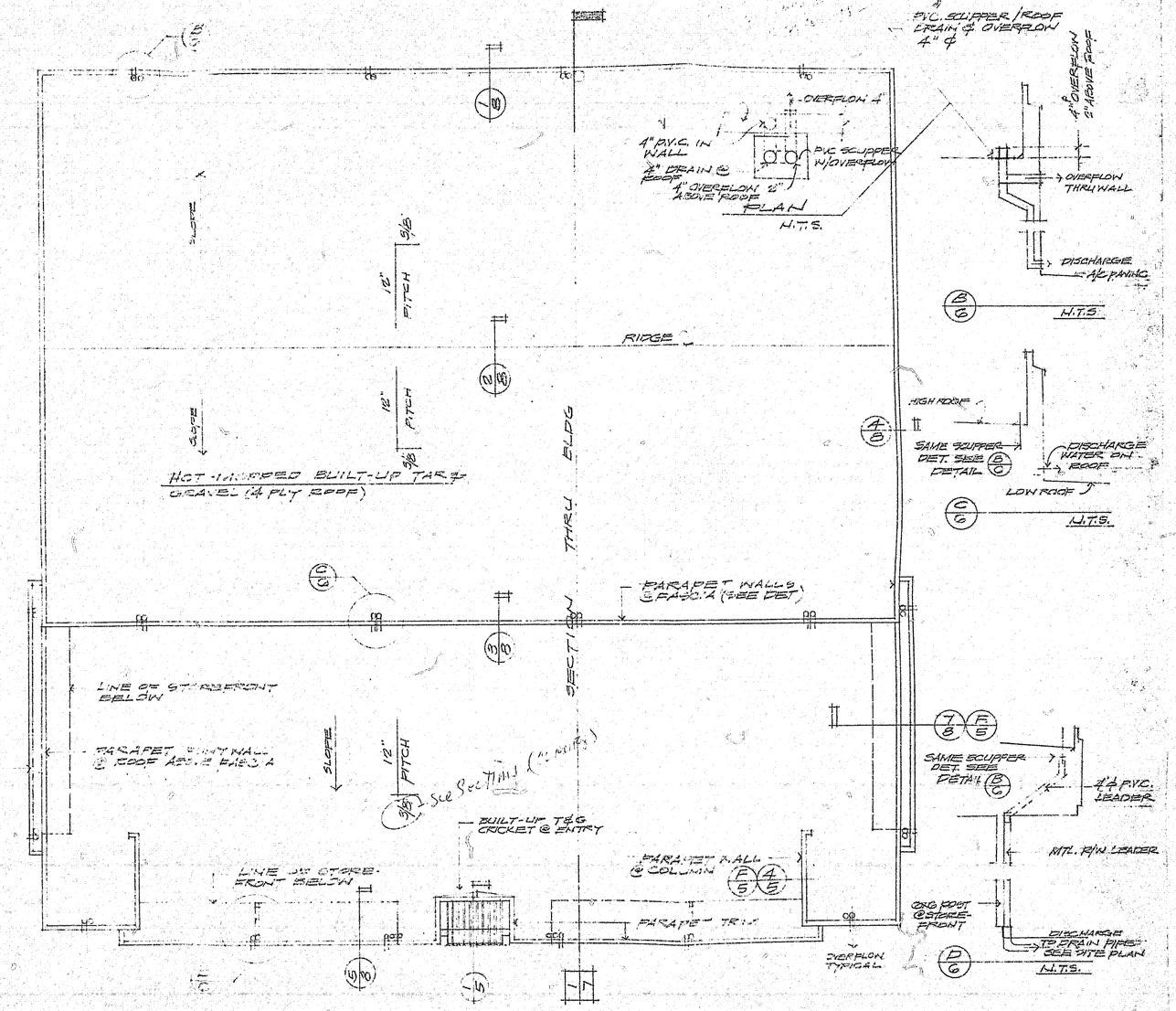
5.- PROVIDE 2 GRAB BARS 33" ABOVE FLOOR, ONE AT SIDE WALL SHALL BE 42" LONG WITH FRONT END 24" IN FRONT OF STOOL, ONE AT BACK WALL TO BE 30" LONG & BOW STOOL. DIAMETER OF GRAB BARS TO BE 1 1/4" Ø. TOWEL DISPENSER & MIRROR TO BE 40" ABOVE FLOOR. LAVATORY TO HAVE SPACE 20" WIDE, 29" HIGH & 12" DEEP UNDER.



TYPICAL HANDICAP RESTR'M.

SCALE 1/4"=1'-0"

(A) HANDICAP RESTROOM
(B) PER ADA [illegible] ALE ADOPTED



ROOF PLAN

SCALE 1/8"=1'-0"

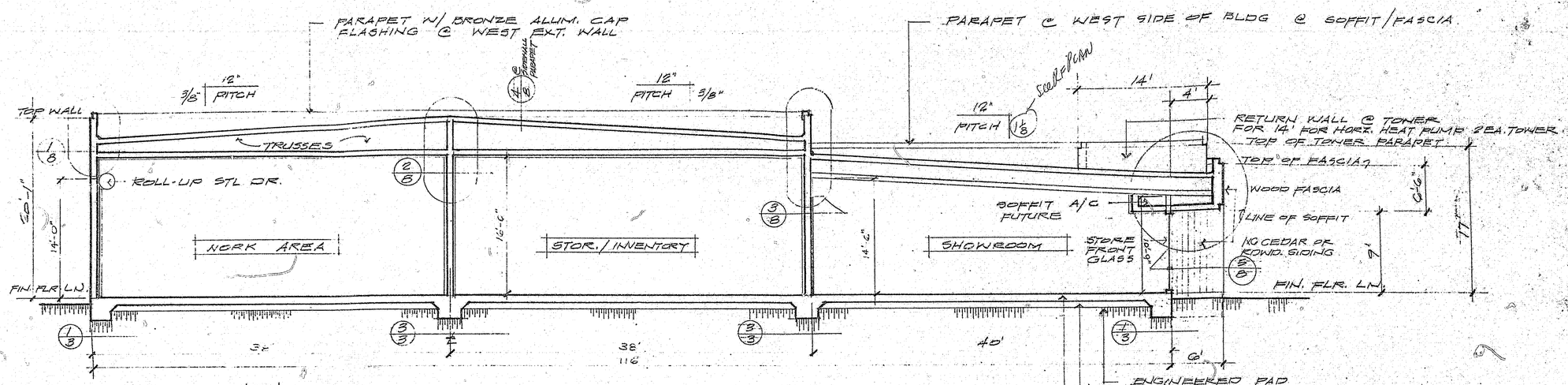
APPROVED

Building Safety Inspector

Kenneth Lunder
Licensed Architect
C 12612

6

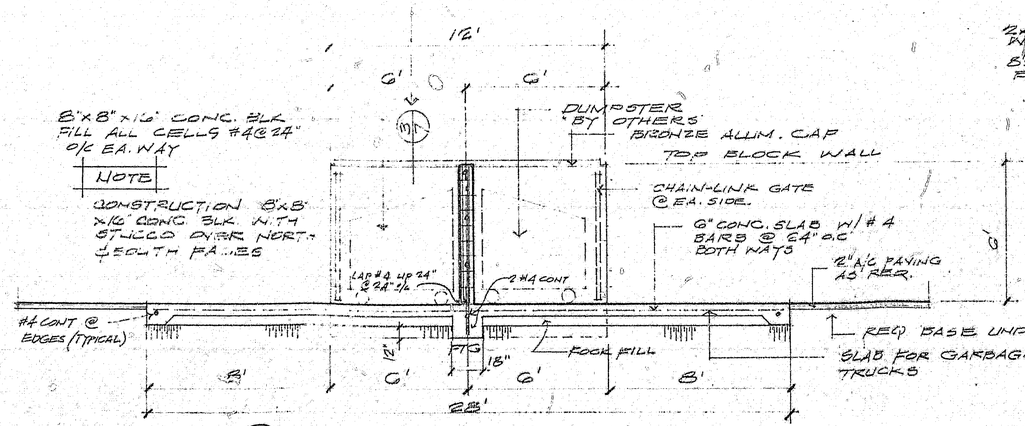
24X



1/7 SECTION THRU BUILDING (NORTH TO SOUTH)

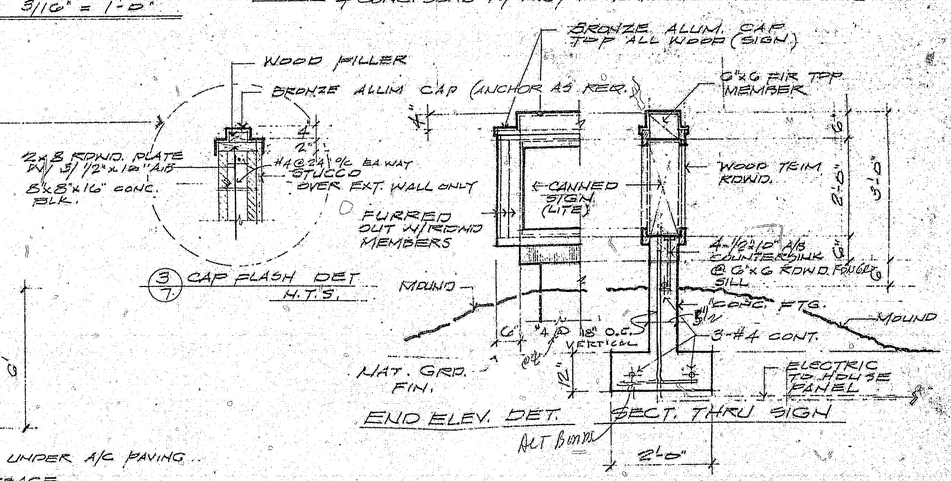
7 WOOD FRAME CONST
EXTERIOR STUCCO
FIRE SPRINKLER SYSTEM

SCALE: 3/16" = 1'-0"



2/7 SECT. THRU TRASH ENCLOSURES

SCALE 3/8" = 1'-0"



4/7 SIGN DETAILS @ MOUNDS
E. TODD RD. N.T.S.
SEE SITE PLAN FOR LOCATION

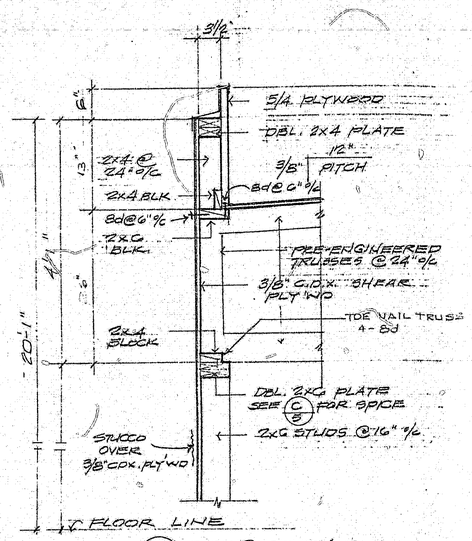
APPROVED
Sonoma County Building Inspection

