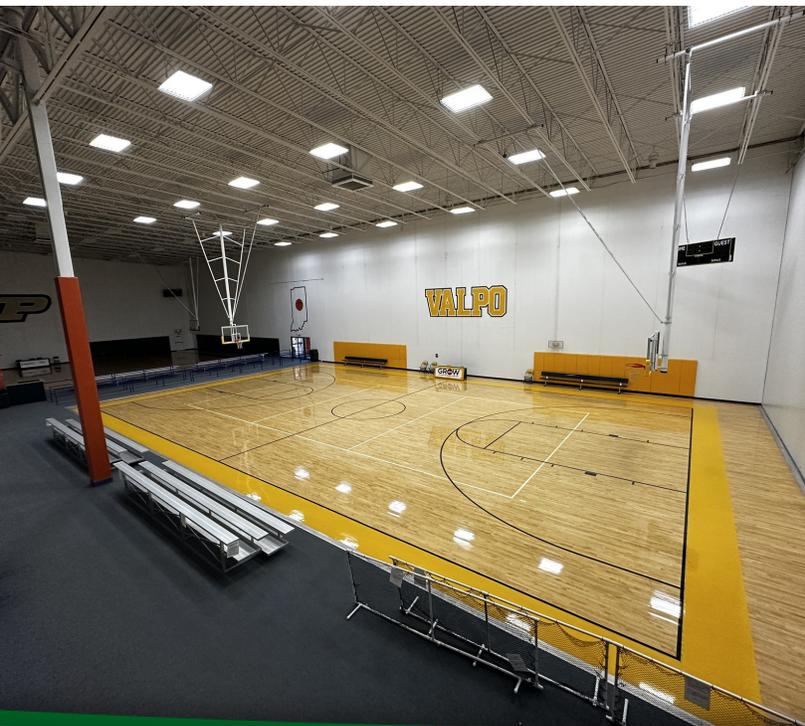


127 E US HIGHWAY 6, VALPARAISO, IN 46383



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NWI PREMIER SPORTS COMPLEX

127 E Us Highway 6, Valparaiso, IN 46383



EXECUTIVE SUMMARY



OFFERING SUMMARY

Sale Price:	\$6,999,000
Price / SF:	\$68.48
Lot Size:	17.9 Acres
Year Built:	2006
Building Size:	102,200 SF
Zoning:	CH

PROPERTY HIGHLIGHTS

- 99,800 SF regional indoor sports complex featuring basketball, gymnastics and tennis facilities.
- Established profitable sports facility with diversified income from league tournaments, and training programs.
- Two-building campus including a 60,200 SF main gym and a 42,000 indoor tennis dome.
- Strategic Valparaiso location with access to Northwest Indiana and greater Chicago market.
- Limited regional competition, creating strong demand for year-round indoor sports programming.

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PROPERTY DESCRIPTION



PROPERTY DESCRIPTION

The Courts of Northwest Indiana is a premier indoor sports and recreation complex totaling approximately 100,000 square feet across two primary buildings on approximately 17.90 acres, designed to support year-round athletic programming, leagues, and large-scale sporting events. The main facility is a 60,200 square foot building with 32-foot ceiling heights featuring four regulation-size basketball courts, a large gymnastics and cheerleading training area, and approximately 3,740 square feet of office space, along with restrooms, a concession area, and pro-shop. The building's open design allows for multiple events, tournaments, and training programs to operate simultaneously, making it a versatile venue for regional sports organizations and community programming.

Complementing the main facility is a year-round play inflatable dome structure totaling approximately 42,800 square feet, which houses six indoor tennis courts and includes an attached 1,868 square foot masonry support building with entrance access, offices, restrooms, and a pro-shop. Additional site improvements include a 2,560 square foot steel-frame pole barn with two overhead doors, and an 80,000 square foot outdoor grass playing field. The facility operates as a fully functioning sports enterprise with diversified revenue streams generated through leagues, tournaments, lessons, camps, and private event rentals, positioning the property as a well-established, income-producing sports destination serving Northwest Indiana and the greater Chicago MSA region.

