

ALLEN PARK

TECH CENTER

ALLEN PARK, MICHIGAN

INDUSTRIAL BUILD-TO-SUIT
AVAILABLE FOR LEASE

7, 17 OR 25 ACRES AVAILABLE
IDEAL FOR DATA CENTERS
UP TO 50 MVA AVAILABLE FROM DTE



NEWMARK

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TIME EQUITIES INC.



TIME EQUITIES - ALLEN PARK DATA CENTER STUDY

This document depicts the preliminary yield study for a proposed data center located on an existing vacant site. The existing site has numerous challenges including easements for high-tension power lines, drains, and a sewer main. Additionally the site is primarily existing wetland that will have to be remediated. The proposed design references previously completed data center developments for general spatial layout and clearance requirements but, further development would require the input of an specialist with knowledge of the intended data systems and supporting infrastructure.

SHEET LIST	
SHEET NUMBER	SHEET NAME
1CS	COVER SHEET
X-0	CONCEPT COVER
X-1	EXISTING CONDITIONS
X-2	DATA CENTER PRECEDENTS
X-3	PROPOSED SITE PLAN 1
X-3.9	PROPOSED SITE PLAN 2
X-4	DATA CENTER DESIGN INTENT
X-6	DATA CENTER DESIGN MASSING

ZONING REQUIREMENTS

LOCAL AUTHORITY:	CITY OF ALLEN PARK
LOCAL ORDINANCE:	CODE OF ORDINANCES CITY OF ALLEN PARK, MICHIGAN (23 NOV 2011, REV 04-2014)
ZONING CLASSIFICATION:	C-4C - SOUTHFIELD ROAD MIXED USE DEVELOPMENT DISTRICT
USE CLASSIFICATION:	DATA PROCESSING CENTER (BY-RIGHT-USE SEC 52-506 / 484)
REQUIRED SETBACKS: (SECT. 52-782 REV 04-2014)	FRONT: 50' SIDES: 20' REAR: 50'
MINIMUM LOT SIZE: (SECT. 52-782 REV 04-2014)	N/A
MAXIMUM HEIGHT: (SECT. 52-782 REV 04-2014)	HEIGHT: 50'
LOT COVERAGE: (SECT. 52-782 REV 04-2014)	MAX. % ALLOWED: N/A

REQUIRED PARKING (SECT. 52-1001)

(IF FOR THESE USES NOT SPECIFICALLY MENTIONED, THE REQUIREMENTS FOR OFF-STREET PARKING FACILITIES SHALL BE IN ACCORD WITH A USE WHICH THE BUILDING INSPECTOR AND CITY ATTORNEY CONSIDER TO BE A SIMILAR USE. THIS DECISION MAY BE APPEALED TO THE PLANNING COMMISSION.

HEAVY MANUFACTURING WAREHOUSING: 1 PER 5,000 SF
GENERAL OFFICE (FIXED WALLS): 1 PER 200 SF

TOTAL BUILDING = ~200,000 SF
• 15% OFFICE / BUSINESS = 30,000 SF
• 30,000 / 200 = 150
• 85% WAREHOUSING = 170,000 SF
• 170,000 / 5000 = 34
TOTAL PARKING REQUIRED: **184 SPACES REQUIRED**

ACCESSIBLE SPACES:
VAN ACCESSIBLE 1 SPACE(S)
CAR ACCESSIBLE 5 SPACES

DEF. STREET LOADING (SECT. 52-1010)

SPACES REQUIRED: 5 SPACES + 1 PER EACH 40,000 SF OVER 100,000 SF
200,000 SFG = 5 + 2 = **7 SPACES REQUIRED**

Sec. 52-904 - Site plan review.

(1) Required in use districts. A site plan shall be submitted to the city planning commission for approval and shall be required in the following situations:

c. Any development, except single-family platted residential, for which off-street parking areas are provided as required in this chapter.
d. Any use within a R-2, RM, RMA, C-1, C-2, C-3, C-4, C-5, C-6A, C-6B, RD, RO-1, SD, GI, M-1, M-2, or M-3 districts or lying contiguous to or across a street or alley from a single-family residential district and/or use.

