

The Colliers logo consists of the word "Colliers" in a white serif font, centered within a blue rectangular box. Below the text is a horizontal rainbow-colored bar.

HEADQUARTERS OPPORTUNITY

Advanced Manufacturing | Technology-Ready



HIGH-END DESIGN + DISTRIBUTION CENTER

Fort Wayne MSA, Indiana

The logo for Stonebridge 12420 features the numbers "12420" in a stylized, white, outlined font. The "1" is a simple vertical line, the "2" has a slanted top, the "4" has a vertical stem and a horizontal top bar, and the "0" is a circle with a horizontal line through its center. The numbers are set against a dark green background with a repeating geometric pattern of white diamonds.

STONEBRIDGE

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RARE HEADQUARTERS OPPORTUNITY in Northeast Indiana



12420
STONEBRIDGE




**Office +
Warehouse +
Design Center**



"A flexible, campus-scale opportunity offering immediate functionality, adaptability, and acquisition below replacement cost."

Colliers is pleased to present a rare headquarters-scale opportunity in Northeast Indiana, totaling approximately 189,000 square feet across a flexible office, warehouse, and design campus in Roanoke, just minutes from Fort Wayne. Originally developed as a corporate headquarters and design center, the property offers a unique combination of high-end office buildout and functional industrial infrastructure, including a ±30,000 square foot air-conditioned warehouse and clear-span space that can be readily converted from office to industrial use.

Situated within a strategic manufacturing corridor with access to significant power infrastructure and a deep regional labor pool, the asset is well-positioned for advanced manufacturing, technology, R&D, or mission-critical users. The campus layout provides optionality for single-user occupancy or multi-tenant demising, offering investors and occupiers the ability to acquire a high-quality asset below replacement cost with immediate usability and long-term scalability.

-  ±189,000 SF available
-  Up to ±106,000 SF of fully air conditioned warehouse space
-  Situated on ±33 acres
-  Divisible for multi-tenant use
-  Heavy power potential; near GM substation
-  I-69 high wealth corridor near Fort Wayne International Airport
-  Flexible Zoning Covering Commercial and Industrial Uses
-  Built in 2008, expanded in 2015

Property Highlights

Infrastructure & Physical Plant

- 100% climate control across all areas
- Clear height / convertible warehouse floor
- Existing office buildout (plug-and-play HQ)
- Commercial kitchen (employee amenity or test facility)
- Fire-resistant construction

Flexibility & Upside Potential

- Adaptable shell and core
- Demisable for multi-tenant strategy
- Scalable campus environment
- Acquire below replacement cost
- Immediate occupancy with minimal retrofit required
- Adaptable for a wide range of users

Power & Technical Capability

- Close proximity to GM substation
- Heavy power potential
- Ideal for:
 - Data center (edge / hybrid)
 - Advanced manufacturing
 - Testing + R&D
 - Aerospace and Defense

Aerials

Site Plan



Courtyard Area



Campus Overview + Building Specifications

***NOTE:** The current office buildout is largely constructed within the warehouse footprint and can be readily removed, allowing the space to be converted back to a more traditional industrial configuration.

Property Overview

- Total available:** ±189,000 SF
- Current office buildout:** ±158,030 SF
(can be easily scaled back to ±49,200 SF)
- Current warehouse buildout:** ±28,845 SF
(can be easily converted to ±106,000)
- Year built:** 2008
- Year expanded:** 2015
- Configuration:** divisible for multi-tenant use

Office + HQ Environment

- Total office area:** ±158,030 SF
- Private offices:** 57
- Conference rooms:** 18
- Presentation rooms:** 3
- Break rooms / lounges:** 3
- Coffee bars:** 1
- Oasis stations:** 3
- Additional Meeting Areas:**
 - Executive boardroom
 - Training room
 - Virtual meeting room
 - Marketing workroom

Amenities + Employee XP

- Cafeteria + event center:** ±9,300 SF
- Campus environment with outdoor space**
- Interior courtyard**
- Veranda**
- Fitness center + cardio room**
- Men's & women's locker rooms**
- Mother's rooms:** 6

Parking

Total parking: 522 spaces

Warehouse + Industrial Features

- Clear height:** 29' - 39' (warehouse)
- Column spacing:**
 - 19'11" x 29'3"
 - 31' x 31'
- Floor thickness:**
 - 6" (warehouse)
 - 4" (office)
- Lighting:** LED and Fluorescent
- Fire protection:** Wet and ESFR sprinkler system
- HVAC:** air-conditioned warehouse
- Staging areas:** 2

Loading + Access

- Dock-high doors:** 8 (9' x 10')
- Drive-in door:** 1 (12' x 14' ramped)
- Total loading positions:** 9
- Truck circulation:** full site access

