

350 BROADWAY, KINGSTON, NY 12401

SCOPE OF WORK

LEVEL 2 ALTERATION OF EXISTING TYPE III-B BUILDING AT 350 BROADWAY. SEE WORK AREA CALCULATIONS ON A-002
PROPOSED FUNCTION TO BE MIXED-USE AND INCLUDE GROUND FLOOR COMMERCIAL TENANCY, AND RESIDENTIAL SPACES.
TAX MAP NO. 56.26.11.49.100
CLIMATIC DATA
KINGSTON NY, ZONE 6A
ZONING REGULATING MAP DESIGNATION: T5MS
OVERLAYS: BROADWAY/ CORNELL CORRIDOR HEIGHT OVERLAY

BUILDING CODE DATA

- CODES APPLIED:
1. 2020 BUILDING CODE OF NEW YORK STATE
2. 2020 EXISTING BUILDING CODE OF NEW YORK STATE
3. 2020 RESIDENTIAL CODE OF NEW YORK STATE
4. 2020 PLUMBING CODE OF NEW YORK STATE
5. 2020 MECHANICAL CODE OF NEW YORK STATE
6. 2020 FIRE CODE OF NEW YORK STATE
7. 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

BUILDING DEPARTMENT NOTES

BUILDING TYPE, EXISTING: TYPE III-B
BUILDING TYPE, PROPOSED: TYPE III-B (NO CHANGE)
BUILDING OCCUPANCY, EXISTING: BUSINESS (B), APARTMENTS (R-2)
BUILDING OCCUPANCY, PROPOSED: BUSINESS (B), APARTMENTS (R-2) (NO CHANGE)
BUILDING HEIGHT, EXISTING: 3 STORIES
BUILDING HEIGHT, PROPOSED: 3 STORIES (NO CHANGE)
RESIDENTIAL UNITS PROVIDED: 5 UNITS
MINIMUM REQUIRED ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWERS PER TABLE 1107.6.1.1: 1
ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWERS PROVIDED: 1
MINIMUM REQUIRED ACCESSIBLE UNITS WITH ROLL-IN SHOWERS: 0
ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWER PROVIDED: 0

CONTROLLED INSPECTIONS TO INCLUDE:

ARCHITECTURE
1705.5 WOOD CONSTRUCTION
1705.17 FIRE-RESISTANT PENETRATIONS AND JOINTS

PLANNING BOARD STATEMENT

Policy #6: "I, we, the applicant, understand that I/we must conform exactly to these plans as approved by the Planning Board, at a meeting held on _____, except as otherwise provided in the resolution granting site plan approval. Any and all changes, except as otherwise provided in the resolution granting site plan approval, will require a formal amendment by me/us to the Planning Board. I/we, the applicant, further agree to provide for continued upkeep necessary to maintain the landscaping in proper condition. (Adopted 11/14/96, Amended 2/21/01, Amended 5/14/07)

ZONING INFORMATION

Building & Lot Address: 350 Broadway
City: Kingston
County: Ulster County
Parcel ID: 05602600110491000000
Lot Area - Public Records:
Lot Area - GIS: 3,095 sq ft
Owner Name: 350 CHINA CAT LLC
Owner Mailing Address: P.O. BOX 567, RHINEBECK, NY, 12572
Secondary Owner Name:
Neighborhood & Transportation: Broadway, 12401, 420655254, 12401
Neighborhood:

CONSTRUCTION NOTES

- 01 UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, WHO SHALL COORDINATE THE WORK OF ALL SUB-TRADES, INCLUDING WORK BY CONTRACTORS EMPLOYED BY THE OWNER.
02 THE GENERAL CONTRACTOR SHALL IN ALL RESPECTS COMPLY WITH THE REGULATIONS OF THE BUILDING MANAGEMENT. IT SHALL BE HIS RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE BUILDING MANAGEMENT.
03 ALL CONTRACTORS SHALL SUBMIT CUTS, SAMPLES, AND FINISHES FOR WRITTEN APPROVAL FROM THE ARCHITECT PRIOR TO ORDERING MATERIALS.
04 ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORK, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SHOP DRAWINGS FOR COMPLETION PRIOR TO SUBMITTAL TO THE ARCHITECT.
05 APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY AS NOTED HEREIN.
06 NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL FROM THE ARCHITECT. THE ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. SUBCONTRACTORS SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL FROM THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK.
07 THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT FOR REVIEW AND APPROVAL. NO WORK IS TO COMMENCE UNTIL A SIGNED PROPOSAL IS RETURNED TO THE GENERAL CONTRACTOR.
08 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA BROOM CLEAN, AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION, AND/OR DELIVERY AND INSTALLATION OF WOODWORK OR OTHER TRADE ITEMS.
09 DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS SHALL GOVERN.
10 THE GENERAL CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT.
11 A COMPLETE COPY OF THE LATEST SET OF CONSTRUCTION DOCUMENTS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT. ALL DRAWINGS WHICH HAVE BEEN SUPERSEDED SHALL BE REMOVED FROM THE JOB SITE.
12 EACH SUB TRADE SHALL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE WORK INDICATED OR INFERRED ON THE DRAWINGS SHALL BE DEEMED AND INCLUDED IN SUBCONTRACTOR'S COSTS. THE SAME SHALL APPLY TO THE GENERAL CONTRACTOR.
13 THE GENERAL CONTRACTOR SHALL CONFIRM AND REPORT TO THE ARCHITECT THE PRESENCE OF ANY ASBESTOS WITHIN THE PROJECT AREA AND SHALL CONTINUE WITH WORK ONLY AFTER THE ASBESTOS HAS BEEN REMOVED OR CONTAINED IN ACCORDANCE WITH THE LATEST E.P.A. REGULATIONS.
14 ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR AND HE SHALL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK SHOWN ON DRAWINGS.

GENERAL NOTES

- 01 ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
02 BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK STATE AGENCIES.
03 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
04 MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
05 THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
06 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
07 THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
08 PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
09 THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
10 ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
11 THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGNOFFS AS REQUIRED.

PLUMBING AND DRAINAGE NOTES

- 01 ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF 2020 NEW YORK STATE PLUMBING CODE.
02 PLUMBING FIXTURES SHALL BE OF TYPE AND MANUFACTURE APPROVED FOR USE IN NEW YORK STATE, AND SHALL BEAR BSA APPROVAL.
04 PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ASSUMED FIELD CONDITIONS AND THOSE ENCOUNTERED DURING CONSTRUCTION. PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO PLAN WHICH SHALL BE NECESSARY, BASED ON CONDITIONS UNCOVERED IN THE FIELD, IN ORDER TO INSTALL ALL FIXTURES, EQUIPMENT AND PIPING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NYC BUILDING CODE.
05 PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
NOTE: THIS PLAN IS APPROVED ONLY FOR WORK APPROVED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

SMOKE / CARBON MONOXIDE DETECTION DEVICES

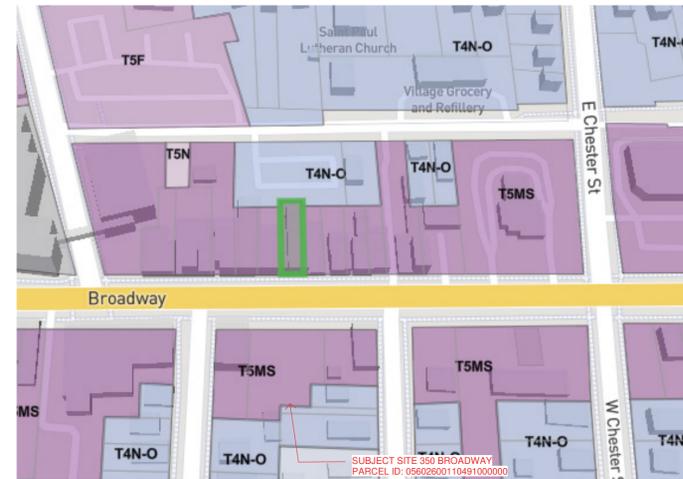
- 01 SMOKE/CARBON MONOXIDE DETECTORS OR DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH HOUSING MAINTENANCE CODE, MULTIPLE DWELLING LAW, THE NYC BUILDING CODE AND THE NYC ELECTRICAL CODE.
02 EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH SECTION BC 908.7.1 THROUGH 908.7.3.
03 EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN 15' OF THE ENTRANCE TO A SLEEPING ROOM.
04 EACH SMOKE/CARBON MONOXIDE DETECTOR SHALL BE OF A TYPE THAT ALLOWS FOR READY TESTING OF SUCH DEVICE.
05 DUPLEX UNITS SHALL HAVE A DEVICE LOCATED ON EACH LEVEL IF ONLY ONE MEANS OF EGRESS IS PROVIDED FROM EACH LEVEL.
07 CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4' FROM ANY WALL.
08 WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4' TO A MAXIMUM OF 12' FROM THE FINISHED FLOOR.
09 EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE SMOKE / CARBON MONOXIDE DETECTOR DEVICE.
10 SUCH SMOKE/CARBON MONOXIDE DETECTOR MUST BE EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.

603.1 Scope
Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment
Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

604.1 Scope
Level 3 alterations apply where the work area exceeds 50 percent of the building area.

[NY] 803.2.2 Groups A, B, E, F-1, H, I, M, R-1, R-2, R-4, S-1 and S-2 in buildings with occupancies in Groups A, B, E, F-1, H, I, M, R-1, R-2, R-4, S-1 and S-2, work areas that have exits or corridors shared by more than one tenant or that have exits or corridors serving an occupant load greater than 30 shall be provided with automatic sprinkler protection where both of the following conditions occur:
The work area is required to be provided with automatic sprinkler protection in accordance with the Building Code of New York State as applicable to new construction.

The work area exceeds 50 percent of the floor area.
Exception: If the building does not have an existing water supply present at the floor of the proposed work area, with sufficient pressure and flow for the design of a fire sprinkler system, and without installation of a new fire pump, private service main, or fire sprinkler riser, the work areas shall be protected by an automatic smoke detection system throughout all occupiable spaces other than sleeping units or individual dwelling units that activates the occupant notification system in accordance with Sections 907.4, 907.5 and 907.6 of the Building Code of New York State.