Richard A. Arnoldi
Licensed Architect
C 12612

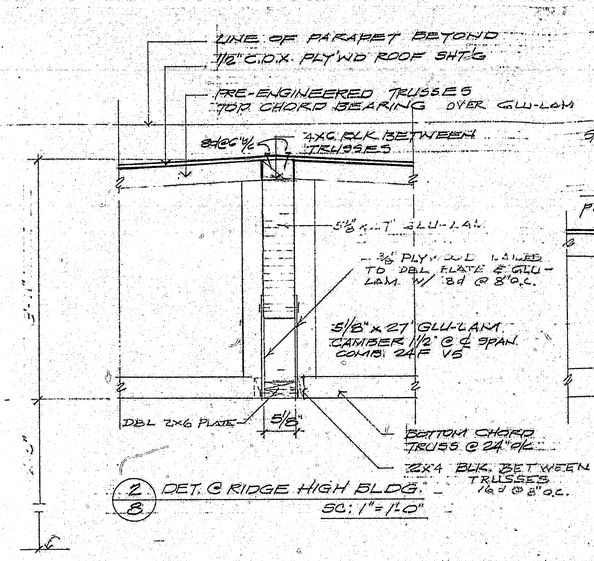
PROPOSED PROJECT FOR:
MR. WERNER NASE
MR. TOM ADAMSON
E. TODD RD. SO. COUNTY

7

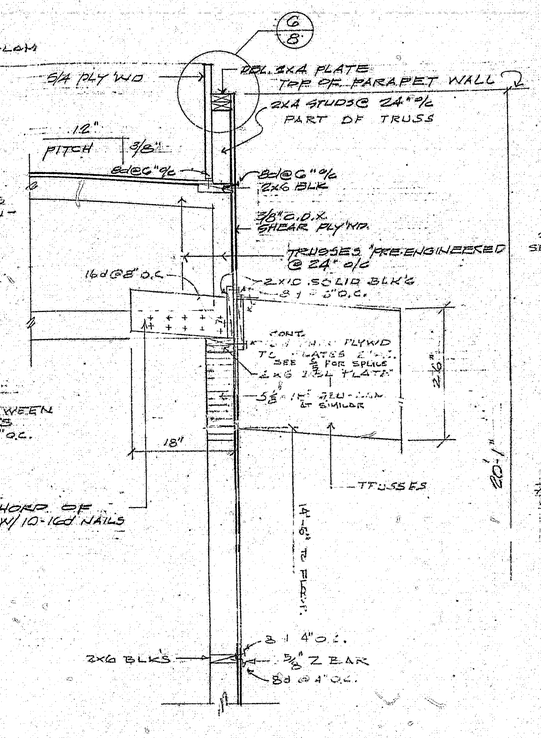
24X



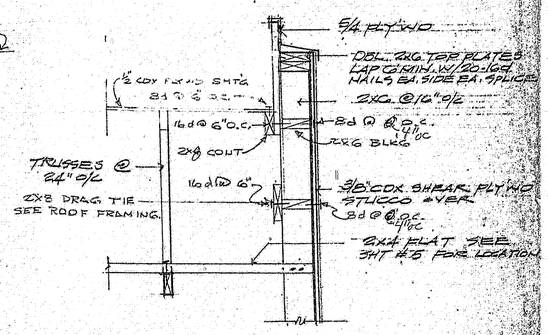
1/8 DET. @ SOUTH WALL
SC: 1" = 1'-0"



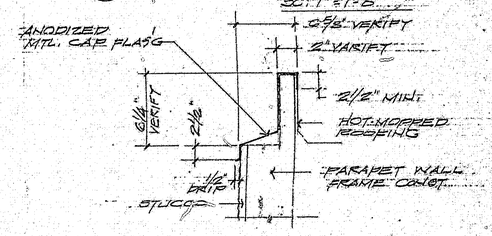
2/8 DET. @ RIDGE HIGH BLDG.
SC: 1" = 1'-0"



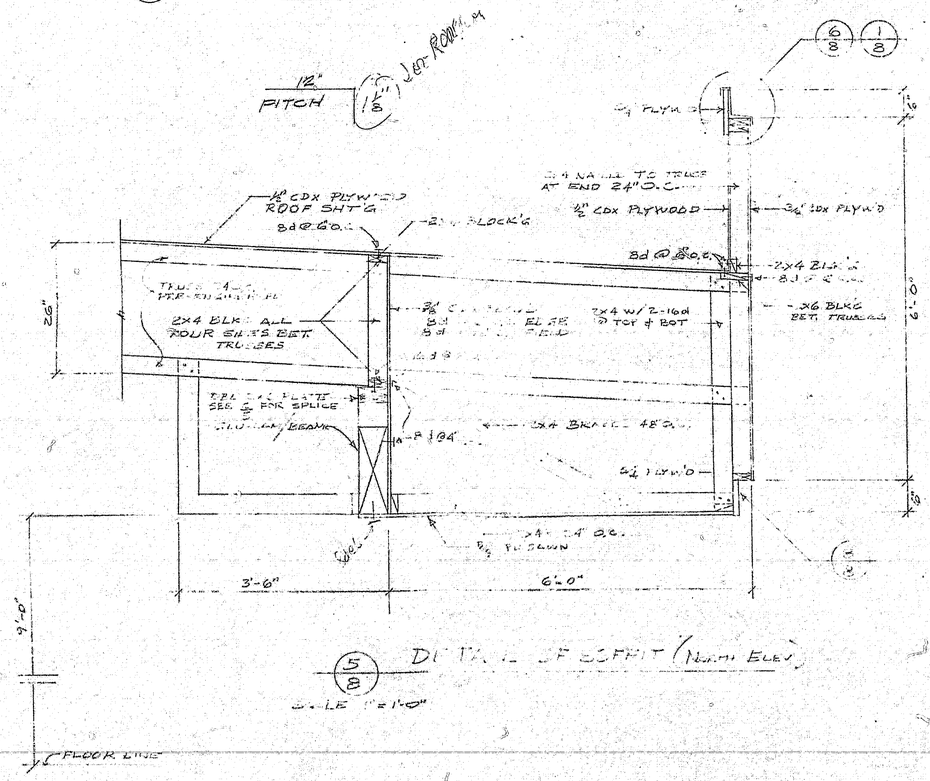
3/8 DET. @ HIGH & LOW ROOF
SC: 1" = 1'-0"



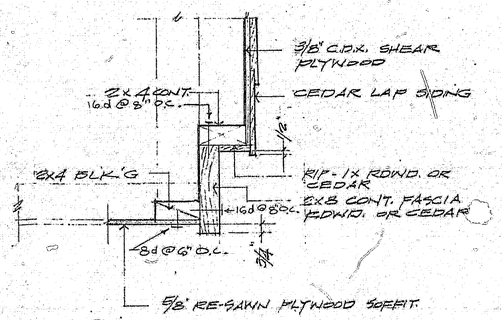
4/8 DET. @ EAST/WEST PARAPET VARIES
SC: 1" = 1'-0"



6/8 CAP FLASHING DET.
N.T.S.



5/8 DETAIL OF SOFFIT (NORTH ELEV.)
SCALE 1" = 1'-0"



8/8 FASCIA DET. @ SOFFIT
N.T.S.

