



AVAILABLE FOR LEASE

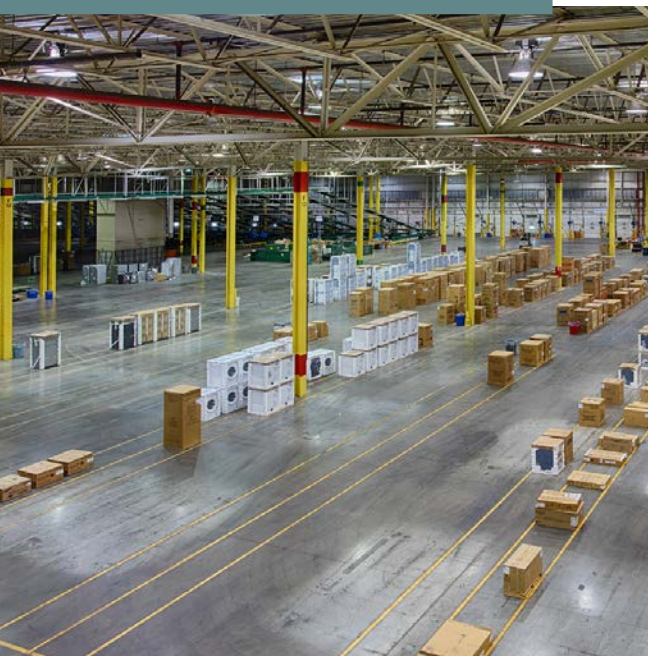
MANUFACTURING AND DISTRIBUTION BUILDING WITH HEAVY
POWER AND FLEXIBLE DIVISIBILITY
50,000 SF - 1,179,955 SF AVAILABLE

NEW ZONING
PERMITS LIGHT, GENERAL AND
CLEAN-TECH MANUFACTURING
AS WELL AS OUTDOOR STORAGE

18875 EAST BROMLEY LANE
BRIGHTON, CO 80601



MILE HIGH MANUFACTURING CENTER



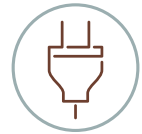
FLEXIBLE
DIVISIBILITY



400 TRAILERS
STALLS AVAILABLE



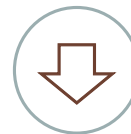
16 ACRES
FOR TRAILER PARKING
OR OUTDOOR STORAGE



10MW ONSITE
WITH UPWARDS OF 20 MW ALSO
AVAILABLE (TOTAL 30MW TBV)