PROJECT LOCATION

SCALE: 1/4" = 1'-0"

2020 ENERGY CONSTRUCTION CODE OF NEW YORK STATE

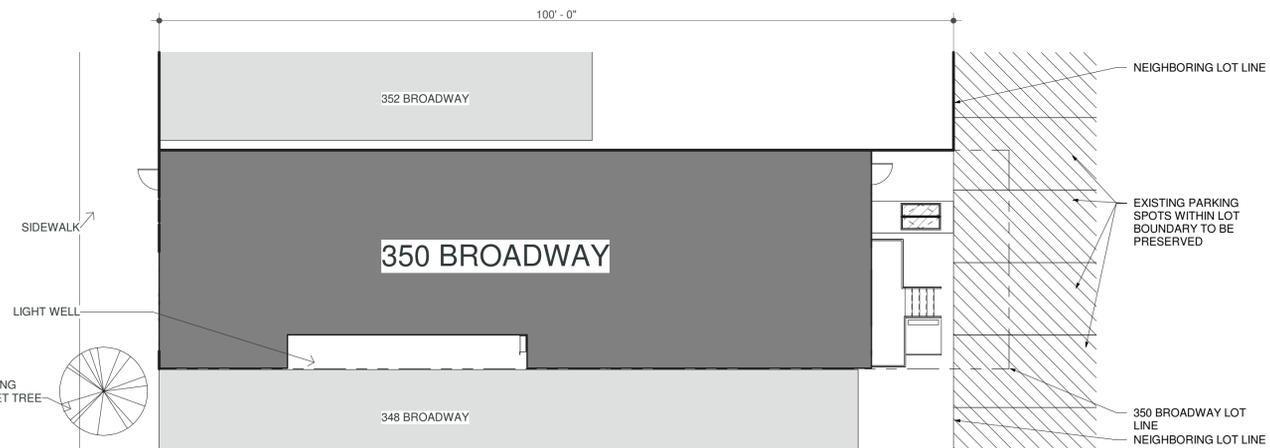
Table with 3 columns: BUILDING COMPONENT, CODE PRESCRIPTIVE VALUE, PROVIDED VALUE. Rows include GLAZED WINDOW U FACTOR, DEFAULT OPAQUE DOOR U FACTOR, and WATER HEATER ELECTRIC RESISTANCE >20 AND < 55 GALLONS.

HVAC SCHEDULE

HVAC SCHEDULE table with columns: UNIT, LOCATION, BTU, AIR CONDITIONER MODEL, MANUAL CONTROL, MINIMUM EER (PER C403.3.2 (1)), PROPOSED EER. Rows include UNIT 3 AIR CONDITIONERS, UNIT 3 CONDENSER, UNIT 4 AIR CONDITIONERS, UNIT 4 CONDENSER, UNIT 5 AIR CONDITIONERS, and UNIT 5 CONDENSER.

HVAC SCHEDULE

SCALE: 3/4" = 1'-0"



PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"

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SHEET ISSUE

DATE: 4/23/25

ISSUE NAME: PERMIT SET

SEAL



PROJECT NAME

350 BROADWAY RENOVATION

PROJECT LOCATION

350 BROADWAY KINGSTON, NY 12401

COVER PAGE AND PLOT PLAN

DRAWN BY: mp

SHEET NUMBER

A-001

PAGE 1

NEW YORK STATE EXISTING BUILDING CODE 2020

603.1 Scope
Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.
Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

604.1 Scope
Level 3 alterations apply where the work area exceeds 50 percent of the building area.

TOTAL BASEMENT AREA 2159 SF
TOTAL FIRST FLOOR NO WORK AREA 2188 SF
TOTAL SECOND FLOOR 1725 SF
TOTAL THIRD FLOOR 1110 SF
TOTAL AREA = 7182 SF

TOTAL BASEMENT WORK AREA 82 SF
TOTAL FIRST FLOOR WORK AREA 1050 SF
TOTAL SECOND FLOOR WORK AREA = 1478
TOTAL THIRD FLOOR WORK AREA = 748 SF
TOTAL AREA WORK AREA = 3358

TOTAL WORK AREA = 3358/ 7128 = 47% OF BUILDING AREA.
TOTAL WORK AREA IS LESS THAN 50% OF THE BUILDING AREA, THEREFORE PROPOSED APPLICATION IS FOR A LEVEL 2

[NY] 803.2.2 Groups A, B, E, F-1, H, I, M, R-1, R-2, R-4, S-1 and S-2

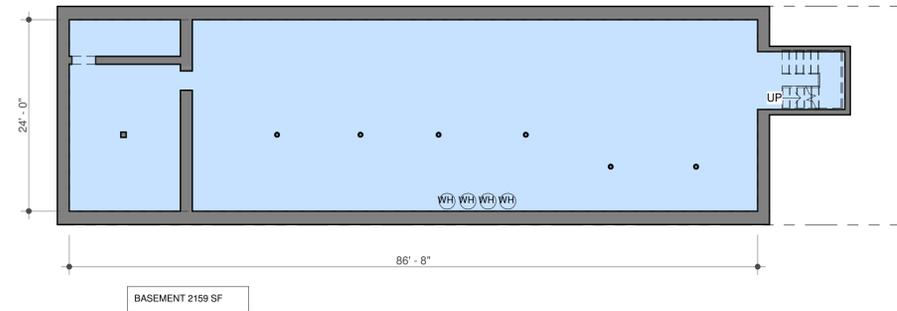
In buildings with occupancies in Groups A, B, E, F-1, H, I, M, R-1, R-2, R-4, S-1 and S-2, work areas that have exits or corridors shared by more than one tenant or that have exits or corridors serving an occupant load greater than 30 shall be provided with automatic sprinkler protection where both of the following conditions occur:

1. The work area is required to be provided with automatic sprinkler protection in accordance with the Building Code of New York State as applicable to new construction.
2. The work area exceeds 50 percent of the floor area.

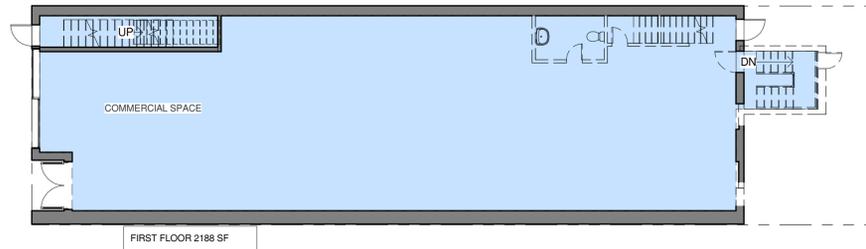
Exception: If the building does not have an existing water supply present at the floor of the proposed work area, with sufficient pressure and flow for the design of a fire sprinkler system, and without installation of a new fire pump, private service main, or fire sprinkler riser, the work areas shall be protected by an automatic smoke detection system throughout all occupiable spaces other than sleeping units or individual dwelling units that activates the occupant notification system in accordance with Sections 907.4, 907.5 and 907.6 of the Building Code of New York State.

PROPOSED BUILDING DOES NOT HAVE SUFFICIENT PRESSURE FOR SPRINKLER SYSTEM ON THE 2ND AND 3RD FLOOR WORK AREAS WITHOUT INSTALLATION OF A NEW FIRE PUMP, SPRINKLER SYSTEM OR FIRE SPRINKLER RISER

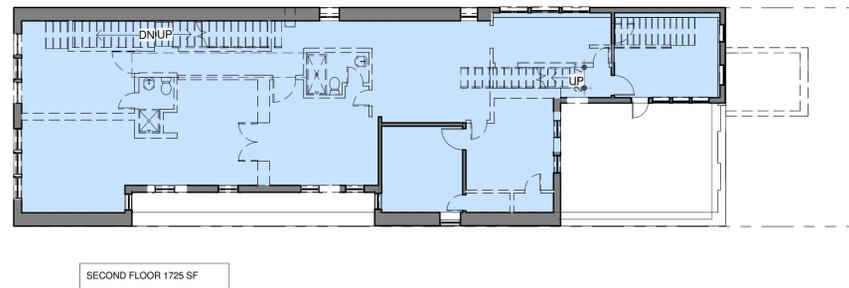
THEREFORE AUTOMATIC SMOKE DETECTION SYSTEM WILL BE INSTALLED IN COMPLIANCE WITH SECTIONS 907.4, 907.5 AND 907.6 PER BUILDING CODE OF NEW YORK STATE



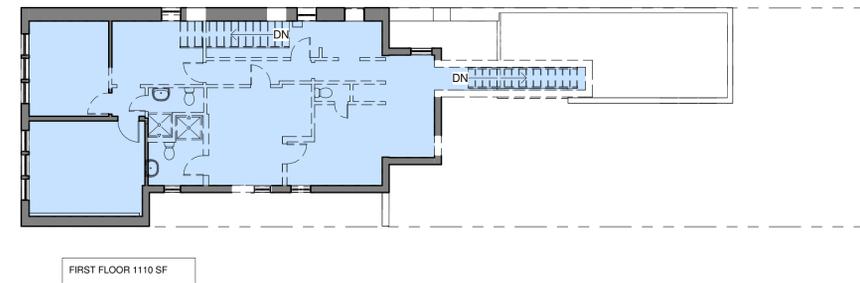
1 BASEMENT EXISTING WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



