

TWO-BUILDING MEDICAL OFFICE CAMPUS

HOUSTON, TX

MEDICAL OFFICE PROPERTY FOR SALE



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522
TIMBERDALE LN.

&

1250
CYPRESS STATION



Executive Summary

We are pleased to present a two-building medical office campus located in Houston, Texas. The offering consists of approximately ±29,891 SF across two single-story medical office buildings situated on a ±2.9-acre site within an established medical and commercial corridor. The campus benefits from strong accessibility, modern construction, and a configuration well suited for outpatient medical use.

The first building, located at 522 Timberdale Lane, is a ±15,368 SF facility constructed in 2019 and is currently 100% occupied by Texas Oncology, providing immediate stabilized cash flow. The second building, located at 1250 Cypress Station, comprises approximately ±14,523 SF, was renovated in 2019, and is 46% occupied, offering near-term lease-up and value-add potential.

The campus features flexible medical office layouts, modern building systems, and 178 on-site parking spaces, including 18 covered spaces, supporting patient and staff needs. Represented exclusively, this medical office campus offers a compelling opportunity to acquire a healthcare-focused asset combining income stability and future growth potential within the Houston market.

PROPERTY OVERVIEW

The property consists of a two-building medical office campus situated on a combined ± 2.9 -acre site in Houston, Texas. The campus is improved with two purpose-built medical office buildings totaling approximately $\pm 29,891$ square feet, providing a cohesive and functional environment for outpatient healthcare use. The configuration offers a rare combination of scale, parking capacity, and flexibility within a single ownership structure.

The first building, located at 522 Timberdale Lane, comprises approximately $\pm 15,368$ square feet and was constructed in 2019. The building is currently 100% occupied by Texas Oncology and features modern construction, efficient medical layouts, and contemporary building systems, supporting long-term operational stability and tenant retention. The second building, located at 1250 Cypress Station, contains approximately $\pm 14,523$ square feet and was originally built in 1997, with substantial renovations completed in 2019. This building is currently 46% occupied by Texas Oncology, offering immediate income with additional upside through future lease-up opportunities.

Both buildings are designed to accommodate medical office users, with flexible floor plans capable of supporting clinical, administrative, and ancillary medical functions. Site improvements include full perimeter fencing and a total of 178 on-site parking spaces, including 18 covered spaces, ensuring convenient access for patients, staff, and visitors while meeting medical parking ratios. The campus layout allows for shared access and parking while maintaining functional separation between the two buildings, enhancing long-term flexibility for ownership and tenancy. The property's scale, configuration, and medical tenancy profile make it well suited for healthcare-focused investors seeking stable income combined with value-add potential.

Overall, this two-building medical office campus represents a well-located, institutionally attractive asset offering a combination of modern construction, established tenancy, and future growth potential within the Houston medical office market.