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PROPERTY DESCRIPTION



LOCATION DESCRIPTION

Located at 127 E. US Highway 6 in Valparaiso, Indiana, The Courts of Northwest Indiana benefits from strong regional accessibility along the US-6 corridor, a key east-west route connecting Porter County with the broader Northwest Indiana and Chicago metropolitan markets. Valparaiso is widely recognized as one of the most desirable communities in Northwest Indiana, offering strong household incomes, steady population growth, and a vibrant local economy anchored by Valparaiso University and a thriving downtown district.

The property draws from a large regional population base that includes Northwest Indiana, the southern Chicago suburbs, and Southwest Michigan, making it an ideal destination for regional sports programming and tournaments. With convenient access to major transportation routes and a limited supply of comparable indoor sports complexes in the market, the location supports a steady flow of athletes, families, and spectators year-round, creating strong demand for recreational, training, and tournament facilities.

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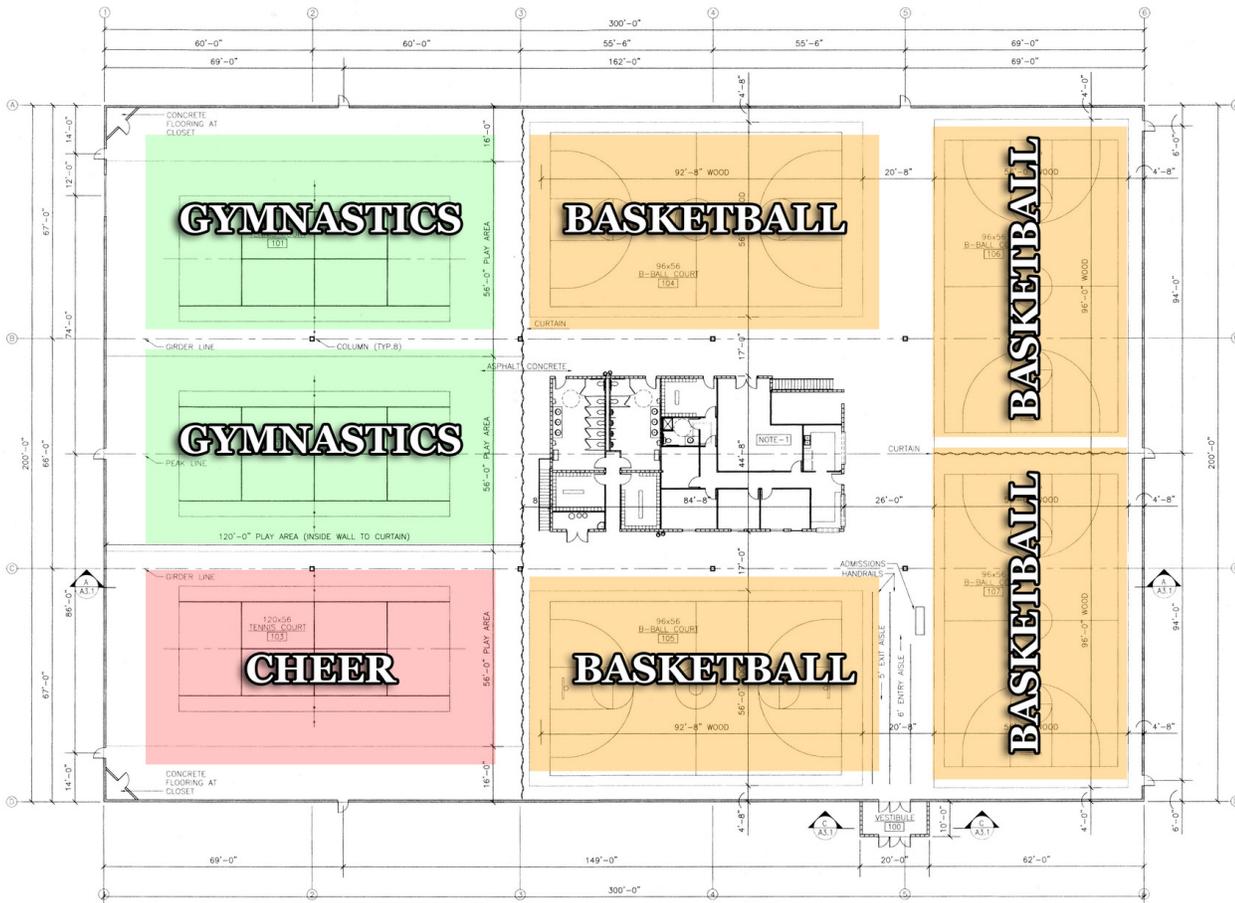
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MAIN FACILITY FLOOR PLAN