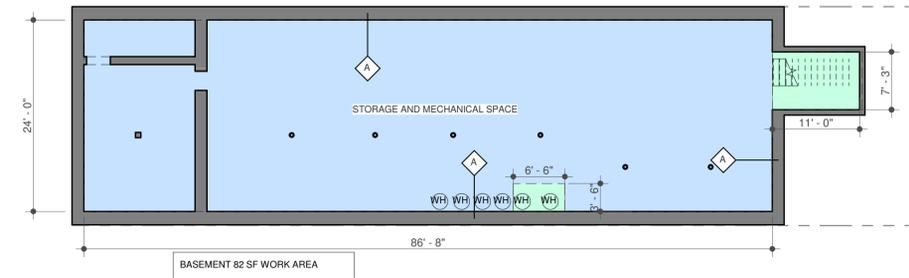
2 FIRST FLOOR EXISTING WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



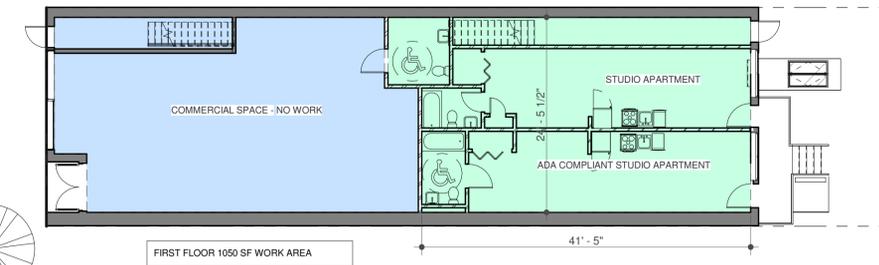
3 SECOND FLOOR EXISTING WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



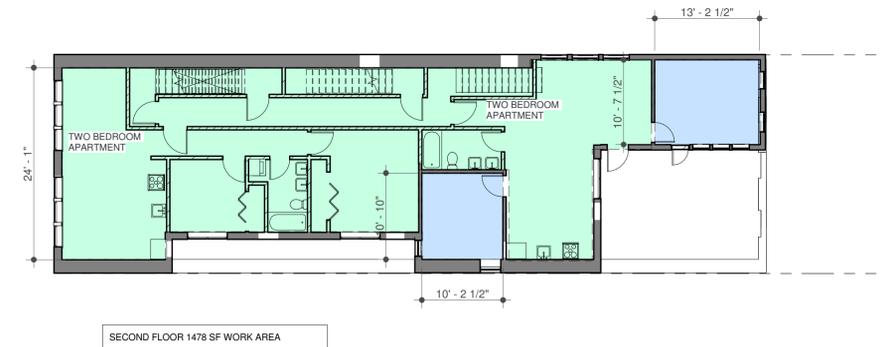
4 THIRD FLOOR EXISTING WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



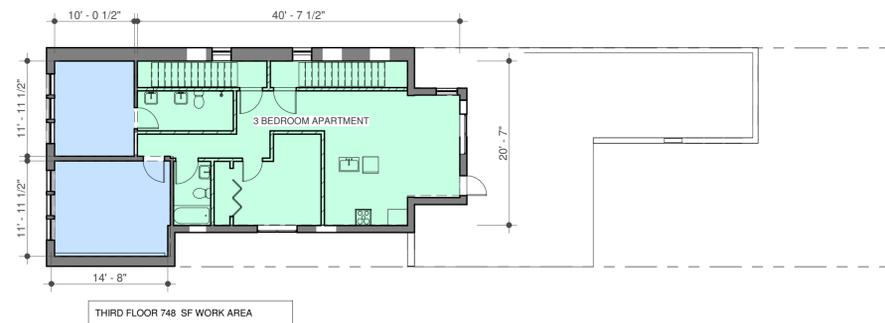
5 BASEMENT PROPOSED WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



6 FIRST PROPOSED WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



07 SECOND FLOOR PROPOSED WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"



08 THIRD FLOOR PROPOSED WORK AREA DIAGRAM
SCALE: 3/32" = 1'-0"

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SHEET ISSUE

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ISSUE NAME PERMIT SET

SEAL



PROJECT NAME

350 BROADWAY RENOVATION

PROJECT LOCATION

350 BROADWAY KINGSTON, NY 12401

WORK AREA CALCULATIONS

DRAWN BY MP

SHEET NUMBER

A-002

TABLE 502.4
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

OCCUPANCY	A, E	I-1, I-2, I-3, I-4		S	NS																
		I-1	I-2																		
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	NP	NP	3	4	2	3	2	NP	
I-1, I-2, I-3, I-4	1	2	N	N	2	NP	1	2	N	1	2	NP	NP	3	NP	2	NP	2	NP	2	NP
I-2	2	NP	2	NP	N	N	2	NP	2	NP	2	NP	NP	3	NP	2	NP	2	NP	2	NP
S	1	2	1	NP	2	NP	N	N	1	1	2	NP	NP	3	NP	2	NP	2	NP	2	NP
F-2, S-2, U	N	1	1	2	2	NP	1	2	N	1	2	NP	NP	3	4	2	3	2	NP		
M, F-1, M, S-1	1	2	1	2	2	NP	1	2	1	2	N	N	NP	NP	2	3	1	2	1	NP	
H-1	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
H-2	3	4	3	NP	3	NP	3	NP	3	4	2	3	NP	NP	NP	1	NP	1	NP	1	NP
H-3, H-4	2	3	2	NP	2	NP	2	NP	2	3	1	2	NP	NP	1	NP	1	NP	1	NP	1
H-5	2	NP	2	NP	2	NP	2	NP	2	NP	1	NP	NP	NP	1	NP	1	NP	1	NP	1

TABLE 602
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE* X (feet)

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP N*	OCCUPANCY GROUP F-1, M, S-1†	OCCUPANCY GROUP A, B, E, F-2, L, R, S-2, U†
X < 5†	All	3	2	1
5 ≤ X < 10	IA	3	2	1
	Others	2	1	1
10 ≤ X < 30	IA, IB	2	1	1†
	IB, VB	1	0	0
	Others	1	1	1†
X ≥ 30	All	0	0	0

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V
Primary structural frame (see Section 202)	3†	2†	1†	0	0
Bearing walls					
Exterior†	3	2	1	0	2
Interior	3†	2†	1	0	1
Nonbearing walls and partitions Exterior					
Nonbearing walls and partitions Interior†	0	0	0	0	0
Floor construction and associated secondary members (see Section 202)	2	2	1	0	1
Roof construction and associated secondary members (see Section 202)	1†/2	1†/2	0†	0	0

FIRE RATING REQUIREMENTS FOR BUILDING ELEMENTS - TYPE 3B

PER TABLE 601	CODE REQUIREMENT	PROPOSED CONSTRUCTION	DEMONSTRATED COMPLIANCE
PRIMARY STRUCTURAL FRAME	NOT REQUIRED	N/A	N/A
BEARING WALLS EXTERIOR	2 HOURS	4 HOUR FIRE RATING	TYPE A BRICK ON A-004
NON-BEARING WALLS INTERIOR	NOT REQUIRED	1 HOUR FIRE RATING	TYPE D 1 HOUR FIRE WALL DETAIL ON A-004
FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS	NOT REQUIRED	1 HOUR FIRE RATING	TYPE A FLOOR ASSEMBLY ON A-004
ROOF CONSTRUCTION AND ASSOCIATED MEMBERS	NOT REQUIRED	N/A	N/A

FIRE RATING TO PROTECT VERTICAL OPENINGS NOT EXCEEDING 3 STORIES PER NYS EXISTING BUILDING CODE, SECTION 8
FOR R-2 OCCUPANCIES 30 MINUTES 2 HOUR FIRE RATING TYPE E WALL, 2 HOUR FIRE RATED ASSEMBLY ON A-004

LEGEND

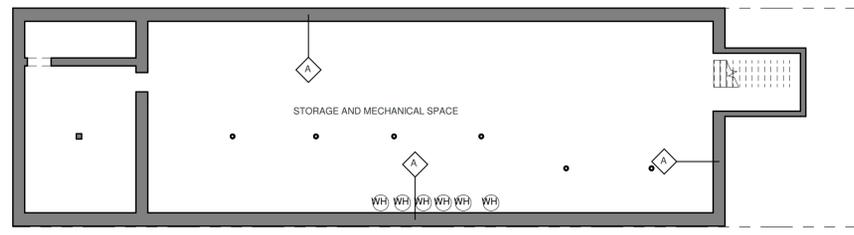
WALL TYPES

- EXISTING MASONRY FOUNDATION WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING FRAMED WALL TO REMAIN
- 1 HOUR PARTITION WALLS 3-5/8" STEEL STUDS 16" O.C WITH 1 LAYER OF 5/8" SHEETROCK EACH ON EACH SIDE PAINTED FINISH PER UL DES U419.
- 2 HOUR PARTITION WALLS 1 5/8" TYP. STEEL STUDS 16" O.C. W/ TWO LAYERS 5/8" SHEETROCK EACH SIDE, PAINTED FINISH UL DES U419
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR

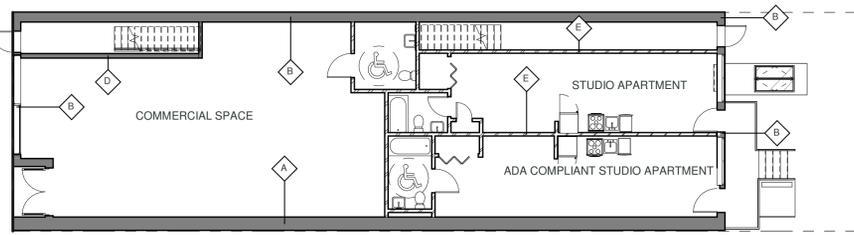
6 WALL TYPE LEGEND
SCALE: 12" = 1'-0"

801.3 Compliance
New construction elements, components, systems, and spaces shall comply with the requirements of the Building Code of New York State.
Exceptions:
Where windows are added they are not required to comply with the light and ventilation requirements of the Building Code of New York State.
Newly installed electrical equipment shall comply with the requirements of Section 807.
The length of dead-end corridors in newly constructed spaces shall only be required to comply with the provisions of Section 805.6.
The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet (2134 mm).
Where provided in below-grade transportation stations, existing and new escalators shall be permitted to have a clear width of less than 32 inches (813 mm).
New structural members and connections shall be permitted to comply with alternative design criteria in accordance with Section 302.