Section 52-487

(1) Landscaping:

- Not less than 25% of each lot or parcel shall remain as landscaped open space area
- All portions of the lot or parcel area not covered by buildings, pavement, or other impervious surfaces shall be landscaped. A mixture of evergreen trees not less than eight (8) feet in height and deciduous trees not less than two (2) inches d.b.h. shall be planted at a rate of one (1) tree for each five-hundred (500) square feet or portion thereof of landscaped open space area.
- Landscaped islands shall be provided in off-street parking areas containing twenty (20) or more parking spaces to aid in traffic flow, control speeds, and to provide areas for snow storage. Each landscaped island shall be a minimum of two-hundred (200) square feet. Landscaped islands shall be provided in the ratio of one (1) landscaped island for each twenty (20) parking spaces.
- A greenbelt, not less than twenty (20) feet wide, shall be continually maintained along public rights-of-way/ private road easements. A minimum one (1) evergreen tree not less than eight (8) feet in height or a deciduous tree not less than two (2) inches d.b.h. shall be planted for each thirty (30) linear feet or portion thereof of the required greenbelt length. Two (2) shrubs shall also be planted for each fifteen (15) linear feet of greenbelt length.
- All landscaped areas shall be serviced by an irrigation (water sprinkler) system installed to help maintain plant materials in a livable condition.

(2) Building Materials and Design Criteria:

- All sides of any building visible from a public right-of-way or private road easement shall be constructed of stone, face brick, decorative precast concrete, or other approved ornamental material. Such decorative materials shall have a guaranteed finish life of ten (10) years or more. Painted masonry units shall not be deemed as complying with this section.
- All buildings under thirty-thousand (30,000) square feet shall incorporate at least fifty (50) percent face brick on all sides of the building visible from a public right-of-way or private road easement.
- Variation in building form, and building materials and texture shall be used to provide visual interest and selected for their compatibility with neighboring buildings. New development should "transition" from the height of adjacent development to the maximum height of new development. The use of radical "theme" structures or signage, highly intense colors, metallic colors, fluorescent colors, or building or roof forms intended to draw the unnecessary attention of passersby, are expressly prohibited.
- Large formal structures shall be designed to provide complex massing configurations. Fronts of buildings should be articulated through the use of window patterns, insets, roof overhangs, and similar techniques. Plain, monolithic structures, with long, monotonous, unbroken wall surfaces of one-hundred (100) feet or more are expressly prohibited.