7/8 EAST/WEST SOFFIT DETAIL
SEE SHT. # 5
DETAIL F

FRAMING DETAILS / SECTIONS

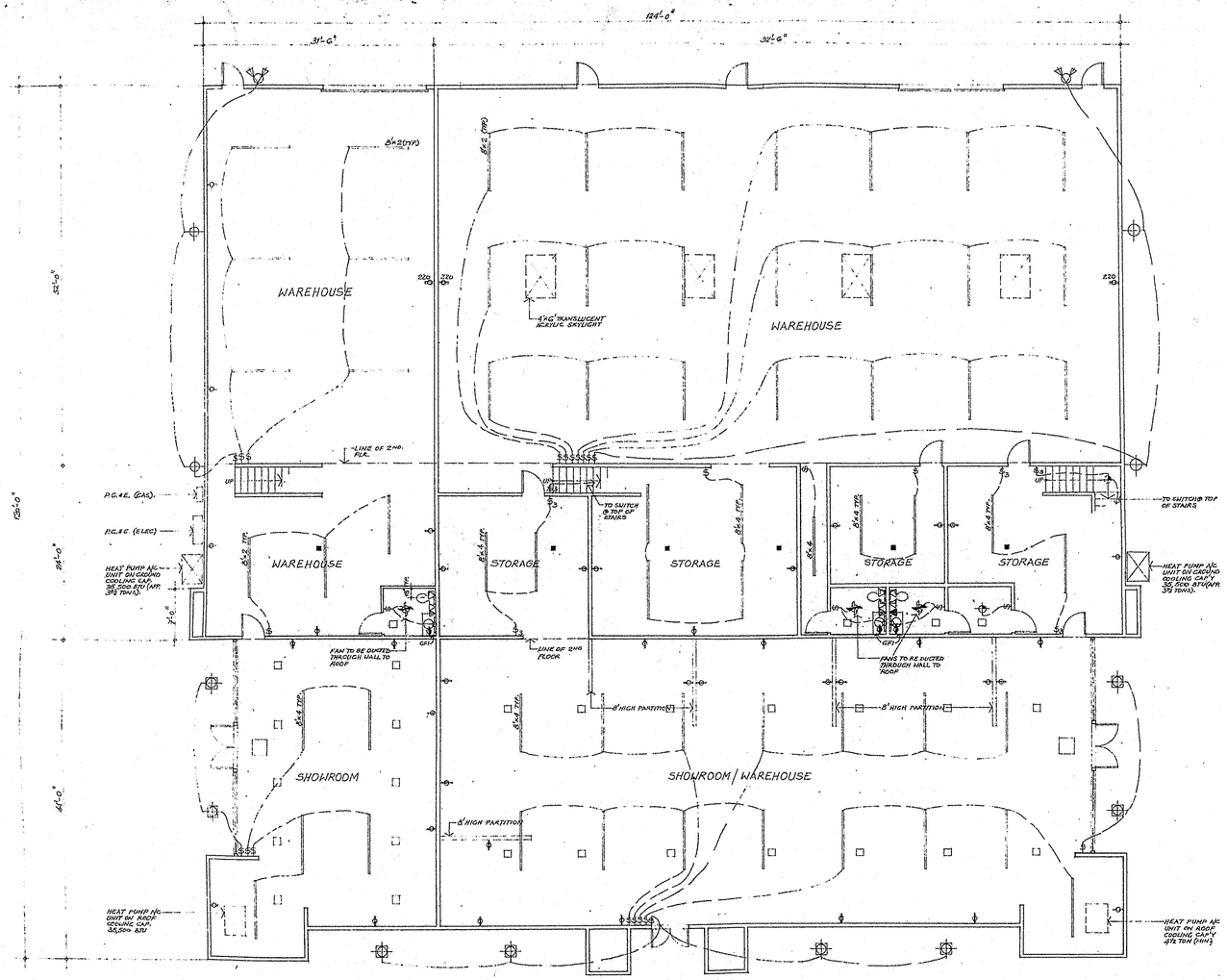
SCALE AS NOTED

Richard H. Saunders
Licensed Architect
C 1842

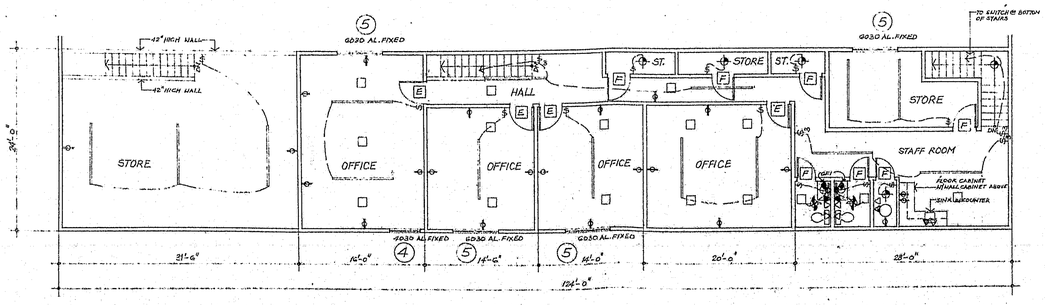
★ APPROVED ★
Sonoma County Building Inspector

8

24X



FIRST FLOOR PLAN — ELECTRICAL, HVAC & PLUMBING



SECOND FLOOR PLAN — ELECTRICAL, HVAC & PLUMBING

LEGEND

8'x2	FLUORESCENT FIXTURE, 8'LG W/ 2 LAMPS
8'x4	FLUORESCENT FIXTURE, 8'LG W/ 4 LAMPS
	INCANDESCENT CEILING LIGHT FIXTURE
	EXTRACT FAN (CEILING)
	110V DUPLEX CONVENIENCE OUTLET
220	220V CONVENIENCE OUTLET
GFI	110V CONVENIENCE OUTLET W/ GFI
	SINGLE-POLE SWITCH
3	THREE-WAY SWITCH
	A/C CEILING REGISTER
	COLD AIR RETURN
	HOT WATER
	COLD WATER
	MIRROR LIGHT
	WALL WASH LIGHT
	12"x12" RECESSED LIGHT DROPPED LENS
	DOUBLE FLOODLIGHT

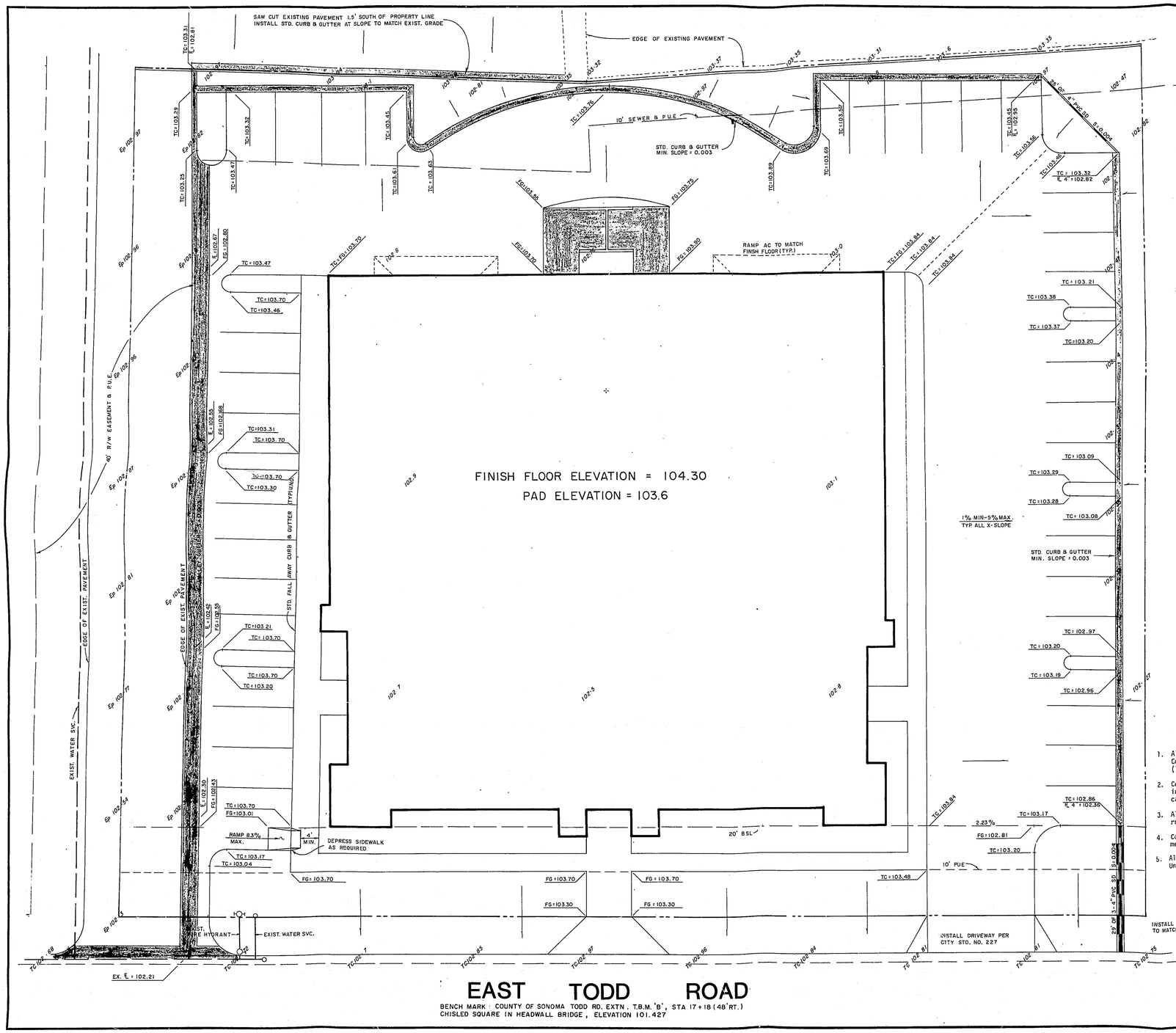
SWITCHES, ETC TO COMPLY WITH HANDICAP REQ'S.

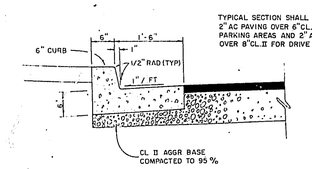
★ APPROVED ★
Sonoma County Building Inspection

Vincent H. Saunders
Licensed Architect
C 12612

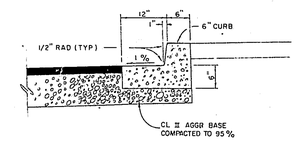
9

24X

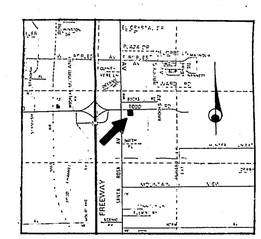




CURB & GUTTER DETAIL



FALL-AWAY CURB & GUTTER DETAIL



LOCATION MAP
no scale

GENERAL NOTES

1. All materials, workmanship and construction shall conform to the County of Sonoma Road Standards Code and Standard Plans ~~adopted~~ (1973 Revision). or City Sonoma Resin standards whichever is stricter
2. Contractor shall notify the Department of Public Works 24 hours in advance to beginning any work as shown on the approved plans; call 527-2021 or 527-2231.
3. All utilities conflicting with the proposed construction shall be relocated prior to start of construction.
4. Contractor shall obtain an encroachment permit prior to commencement of any construction.
5. All grading shall be done in compliance with Chapter 70 of the Uniform Building Code, and as required by the preliminary soils report.

★ APPROVED ★
Sonoma County Building Inspector

APPROVED:

DONALD B. HEAD, R.C.E. 9217 DATE
SONOMA COUNTY
DIRECTOR OF PUBLIC WORKS

REVISIONS	BY

SUBMITTED:

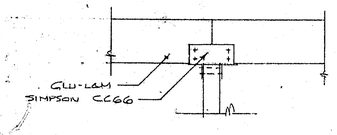
R.C.E. 10578

M. HUDIS & ASSOCIATES
ENGINEERS ARCHITECTS PLANNERS
2360 PROFESSIONAL DRIVE
SANTA ROSA, CALIF. 95401
(707) 542-8795

WERNER NASE BUILDING
240 EAST TODD ROAD
SITE GRADING PLAN

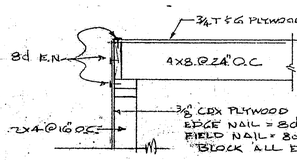
Date JAN. 1985
Scale 1" = 10'
Drawn FH & DM
Job 84213
Designed KLC
Sheet 1
Of 1 Sheets

24X



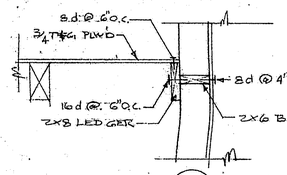
A

SCALE 1½" = 1'-0"



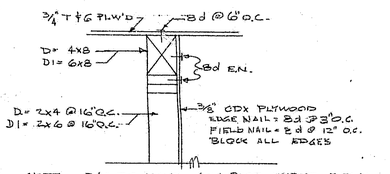
B

SCALE 1" = 1'-0"



C

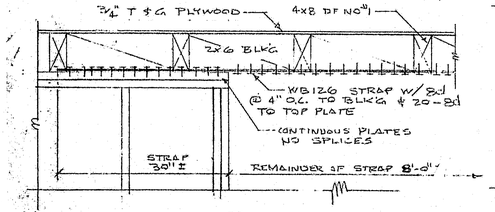
SCALE 1" = 1'-0"