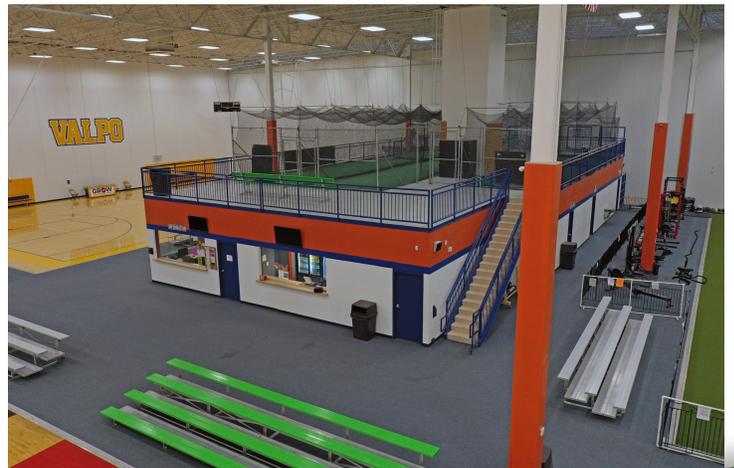
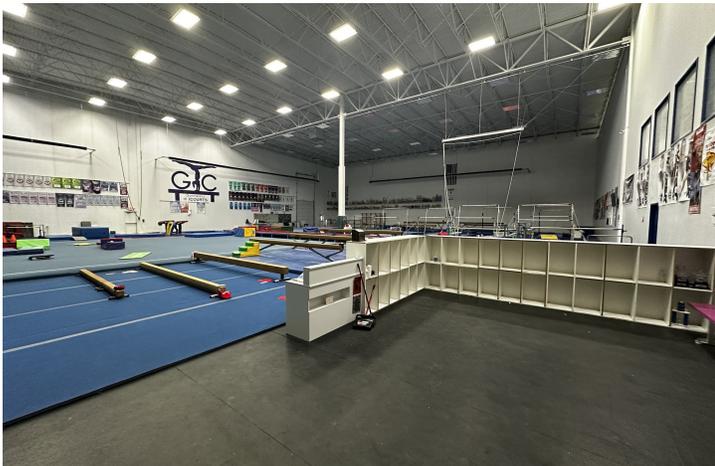


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BASKETBALL, GYMNASTICS AND CHEER



