

# 8503 Lava Hill Rd, Austin, Texas 78744

**Listing ID:** 1007652

**LP:** \$10,000



**Address:** 8503 Lava Hill Rd

**City:** Austin, Texas 78744

**Std Status:** A/COML

**List Price:** \$10,000

**County:** Travis

**MLS Area:** 11

**PID:** 8503 Lava Hill Rd

**Subdv:** South One Hundred Eighty Three

**Legal:** 1.41 acres out of LOT 8 \*(2.82 ACR) SOUTH ONE HUNDRED EIGHTY THREE PARK

**Type:** Industrial

**Bldgs:** 1

**Stories:** 1

**ETJ:** Yes

**Units:**

**Lse Exp:**

**Yr Blt:** 2021/Owner/See Remarks

**Parking:** 20/20.00/Additional Parking, Gated, Gravel, Lighted, On Site

**Lse Area:** 8,000  
**Bld Area:** 8,000  
**Land SqFt:** 61,420  
**Acres:** 1.410/Public Records  
**Foundation:**  
**Constrctn:** Siding-Metal  
**View:** Trees/Woods  
**Flooring:** Concrete  
**Loading:** Grade Level  
**Endngrd:**

**Zoning:** No Zoning

**\$/Bld SqFt:** \$1.25

**\$/LandSF:** 0.16

**Wtr Access:**

**Topography:**

**Roof:**

**FEMA:** Partial

**Restrict:** Seller Imposed

**Builder Nm:**

**Auction:**

**Heat:** Central, See Remarks  
**A/C:** Ceiling Fan(s), Central Air, See Remarks  
**Utilities:** Electricity Connected, Natural Gas Not Available, Sewer Connected, Water Connected

## Utility Information

**Sewer:** Septic Tank

**Water Src:** Public

## Financial Information

**Operating Exp:** \$6,255

**Lease Condition:**

**Op Exp Include:** Insurance, Real Property Tax

**Owner Contributions YN:** No

**Green Energy Efficient:** None

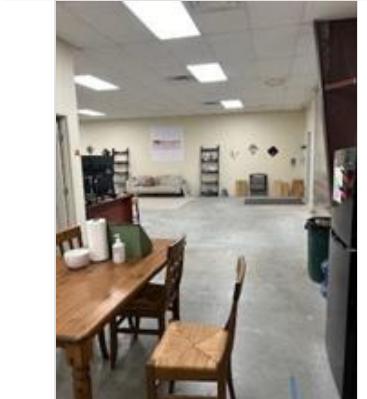
**Green Sustainability:** None

## Remarks

**Directions:** Approximately 1.5 miles SE of Austin City Limits. Take 71 E & merge onto US Hwy 183 S towards Lockhart. Lava Hill Rd is .5 miles past Panerview Dr. off US Hwy 183 S. GPS will get you there. Property is at the end of the cul-de-sac on the left.

**Remarks:** EXCELLENT LOCATION!! Approximately 8,000 sq foot Meso Metal Warehouse Flex space available in an industrial area. Built in 2021. 2000 (+/-) sq ft office space that has Central Air & Heat. 6000 (+/-) warehouse space. 2 offices, 1 conference room & Breakroom area. 1 Bathroom in the office area & 1 bathroom in the warehouse area. Wrought Iron Security Fence at main entrance operated by remote control. 4 Grade level entry doors & 4 garage rollup doors. Parking in front, side and back of building. Equipped with 3-Phase (400 amps) electricity. Metal roof & rain gutters. 3 large commercial ceiling fans. Approximate land is 1.41 acres out of the original 2.82 acres. NNN includes insurance and pro-rated taxes. Estimated NNN \$6255.48/Yr. \$521.29/Mo. Water, electricity & septic are connected, gas line not available. 3 Commercial Ceiling Fans. Ceiling height is approximately 15' 8" at the wall and 19' 2" at the peak. Industrial area with only 14 lots. Minutes from downtown Austin, ABIA Airport & Circuit of the Americas. Warehouse is now Vacant.







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