NOTE D1 = TO HAVE 6X6 POST UNDER BEAM AT EACH END OF SHEARWALL
D = TO HAVE 4X6 POST UNDER BEAM AT EACH END OF SHEARWALL

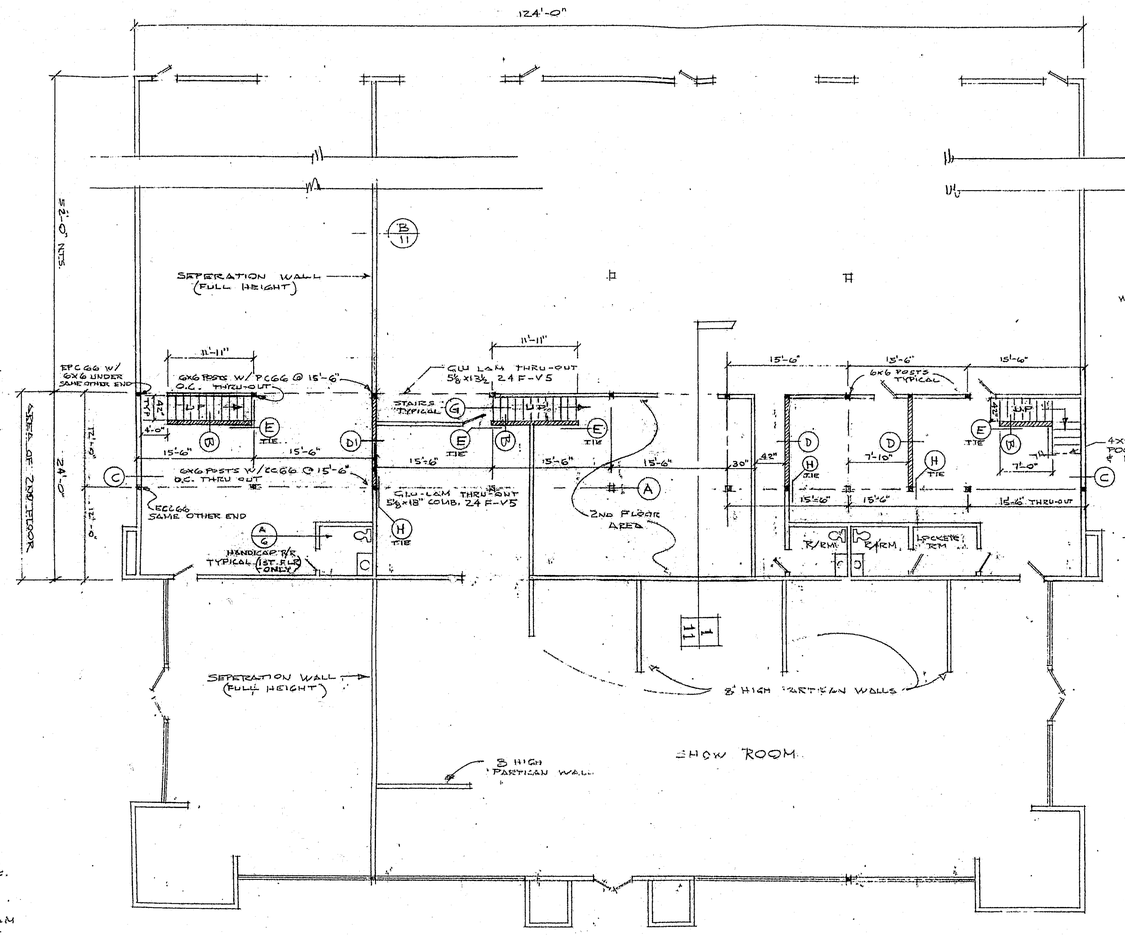
D D1

SCALE 1" = 1'-0"



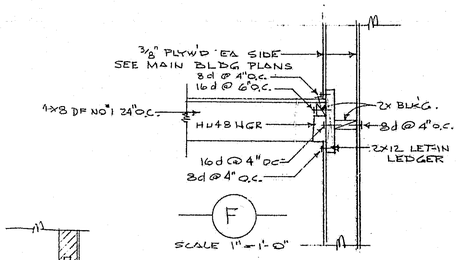
E

SCALE 1" = 1'-0"



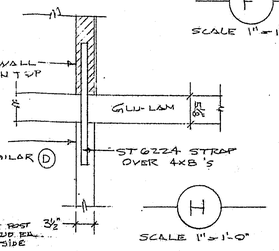
1ST FLOOR

SCALE ⅛" = 1'-0"



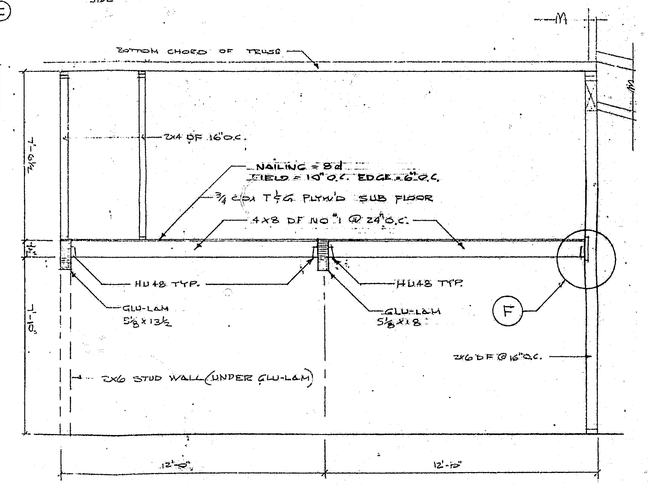
F

SCALE 1" = 1'-0"



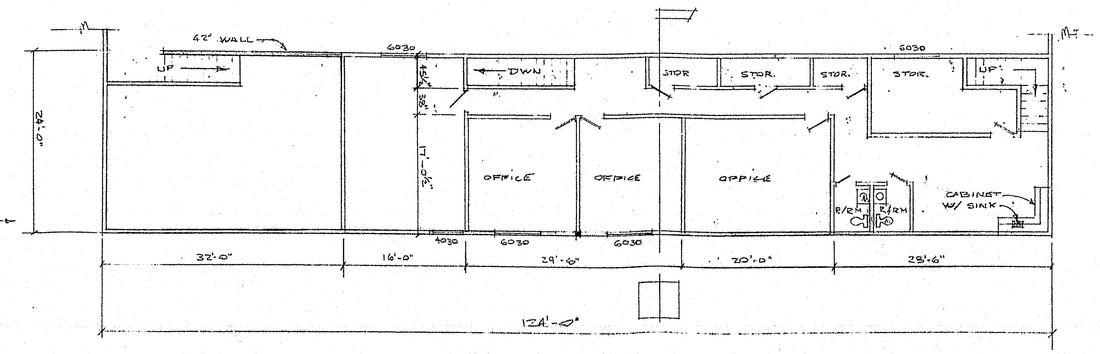
H

SCALE 1" = 1'-0"



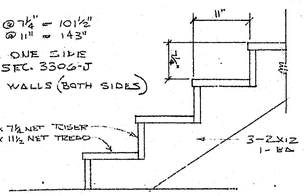
1
11

SCALE ⅜" = 1'-0"



2ND FLOOR

SCALE ⅛" = 1'-0"



G

SCALE ~~3/4"~~ 1" = 1'-0"

★ APPROVED ★

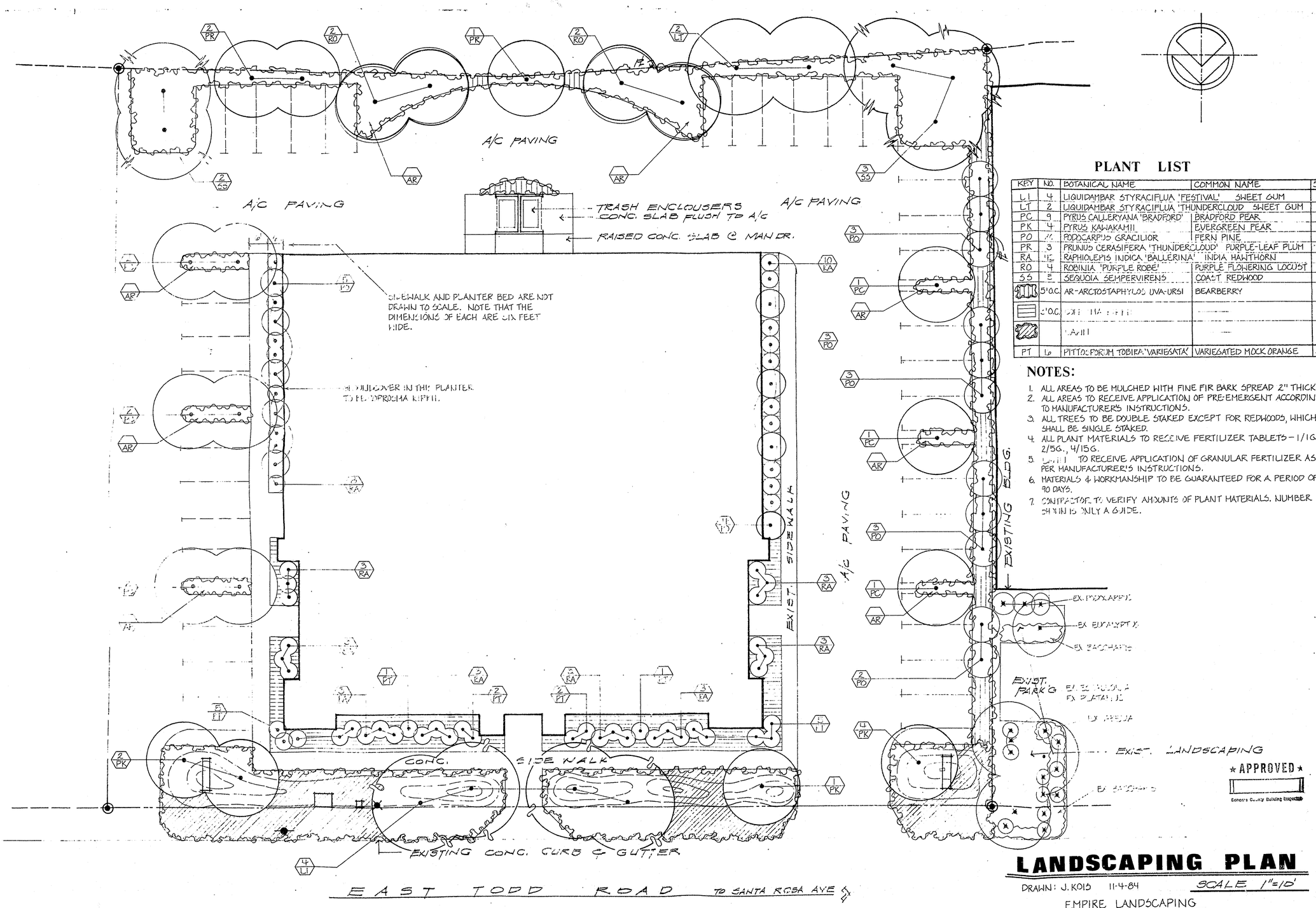
Sonoma County - Tax Depreciation

REGISTERED BUILDING DESIGNER JOHN G. ROBERTS No. 1054 STATE OF CALIFORNIA

REGISTERED PROF. ENGINEER ARTHUR PAUL JENNINGS No. SE 2538 STRUCTURAL STATE OF CALIFORNIA

11

24X



PLANT LIST

KEY	NO.	BOTANICAL NAME	COMMON NAME	SIZE
LI	4	LIQUIDAMBAR STYRACIFLUA 'FESTIVAL'	SWEET GUM	15G.
LT	2	LIQUIDAMBAR STYRACIFLUA 'THUNDERCLOUD	SWEET GUM	15G.
PC	9	PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	15G.
PK	4	PYRUS KAWAKAMII	EVERGREEN PEAR	15G.
PO	[illegible]	PODOCARPUS GRACILIOR	FERN PINE	15G.
PR	3	PRUNUS CERASIFERA 'THUNDERCLOUD'	PURPLE-LEAF PLUM	15G.
RA	[illegible]	RAPHIOLEPIS INDICA 'BALLERINA'	INDIA HAWTHORN	5G.
RO	4	ROBINIA 'PURPLE ROBE'	PURPLE FLOWERING LOCUST	15G.
SS	[illegible]	SEQUOIA SEMPERVIRENS	COAST REDWOOD	15G.
	5' O.C.	AR-ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	5G.
	[illegible] O.C.	[illegible]	[illegible]	1G.
		[illegible]	[illegible]	
PT	[illegible]	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5G.

