

8503 Lava Hill Rd, Austin, Texas 78744

Listing ID: **1007652**

LP: **\$10,000**



Address: [8503 Lava Hill Rd](#)
City: Austin, Texas 78744
County: Travis
PID: [8503 Lava Hill Rd](#)
Subdv: South One Hundred Eighty Three
Legal: 1.41 acres out of LOT 8 *(2.82 ACR) SOUTH ONE HUNDRED EIGHTY THREE PARK
Type: Industrial
Bldgs: 1
Units: 1
Yr Blt: 2021/Owner/See Remarks
Parking: 20/20.00/Additional Parking, Gated, Gravel, Lighted, On Site
Std Status: **A/COML**
List Price: \$10,000
MLS Area: 11
Stories: 1
ETJ: Yes
Lse Exp:

General Information

Lse Area: 8,000
Bld Area: 8,000
Land SqFt: 61,420
Acres: 1.410/Public Records
Foundation:
Constrctn: Siding-Metal
View: Trees/Woods
Flooring: Concrete
Loading: Grade Level
Endngrd:
Zoning: No Zoning
\$/Bld SqFt: \$1.25
\$/LandSF: 0.16
Wtr Access:
Topography:
Roof:
FEMA: Partial
Restrict: Seller Imposed
Builder Nm:
Auction:

Utility Information

Heat: Central, See Remarks
A/C: Ceiling Fan(s), Central Air, See Remarks
Utilities: Electricity Connected, Natural Gas Not Available, Sewer Connected, Water Connected
Sewer: Septic Tank
Water Src: Public

Financial Information

Lease Condition:
Op Exp Include: Insurance, Real Property Tax
Owner Contributions YN: No
Green Energy Efficient: None
Green Sustainability: None
Operating Exp: \$6,255

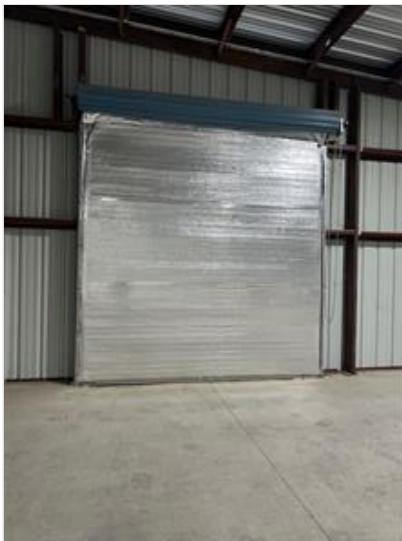
Remarks

Directions: Approximately 1.5 miles SE of Austin City Limits. Take 71 E & merge onto US Hwy 183 S towards Lockhart. Lava Hill Rd is .5 miles past Paneview Dr. off US Hwy 183 S. GPS will get you there. Property is at the end of the cul-de-sac on the left.

Remarks: EXCELLENT LOCATION!! Approximately 8,000 sq foot Mesco Metal Warehouse Flex space available in an industrial area. Built in 2021. 2000 (+/-) sq ft office space that has Central Air & Heat. 6000 (+/-) warehouse space. 2 offices, 1 conference room & Breakroom area. 1 Bathroom in the office area & 1 bathroom in the warehouse area. Wrought Iron Security Fence at main entrance operated by remote control. 4 Grade level entry doors & 4 garage rollup doors. Parking in front, side and back of building. Equipped with 3-Phase (400 amps) electricity. Metal roof & rain gutters. 3 large commercial ceiling fans. Approximate land is 1.41 acres out of the original 2.82 acres. NNN includes insurance and pro-rated taxes. Estimated NNN \$6255.48/Yr. \$521.29/Mo. Water, electricity & septic are connected, gas line not available. 3 Commercial Ceiling Fans. Ceiling height is approximately 15' 8" at the wall and 19' 2" at the peak. Industrial area with only 14 lots. Minutes from downtown Austin, ABIA Airport & Circuit of the Americas. Warehouse is now Vacant.







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