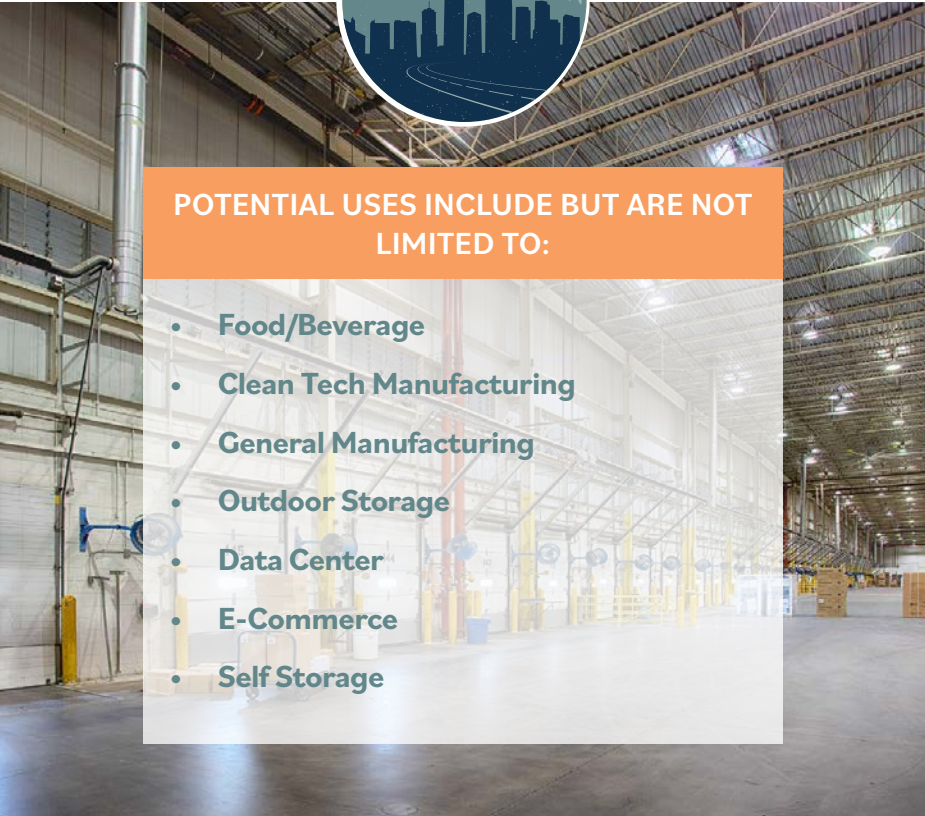
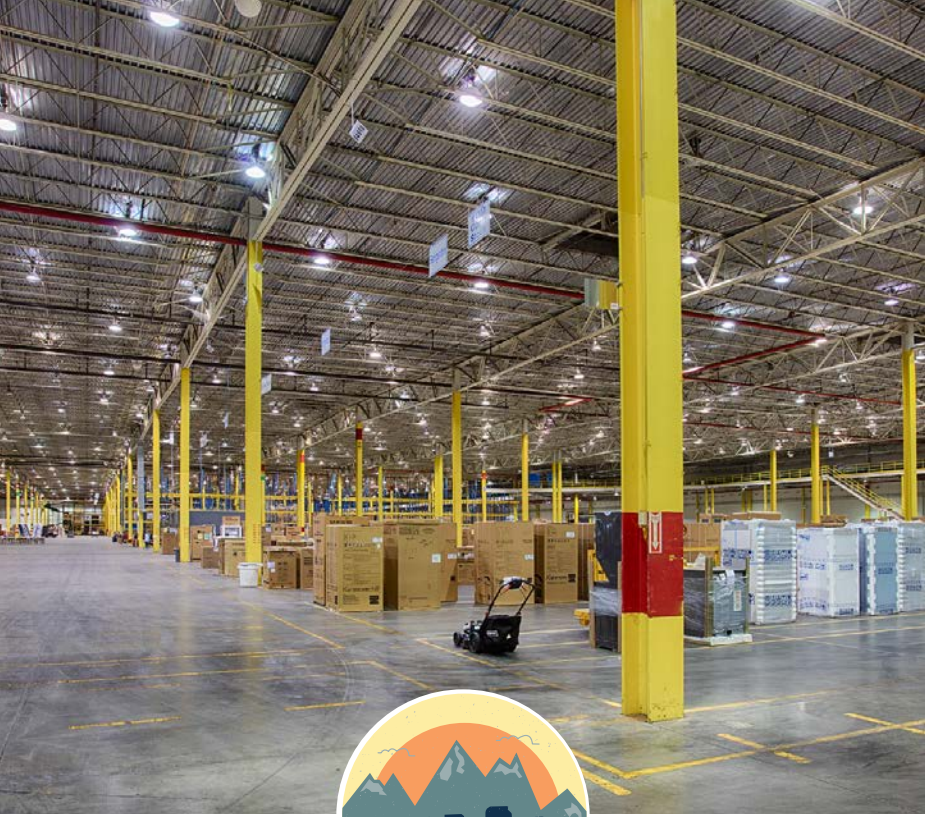
IDEAL
MANUFACTURING/
WAREHOUSE
DISTRIBUTION FACILITY



LOWEST
OPERATING
EXPENSES IN
DENVER MSA



32' CLEAR
HEIGHT



POTENTIAL USES INCLUDE BUT ARE NOT LIMITED TO:

- **Food/Beverage**
- **Clean Tech Manufacturing**
- **General Manufacturing**
- **Outdoor Storage**
- **Data Center**
- **E-Commerce**
- **Self Storage**

MILE HIGH

MANUFACTURING CENTER

ADDRESS

18875 E. Bromley Lane, Brighton, CO 80601

YEAR BUILT

1994

TOTAL AVAILABLE SF

1,179,955 SF Divisible

OFFICE

To Suit

SITE SIZE

103.3 Acres

CLEAR HEIGHT

32'

COLUMN SPACING

48' x 58'