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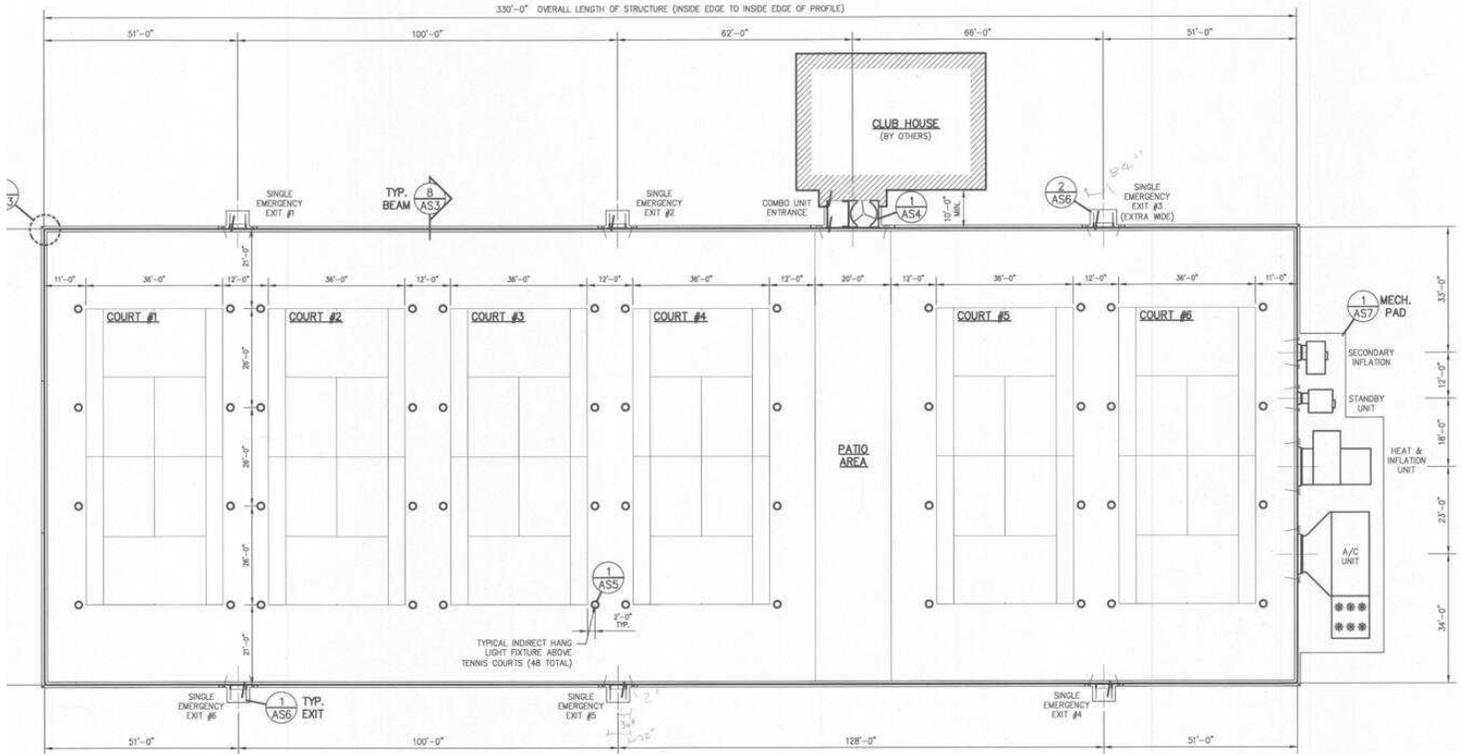
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ADDITIONAL PHOTOS



FLOOR PLAN LAYOUT OF STRUCTURE
SCALE 1/16"=1'-0"

IS AN AIR-SUPPORTED STRUCTURE IN WHICH INTERNAL AIR PRESSURE, THE INTERNAL PRESSURE DECREASES PRIOR TO INCIDENT WEATHER IS DIRECTED IN THE OWNER'S MANUAL, IN LOADING DUE TO WEATHER.

DESIGNED WITH MANUAL METHOD OF SNOW (S) DESIGN AND STANDARDS MANUAL, SECTION 8.8. DAYS & SNOW IS MORE THAN 8 INCHES DEEP INETER OF DOME BY OWNER AFTER EVERY

2. STRUCTURAL:

ALL WORK SHALL CONFORM TO THE APPLICABLE CODES, LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.

THE ENGINEER SHALL BE GIVEN 48 HOURS NOTICE BY THE CONTRACTOR FOR ANY REQUIRED INSPECTION OF FOUNDATION (GRADE BEAM), REINFORCING STEEL, AND FRAMING.

