

**FOR SALE,  
LEASE, OR BTS**

21889 I-35 Service Road

SALADO, TX 76571



**7.63-Acre Opportunity**



# MIDPOINT TO MARKETS

## A 7.63-ACRE DEVELOPMENT OPPORTUNITY

CBRE is pleased to present a development opportunity for an industrial facility on a 7.63-acre site. Strategically located in an unincorporated area nearest Salado, TX with nearly 1,200 feet of IH-35 Northbound frontage. This site is designed for heavy industrial operations and includes key features to accommodate demanding manufacturing and logistics users. Your choice developer's execution:

- 

**OPTION A - BUILD-TO-SUIT**  
102,000 SF Class A building
- 

**OPTION B - INDUSTRIAL OUTDOOR STORAGE**  
12,000 SF building w/ IOS
- 

**OPTION C - LAND SALE**  
7.63 - Acres

### KEY FEATURES

- Direct IH-35 access minimizes transportation costs and fuel consumption for efficient logistics
- Central location provides quick access to both Georgetown and Temple markets and the broader Texas Triangle region
- Straight path on IH-35 enables faster deliveries, reduced lead times, and flexible inventory management

### OPPORTUNITY AT A GLANCE

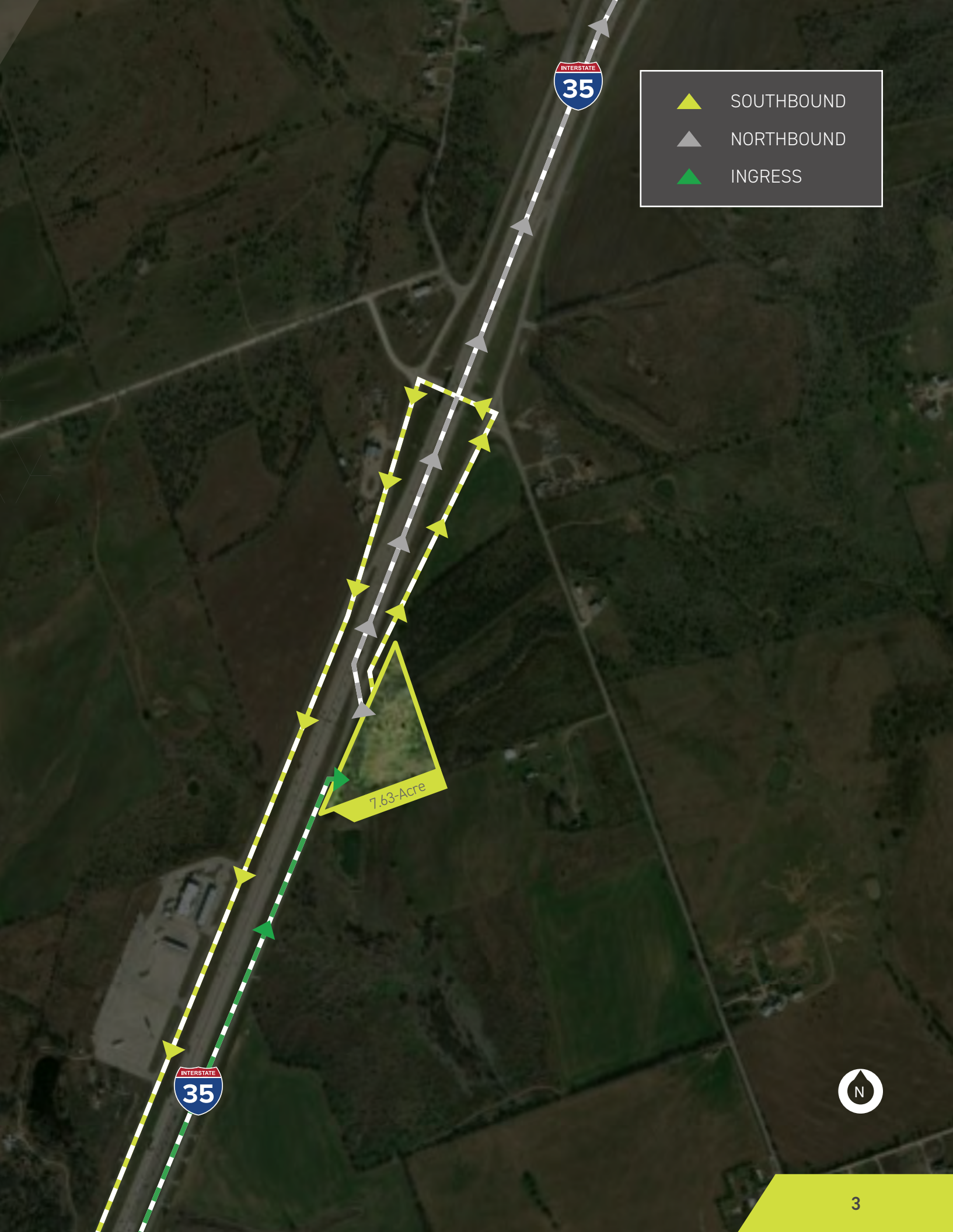
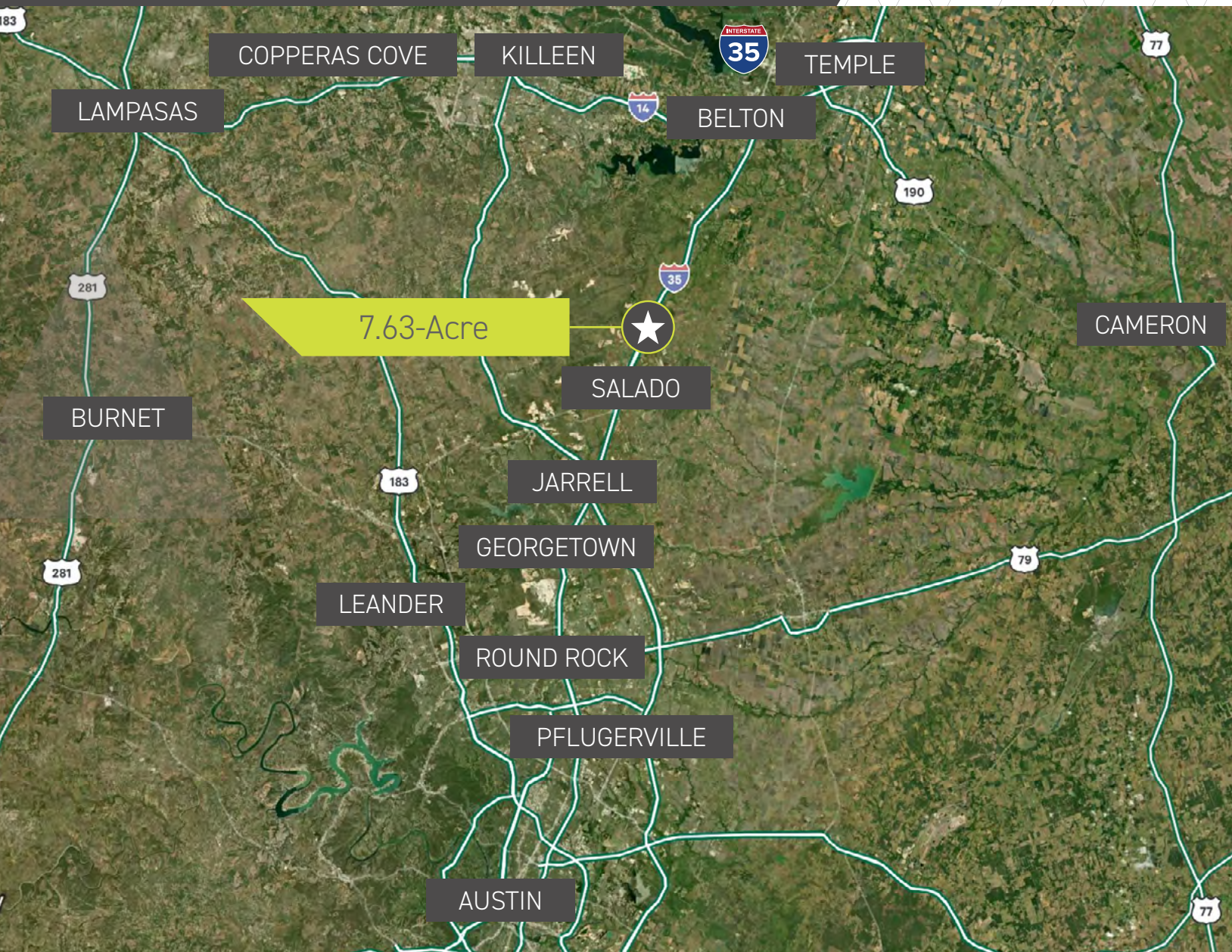
|                     |                                           |
|---------------------|-------------------------------------------|
| Total Acreage       | 7.63 Acre                                 |
| Total Building Size | 102,000 NRSF                              |
| Market              | Texas Triangle                            |
| County              | Bell                                      |
| Utilities           | Oncor Energy or Bartlett Electrical Co-op |
| Water               | TCEQ-standard well water                  |
| Wastewater          | TCEQ-standard well water                  |
| Zoning              | Unincorporated/NA                         |