In Group R-2 occupancies, a minimum 30-minute enclosure shall be provided to protect all vertical openings not exceeding three stories. This enclosure, or the enclosure specified in Section 802.2.1, shall not be required in the following locations:
11.1. Vertical openings not exceeding two stories with not more than four dwelling units per floor.
11.2. Buildings protected throughout by an approved automatic sprinkler system.
11.3. Buildings with not more than four dwelling units per floor where every sleeping room above the second floor is provided with direct access to a fire escape or other approved second exit by means of an approved exterior door or window having a sill height of not greater than 44 inches (1118 mm) and the building is protected throughout by an automatic fire alarm system complying with Section 803.4



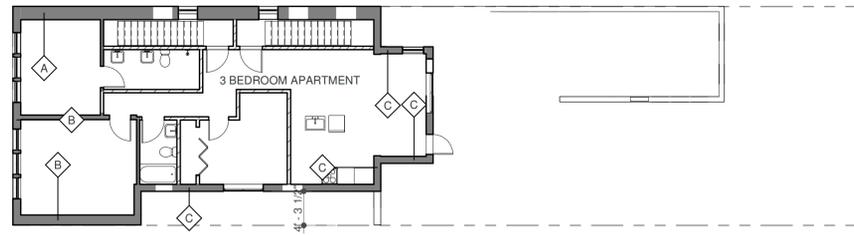
1 BASEMENT FIRE RATING
SCALE: 3/32" = 1'-0"



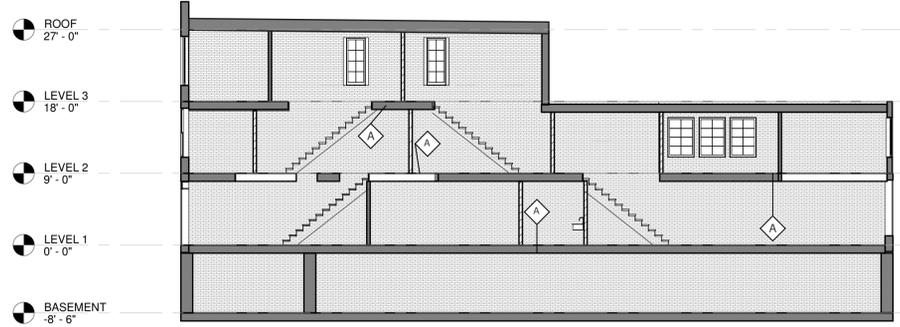
2 FIRST PROPOSED FIRE RATING
SCALE: 3/32" = 1'-0"



3 SECOND FLOOR FIRE RATING
SCALE: 3/32" = 1'-0"



4 THIRD FLOOR FIRE RATING
SCALE: 3/32" = 1'-0"



5 SECTION FIRE RATING
SCALE: 3/32" = 1'-0"

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DATE 12/14/23
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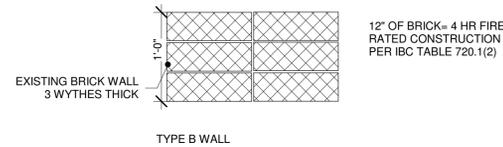
PROJECT NAME
350 BROADWAY RENOVATION

PROJECT LOCATION
350 BROADWAY KINGSTON, NY 12401

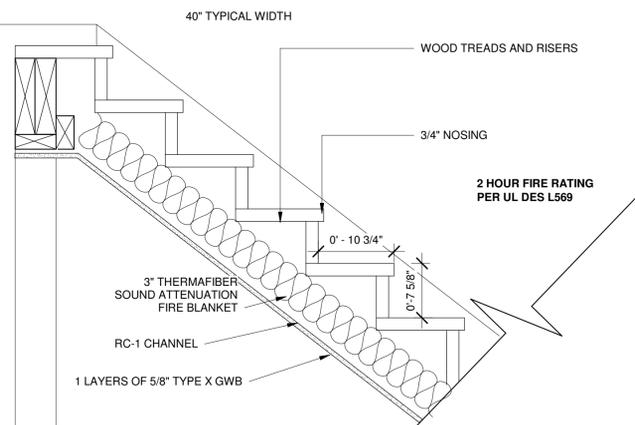
FIRE RATING ANALYSIS

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SHEET NUMBER
A-003



2 FIRE RESISTANCE RATING AT EXISTING BEARING WALL
SCALE: 1" = 1'-0"



8 STAIR DETAIL WITH 1 HOUR FIRE RATING
SCALE: 1" = 1'-0"

Classified by Underwriters Laboratories, Inc. to ASTM E119 (ASTM E814)

System No. F-C-0021
F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1 and 2 Hr (See Item 1)
L Rating At Ambient - 1 CFM/ft²
L Rating At 400 F - Less Than 1 CFM/ft²

1. **Floor-Ceiling Assembly** - The 1 hr fire-rated solid or trussered lumber joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual 500 Series Floor-Ceiling Designs in the U.S. Fire Resistance Directory. The 2 hr fire-rated wood joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in Design Nos. L569, L571 or L550 in the U.S. Fire Resistance Directory. The 1 and 2 Hour Ratings of the firestop system are equal to the hourly fire rating of the floor-ceiling assembly. The general construction features of the floor-ceiling assembly are summarized below.

A. **Flooring System** - Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture[®] as specified in the individual Floor-Ceiling Design. Max. clear of floor opening is 5/8" (127 mm).

B. **Wood Joists** - For 1 hr fire-rated floor-ceiling assemblies, max. 10 in. deep (or deeper) lumber, steel or combination lumber and steel joists. Joists or Structural Wood Members[®] with stringing as required and with ends finished. For 2 hr fire-rated floor-ceiling assemblies, max. 10 in. deep (or deeper) lumber joists spaced 16 in. (406 mm) OC with room 1 by 2 in. (25.4 mm) lumber bridging and with ends finished.

C. **Furring Channels** - (Not Shown) - In 2 hr fire-rated assemblies, resilient galv. steel furring installed perpendicular to wood joists between the 2nd and 3rd layers of wallboard. Max. 24 in. (610 mm) OC. In 1 hr fire-rated assemblies, wallboard shall be furred installed perpendicular to wood joists between wallboard and wood joists as specified in the individual Floor-Ceiling Design. Furring channels spaced max. 24 in. (610 mm) OC.

D. **Gypsum Board** - Non-4 in. (102 mm) thick as specified in the individual Floor-Ceiling Design. First layer of gypsum board attached to wood joists or furring channels as specified in the individual Floor-Ceiling Design. Second layer of gypsum board (2 hr fire-rated assembly) (see attached furring channels) as specified in the individual Floor-Ceiling Design. The secondary sheathing (item 2B) must be installed in the joist cavity prior to installation of gypsum board ceiling. Max. clear of ceiling opening is 5/8" (127 mm).

2. **Through Penetrants** - One nonmetallic pipe or conduit to be installed approximately midway between wood joists and centered within the firestop system. Clear of opening hole-sized through firestop system and through gypsum board ceiling to be min. 1/4 in. (6 mm) to 1/2 in. (13 mm) larger than the outside diam. of through penetrant. Pipe or conduit to be rigidly supported on both sides of the floor-ceiling assembly. The following types and sizes of nonmetallic pipe or conduit may be used:

A. **Polyvinyl Chloride (PVC) Pipe** - Non-4 in. (102 mm) diam. (or smaller) Schedule 40 solid or cellular core PVC pipe for use in closed process or supply or vented drain, waste or vent piping systems.

B. **Rigid Nonmetallic Conduits** - Non-4 in. (102 mm) diam. (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NFPA No. 70).

C. **Classified Polyvinyl Chloride (CPVC) Pipe** - Non-4 in. (102 mm) diam. (or smaller) SDRI 13.5 CPVC pipe for use in closed process or supply piping systems.

Specified Technologies Inc., 210 Evans Way Somerville, NJ 08876
Classified or Revised: November 27, 2012
F.C. 0021 PAGE 1 OF 2

3. **Firestop System** - The firestop system shall consist of the following:

A. **Fill, Void or Cavity Material** - Balcote[®] - If material forced into annulus to fill space to max extent possible, flush with top surface of floor and bottom surface of ceiling.

SPECIFIED TECHNOLOGIES INC. - SpecSeal Series SSS Sealant or SpecSeal LCC Sealant

B. **Firestop Device** - Galv. steel collar (void with an increment material level to the specific diam. of the through-penetrant. Device shall be wrapped around through penetrant on underside of floor (item 1A) and underside of gypsum board ceiling (item 1B) in accordance with the accompanying installation instructions. Firestop device secured to subfloor with min. No. 8 by 3/4 in. (19 mm) long wood screws in conjunction with 1/4 in. (6 mm) by 1-1/4 in. (32 mm) diam. steel fender washers. Firestop device secured to finished gypsum board ceiling with 1/8 in. (6 mm) diam. by 3-1/2 in. (89 mm) long steel toggle bolts in conjunction with 1/4 in. (6 mm) by 1-1/4 in. (32 mm) diam. steel fender washers.

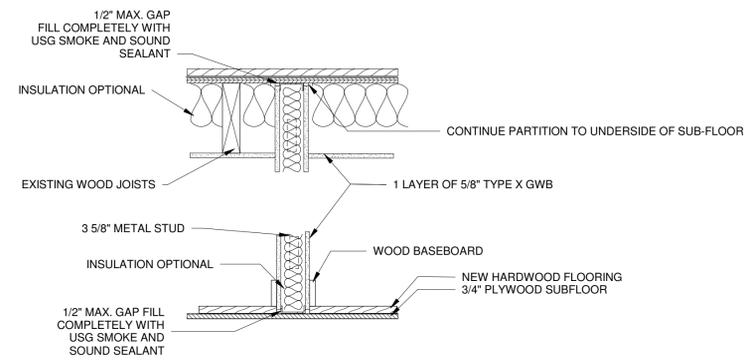
SPECIFIED TECHNOLOGIES INC. - SpecSeal Firestop Collar, SpecSeal LCC Collar or SpecSeal SSC Collar. When SpecSeal LCC Collar or SpecSeal SSC Collar are used, the max. annular space shall be 1/8 in. (3 mm) for max. 2-1/2 in. (64 mm) diam. pipe or conduit and shall be max. 1/4 in. (6 mm) for pipe or conduit larger than 2-1/2 in. (64 mm) diam.

