



**AVAILABLE  
FOR LEASE**

MANUFACTURING AND DISTRIBUTION BUILDING WITH HEAVY  
POWER AND FLEXIBLE DIVISIBILITY  
50,000 SF - 1,179,955 SF AVAILABLE

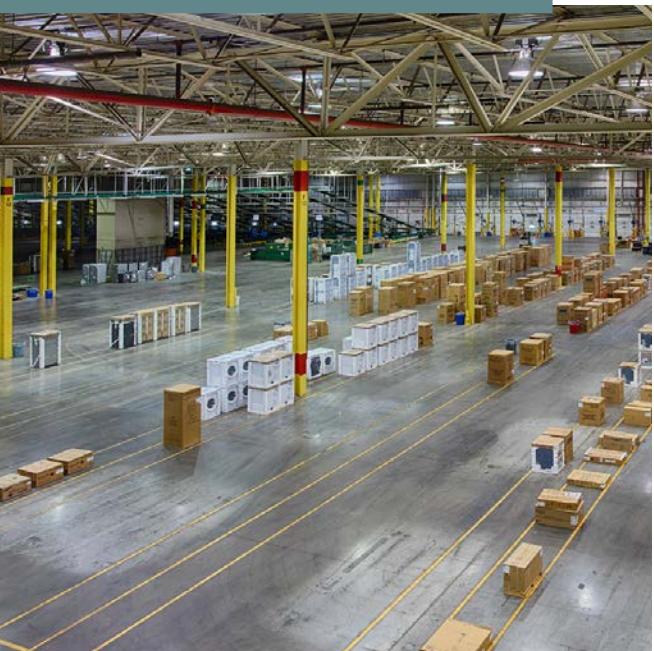
**NEW ZONING**

PERMITS LIGHT, GENERAL AND  
CLEAN-TECH MANUFACTURING  
AS WELL AS OUTDOOR STORAGE

**18875 EAST BROMLEY LANE  
BRIGHTON, CO 80601**



# MILE HIGH MANUFACTURING CENTER



FLEXIBLE  
DIVISIBILITY



400 TRAILERS  
STALLS AVAILABLE



16 ACRES  
FOR TRAILER PARKING  
OR OUTDOOR STORAGE



10MW ONSITE  
WITH UPWARDS OF 20 MW ALSO  
AVAILABLE (TOTAL 30MW TBV)