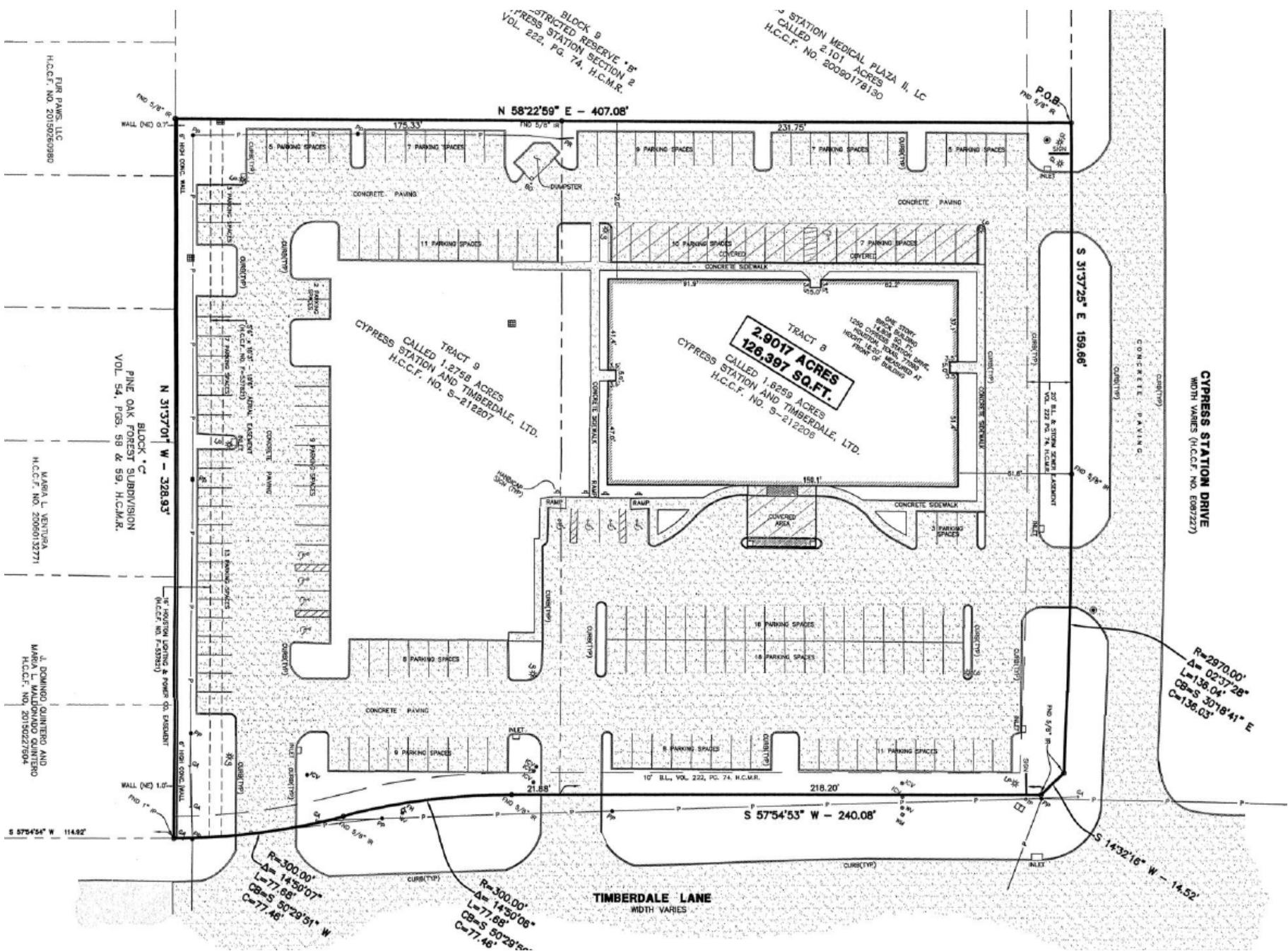


PROPERTY DETAILS

Address	522 Timberdale Ln. & 1250 Cypress Station, Houston, TX 77090
Property Type	Medical Office Buildings
Zoning	Medical / Commercial
Land Area	±2.9 Acres (Combined)
Total Building Size	±29,891 SF (Combined)
Building 1	522 Timberdale Ln. – ±15,368 SF
Building 2	1250 Cypress Station – ±14,523 SF
Stories	1 (Each Building)
Typical Floor Size	±15,368 SF / ±14,523 SF
Building Class	B
Year Built	2019 (522 Timberdale Ln.) 1997 (1250 Cypress Station) – Renovated 2019
Tenancy	Single Tenant (Across Campus)
Occupancy	100% (Building 1) / 46% (Building 2)
Tenant	Texas Oncology
Parking	178 Total Spaces (18 Covered)
Site Improvements	Fully Fenced Campus