THIS SET OF DRAWINGS SUPERSEDES AND REPLACES ALL PREVIOUS DRAWINGS.

ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. NO CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE ENGINEER.

ALL SURFACES OF EXTERIOR STRUCTURES DIRECTLY EXPOSED TO THE INTERIOR OF THE AIR STRUCTURE (E. BUILDING CONNECTIONS) SHALL BE DESIGNED TO WITHSTAND A MINIMUM OF 20 PSF OF AIR PRESSURE.

THIS AIR-SUPPORTED STRUCTURE HAS BEEN DESIGNED USING CSA DOCUMENT "CAN3-S307-8801 AIR-SUPPORTED STRUCTURES" & NBC OF CANADA 1995 AND IBC 2006 & AS DOCUMENT "AS-77 AIR STRUCTURE DESIGN AND STANDARDS MANUAL" AS GUIDES, AND ASSUMES A DESIGN BASIC WIND SPEED (3-SECOND GUST) OF 90 MPH, EXPOSURE 'C', AS SPECIFIED IN IBC 2006 1609.4.

3. EXCAVATION AND BACKFILL:

SOIL CONDITIONS SHALL BE REPORTED TO THE ENGINEER AT THE TIME OF EXCAVATION AND AT HIS/HER DISCRETION THE ENGINEER MAY REQUEST FURTHER SOILS INVESTIGATION.

REMOVE ALL TOP SOIL AND DELETERIOUS MATERIAL FROM BENEATH ALL STRUCTURAL COMPONENTS.

USE ONLY ENGINEER APPROVED COMPACTED FILL TO RAISE GRADES WHERE REQUIRED BENEATH STRUCTURES.

COMPACT ALL GRANULAR FILL 99% SPOD, COMPACTION TESTING SHALL BE CARRIED OUT BY A QUALIFIED GEOTECHNICAL CONSULTANT PRIOR TO INSTALLATION OF ANY STRUCTURES SUPPORTED ON FILL.

SLOPE ALL GRADES AWAY FROM THE AIR STRUCTURE AND ITS COMPONENTS. PROTECT EXCAVATION AND GRADE BELOW SLABS FROM FROST PENETRATION BY PROPER USE OF STRAW, THERMAL BLANKETS AND/OR TAPPS. APPROVAL TO POUR CONCRETE DOES NOT IMPLY ASSURANCE OF ASSUMED SUBGRADE CONDITIONS USED IN THE STRUCTURAL DESIGN OF THE FOUNDATIONS (GRADE BEAMS) OF THIS PROJECT.

4. CONCRETE:

ALL CONCRETE AND REBAR PLACEMENT SHALL CONFORM TO AC CODE 318-08. CONCRETE STRENGTH SHALL BE 3500 psi (25 MPa), 5% - 8% AIR ENTRAINMENT IN ALL CASES, UNLESS OTHERWISE SPECIFIED.

USE ONLY GRADE 60 (60,000 psi) DEFORMED REBAR.

APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXCESSIVE EVAPORATIVE WATER LOSS AND ENSURE PROPER CURING.

ALL CONCRETE SHALL BE TESTED BY A AD CERTIFIED CONCRETE TESTING LABORATORY.

USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE. IT IS VERY IMPORTANT TO ENSURE THAT ALL VOIDS ARE FILLED AND PROPER BOND IS ACHIEVED BETWEEN THE CONCRETE AND EXTRUDED PROFILE (IF PROFILE IS USED).

APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES FOR AT LEAST SEVEN (7) DAYS FOLLOWING CONCRETE PLACEMENT.

UNLESS OTHERWISE SPECIFIED, ALL CONCRETE SURFACES SHALL BE GIVEN A FLOAT FINISH.