[®]Bearing the UL Listing Mark

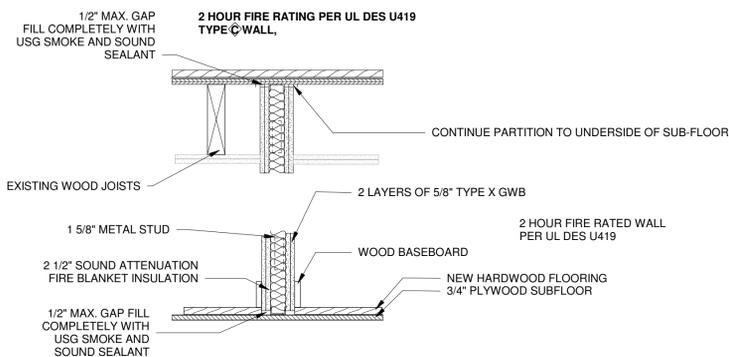
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Classified or Revised: November 27, 2012
F.C. 0021 PAGE 1 OF 2

6 PIPE THROUGH FLOOR PENETRATION
SCALE: 1 1/2" = 1'-0"

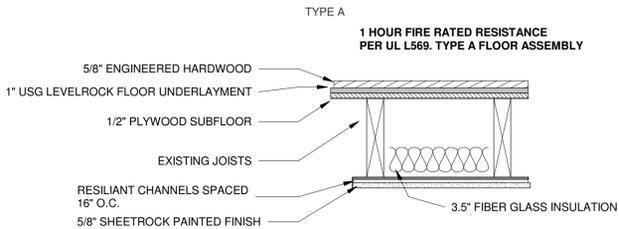
1 HOUR FIRE RATING PER UL DES U419
TYPE B WALL



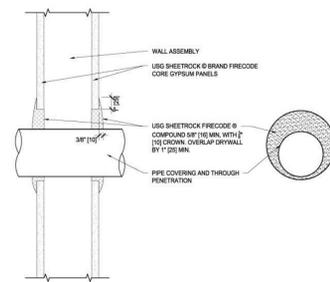
3 1 HOUR FIRE RATED PARTITION
SCALE: 1" = 1'-0"



4 2 HOUR FIRE RATED PARTITION
SCALE: 1" = 1'-0"



5 EXISTING 1 HOUR FIRE RATED FLOOR STRUCTURE
SCALE: 1" = 1'-0"



7 PIPE THROUGH WALL PENETRATION
SCALE: 1 1/2" = 1'-0"

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ISSUE NAME PERMIT SET

SEAL



PROJECT NAME

350 BROADWAY
RENOVATION

PROJECT LOCATION

350 BROADWAY
KINGSTON, NY 12401

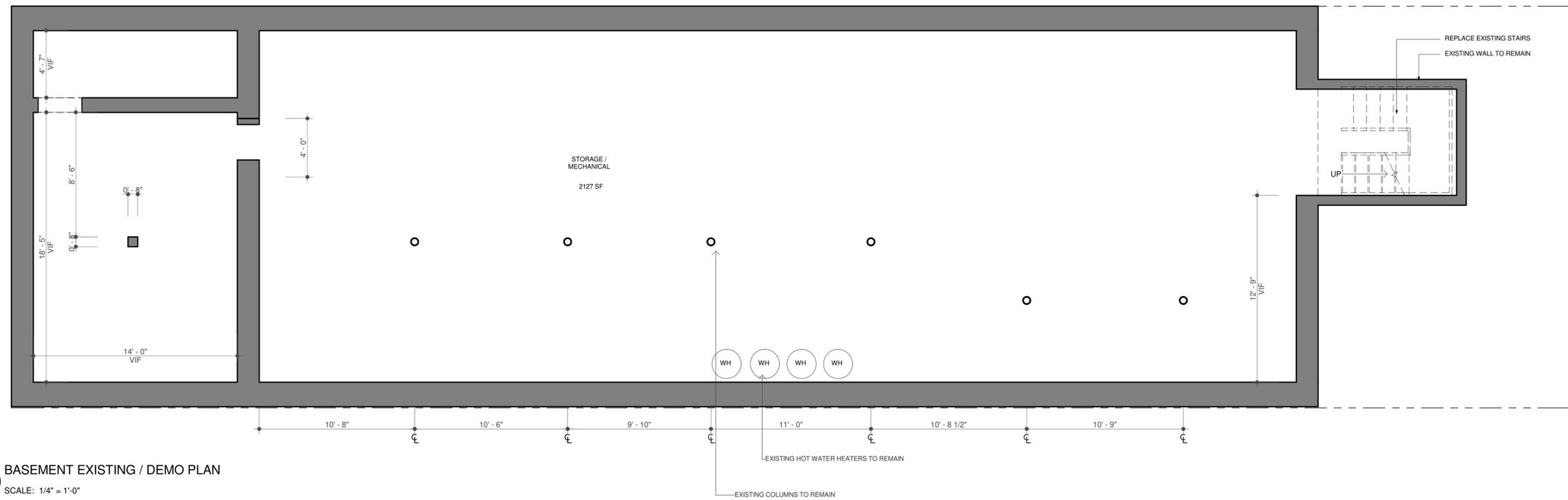
BASEMENT EXISTING
AND PROPOSED PLAN

DRAWN BY MP

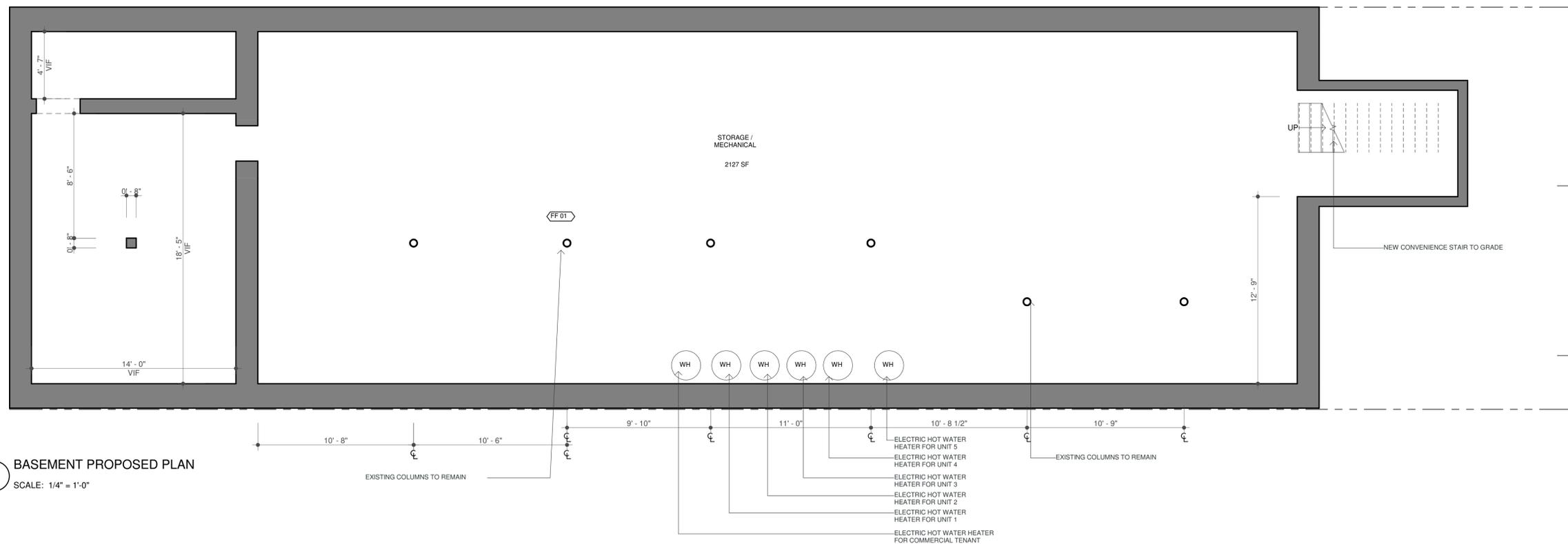
SHEET NUMBER

A-100

PAGE 2



1 BASEMENT EXISTING / DEMO PLAN
SCALE: 1/4" = 1'-0"



2 BASEMENT PROPOSED PLAN
SCALE: 1/4" = 1'-0"

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NEW HYDE PARK, NY 11949
NAV181@GMAIL.COM