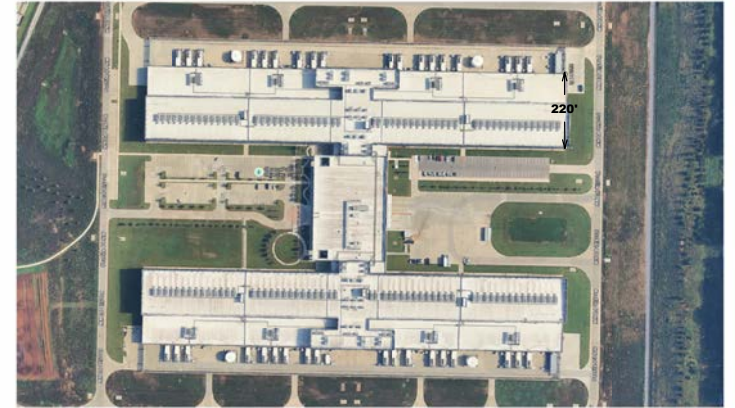


1 SITE PLAN - EXISTING





META HUNTSVILLE



META PRINGLE

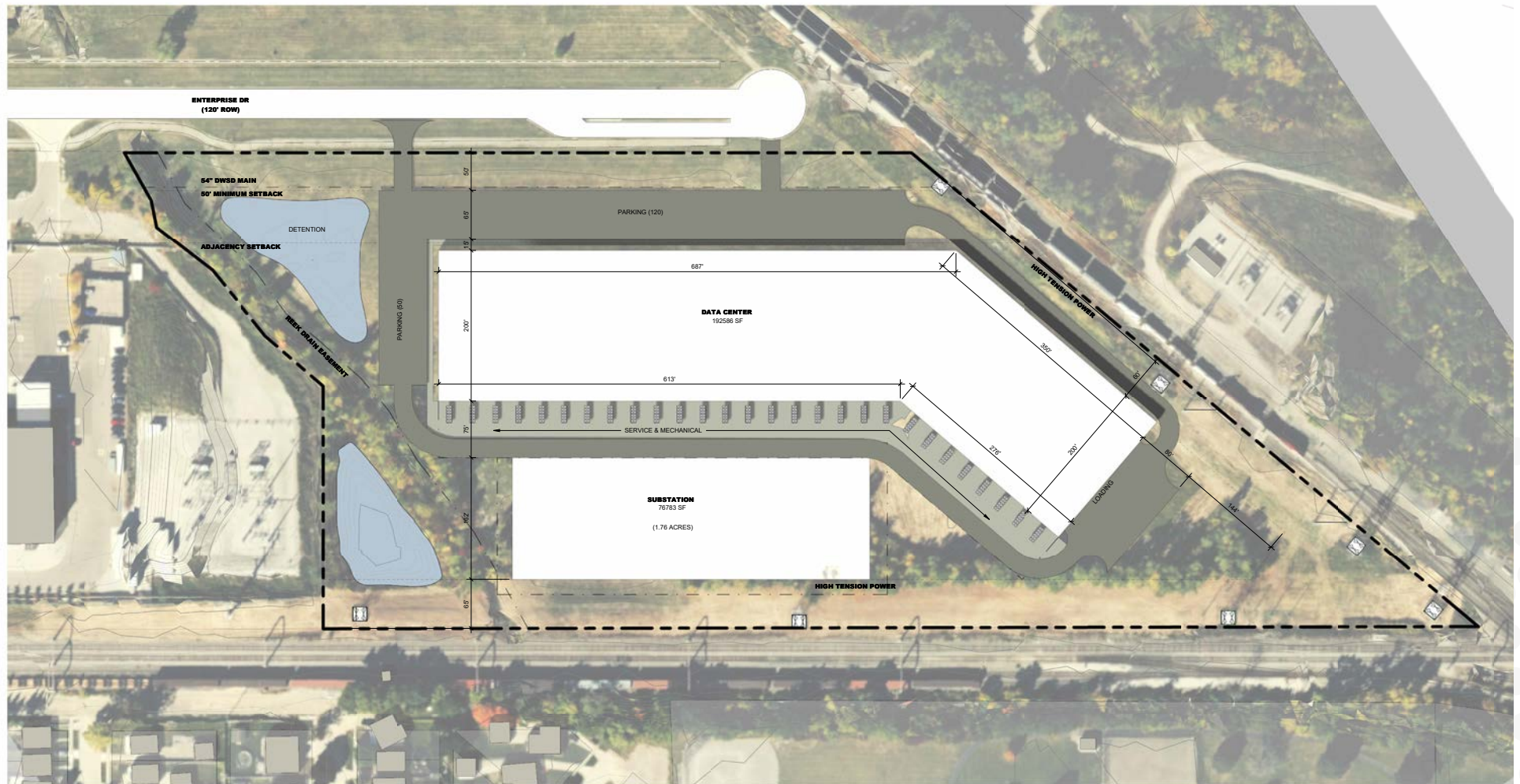


META SPRINGFIELD



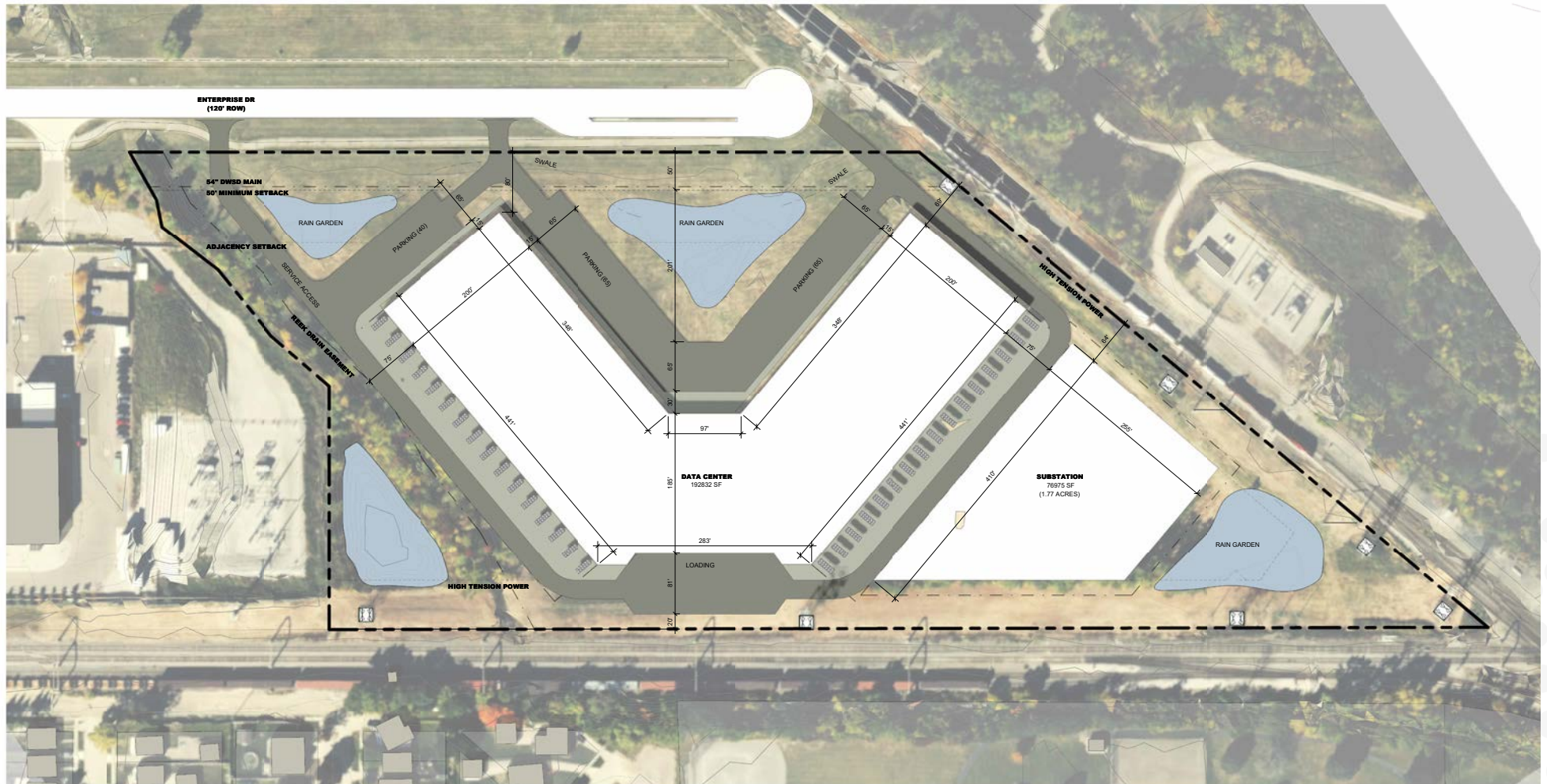
SITE LAYOUT OPTION 1

- **192,586 SF DATA CENTER**
- **1.76 ACRE SUBSTATION**
- **170 PARKING SPACES**
- **SIMPLE SHAPE TAKES ADVANTAGE OF LONG AXIS OF SITE**
- **SIMPLE SUBSTATION LAYOUT**
- **CENTRALIZED RUNOFF MANAGEMENT**



SITE LAYOUT OPTION 2

- **192,832 SF DATA CENTER**
- **1.77 ACRE SUBSTATION**
- **170 PARKING SPACES**
- **MORE DYNAMIC LAYOUT RESPONDS TO UNIQUE SITE CONDITIONS**
- **DISTRIBUTED RUNOFF MANAGEMENT SYSTEM COMPRISED OF MULTIPLE RAIN GARDEN AREAS CONNECTED BY SWALES IS MORE SIMILAR TO NATURAL ECOLOGY**





With a relatively dense area, an ecologically significant project site, and EGLE approvals ahead, maybe the standard architectural typology that relies on the simplest forms & maximum mechanical cooling is not the ideal solution.



Wetlands hold significant ecological value by acting as natural water filters, improving water quality, providing diverse habitats for a variety of wildlife, including threatened and endangered species, stabilizing water cycles, and offering protection against flooding and shoreline erosion; essentially playing a crucial role in maintaining healthy ecosystems and biodiversity.



CONCEPT SECTION

An architectural typology that relies more heavily on well-established sustainable principles can create a more interesting, more efficient, & more ecologically responsible development.



**PRELIMINARY CONCEPT RENDERINGS LOOKING TOWARDS MAIN ENTRANCE FROM PARKING AREA.
OVERALL EXTERIOR MASSING WILL RESPOND TO INTERIOR DATA RACK ARRAY LOCATIONS TO PROVIDE VISUAL INTEREST, MEET ORDINANCE REQUIREMENTS, AND MAXIMIZE NATURAL VENTILATION.**

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