# STRATEGICALLY POSITIONED IH-35 LOCATION

Midpoint between  
**Georgetown (17 Miles South)**  
and **Temple (27 Miles North)**





# OPTION A

## BUILD-TO-SUIT OVERVIEW

### INDUSTRIAL WAREHOUSE BUILDING SPECIFICATIONS



**TOTAL BUILDING SIZE**  
102,000 SF



**DOCK DOORS**  
Up to 12 Standard  
Dock-High Doors



**CLEAR HEIGHT**  
36'



**AUTO PARKING**  
55+ Standard Spaces



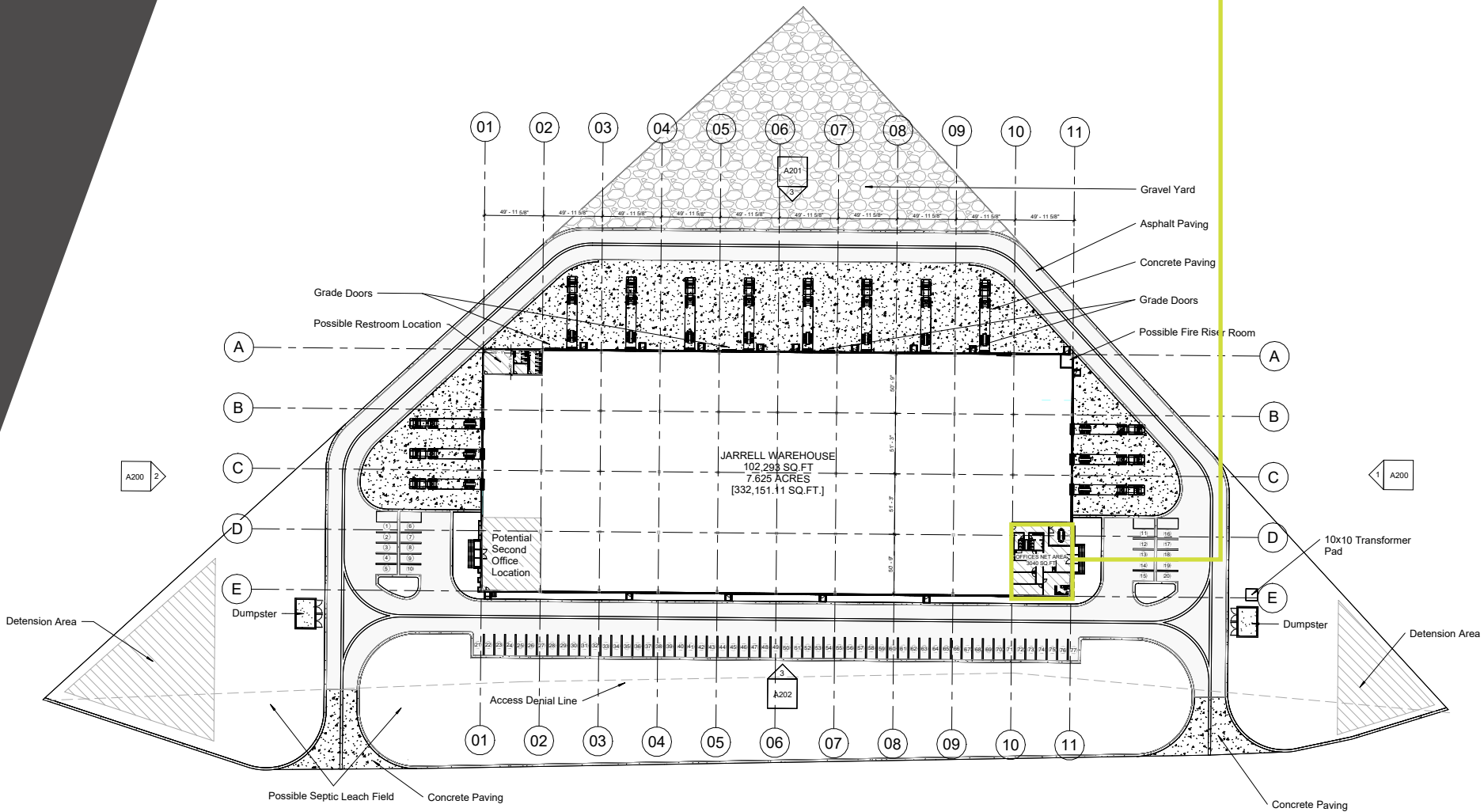
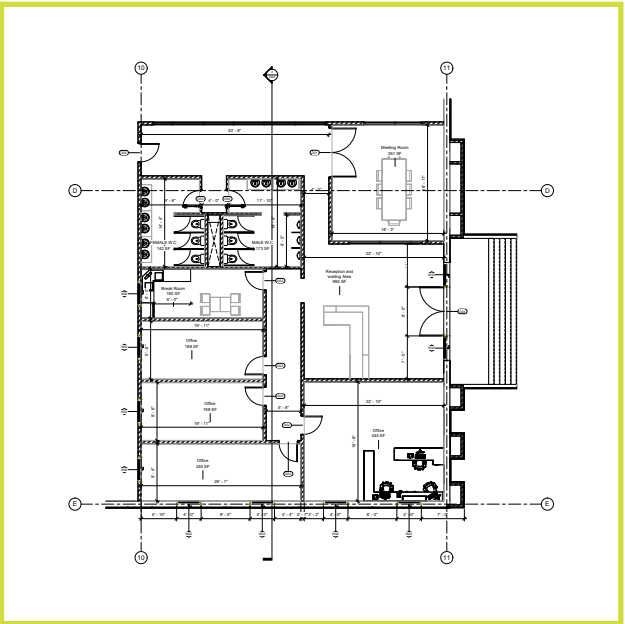
**COLUMN SPACING**  
50x50' Minimum



**TRUCK COURT DEPTH**  
135' Minimum Rear Truck Court on  
the Eastern Side of the Building –  
Landlord Shall Target A 165' Depth  
on the Eastern Side if Possible