NOTES:

1. ALL AREAS TO BE MULCHED WITH FINE FIR BARK SPREAD 2" THICK.
2. ALL AREAS TO RECEIVE APPLICATION OF PRE-EMERGENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
3. ALL TREES TO BE DOUBLE STAKED EXCEPT FOR REDWOODS, WHICH SHALL BE SINGLE STAKED.
4. ALL PLANT MATERIALS TO RECEIVE FERTILIZER TABLETS – 1/1G., 2/5G., 4/15G.
5. [illegible] TO RECEIVE APPLICATION OF GRANULAR FERTILIZER AS PER MANUFACTURER'S INSTRUCTIONS.
6. MATERIALS & WORKMANSHIP TO BE GUARANTEED FOR A PERIOD OF 90 DAYS.
7. CONTRACTOR TO VERIFY AMOUNTS OF PLANT MATERIALS. NUMBER SHOWN IS ONLY A GUIDE.

★ APPROVED ★

Sonoma County Building Inspector

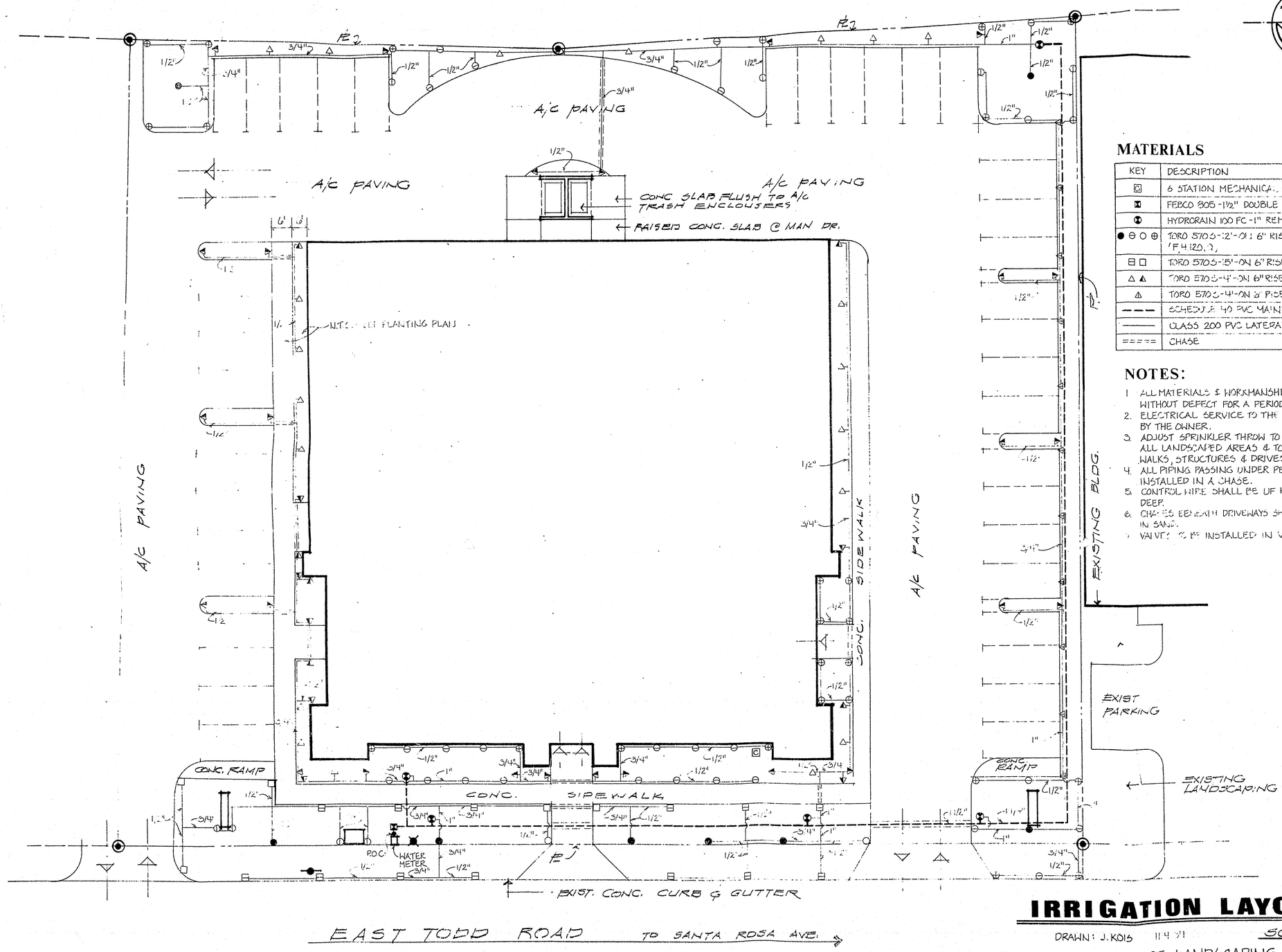
LANDSCAPING PLAN

DRAWN: J. KOID 11-4-84 SCALE 1"=10'

EMPIRE LANDSCAPING

L-1

24X



MATERIALS

KEY	DESCRIPTION
	6 STATION MECHANICAL CONTROLLER - SUPERIOR 906
	FEBCO 805-1½" DOUBLE CHECK VALVE.
	HYDRORAIN 100 FC-1" REMOTE CONTROL VALVE.
● ⊖ ○ ⊕	TORO 570S-12'-ON 6" RISERS W/ LOW GALLONAGE NOZZLES. (F,H,120,Q)
⊟ □	TORO 570S-15'-ON 6" RISERS W/ STD NOZZLES. (H,Q)
△ ▲	TORO 570S-4'-ON 6" RISERS W/ STRIP SPRAY. (CST, EST)
△	TORO 570S-4'-ON 6" RISERS W/ STRIP SPRAY. (SST)
— — —	SCHEDULE 40 PVC MAINLINE
———	CLASS 200 PVC LATERALS
= = = = =	CHASE

NOTES:

1. ALL MATERIALS & WORKMANSHIP SHALL BE GUARANTEED TO BE WITHOUT DEFECT FOR A PERIOD OF ONE YEAR.
2. ELECTRICAL SERVICE TO THE CONTROLLER SHALL BE FURNISHED BY THE OWNER.
3. ADJUST SPRINKLER THROW TO INSURE COMPLETE COVERAGE OF ALL LANDSCAPED AREAS & TO MINIMIZE OVERTHROW ONTO WALKS, STRUCTURES & DRIVES.
4. ALL PIPING PASSING UNDER PERMANENT STRUCTURES IS TO BE INSTALLED IN A CHASE.
5. CONTROL WIRE SHALL BE UF #14 DIRECT BURIAL, BURIED 18" DEEP.
6. CHASES BENEATH DRIVEWAYS SHALL BE BURIED 24" DEEP & BEDDED IN SAND.
7. VALVES TO BE INSTALLED IN VALVE BOXES.

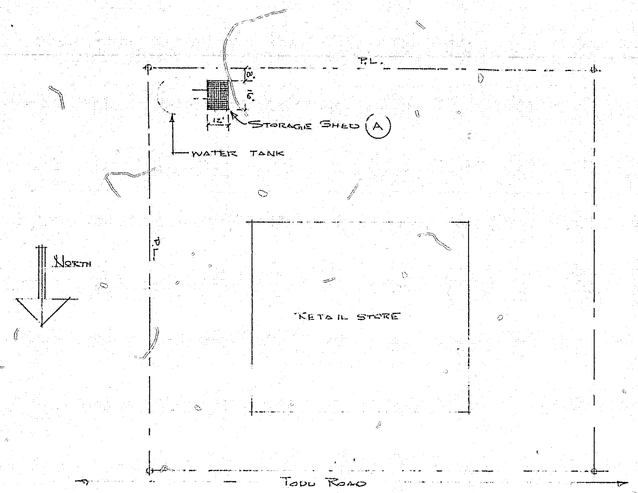
IRRIGATION LAYOUT PLAN

DRAWN: J. KOIS 11-4-91 SCALE 1" = 10'

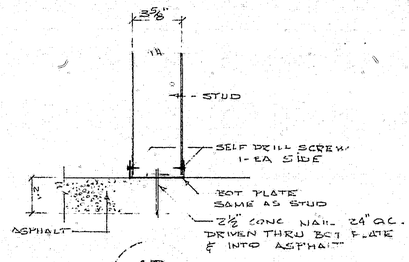
EMPIRE LANDSCAPING

L-2

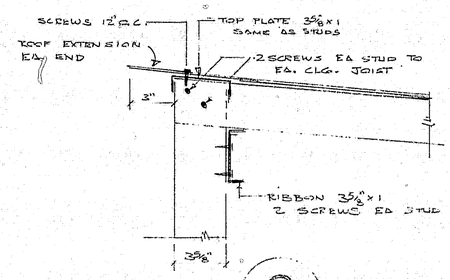
24X



SITE PLAN 240 E. TODD ROAD
NO SCALE



B
SCALE 3" = 1'-0"



C
SCALE 3" = 1'-0"

CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED PLANS. REQUESTS FOR CHANGES SHALL BE MADE IN WRITING TO THE BUILDING INSPECTION DEPARTMENT. CHANGES MADE WITHOUT PRIOR APPROVAL SHALL BE SUBJECT TO REJECTION OF THE WORK.

The approval of these plans is subject to complete compliance with code requirements, special inspections when required and field inspection.
Please read all pertinent sections of applicable codes.