SURVEY



AERIAL VIEW





522 TIMBERDALE LN

1250 CYPRESS STATION DR





Spring
High School



DOLLAR TREE



SUBJECT PROPERTY

HCA Houston
Healthcare

Andy Dekaney
High School

Farm To Market 1960 Rd W



Westfield
High School

LONE STAR
COLLEGE



GEORGE BUSH
INTERCONTINENTAL
AIRPORT



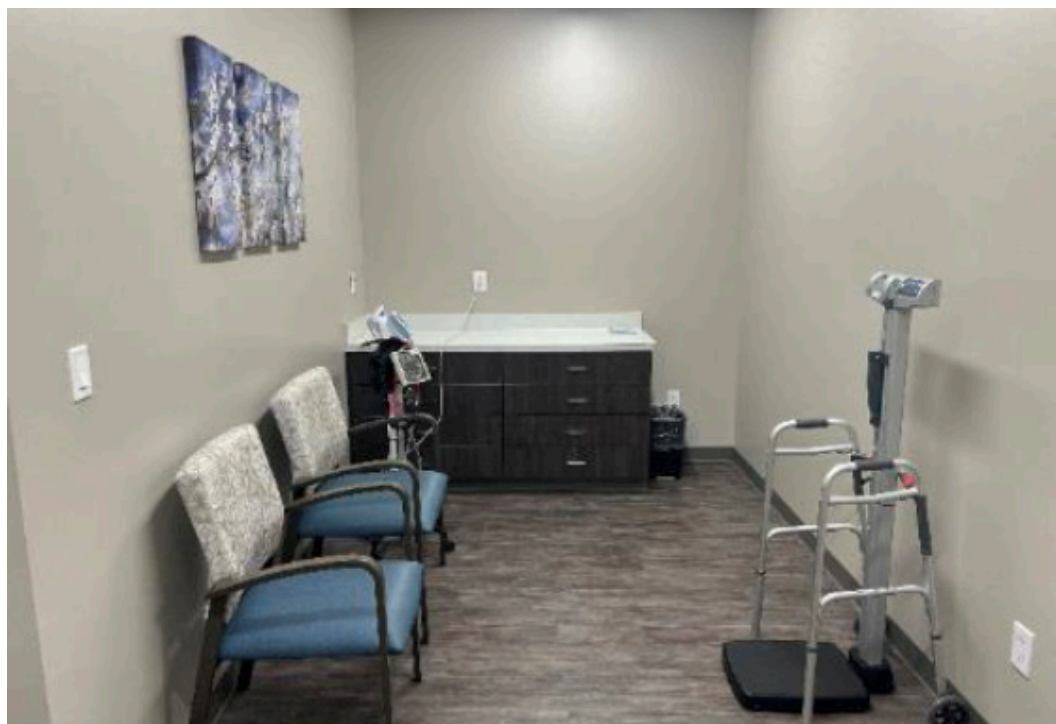
PRIME SOURCE



INVESTMENT HIGHLIGHTS

- Two-building medical office campus totaling approximately ±29,891 SF on a combined ±2.9-acre site, offering scale, parking capacity, and operational flexibility within a single ownership structure.
- Anchored by Texas Oncology, operating approximately 300 locations with over 550 physicians, delivering strong tenant credit and long-term demand drivers associated with outpatient medical use.
- One of only two PET scan facilities available within a 10-mile radius—serving a highly underserved market.
- Blended investment profile featuring a fully stabilized building (100% occupied) alongside a partially occupied building (46% occupied), providing immediate cash flow with near-term value-add upside through lease-up.
- Modern construction and recent renovations, including a 2019-built facility and a second building renovated in 2019, reducing near-term capital expenditure requirements.
- Purpose-built medical office layouts designed to support clinical, administrative, and outpatient healthcare operations, enhancing long-term tenant retention and reusability.
- Exceptional parking and site functionality, with 178 on-site parking spaces, including 18 covered spaces, meeting medical office parking ratios and supporting patient convenience.
- Fully fenced campus environment providing enhanced security, controlled access, and a cohesive medical office setting attractive to institutional healthcare users.
- Strategically located within the Houston medical office market, benefiting from strong population growth, healthcare demand, and access to regional transportation corridors.
- Flexible long-term repositioning potential, allowing ownership to pursue full campus lease-up, medical specialization, or portfolio aggregation strategies.
- Rare opportunity to acquire a medical office campus with both stabilized income and embedded growth potential in a high-demand healthcare real estate sector.