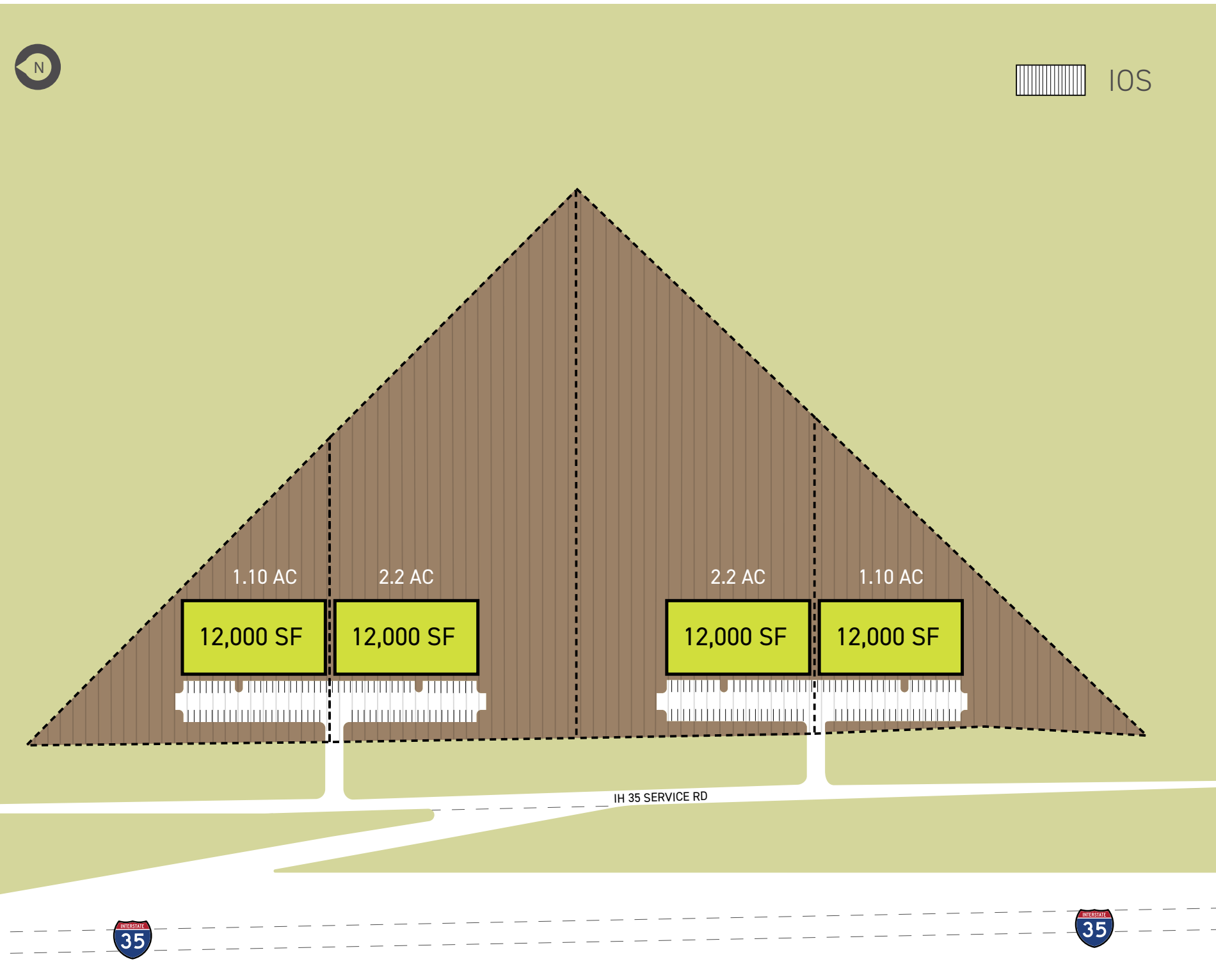
**DRIVE-IN/OVERHEAD DOORS**  
Up to 6 (With Ramps as Needed)