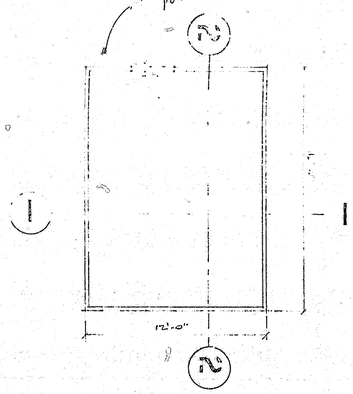
APPROVED
TO 12-4-85
Sonoma County Building Inspector

Approved Job Copy Of Plans and Job Cards To be on Job Site.

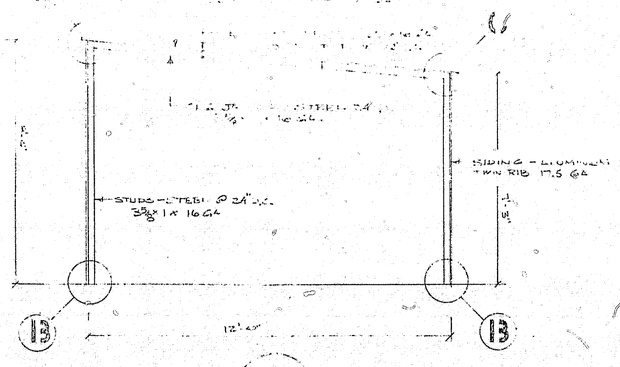
APPROVAL BY SONOMA COUNTY BUILDING INSPECTION IS BASED ON AND LIMITED TO THE FOLLOWING:

1. BUILDING TYPE II N
2. OCCUPANCY GROUP M1
3. USE OF STRUCTURE SHED
4. CONTINUOUS INSPECTION PER UBC IS REQUIRED FOR THE FOLLOWING: N/A

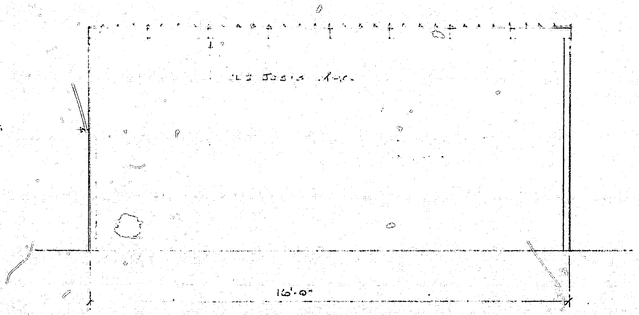
IN EACH CORNER PUT CONC. NAILS 12" oc FOR 3' ON CHIMNEY.



A
SCALE 1/4" = 1'-0"



1
SCALE 1/2" = 1'-0"



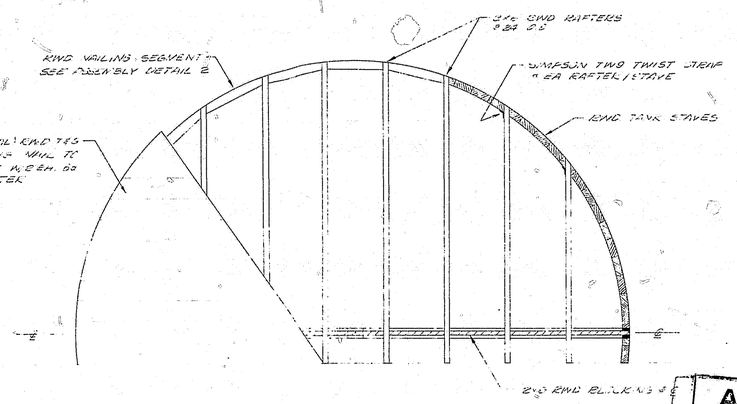
2
SCALE 1/2" = 1'-0"

Addendum to B

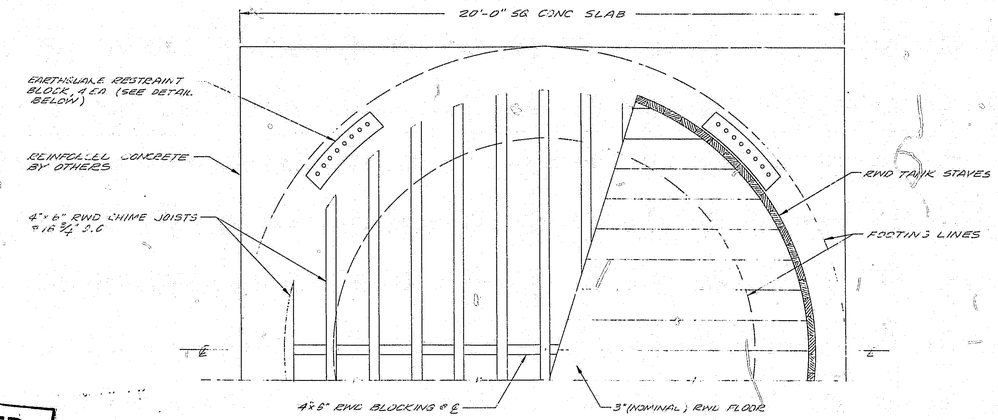
Werner Nase
240 E Todd Rd.

Werner Nase

24X

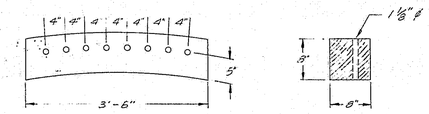


ROOF
1/2" = 1'-0"

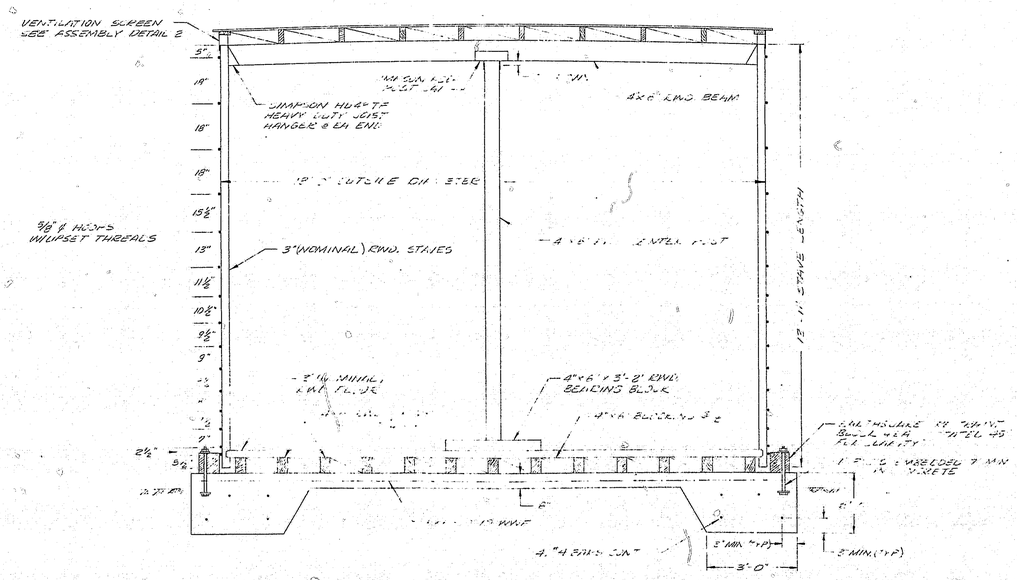


FLOOR
1/2" = 1'-0"

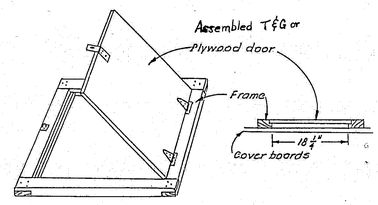
APPROVED
THE PERMIT FOR THE WORK INDICATED ON THESE DRAWINGS IS APPROVED FOR CONSTRUCTION ON THE BASIS THAT ALL WORK WILL COMPLY WITH ALL REQUIREMENTS OF THE COUNTY OF SONOMA, WHETHER SHOWN ON THESE DRAWINGS OR NOT.
SONOMA COUNTY DEPARTMENT OF PLANNING



EARTHQUAKE RESTRAINT BLOCKS
1" = 1'-0"

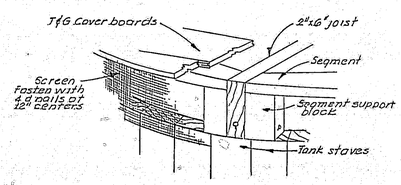


SECTION
1/2" = 1'-0"



TO INSTALL MANHOLE:
1. Assemble outer frame with 2-8d nails at each corner half lap.
2. Locate door to suit and cut square opening 18 1/4" x 18 1/4".
3. Place door frame over opening and fasten from under side with 2-8d nails in each cover board into outer frame.
4. Install plywood door with hinge and hasp

DETAIL 1 - CURBED MANHOLE
No Scale



ASSEMBLY DETAIL 2
No scale

NOTES:

1. DESIGN LOADS: ROOF LIVE LOAD = 30 p.s.f.
   WIND LOAD = 80 MPH
   SEISMIC ZONE = 4
2. THIS TANK IS DESIGNED AND BUILT TO APPLICABLE PORTIONS OF: UNIFORM BUILDING CODE 1991 EDITION AMERICAN WATER WORKS ASSOC. D-100-96.
3. HIGH TENSILE STEEL IN HYDROSTATIC USE WITH ALLOWABLE WORKING STRESS = 15,000 p.s.i.
4. ALL MATERIALS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS, A COPY OF WHICH IS FILED WITH THE ENGINEERS.

REGISTERED PROFESSIONAL ENGINEER KEITH SAUERS R.E. C.E. 15983 STATE OF CALIFORNIA

Tank Manufactured By:
A. Bellagio Wood Tank Co., Inc.
12766 Old Redwood Highway, Healdsburg, California 95448

25,000 GALLON WOOD STAVE TANK for WARNER NASE SONOMA COUNTY, CA.