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PROJECT NAME

350 BROADWAY
RENOVATION

PROJECT LOCATION

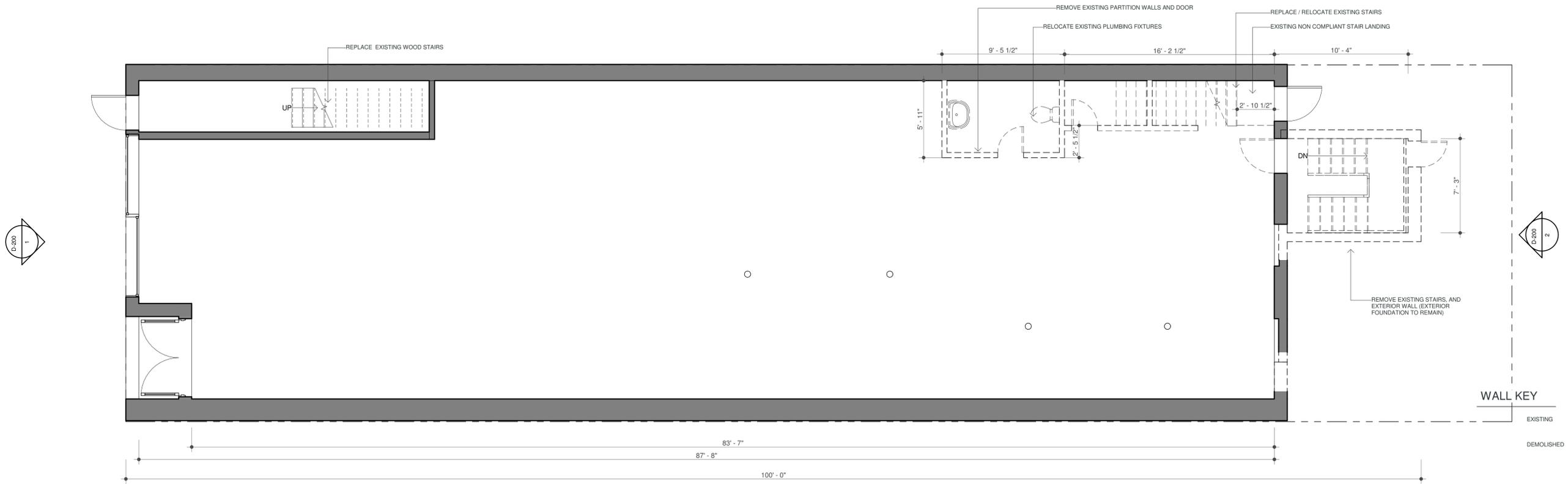
350 BROADWAY
KINGSTON, NY 12401

FIRST FLOOR EXISTING
AND PROPOSED PLAN

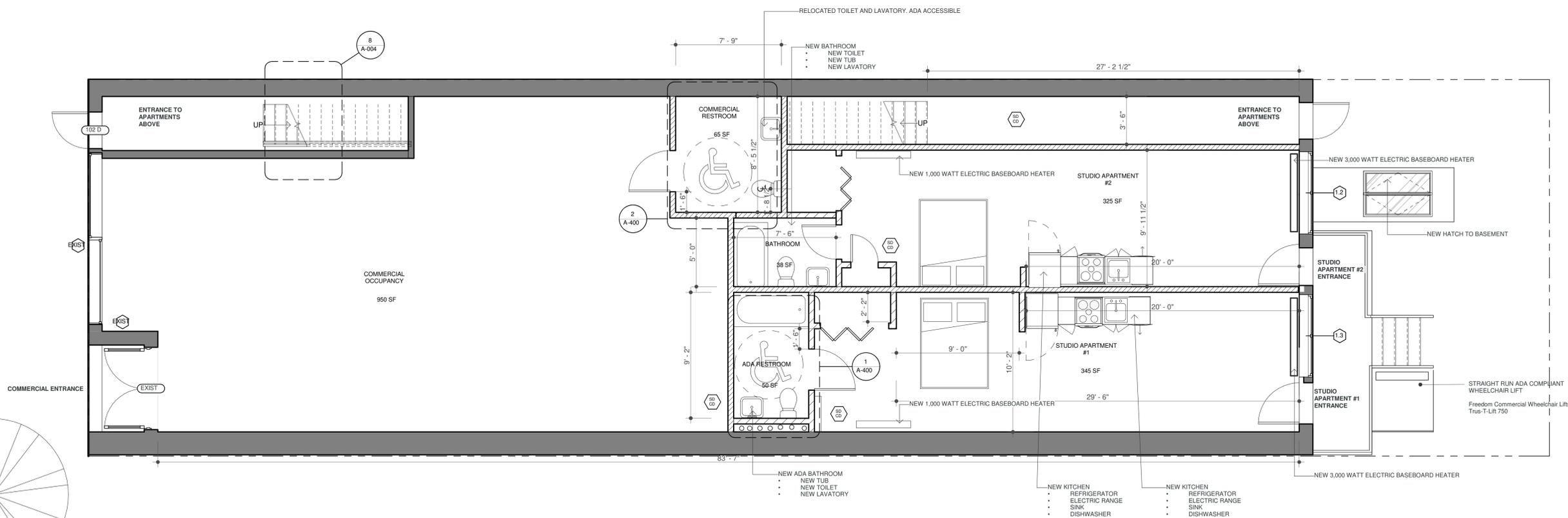
DRAWN BY MP

SHEET NUMBER

A-101



2 FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



1 FIRST PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

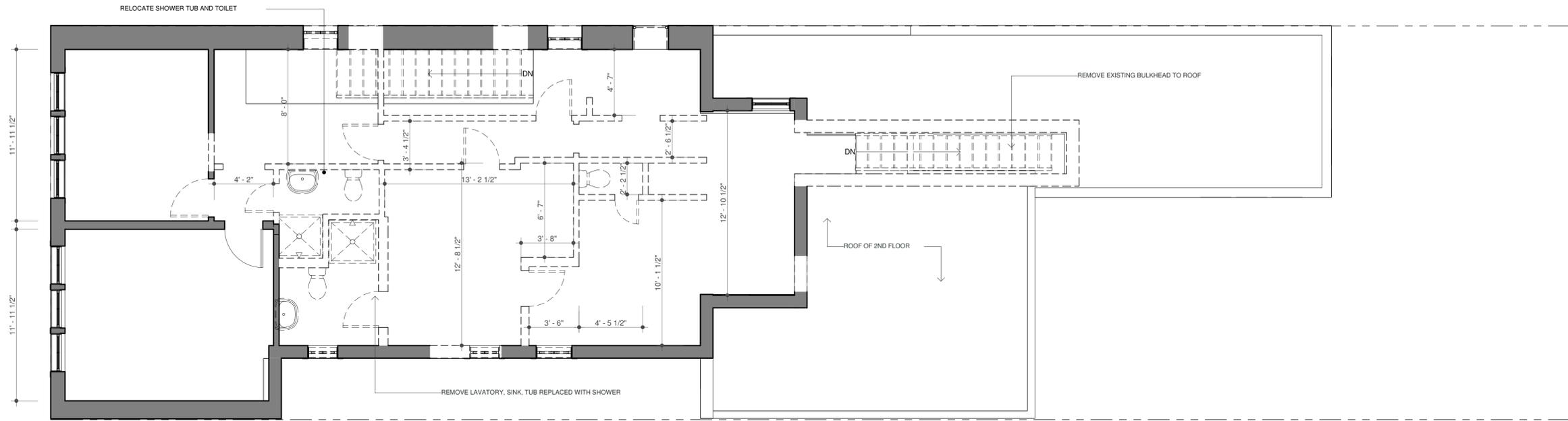
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NEW HYDE PARK, NY 10964
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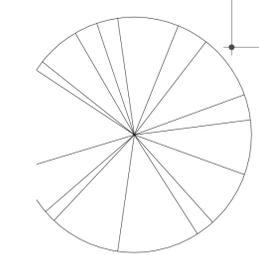
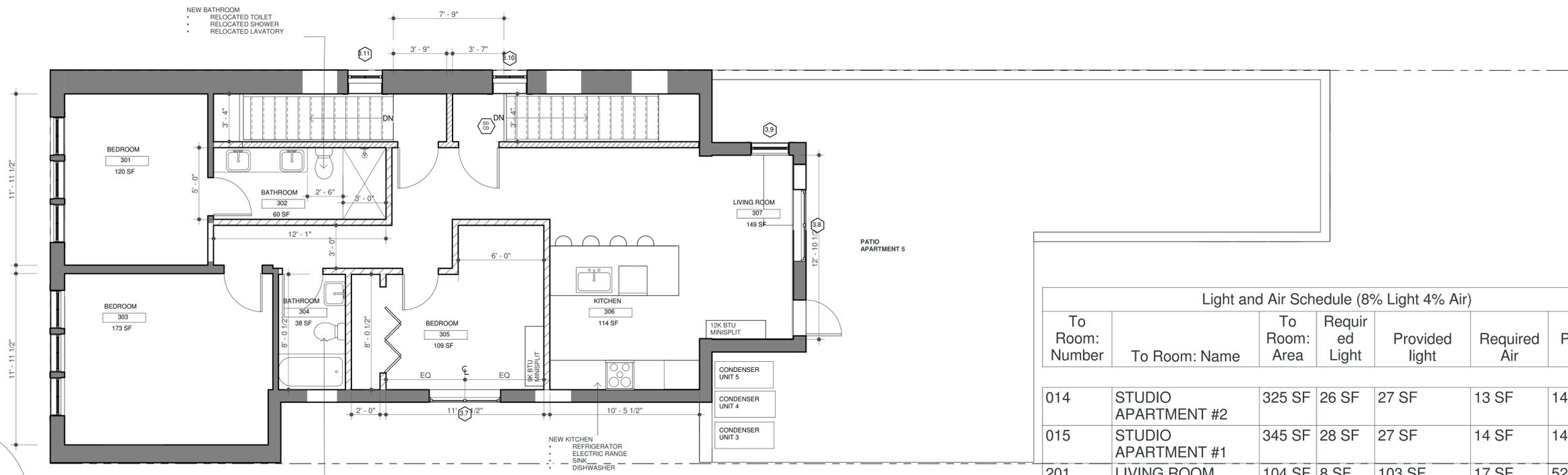
SHEET ISSUE