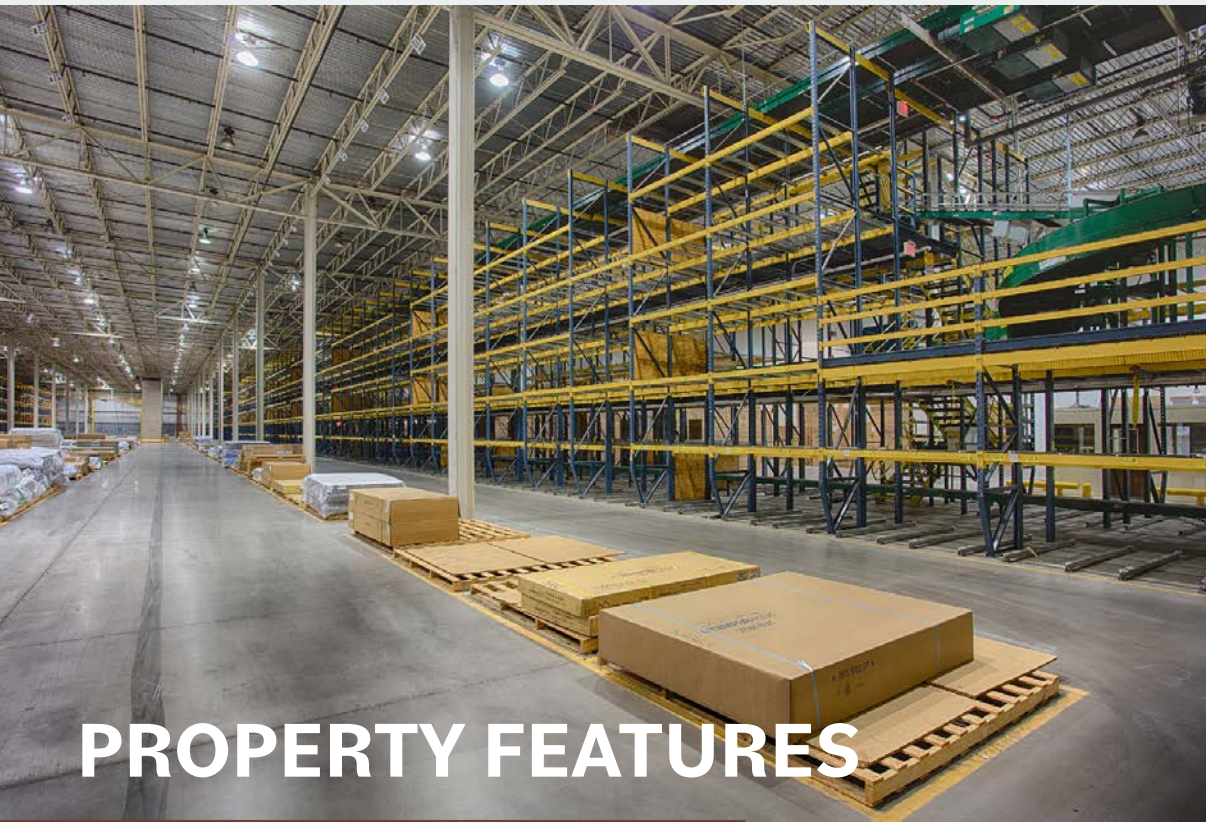
LOADING

88 Dock High Doors

Fully equipped with automatic levelers, dock locks, and dock lights

2 oversized Drive-In Door Knockouts Available

Building Size	1,278,455 SF
Power	10MW onsite with upwards of 20MW also available (Total 30MW TBV)
Sprinkler System	ESFR (22 acre feet allowance)
Slab Thickness	8 inches
Power Provider	United Power Cooperative
Trailer Parking/ Outside Storage	400 Trailer Stalls
Water	City of Brighton
Sewer	City of Brighton
2025 OPEX	\$2.99/SF
Zoning	PD (Warehouse/Distribution, Light, General and Technology Manufacturing)



PROPERTY FEATURES

- Can be demised for various size functionality
- Lowest property taxes in the metro area
- All loading docks equipped with automatic levelers, dock locks, and dock lights.
- Efficient operable louvre air system maintaining ambient warehouse temperatures below 75 degrees.
- 300-kilowatt emergency electrical generator with 250 gallon diesel tank demised for various size functionality
- Economic incentives available
- Strong labor pool