Date: SEP. 1985
Job No:
Sheet 1 of 1
Drwg No: 85-011-02

Tank Engineered By KEITH SAUERS ENGINEERING, Nevada City, California

24X

GENERAL NOTES

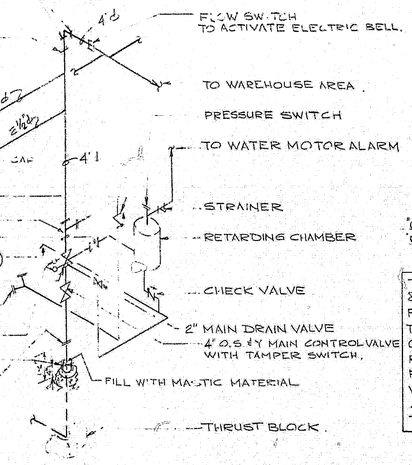
1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT REQUIREMENTS OF NFPA 13, 1985 AND THE BELLEVUE FIRE PROTECTION DISTRICT (SANTA ROSA, CALIFORNIA)
2. ALL FIRE LINE VALVES SHALL BE APPROVED FOR FIRE PROTECTION SERVICE.
3. CONTRACTOR TO FURNISH SPARE SPRINKLERS IN ACCORDANCE WITH NFPA 13, 1983. (PACKED IN A SUITABLE CONTAINER 1 SPARE PER STYLE, MIN. 3.)
4. CONTRACTOR SHALL FURNISH NOT LESS THAN TWO SPECIAL SPRINKLER HEAD WRENCHES.
5. PROVIDE SWAY BRACINGS AND HANGERS PER NFPA 13, 1983.
6. SYSTEM RISER TO BE PROPERLY ANCHORED AND/OR THRUST BLOCKED.
7. THE SYSTEM SHALL HAVE 24-HOUR SUPERVISORY SERVICE BY A FIRE DISTRICT APPROVED CENTRAL STATION
8. PROVIDE INSTALLATION OF SPRINKLER RISER PER DETAIL 1 THIS SHEET
9. ELECTRICAL CONTRACTOR TO PROVIDE PRESSURE SWITCH AND TAMPER SWITCH CONNECTIONS PER APPLICABLE CODES.
10. PRIOR TO TESTING, CONTRACTOR SHALL CLEAN THE PIPING SYSTEM BY FLUSHING WITH CLEAN WATER UNTIL IT IS FREE OF ALL SCALES, SLAGS, DIRT, GREASE, OR OTHER FOREIGN MATERIALS.
11. THE FIRE SPRINKLER SYSTEM SHALL BE HYDROSTATICALLY TESTED AT NOT LESS THAN 200 PSI FOR 2 HOURS.
12. ALL DIMENSIONS TO BE VERIFIED AT JOB SITE.
13. ALL SPRINKLER HEADS SHALL HAVE A TEMPERATURE RATING OF 165°F EXCEPT THE UPRIGHT HEADS TO HAVE 212°F.
14. ALL SPRINKLER HEADS TO HAVE A K FACTOR OF 5.6 WITH ½" ORIFICE.
15. CONTRACTOR TO PROVIDE NAME PLATE PER DETAIL 2 THIS SHEET.
16. ALL PIPING MATERIAL 2½" AND SMALLER SHALL BE BLACK CARBON STEEL ASTM A53 OR A120 SCHEDULE 40 WITH THREADED OR MECHANICAL JOINTS PER NFPA 13.

LEGEND

- INDICATES LOCATION OF LONGITUDINAL SWAY BRACE
- INDICATES LOCATION OF LATERAL SWAY BRACE
- INDICATES UPRIGHT SPRINKLER, NIPPLED UP.
- INDICATES PENDENT SPRINKLER.
- INDICATES LOCATION OF THE WRAP-AROUND TYPE HANGER.
- INDICATES LOCATION OF THE ADJUSTABLE TYPE HANGER.

NTS NOT TO SCALE

4" FLEXIBLE COUPLINGS

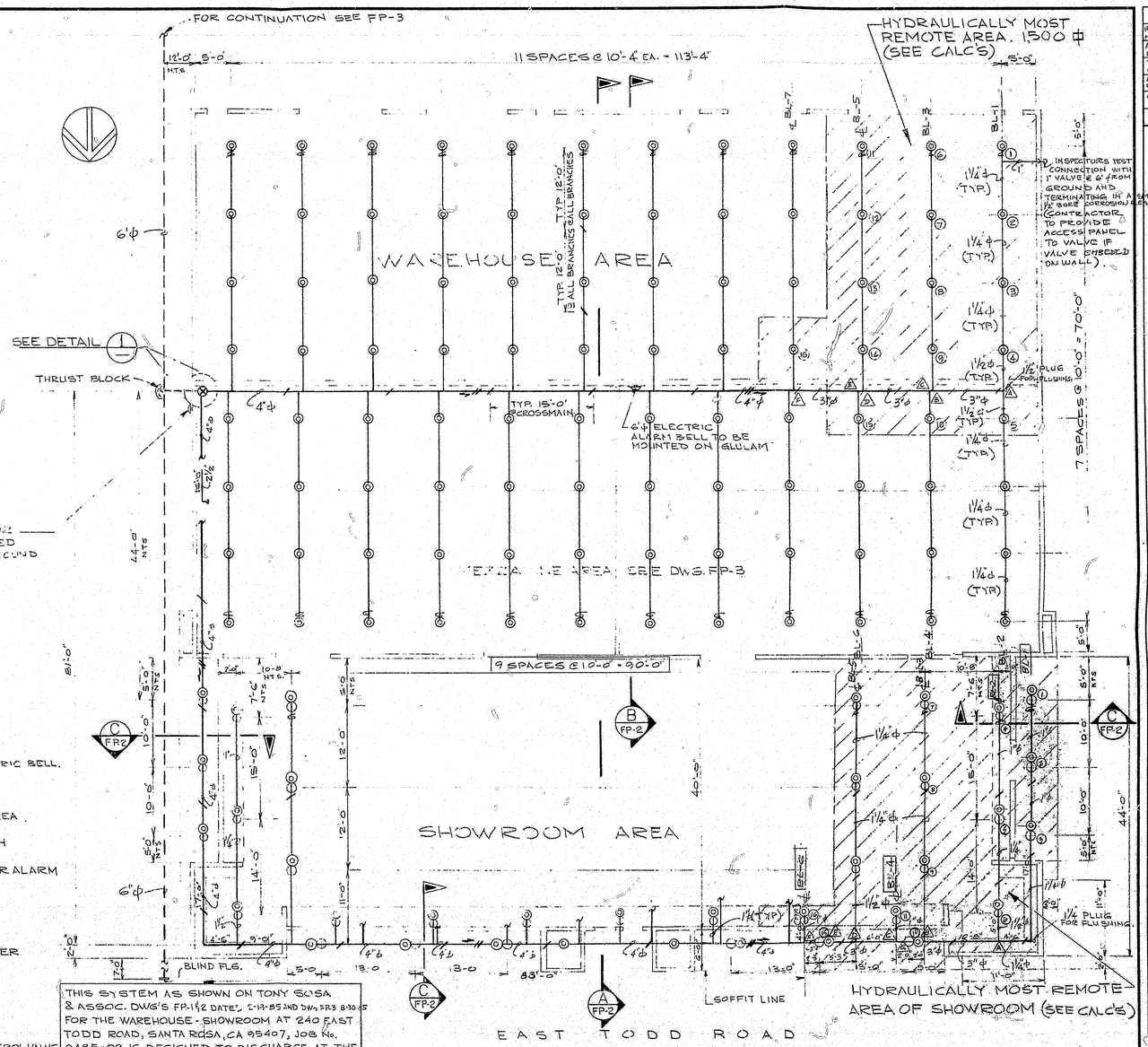


DETAIL 1 — SCALE: NONE

LOCATE RISER OUTSIDE THE BLDG. ENCLOSE ALL PIPES & VALVES, EXCEPT FIRE DEPT. CONNECT. AND DRAIN OUTLET.

THIS SYSTEM AS SHOWN ON TONY SOSA & ASSOC. DWG'S FP-1 & 2 DATED 2-19-85 AND DWG. FP3 8-30-85 FOR THE WAREHOUSE - SHOWROOM AT 240 EAST TODD ROAD, SANTA ROSA, CA 95407, JOB No. 0485-09 IS DESIGNED TO DISCHARGE AT THE RATE OF .19 GPM PER SQUARE FOOT OF FLOOR AREA OVER A MAX. OF 1500 SQ. FT. WHEN SUPPLIED WITH WATER AT THE RATE OF 415.6 GPM AT 45.70 PSI AT THE BASE OF THE RISER.

DETAIL 2



FLOOR PLAN

SCALE: 1/8" = 1'-0"

The approval of these plans is subject to complete compliance with code requirements, special inspections when required and field inspection.

Please read all pertinent sections of applicable codes.

CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED PLANS. REQUESTS FOR CHANGES SHALL BE MADE IN WRITING TO THE BUILDING INSPECTION DEPARTMENT. CHANGES MADE WITHOUT PRIOR APPROVAL SHALL BE SUBJECT TO REJECTION OF THE WORK.

Approved Job Copy Of Plans and Job Cards To be on Job Site.

APPROVED
10-14-85
Sonoma County Building Inspector

FIRE MARSHAL APPROVED by PHWE 10-10-85 DRAN DE CRACKEN REV'D 10-14-85

REGISTERED PROFESSIONAL ENGINEER M. ANTONIO SOSA M. 19140 MECHANICAL STATE OF CALIFORNIA

FILE

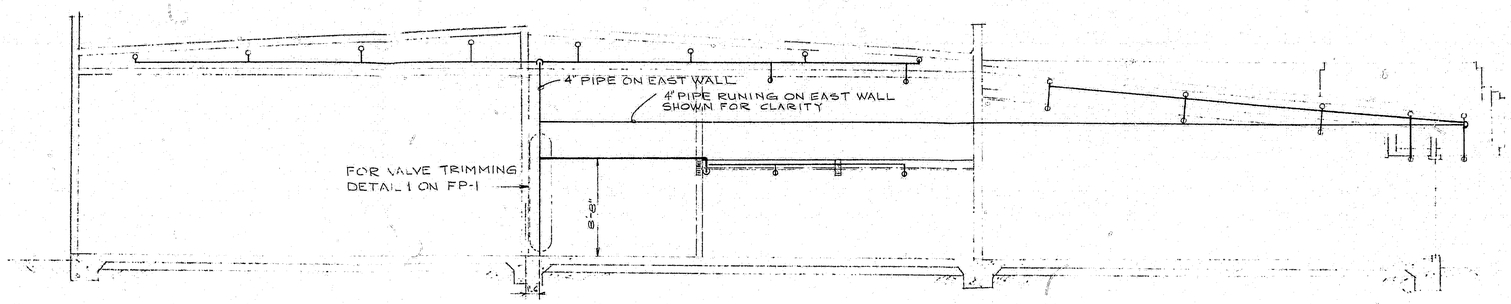
REVISIONS	BY
REVISED RE-MOVE AREA 2	
ADDED COMMENTS BY THE CODE CONSORTIUM	
ADDED ALARM BELL IN WAREHOUSE	
ADDED DWG. FP-3	8/30/85 BW

TONY SOSA & ASSOCIATES
Consulting Engineers
P.O. BOX 6219 • SAN RAFAEL, CA 94903
(415) 472-4080