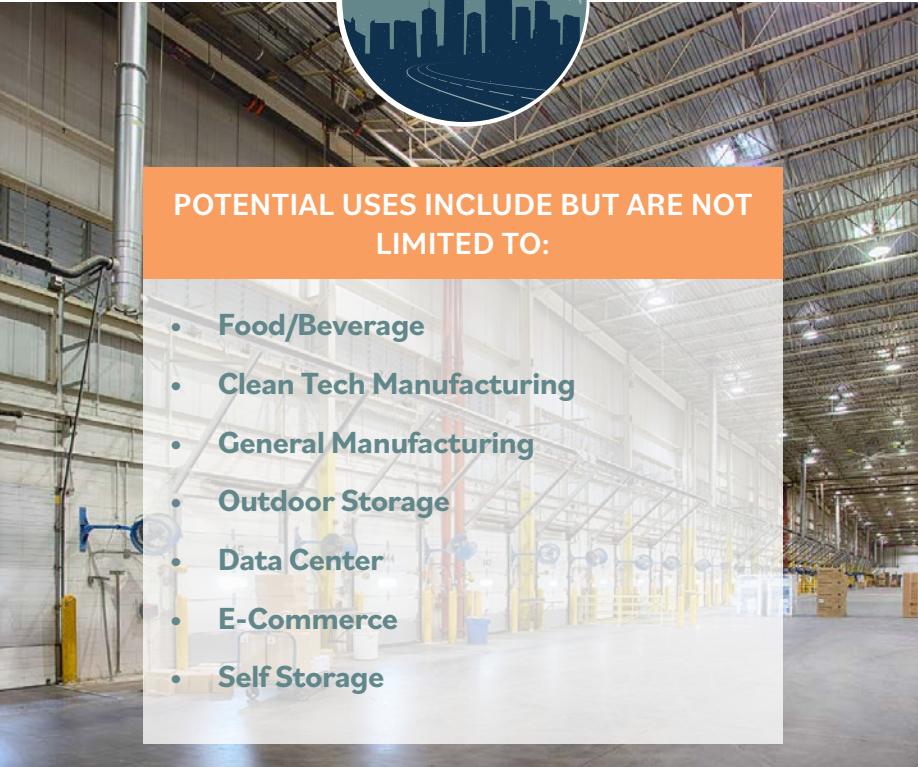
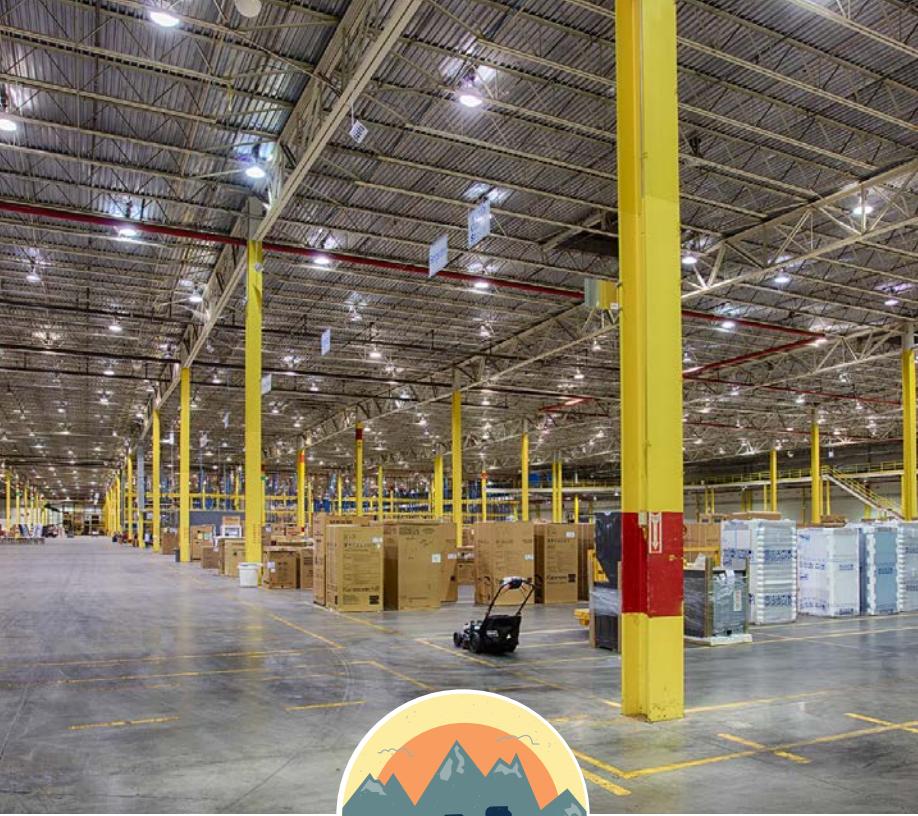
IDEAL  
MANUFACTURING/  
WAREHOUSE  
DISTRIBUTION FACILITY



LOWEST  
OPERATING  
EXPENSES IN  
DENVER MSA



32' CLEAR  
HEIGHT



POTENTIAL USES INCLUDE BUT ARE NOT  
LIMITED TO:

- Food/Beverage
- Clean Tech Manufacturing
- General Manufacturing
- Outdoor Storage
- Data Center
- E-Commerce
- Self Storage