SPLICE LAP LENGTHS AND BEND RADI SHALL - 16 INCH LAP & 1 1/2" BEND RADIUS FOR #5 - 24 INCH LAP & 2" BEND RADIUS FOR #6 - 30 INCH LAP & 2 1/2" BEND RADIUS FOR #7 - 48 INCH LAP & 5 1/2" BEND RADIUS FOR #8

ENSURE MINIMUM COVER FOR ALL REBAR, A MAXIMUM DESIGN LOADS FOR UPLIFT ON THE CONCRETE STRENGTH BE ACHIEVED BEFORE ATTACHMENT SYSTEM IS SUBJECTED TO LOAD

TYPICAL GRADE BEAM IS TRENCHED (NOT FC SINGLE FOUR TO THE TOP SURFACE, WHERE CERTIFYING ENGINEER SHALL BE NOTIFIED IN A SUITABLE ALTERNATIVE.

5. DIMENSIONING:
ALL GRADE BEAM DIMENSIONS ARE THE INSIDE EDGE OF PROFILE TO STRUCTURE MEMBRANE.

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TENNIS AND PICKLEBALL DOME



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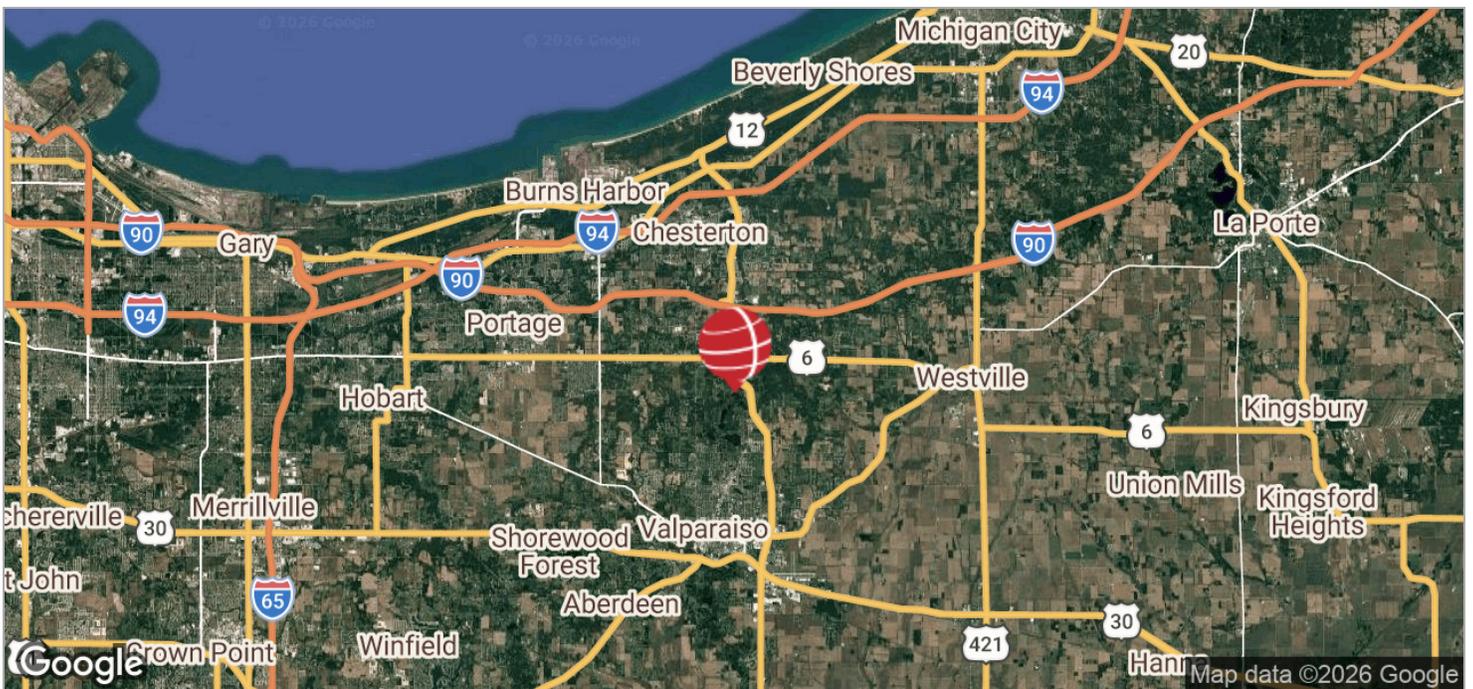
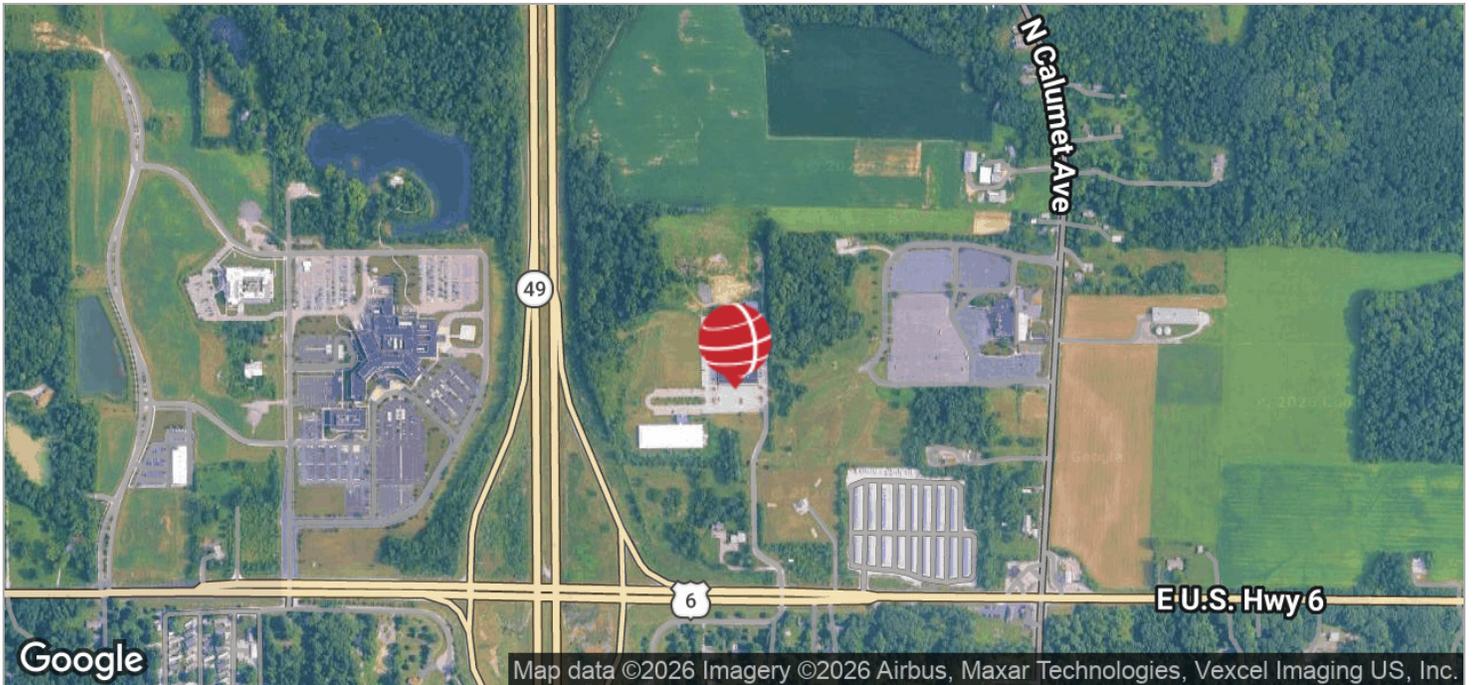
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LOCATION MAPS