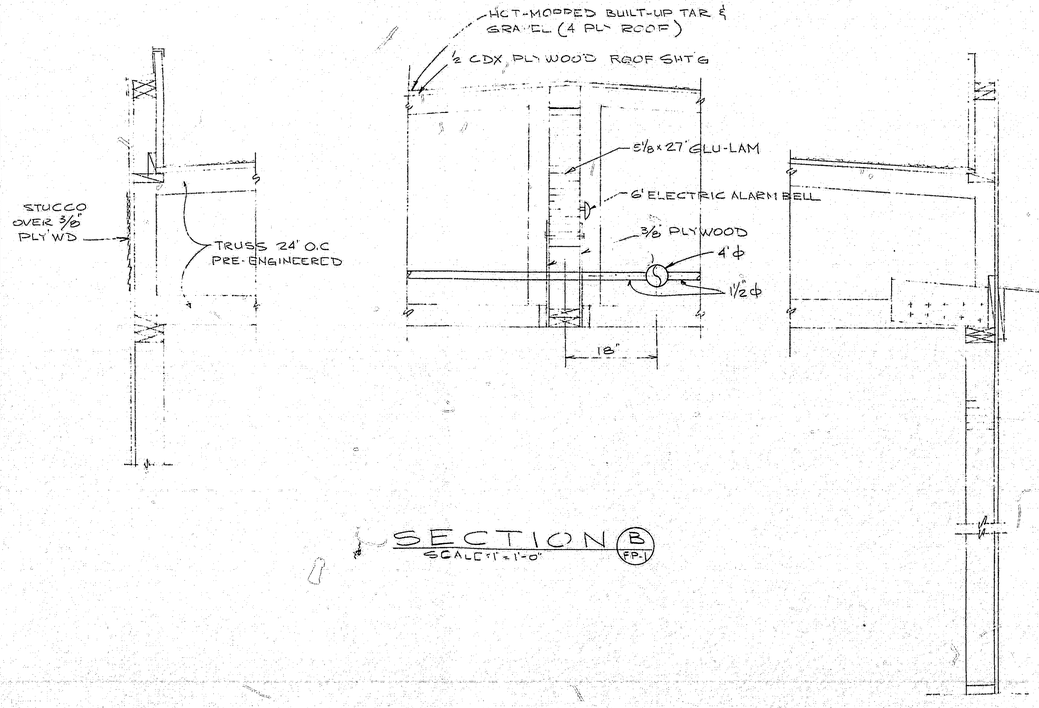
FIRE PROTECTION SPRINKLER SYSTEM
WAREHOUSE & SHOWROOM BLDG.
240 EAST TODD ROAD
SANTA ROSA, CA 95407

DATE FEB. 19, 1985
SCALE AS SHOWN
DRAWN
JOB 04 85-09
SHEET 1 FP-1 OF 3 SHEETS

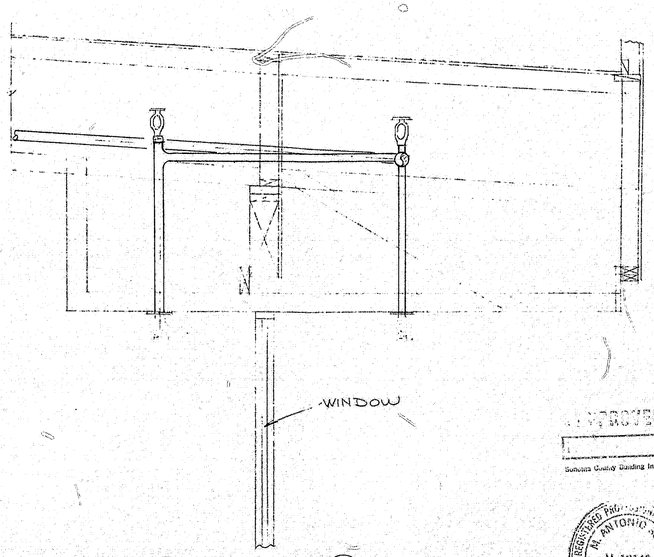
STOCKDRAFTING / DRM NO. 191-93
24X



SECTION A FP-1
SCALE: 3/16" = 1'-0"



SECTION B FP-1
SCALE 1" = 1'-0"



SECTION C FP-1
SCALE 1" = 1'-0"

APPROVED
Sonoma County Building Inspector

REGISTERED PROFESSIONAL ENGINEER
M. ANTONIO SOSA
No. 19140
MECHANICAL
STATE OF CALIFORNIA

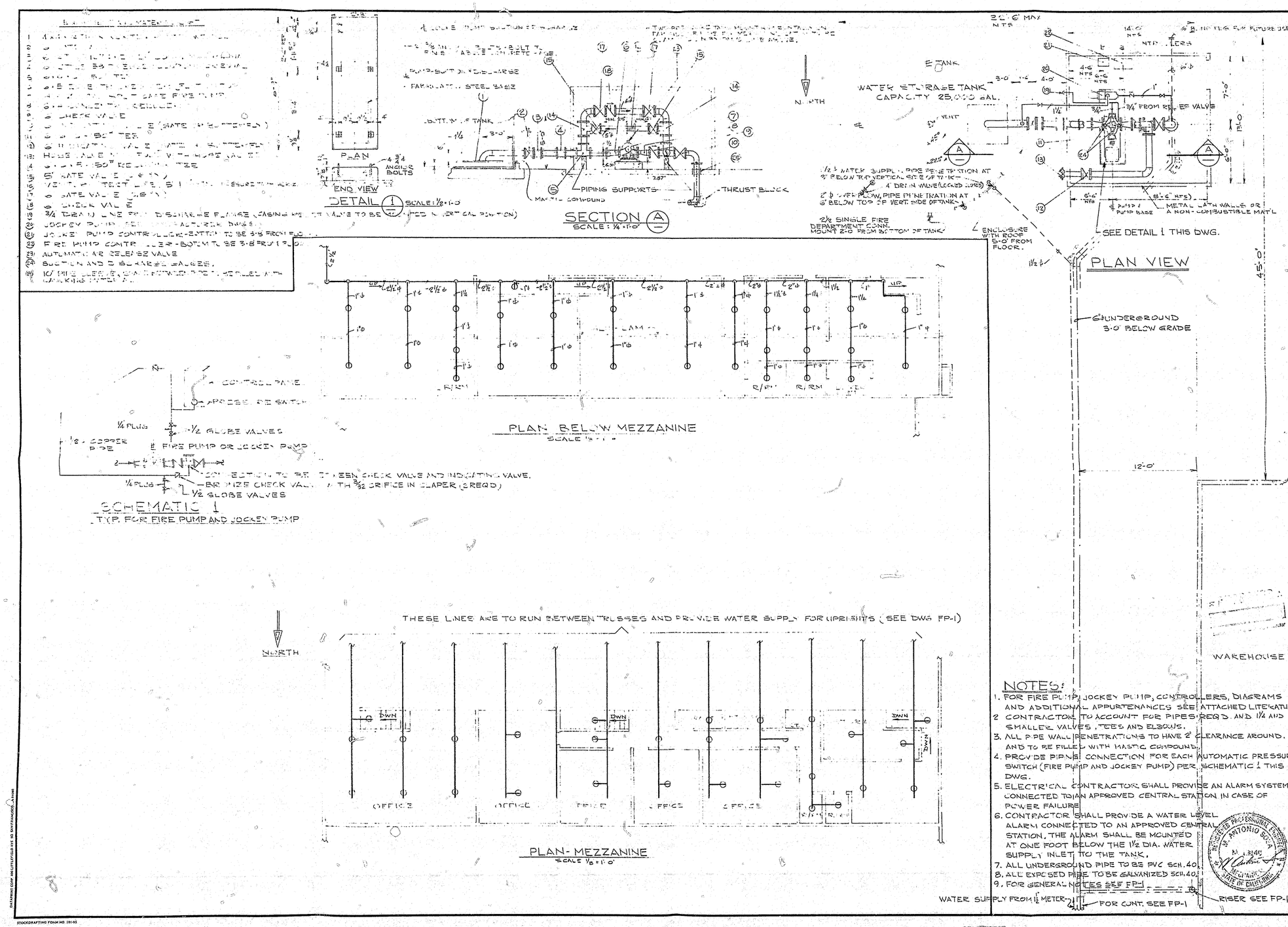
REVISIONS	BY
ADDED PERMANENT STAIRS TO MEZZANINE AREA	

TONY SOSA & ASSOCIATES
Consulting Engineers
P.O. BOX 6219 • SAN RAFAEL, CA 94903
(415) 472-4080

FIRE PROTECTION SPRINKLER SYSTEM
WAREHOUSE & SHOWROOM BLDG-SECTIONS
240 EAST TODD ROAD
SANTA ROSA, CA 95407

DATE 2/20/85
SCALE AS SHOWN
DRAWN S
JOB 2485-09
SHEET 2 FP-2
OF 3 SHEETS

24X



NOTES:

1. FOR FIRE PUMP, JOCKEY PUMP, CONTROLLERS, DIAGRAMS AND ADDITIONAL APPURTENANCES SEE ATTACHED LITERATURE
2. CONTRACTOR TO ACCOUNT FOR PIPES REQ'D. AND 1 1/4 AND SMALLER VALVES, TEES AND ELBOWS.
3. ALL PIPE WALL PENETRATIONS TO HAVE 2" CLEARANCE AROUND. AND TO BE FILLED WITH MASTIC COMPOUND.
4. PROVIDE PIPING CONNECTION FOR EACH AUTOMATIC PRESSURE SWITCH (FIRE PUMP AND JOCKEY PUMP) PER SCHEMATIC 1 THIS DWG.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE AN ALARM SYSTEM CONNECTED TO AN APPROVED CENTRAL STATION IN CASE OF POWER FAILURE
6. CONTRACTOR SHALL PROVIDE A WATER LEVEL ALARM CONNECTED TO AN APPROVED CENTRAL STATION. THE ALARM SHALL BE MOUNTED AT ONE FOOT BELOW THE 1 1/2 DIA. WATER SUPPLY INLET TO THE TANK.
7. ALL UNDERGROUND PIPE TO BE PVC SCH. 40.
8. ALL EXPOSED PIPE TO BE GALVANIZED SCH. 40.
9. FOR GENERAL NOTES SEE FP-1

REVISIONS	BY

TONY SOSA & ASSOCIATES
Consulting Engineers
P.O. BOX 6219 • SAN RAFAEL, CA 94903
(415) 472-4080

FIRE PROTECTION SPRINKLER SYSTEM-MEZZ. & UNDERGROUND SYST.
WAREHOUSE AND SHOWROOM BLDG.
240 EAST TODD ROAD
SANTA ROSA, CA. 95407

DATE AUG. 30, 1985
SCALE AS SHOWN
DRAWN TS
JOB 0485-09
SHEET 3 FP-3 OF 3 SHEETS

REGISTERED PROFESSIONAL ENGINEER M. ANTONIO SOSA M. 1840 MECHANICAL STATE OF CALIFORNIA

STOCKDRAFTING FORM NO. 101-43

24X