# MILE HIGH MANUFACTURING CENTER

ADDRESS

**18875 E. Bromley Lane, Brighton, CO 80601**

YEAR BUILT

**1994**

TOTAL AVAILABLE SF

**1,179,955 SF** Divisible

OFFICE

**To Suit**

SITE SIZE

**103.3 Acres**

CLEAR HEIGHT

**32'**

COLUMN SPACING

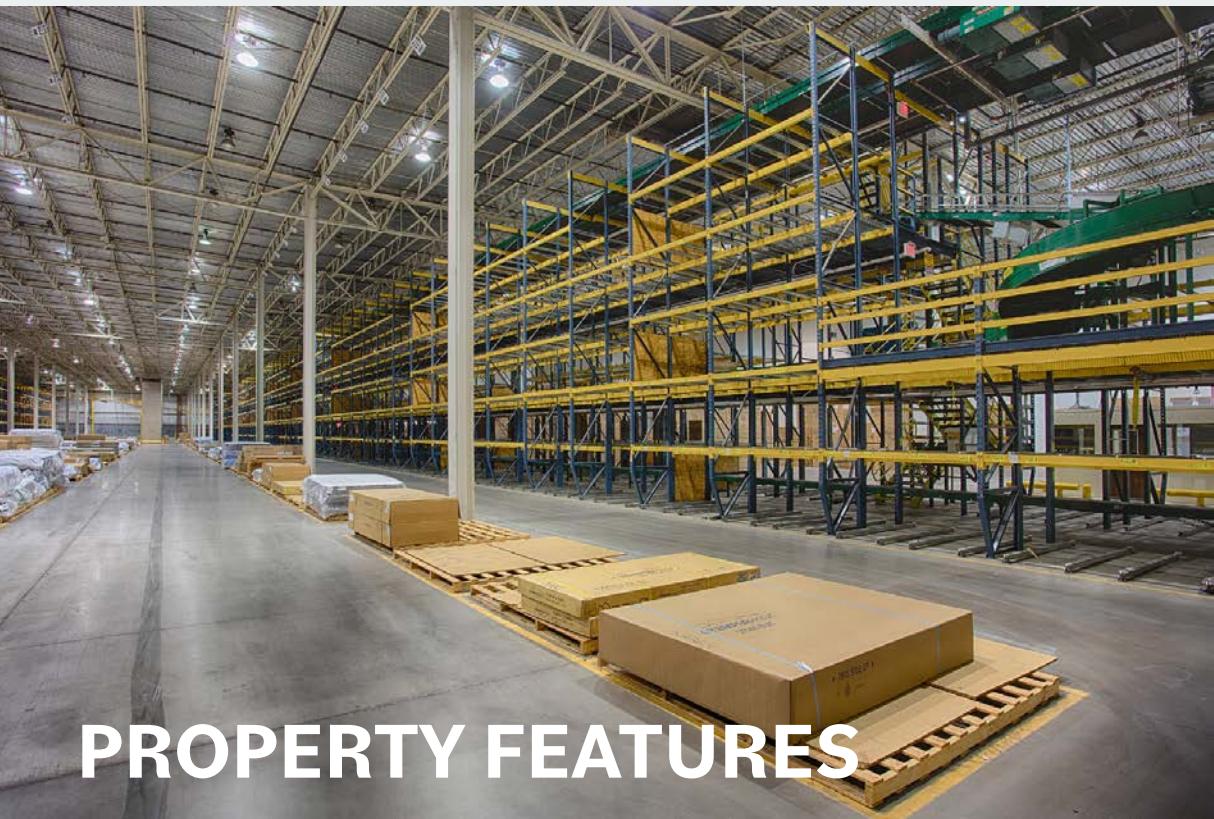
**48' x 58'**

LOADING

**88 Dock High Doors**

Fully equipped with automatic levelers, dock locks, and dock lights  
**2 oversized Drive-In Door Knockouts Available**