DATE 4/2/25

ISSUE NAME PERMIT SET



1 THIRD FLOOR PLAN EXISTING
SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN PROPOSED
SCALE: 1/4" = 1'-0"

SEAL



PROJECT NAME

350 BROADWAY
RENOVATION

PROJECT LOCATION

350 BROADWAY
KINGSTON, NY 12401

THIRD FLOOR EXISTING
AND PROPOSED PLAN

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A-103

PAGE 4

Light and Air Schedule (8% Light 4% Air)						
To Room: Number	To Room: Name	To Room: Area	Required Light	Provided light	Required Air	Provided Air
014	STUDIO APARTMENT #2	325 SF	26 SF	27 SF	13 SF	14 SF
015	STUDIO APARTMENT #1	345 SF	28 SF	27 SF	14 SF	14 SF
201	LIVING ROOM	104 SF	8 SF	103 SF	17 SF	52 SF
202	DINING ROOM	102 SF	8 SF	103 SF	16 SF	52 SF
204	BEDROOM	87 SF	7 SF	13 SF	3 SF	6 SF
206	BEDROOM	151 SF	12 SF	14 SF	6 SF	7 SF
207	BEDROOM	111 SF	9 SF	13 SF	4 SF	6 SF
211	LIVING ROOM	136 SF	11 SF	100 SF	27 SF	50 SF
212	BEDROOM	141 SF	11 SF	45 SF	23 SF	23 SF
301	BEDROOM	120 SF	10 SF	33 SF	10 SF	16 SF
303	BEDROOM	173 SF	14 SF	33 SF	14 SF	16 SF

WINDOW SCHEDULE

LEVEL	TAG	TYPE	WIDTH	HEIGHT	SILL HEIGHT	MANUFACTURER	DESCRIPTION	EXT. FINISH	INT. FINISH	COMMENTS	PHASE
LEVEL 1	1.1	C	2' - 8"	1' - 0"	7' - 0"	ANDERSEN 200 SERIES	Fixed	Vinyl	Wood	GC to confirm existing window dims	New Construction
LEVEL 1	1.2	T	6' - 0"	4' - 6"	3' - 0"	ANDERSEN 200 SERIES	Double Hung, Double	Vinyl	Wood		New Construction
LEVEL 1	1.3	T	6' - 0"	4' - 6"	3' - 0"	ANDERSEN 200 SERIES	Double Hung, Double	Vinyl	Wood		New Construction
LEVEL 2	2.1	D	8' - 9"	6' - 2"	2' - 0"	ANDERSEN 200 SERIES	Double Hung; Triple	Vinyl	Wood	GC to confirm existing window dims	New Construction
LEVEL 2	2.2	D	8' - 9"	6' - 2"	2' - 0"	ANDERSEN 200 SERIES	Double Hung; Triple	Vinyl	Wood	GC to confirm existing window dims	New Construction
LEVEL 2	2.3	F	2' - 4"	6' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood	GC to confirm existing window dims	New Construction
LEVEL 2	2.4	V	3' - 4"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood	GC to confirm existing window dims	New Construction
LEVEL 2	2.5	U	5' - 0"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 2	3.29	V	3' - 4"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 2	3.31	V	3' - 4"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 2	3.32	U	5' - 0"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 2	3.33	U	5' - 0"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 3	3.7	U	5' - 0"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 3	3.8	U	5' - 0"	5' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 3	3.10	39	2' - 5"	6' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction
LEVEL 3	3.11	39	2' - 5"	6' - 0"	2' - 0"	ANDERSEN 200 SERIES	Double Hung	Vinyl	Wood		New Construction

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DATE 12/14/23
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PROJECT NAME

350 BROADWAY RENOVATION

PROJECT LOCATION

350 BROADWAY KINGSTON, NY 12401

WINDOW SCHEDULE

DRAWN BY ALM

SHEET NUMBER

A-605

SCOPE OF WORK

LEVEL 2 ALTERATION OF EXISTING TYPE IIIB BUILDING AT 350 BROADWAY.

PROPOSED FUNCTION TO BE MIXED-USE AND INCLUDE GROUND FLOOR COMMERCIAL TENANCY, AND RESIDENTIAL SPACES.

TAX MAP NO. 56.26.11.49.100

CLIMATIC DATA
KINGSTON NY, ZONE 6A

ZONING REGULATING MAP DESIGNATION: TSMS
OVERLAYS: BROADWAY CORNELL CORRIDOR HEIGHT OVERLAY

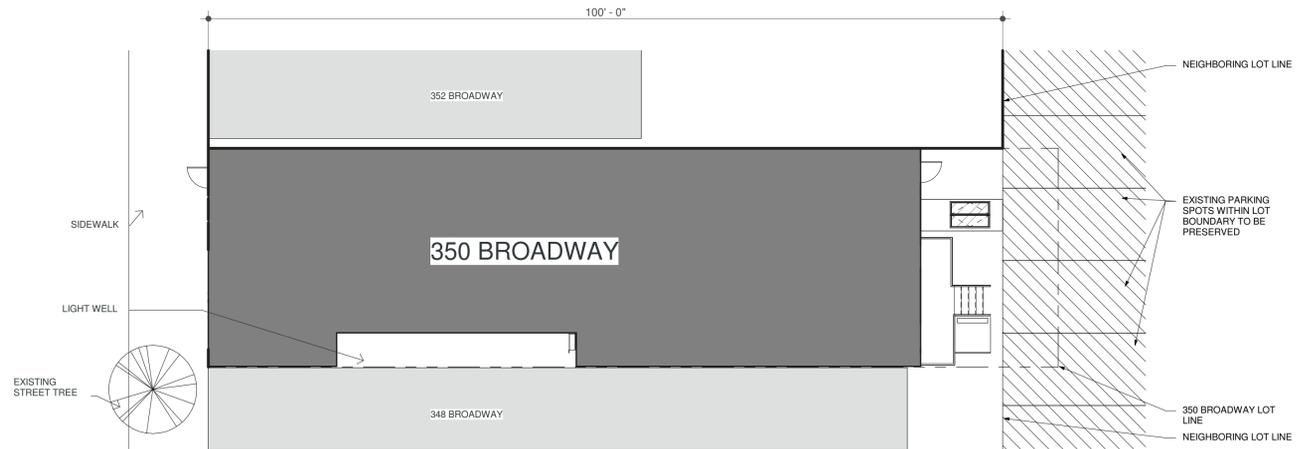
GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE 2020 BUILDING CODE OF THE STATE OF NEW YORK, AND ALL OTHER APPLICABLE LOCAL CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
2. WORK THESE DRAWINGS WITH THE SPECIFICATIONS, THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SITE DRAWINGS, AND ALL OTHER RELATED DOCUMENTS. CONTRACTOR SHALL COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL VERIFY ALL DATA ON EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
3. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS. DRAWINGS SHALL TAKE PRECEDENCE OVER SPECIFICATIONS.
4. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND/OR SHORING FOR ALL STRUCTURAL WORK AS REQUIRED FOR STRUCTURAL STABILITY DURING ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR SHALL MAKE SPECIAL PROVISIONS AND PROVIDE PROTECTION AS REQUIRED FOR COLD OR HOT WEATHER CONCRETE AND MASONRY WORK, IN CONFORMANCE WITH THE APPROPRIATE TECHNICAL ASSOCIATIONS.
6. CONTRACTOR SHALL OBTAIN FULL KNOWLEDGE BY PERSONAL AND CAREFUL INSPECTION OF ALL EXISTING CONDITIONS AT THE SITE AND OF ALL REQUIREMENTS OF THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR HEREBY ACCEPTS ALL SUCH CONDITIONS AND REQUIREMENTS AND HEREBY ACCEPTS ALL RESPONSIBILITY AND COSTS RESULTING FROM HIS FAILURE TO OBTAIN KNOWLEDGE OF ANY OF THEM. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK.
7. THE CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES WHETHER INCLUDED IN HIS CONTRACT OR NOT. HE SHALL MAKE OPENINGS AS REQUIRED BY OTHER TRADES AND CLOSE SAME. HE SHALL SCHEDULE THE WORK OF VARIOUS TRADES SO AS NOT TO IMPEDE IN THE PROGRESS OF THE WORK.
8. REMOVALS OF DEBRIS AND OTHER MATERIALS SHALL BE MADE AS OFTEN AS NECESSARY TO MAINTAIN A CLEAN, SAFE, AND ACCESSIBLE SITE. AT NO TIME SHALL DEBRIS OR ANY OTHER MATERIALS OBSTRUCT THE MEANS OF EGRESS FROM THE SITE.
9. CONTRACTOR MAY NOT STORE ANY DEBRIS, MATERIALS OR EQUIPMENT IN ANY AREA OTHER THAN THE AREA OF WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL FINISHES, FEATURES AND CONSTRUCTION IN HE AREAS TRAVERSED AS A PART OF THIS WORK. HE SHALL RESTORE TO ORIGINAL CONDITION ANY DAMAGE CAUSED BY HIS ACTIONS. THE AREAS TRAVERSED ARE TO BE KEPT BROOM CLEAN AT ALL TIMES.
11. CONTRACTOR TO MAINTAIN SECURE AND LOCKABLE DOORS AT EVERY MEANS OF ENTRANCE TO THE AREA OF WORK.
12. CONTRACTOR SHALL NOT BEGIN WORK UNTIL NEW YORK STATE DEPARTMENT OF BUILDINGS APPROVAL HAS BEEN GRANTED AND A BUILDING PERMIT ISSUED AND POSTED AS REQUIRED IN THE AREA OF WORK.
13. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 BUILDING CODE OF THE STATE OF NEW YORK AND THE AMERICAN INSTITUTE FOR ARCHITECTS DOCUMENT A210 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
14. CONTRACTOR TO PROVIDE CLIENT WITH A DETAILED SCHEDULE OF THE WORK PRIOR TO THE EXECUTION OF THE CONTRACT FOR CONSTRUCTION.
15. CONTRACTOR SHALL FURNISH A FULL STRENGTH CREW AT ALL TIMES TO ENSURE THE COMPLETION OF THE WORK ACCORDING TO THE AGREED SCHEDULE.

LOADS:
1. ALL DESIGN LOADS CONSIDERED ARE PER THE 2020 BUILDING CODE OF THE STATE OF NEW YORK AND COMPLY WITH PROVISIONS OUTLINED IN BC107.7 AND BC1604.