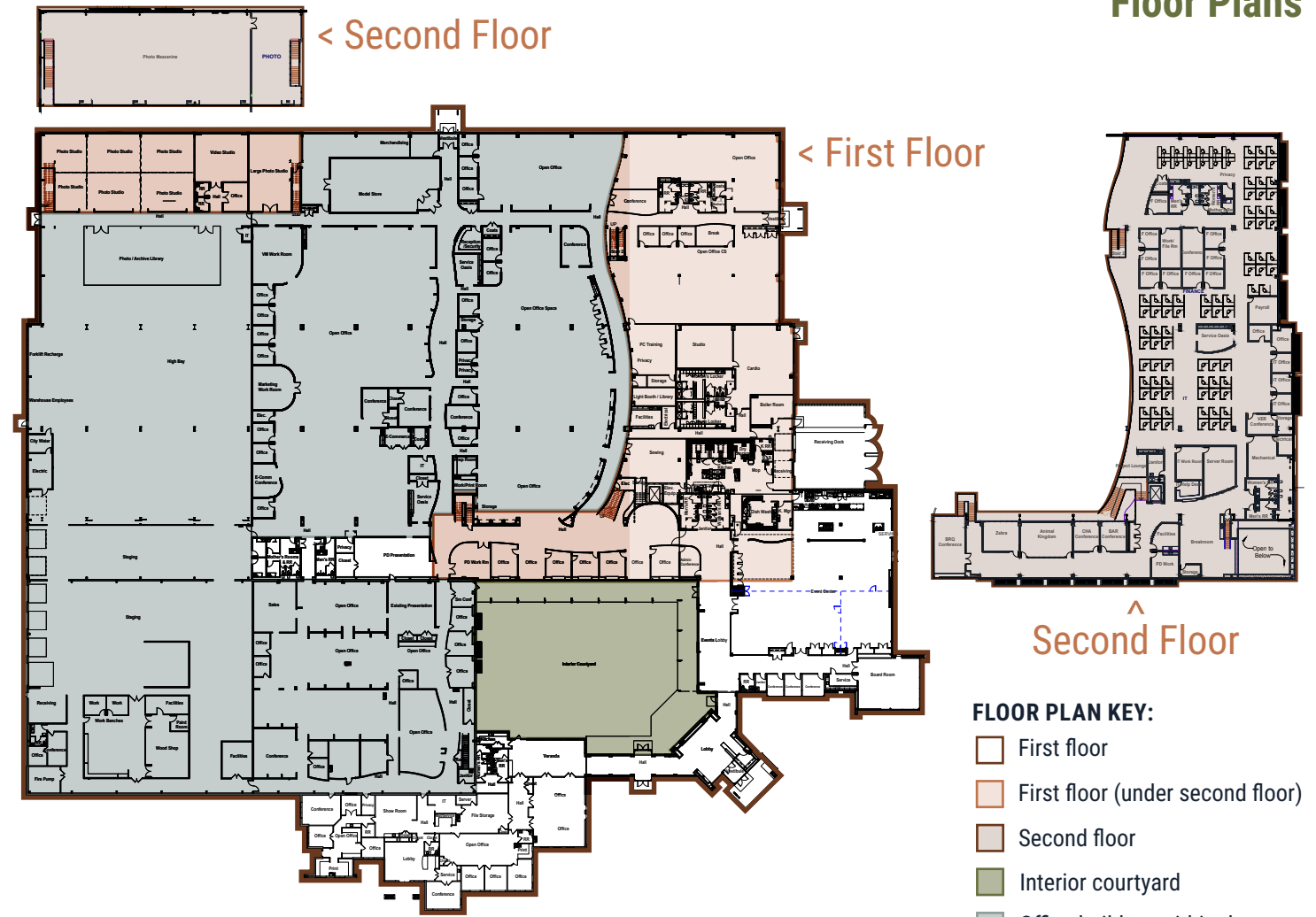
Power + Infrastructure

- Power Capacity:** 2,000A / 277/480V 3-Phase Service
- Server room:** dedicated on-site
- Data / connectivity:** available
- Back-up power:** 250kW diesel generator backed by 400A unit-mounted breaker

Design + Creative Spaces

- 9 Photo studios + mezzanine
- Video studio
- Archive Library
- Design center
- Showroom
- Model store
- Wood shop
- Paint room
- Sewing room

Floor Plans







FLOOR PLAN KEY:

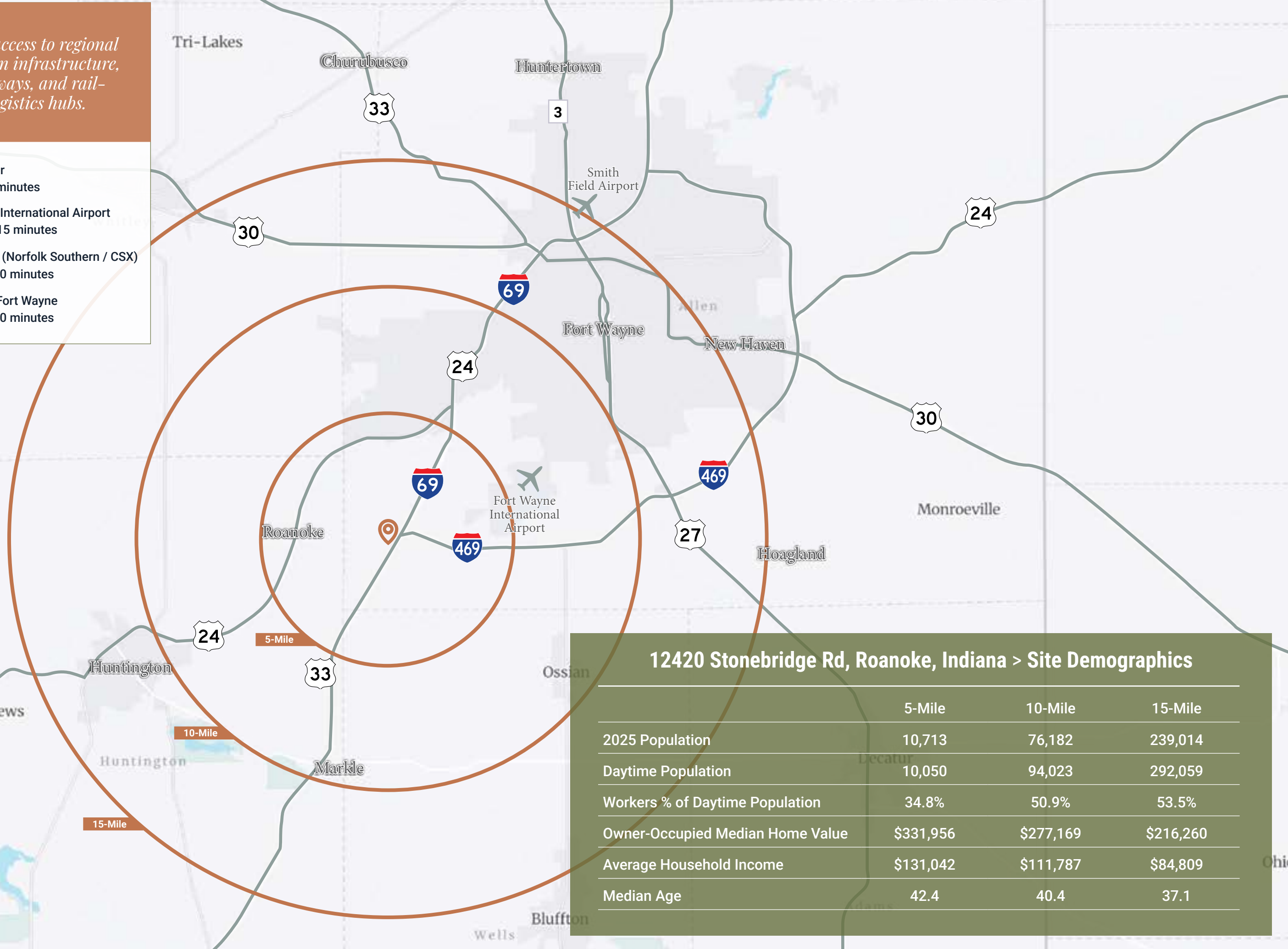
- First floor
- First floor (under second floor)
- Second floor
- Interior courtyard
- Office buildout within the warehouse footprint, designed to retain clear heights and structural capacity for seamless conversion back to industrial functionality



"A thoughtfully designed campus where industrial performance and employee experience go hand in hand."

Convenient access to regional transportation infrastructure, major highways, and rail-served logistics hubs.

-  **I-69 Corridor**
2 miles / 3 minutes
-  **Fort Wayne International Airport**
7.5 miles / 15 minutes
-  **Rail Access (Norfolk Southern / CSX)**
12 miles / 20 minutes
-  **Downtown Fort Wayne**
14 miles / 20 minutes



12420 Stonebridge Rd, Roanoke, Indiana > Site Demographics

	5-Mile	10-Mile	15-Mile
2025 Population	10,713	76,182	239,014
Daytime Population	10,050	94,023	292,059
Workers % of Daytime Population	34.8%	50.9%	53.5%
Owner-Occupied Median Home Value	\$331,956	\$277,169	\$216,260
Average Household Income	\$131,042	\$111,787	\$84,809
Median Age	42.4	40.4	37.1