Building Size	<b>1,278,455 SF</b>
Power	<b>10MW onsite with upwards of 20MW also available (Total 30MW TBV)</b>
Sprinkler System	<b>ESFR (22 acre feet allowance)</b>
Slab Thickness	<b>8 inches</b>
Power Provider	<b>United Power Cooperative</b>
Trailer Parking/ Outside Storage	<b>400 Trailer Stalls</b>
Water	<b>City of Brighton</b>
Sewer	<b>City of Brighton</b>
2025 OPEX	<b>\$2.99/SF</b>
Zoning	<b>PD (Warehouse/Distribution, Light, General and Technology Manufacturing)</b>



## PROPERTY FEATURES

- Can be demised for various size functionality
- Lowest property taxes in the metro area
- All loading docks equipped with automatic levelers, dock locks, and dock lights.
- Efficient operable louvre air system maintaining ambient warehouse temperatures below 75 degrees.
- 300-kilowatt emergency electrical generator with 250 gallon diesel tank demised for various size functionality
- Economic incentives available
- Strong labor pool



30 MINS TO  
DENVER  
DOWNTOWN



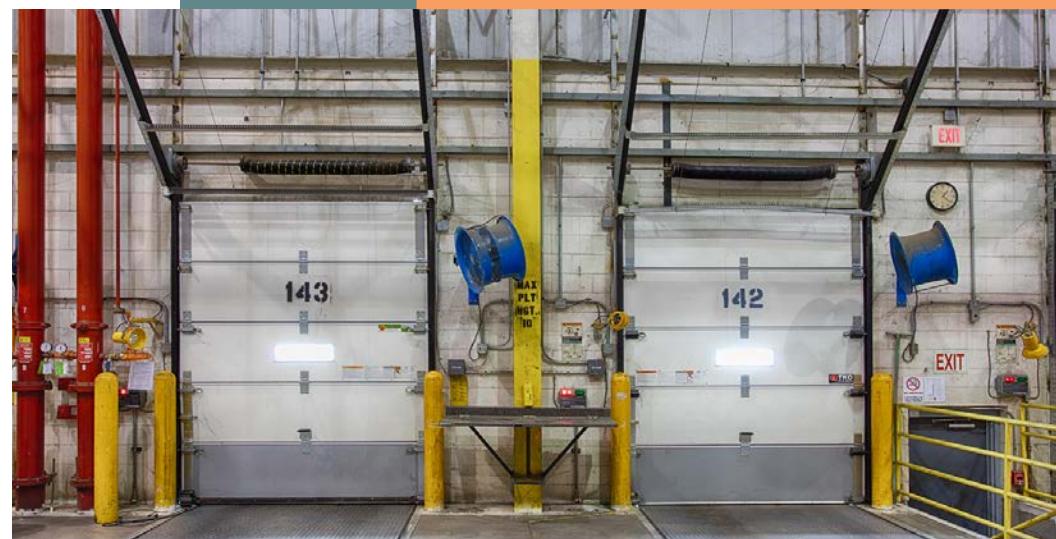
GREAT ACCESS TO  
I-76 AND E-470 VIA  
BROMLEY LN.