30 MINS TO
**DENVER
DOWNTOWN**



GREAT ACCESS TO
**I-76 AND E-470 VIA
BROMLEY LN.**



CLOSE PROXIMITY TO
DENVER INT. AIRPORT



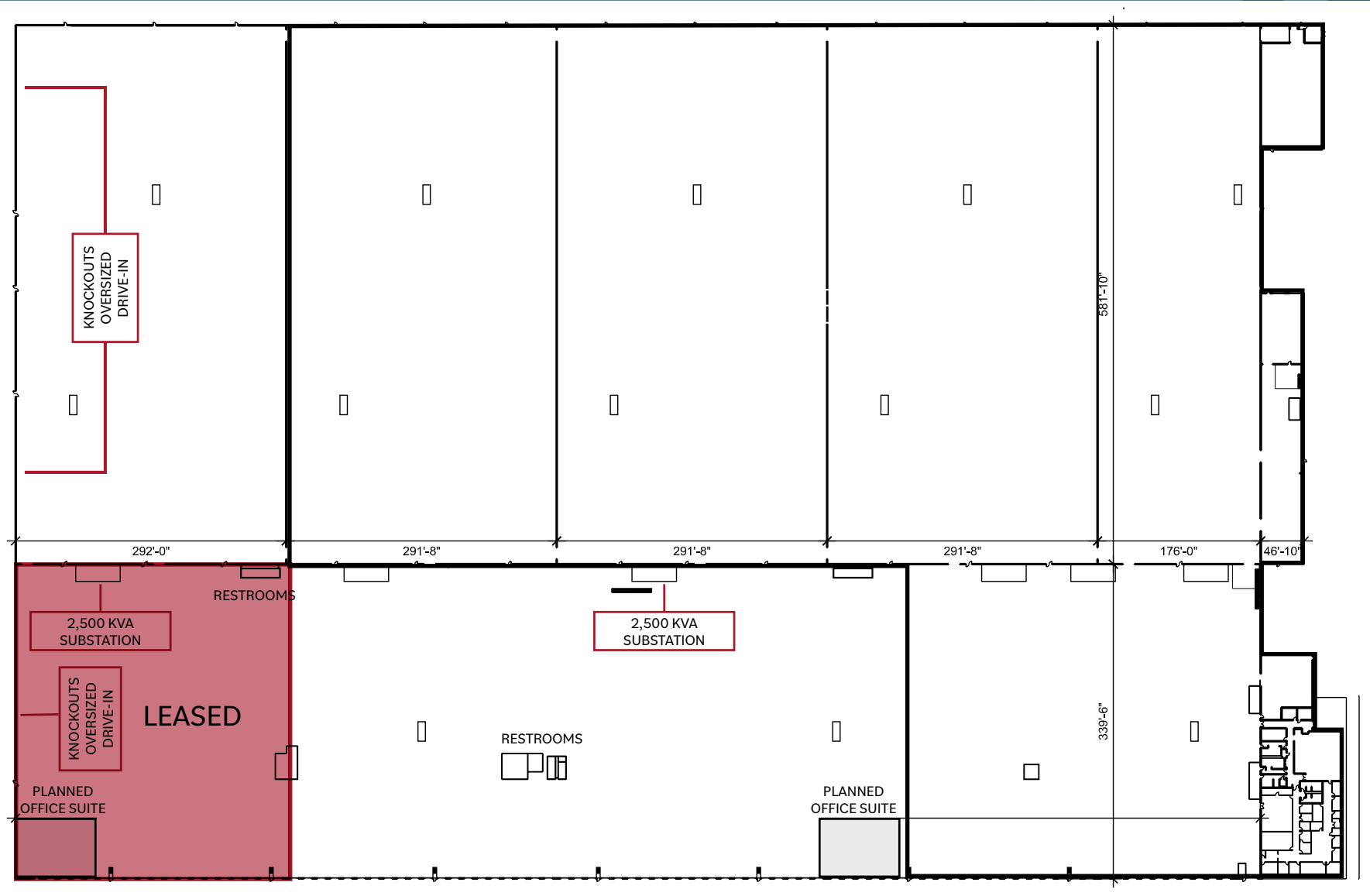
EXCELLENT LOCAL
AND/OR
**NATIONAL
DISTRIBUTION
LOCATION**



BUILDING FLOOR PLAN

FLEXIBLE DIVISIBILITY - 1,179,955 SF

7 ACRES AVAILABLE FOR TRAILER/AUTO PARKING



16 ACRES AVAILABLE FOR TRAILER PARKING/
OUTSIDE STORAGE

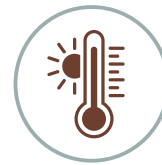
SITE PLAN



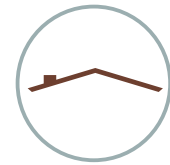
SIGNIFICANT TRAILER AND
CAR PARKING STALLS
**WITH ABILITY TO ADD
MORE!**



PERIMETER SECURITY
FENCING/LIGHTING
AND GUARD STATION



RADIANT HEAT
**ALONG THE SHIPPING/
RECEIVING AREA**



ROOF REPLACEMENT
COMPLETED IN 2020.
(20-YEAR WARRANTY WITH ZERO
COST PREVENTATIVE MAINTENANCE
AGREEMENT IN PLACE
THROUGH 2030.)



PROXIMITY TO CORPORATE NEIGHBORS AND RETAIL AMENITIES



76 COMMERCE CENTER

Walmart

FARMERS
BUSINESS NETWORK

Outrider

GREAT PLAINS
Moving and Storage since 1896

VSK
ENERGY

STAPLES

INTERSTATE
76

**BROMLEY
INDUSTRIAL PARK**

**ADAMS COUNTY CITY
OFFICES & COURTHOUSE**

**BRIGHTON SPORTS
COMPLEX**

NEARBY RETAIL AMENITIES

Wendy's

**DISCOUNT
TIRE**

KFC

7-ELEVEN

**GREASE
MONKEY**
Oil Changes & More

**brakes
plus**

CIRCLE K

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