PROPERTY PHOTOS



NORTH HOUSTON | CYPRESS STATION / GREENSPPOINT

SUBMARKET QUICK FACTS

The subject properties are located in the North Houston medical and employment corridor, a well-established submarket anchored by major healthcare providers, corporate campuses, and dense residential neighborhoods. The area benefits from strong regional connectivity, a large workforce base, and sustained demand for outpatient medical services. Positioned near Cypress Station and Timberdale Lane, the campus offers convenient access to Interstate 45, Beltway 8 (Sam Houston Tollway), and major arterial roadways, allowing efficient connectivity to Downtown Houston, The Woodlands, and Houston's broader medical ecosystem.

A STRONG AND ESTABLISHED MEDICAL SUBMARKET

- North Houston serves as a key outpatient and medical services hub, supporting a growing population base and consistent healthcare demand.
- The area is home to numerous medical office buildings, hospitals, specialty clinics, and healthcare-related employers, reinforcing long-term tenant demand.
- Proximity to major transportation corridors enhances patient accessibility and employee commute efficiency.

EMPLOYMENT & DEMOGRAPHICS DRIVERS

- The submarket benefits from a large and diverse employment base, including healthcare, logistics, energy services, and professional services.
- Surrounding neighborhoods provide dense residential support, generating steady patient flow for outpatient medical practices.
- Continued population growth in North Houston supports long-term demand for medical office space.

ACCESSIBILITY & CONNECTIVITY

- Immediate access to I-45 and Beltway 8, providing regional connectivity throughout the Houston MSA.
- Convenient ingress and egress for patients, staff, and service providers.
- Located within a short drive of major medical facilities, retail amenities, and residential communities.

DEVELOPMENT & GROWTH TRENDS

- Ongoing commercial and residential development in North Houston continues to strengthen the area's infrastructure and service demand.
- Healthcare real estate remains one of the most resilient asset classes in the submarket, driven by demographic trends and outpatient care expansion.
- Limited new medical office supply in the immediate area supports occupancy stability and rental growth potential.

LOCATION OVERVIEW

The Two-Building Medical Office Campus is prominently located in North Houston within an established medical and commercial corridor serving a dense residential and employment base. Situated near the intersection of major arterial roadways and in close proximity to Interstate 45 and Beltway 8 (Sam Houston Tollway), the campus benefits from strong regional connectivity, excellent accessibility, and convenient access to Houston's broader healthcare ecosystem. The location is well suited for outpatient medical users seeking visibility, accessibility, and proximity to surrounding communities.