# OPTION B

## INDUSTRIAL OUTDOOR STORAGE OVERVIEW



### BUILD SPECS PER BUILDING

-  **SPEC OFFICE**  
7.63 Acres
-  **CLEAR HEIGHT**  
20'
-  **ELECTRICAL SERVICE**  
400A 227/480 3-Phase
-  **ROOF INSULATION**  
R-19
-  **DOOR/RAMP**  
(1) 12' x 16' Oversized door with Ramp and  
(1) Grade Level Door
-  **IOS DESCRIPTION**  
IOS Yard with Chain Link Fence & Rolling Gates



# OPTION C

## LAND SALE

## OVERVIEW

### SITE SPECIFICATIONS



**TOTAL SITE AREA:**  
7.63 Acres



**ZONING CLASSIFICATION:**  
Unrestrictive/  
Not Applicable



**INGRESS/EGRESS:**  
(2) Right In-Right Out  
Driveways on the IH-35  
Service Road



**PAVEMENT SPECIFICATIONS:**

- Paved Concrete Area: 54,876 SF
- Paved Asphalt Area: 68,809 SF
- Landscaped Area: 61,436 SF





# AUSTIN MSA

## HEART OF THE TEXAS: INNOVATION CORRIDOR

The Austin MSA has been one of the fastest growing major MSAs in the U.S. for the last 10 years, with approximately 2.4 million residents and growing. Austin, the capital of Texas, is famous for its live music, art, diverse culture and emerging tech scenes, giving it the nicknames “Live Music Capital of the World” and “Silicon Hills” for its abundance of technology industry corporate and regional headquarters such as Dell, 3M, IBM, AMD, Samsung, Amazon, Google, Apple, Texas Instruments and many more.

#1

Market for Commercial Real Estate Investments

20M

Residents within 3-Hour Drive

#2

Fastest Growing MSA







# TEXAS TRIANGLE

This site is located within the Texas Triangle, a region in Texas formed by the state's four main metropolitan areas—Dallas-Fort Worth, Austin, San Antonio, and Houston—is home to approximately 75% of the State's population. This area also benefits substantially from trade with Mexico, the United States' third largest trade partner.