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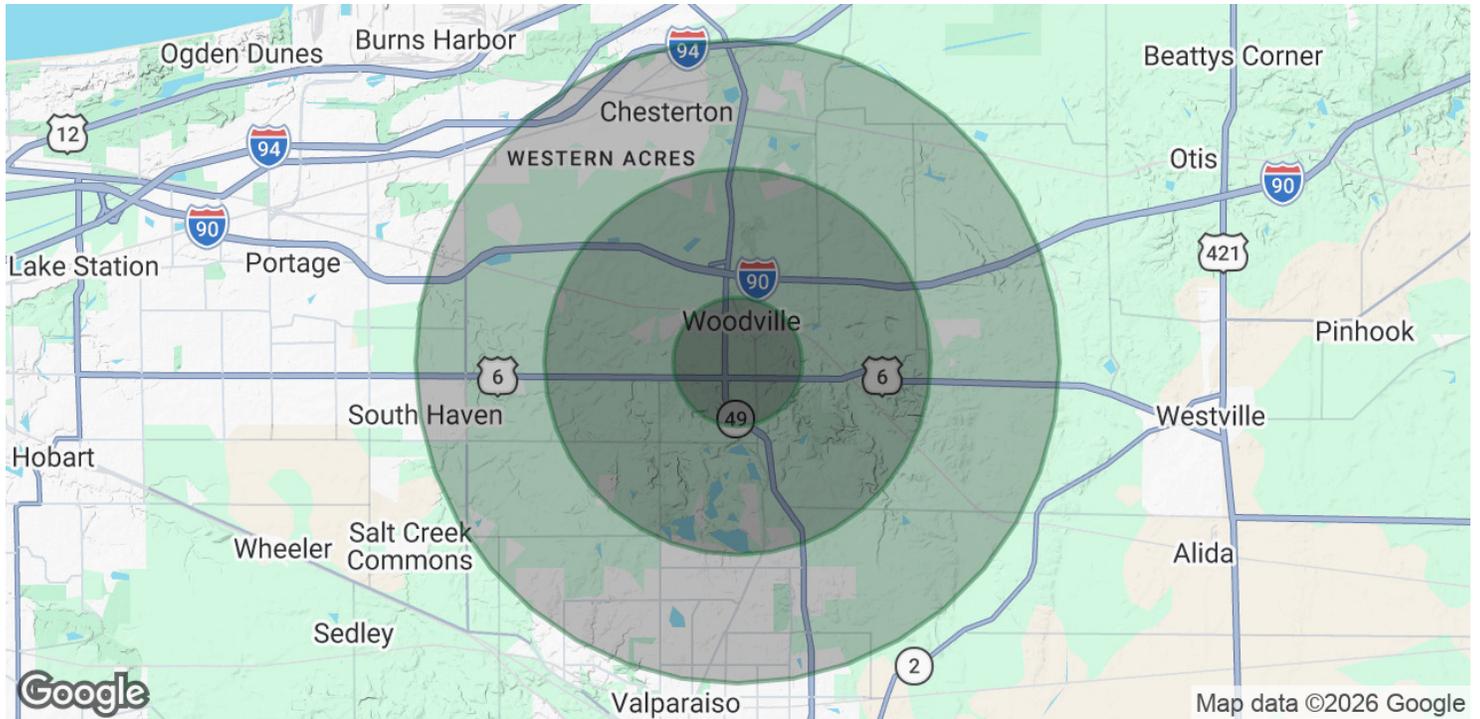
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DEMOGRAPHICS MAP & REPORT



POPULATION

	1 MILE	3 MILES	5 MILES
Total Population	1,314	12,769	57,154
Average Age	38.5	42.5	40.6
Average Age (Male)	36.9	39.1	39.6
Average Age (Female)	41.7	44.7	41.5

HOUSEHOLDS & INCOME

	1 MILE	3 MILES	5 MILES
Total Households	526	4,903	22,700
# of Persons per HH	2.5	2.6	2.5
Average HH Income	\$125,392	\$119,998	\$110,035
Average House Value	\$247,485	\$306,812	\$297,222

2023 American Community Survey (ACS)

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