Accessibility and Transportation

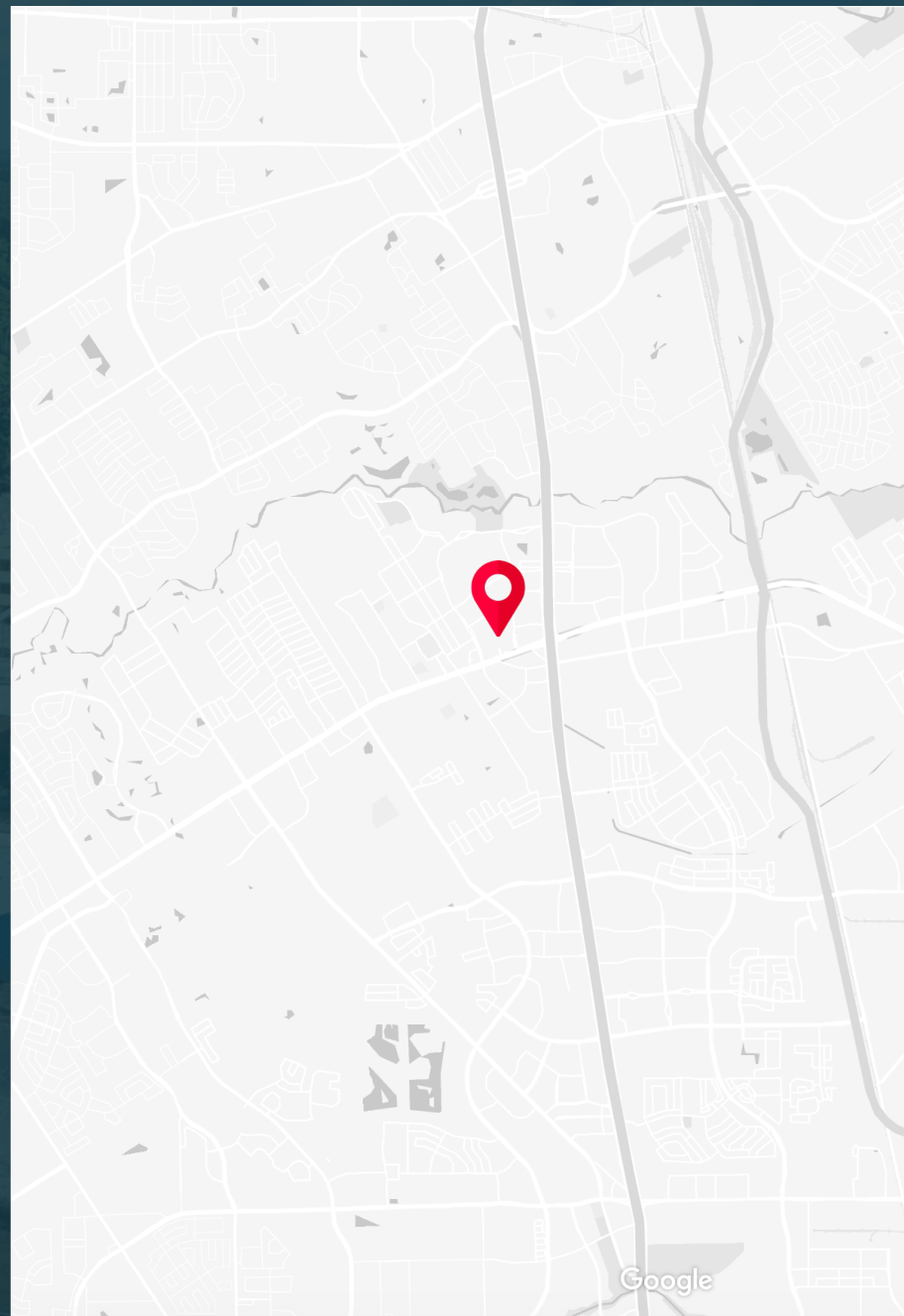
The campus benefits from immediate access to key transportation routes, including I-45 and Beltway 8, providing efficient north-south and east-west connectivity throughout the Houston metropolitan area. These corridors allow for convenient travel to Downtown Houston, The Woodlands, and surrounding submarkets. The area is served by multiple local roadways supporting smooth ingress and egress for patients, staff, and service providers, while ample on-site parking across both buildings further enhances ease of access.