## TEXAS THE ULTIMATE DESTINATION FOR BUSINESS



Minimal Corporate and Individual Income Tax



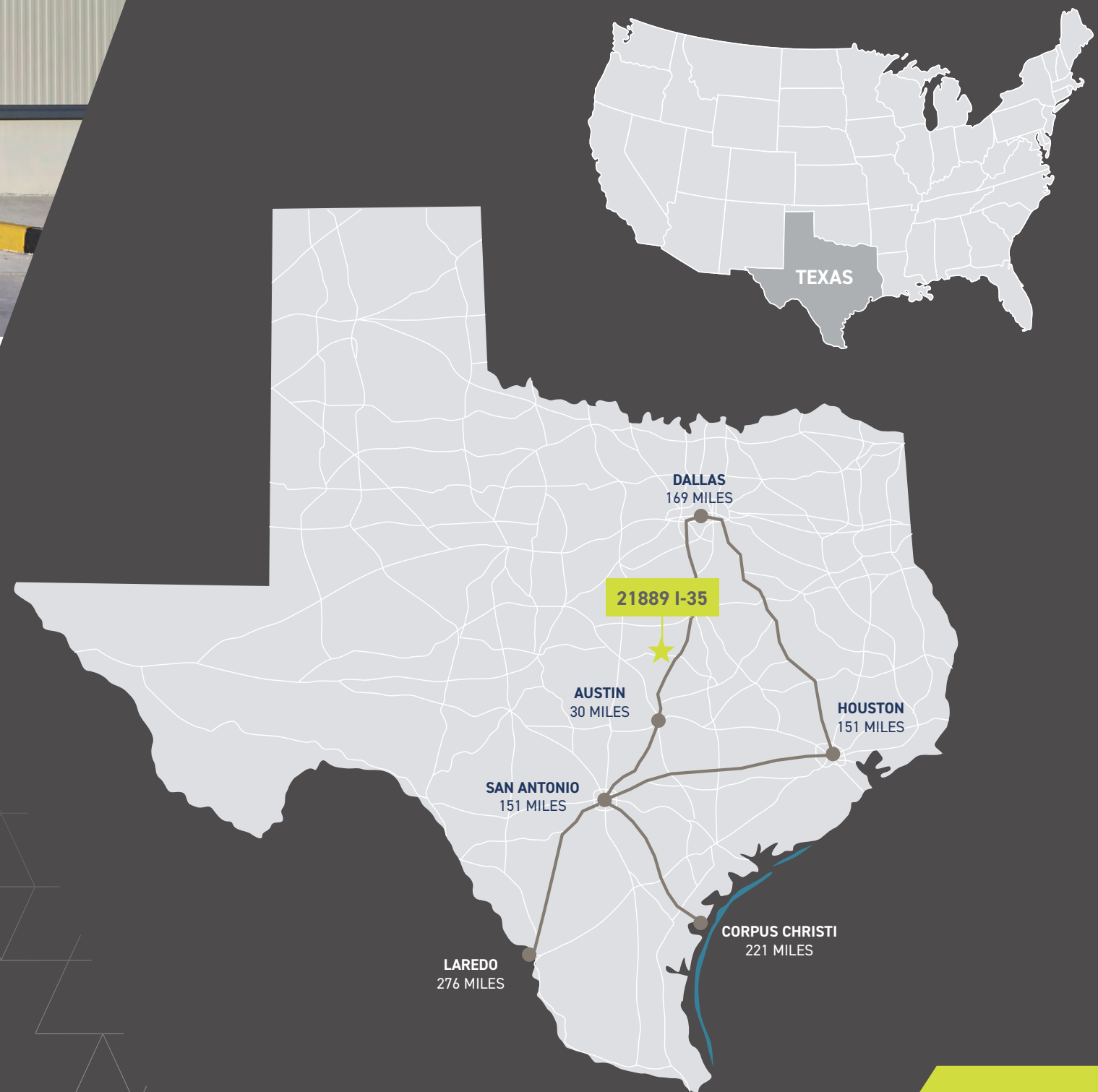
9th Largest Economy in the World



4th Largest State Economy in the Nation



Home to 54 Fortune 500 Headquarters





# OFFERING DETAILS

21889 I-35 SERVICE ROAD SALADO, TX 76571

## OPTION A BUILD-TO-SUIT - 102K SF

|                                         |                                          |                                                           |
|-----------------------------------------|------------------------------------------|-----------------------------------------------------------|
| Total Building SF:<br><b>102,000 SF</b> | Office SF:<br><b>±3,000 SF</b>           | Docks:<br><b>Up to 12 Dock High, 2 Ramps</b>              |
| Clear Height:<br><b>36'</b>             | Truck Court Depth<br><b>135' Minimum</b> | Ingress/Egress<br><b>(2) Right in-Right Out Driveways</b> |

## OPTION B 12,000 SF, WITH IOS YARD

|                                    |                                       |                                                                          |
|------------------------------------|---------------------------------------|--------------------------------------------------------------------------|
| Total SF:<br><b>12,000 SF</b>      | Office SF:<br><b>1,500 SF</b>         | IOS Yard<br><b>1.1 Acres to 2.2 Acres, Packed and Stabilized Caliche</b> |
| Clear Height:<br><b>24' to 28'</b> | Docks:<br><b>±2 Dock High, 1 Ramp</b> |                                                                          |

## OPTION C LAND SALE

|                              |                                                   |
|------------------------------|---------------------------------------------------|
| Total Acres:<br><b>7.63</b>  | Zoning:<br><b>Unrestricted</b>                    |
| County<br><b>Bell County</b> | IH-35 Frontage<br><b>±1,100 Ft IH-35 Frontage</b> |



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## 7.63-Acre Opportunity

FOR MORE INFORMATION PLEASE CONTACT:

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**CBRE**

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