CLOSE PROXIMITY TO  
DENVER INT. AIRPORT



EXCELLENT LOCAL  
AND/OR  
NATIONAL  
DISTRIBUTION  
LOCATION

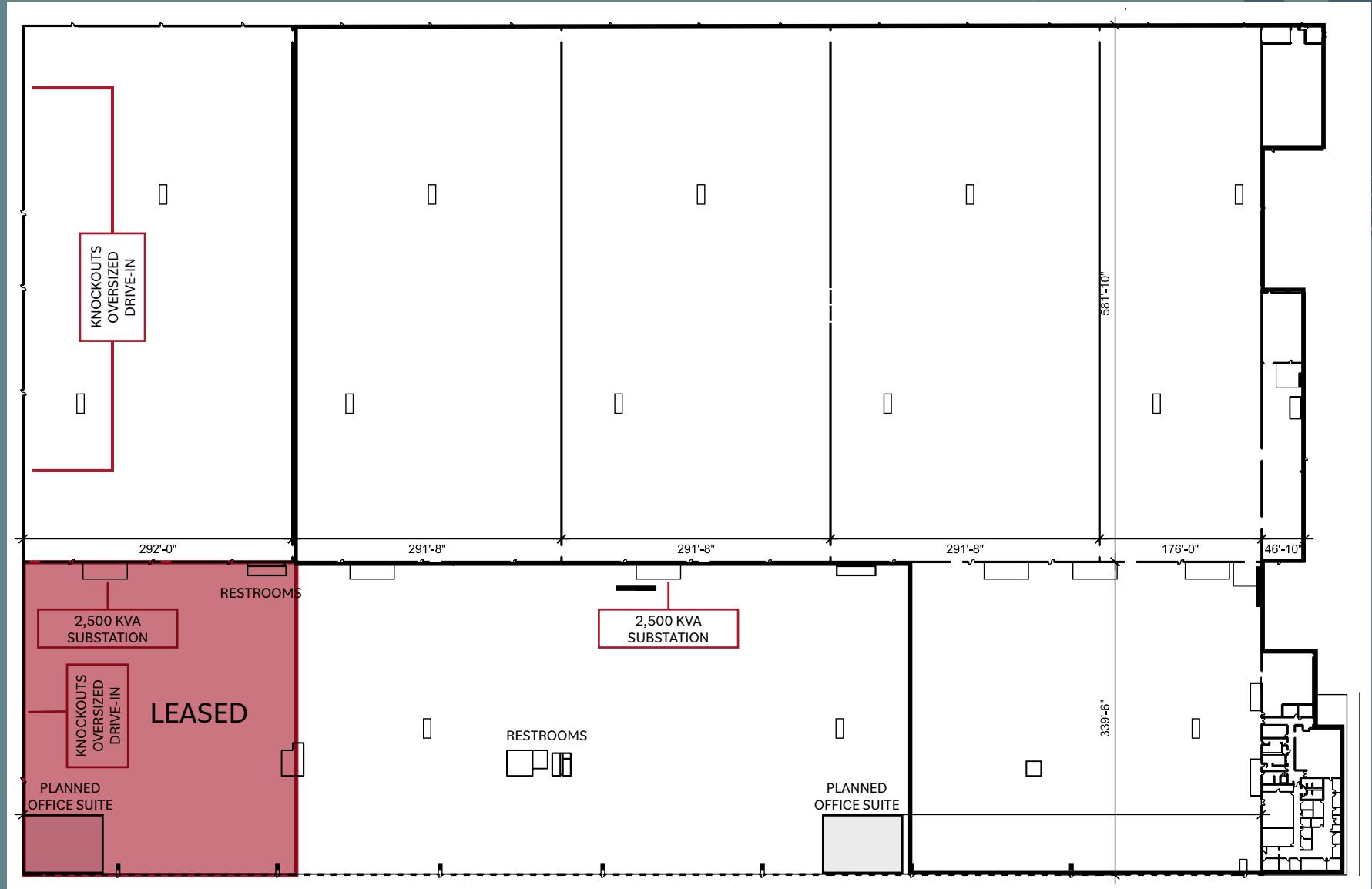


# BUILDING FLOOR PLAN

FLEXIBLE DIVISIBILITY - 1,179,955 SF



7 ACRES AVAILABLE FOR TRAILER/AUTO PARKING



# SITE PLAN



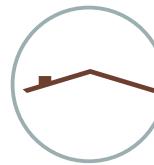
# SIGNIFICANT TRAILER AND CAR PARKING STALLS **WITH ABILITY TO ADD MORE!**



PERIMETER SECURITY  
FENCING/ LIGHTING  
**AND GUARD STATION**



## RADIANT HEAT ALONG THE SHIPPING/ RECEIVING AREA



ROOF REPLACEMENT  
COMPLETED IN 2020.  
**( 20-YEAR WARRANTY WITH ZERO  
COST PREVENTATIVE MAINTENANCE  
AGREEMENT IN PLACE  
THROUGH 2030.)**



# PROXIMITY TO CORPORATE NEIGHBORS AND RETAIL AMENITIES



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