Surrounding Amenities

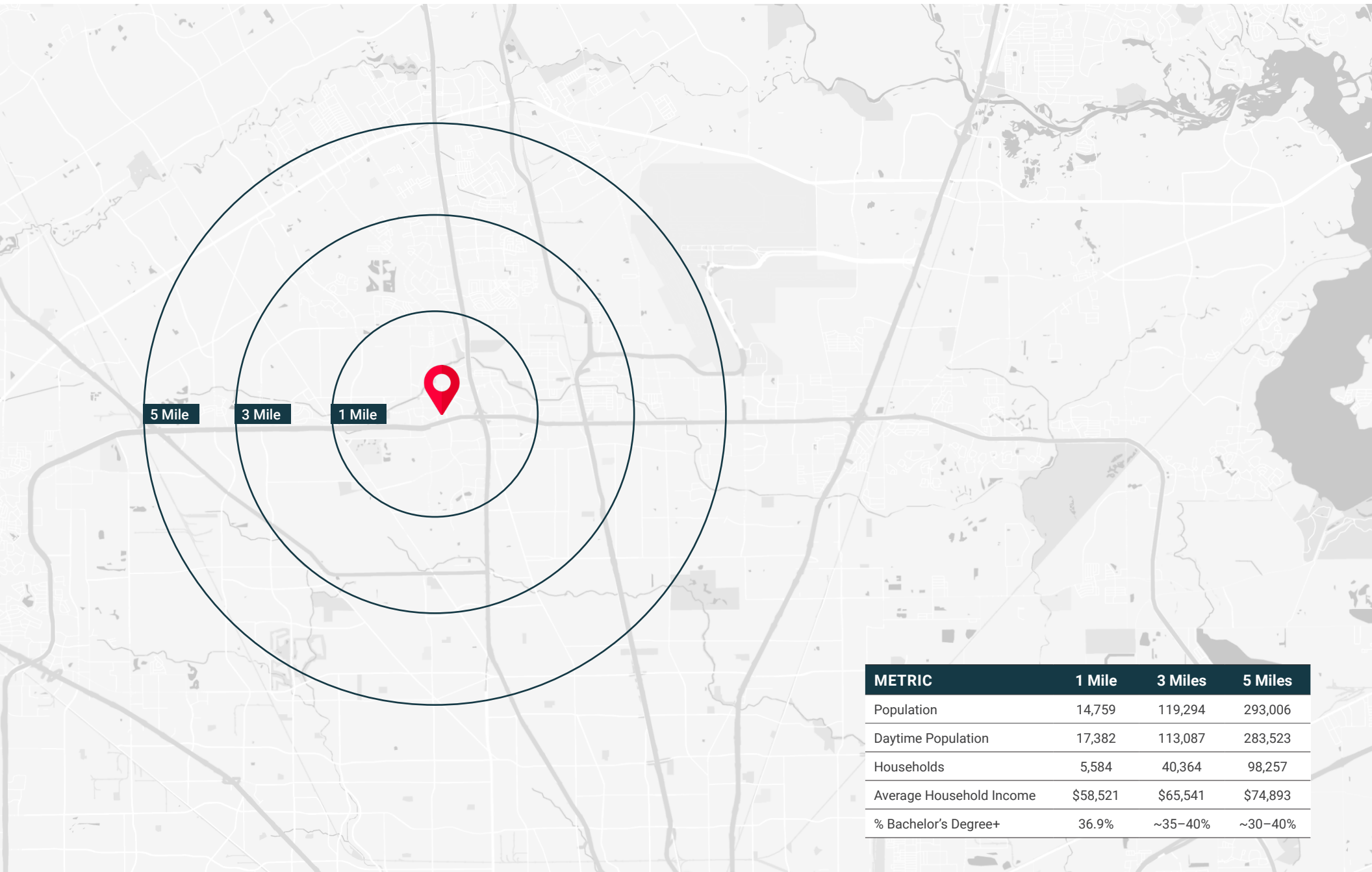
The surrounding area offers a balanced mix of residential neighborhoods, medical facilities, and supporting commercial uses. Nearby amenities include grocery stores, retail centers, restaurants, banks, and professional services, all contributing to daily convenience for employees and patients. The North Houston submarket is home to a growing concentration of healthcare providers, reinforcing the area's role as a regional destination for outpatient medical services.

Economic and Demographic Context

North Houston benefits from the region's continued population growth, expanding workforce, and sustained demand for healthcare services. As the Houston metropolitan area continues to experience outward residential growth, demand for accessible medical office locations in suburban corridors has remained strong. The area's stable demographics, combined with its connectivity and proximity to major employment centers, make this location increasingly attractive for medical tenants and healthcare-focused investors.



DEMOGRAPHICS





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MaHER M. Moukarim is a broker with Capital Heights Properties, a commercial real estate firm specializing in the sale and leasing of healthcare and investment-grade assets. Based in Houston, Capital Heights Properties focuses on representing medical office, retail, and office properties throughout the Greater Houston area. Maher brings a targeted, hands-on approach to each assignment, with particular expertise in medical office campuses and single-tenant healthcare investments.