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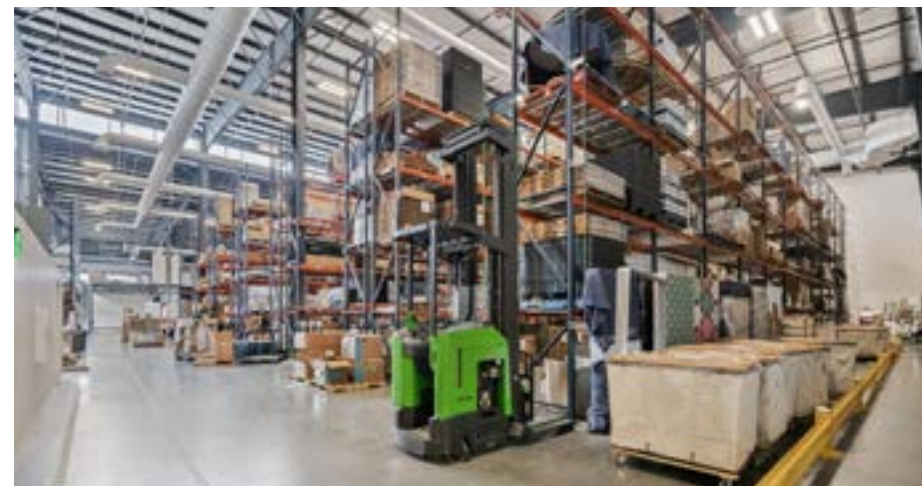
- | | | | | |
|--|--|--|---|---|
| <p>Industrial / Manufacturing</p> <ul style="list-style-type: none"> 1 General Motors Assembly Plant 2 Franklin Electric 3 Steel Dynamics 4 Michelin North America 5 Trelleborg Sealing Solutions 6 WaterFurnace International 7 Master Spas | <p>Aerospace & Defense</p> <ul style="list-style-type: none"> 8 BAE Systems 9 Raytheon Technologies 10 L3Harris Technologies 11 Northrop Grumman 12 General Dynamics Mission Systems | <p>Advanced Manufacturing</p> <ul style="list-style-type: none"> 13 CNC Industries 14 Fort Wayne Metals 15 Essex Furukawa Magnet Wire 16 Brunswick Corp | <p>Tech/Data/Engineering</p> <ul style="list-style-type: none"> 17 Google Data Center 18 Sweetwater Sound 19 Lincoln Financial 20 3BG Supply Co. | <p>Logistics / Distribution</p> <ul style="list-style-type: none"> 21 Amazon Fulfillment Center 22 FedEx Ground 23 UPS Distribution 24 SIRVA Worldwide |
|--|--|--|---|---|

Positioned within a proven industrial corridor anchored by General Motors, with access to a deep network of employers, suppliers, and a highly skilled workforce.



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|--|---|---|--|
| <ul style="list-style-type: none"> 1 Vera Bradley Distribution Center 5 Sparks Marketing Group 9 Holman Automotive / Fleet 13 Universal 17 Allen Fabricators 21 AEP Warehouse 25 Pepsi Beverages 29 Faurecia Fort Wayne 33 Altec NUECO 37 LKQ Fort Wayne 41 PSP Seals 45 Alliance Winding Equipment 49 Ryder Integrated Logistics 53 Crown Lift Trucks 57 P.A.M. Transportation 61 Owens & Minor | <ul style="list-style-type: none"> 2 GM Assembly Plant 6 H&M Bay 10 ATC Mobility 14 BWT-Best Warehouse 18 Fox Contractors Corp 22 Clarios FWDC 26 Ellson Bakery 30 Coca-Cola Bottling Co. 34 Bowmar 38 Mitsubishi Chemical 42 Powering Athletics 46 AirX-Clarios Warehouse 50 American Sealants 54 Forward Air 58 Craftline Graphics 62 General Mills | <ul style="list-style-type: none"> 3 LINC Systems 7 SH America 11 Universal Dedicated 15 Lippert Components Plant 19 AEP Transmission 23 Sabert 27 Amazon Warehouse 31 Fill-Rite Company 35 FXI 39 Premier Truck Rental 43 EPCO Products 47 WaterFurnace 51 Smith Brothers 55 TWE Nonwovens US 59 Arden Companies (x2) 63 Walmart Plant | <ul style="list-style-type: none"> 4 Avancez (x2) 8 Seojin Systems America 12 Pfister Sprinkler Systems 16 Amazon Cross-Dock Facility 20 Fort Wayne Metals (x5) 24 BAE Systems 28 Old Dominion Freight Line 32 Franklin Electric Co., Inc. HQ 36 Craftline Fulfillment 40 YRG, Inc. 44 Absolute Machining 48 Skytech Products Group 52 GT Automation Group 56 Peyton's Northern 60 International Paper Company 64 Alro Steel |
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SCAN QR CODE TO
EXPLORE PROPERTY
MARKETING WEBSITE