LINTEL NOTES:

1. ALL STEEL LINTELS SHALL HAVE A MINIMUM OF 6" BEARING AT EACH END. HOLLOW CMU AT BEARING POINTS SHALL BE GROUTED SOLID MINIMUM 3 COURSES BELOW.
2. FOR MASONRY OPENINGS 4'-0" WIDE OR LESS, USE ONE L 3 1/2" X 3 1/2" X 3/8" FOR EACH 4" OF MASONRY THICKNESS.
3. FOR MASONRY OPENINGS 4'-0" WIDE TO 6'-0" WIDE, USE ONE L 5" X 3 1/2" X 3/8" (LLV) FOR EACH 4" OF MASONRY THICKNESS.
4. FOR MASONRY OPENINGS 6'-0" WIDE TO 8'-0" WIDE, USE ONE L 6" X 3 1/2" X 3/8" (LLV) FOR EACH 4" OF MASONRY THICKNESS.
5. FOR MASONRY OPENINGS GREATER THAN 8'-0" WIDE, REFER TO PLAN FOR SIZE.



1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

EXISTING CONDITIONS:

1. DIMENSIONS OF ALL EXISTING CONDITIONS ARE APPROXIMATE. CONDITIONS INDICATED ON THE DRAWINGS SHALL BE VERIFIED AT THE SITE BEFORE FABRICATION OR LAYING OUT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS, ADEQUACY, FIT AND ALIGNMENT OF NEW WORK WITH THE EXISTING CONDITIONS. THE CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES WITH THE DRAWINGS OR OF CONDITIONS WHICH MAY NECESSITATE A CHANGE IN THE REQUIREMENTS. THE ARCHITECT AND ENGINEER WILL THEN DETERMINE ANY ACTION, OR RE-DETAILING THAT MAY BE REQUIRED.
- WOOD FRAMING:**
1. ALL LUMBER WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS AND THE 2022 BUILDING CODE OF THE STATE OF NEW YORK:
A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC).
B. NATIONAL FOREST PRODUCTS ASSOC. "DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER".
C. U.S. DEPT. OF COMMERCE STANDARD CS 253.
D. AMERICAN PLYWOOD ASSOCIATION.
 2. LUMBER FOR ALL INTERIOR STRUCTURAL FRAMING, INCLUDING ROOF FRAMING, JOISTS, POSTS, STUDS, SILLS, CAP PLATES, WOOD BEARING PLATES, AND BLOCKING, SHALL BE SURFACE DRY AND USED AT MAXIMUM 19% MOISTURE CONTENT WITH THE FOLLOWING MINIMUM BASE DESIGN VALUES:
BASE DESIGN VALUES FOR VISUALLY GRADED DIMENSION LUMBER:
BENDING: FB = 850 PSI
HORIZONTAL SHEAR: FV = 95 PSI
COMP. PERPENDICULAR TO GRAIN: FC = 625 PSI
COMP. PARALLEL TO GRAIN: FC = 1,300 PSI
MODULUS OF ELASTICITY: E = 1,600,000 PSI
ALL VALUES SHALL BE ADJUSTED WITH APPROPRIATE ADJUSTMENT FACTORS AS PER THE PER NDS SUPPLEMENT. ANY LUMBER SPECIES MAY BE USED, SUBJECT TO REVIEW AND ACCEPTANCE BY THE ENGINEER, IF THEY MEET THE ABOVE MINIMUM REQUIREMENTS.
SHOULD CEDAR BE USED FOR EXTERIOR FRAMING, WESTERN SPECIES SHALL BE USED.
 3. TJI SERIES:
TJI JOIST SECTIONS SHALL BE OF THE SIZE AND TYPE SPECIFIED ON THE PLANS, AS MANUFACTURED BY TRUS-JOIST WEYERHAEUSER, OR EQUAL. FLANGE MEMBERS, WEB MEMBERS AND ADHESIVES SHALL CONFORM TO THE PROVISIONS OF CABO REPORT NO. NER-200. COORDINATE BRIDGING AND STIFFENER REQUIREMENTS WITH TJI MANUFACTURER.
 4. PLYWOOD:
SUBFLOOR SHALL CONSIST OF 3/4" EXPOSURE 1 GRADE PLYWOOD, GLUED AND SCREWED TO JOISTS. EXTERIOR WALL SHEATHING SHALL CONSIST OF 3/4" EXPOSURE 1 GRADE PLYWOOD FASTENED TO WALL STUDS WITH 8D NAILS AT 6" O.C. MAX.
 5. LAMINATED VENEER LUMBER:
LAMINATED VENEER LUMBER (LVL) SECTIONS SHALL BE "MICRO-LAM 8\"/>

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PROJECT NAME

350 BROADWAY
RENOVATION

PROJECT LOCATION

350 BROADWAY
KINGSTON, NY 12401

STRUCTURAL NOTES

DRAWN BY MP

SHEET NUMBER

S-000

PROFESSIONAL OF RECORD

PROACTIVE ENGINEERING PLLC
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PROJECT LOCATION

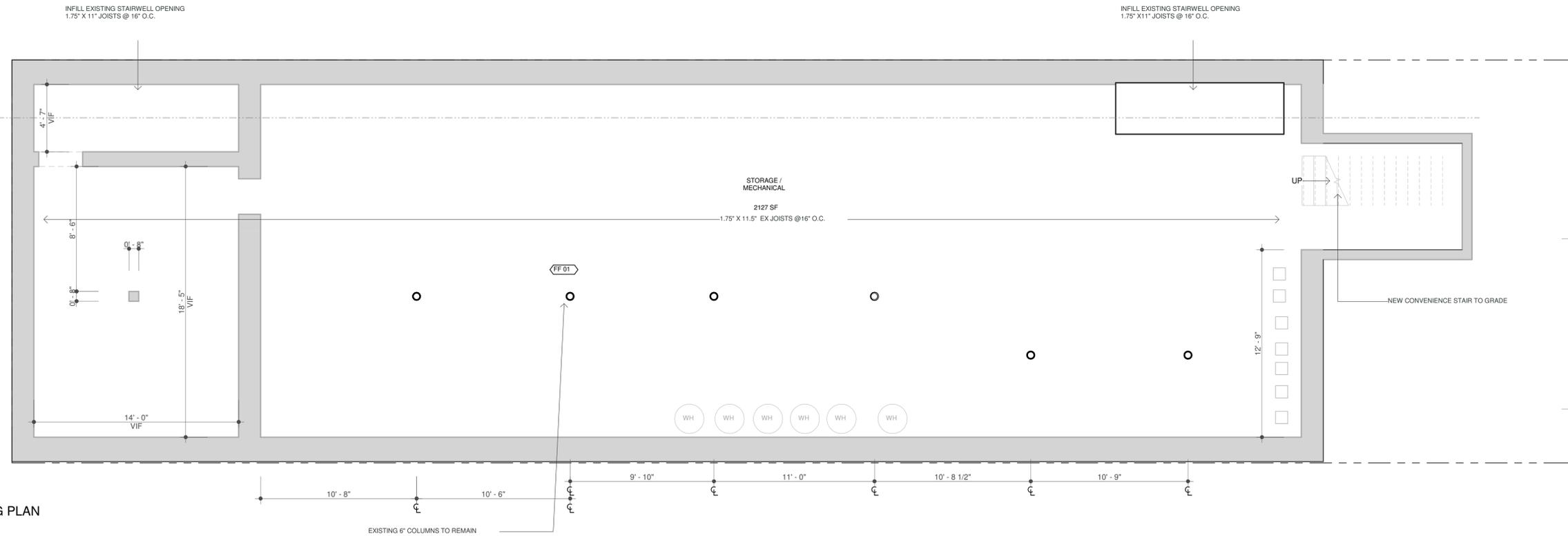
350 BROADWAY
KINGSTON, NY 12401

FIRST & SECOND FLOOR
FRAMING PLAN

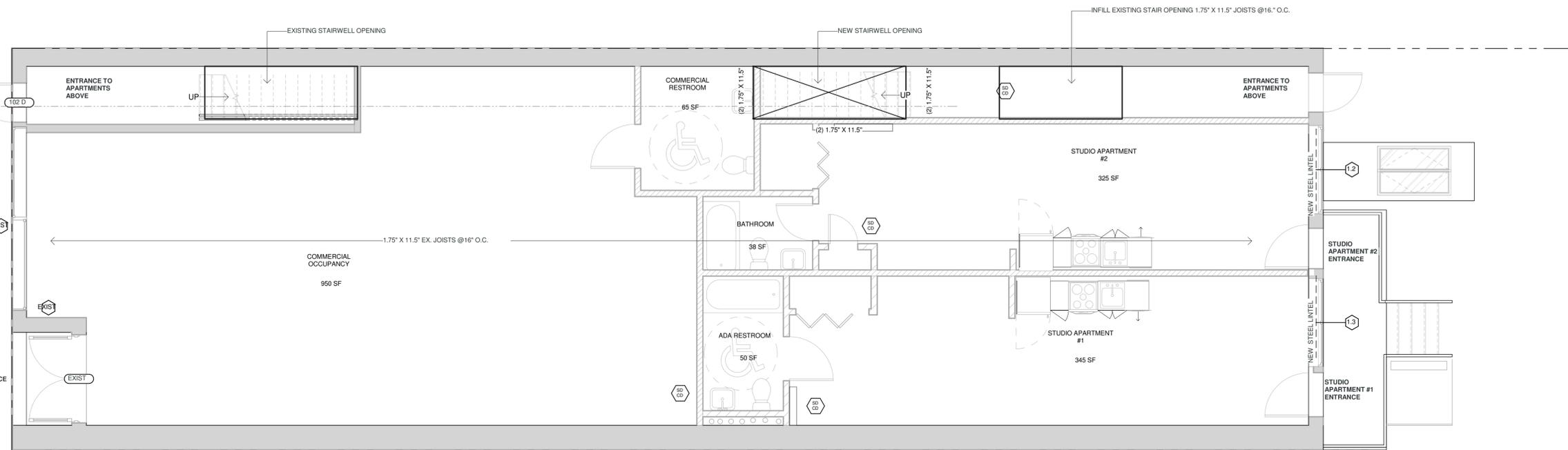
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SHEET NUMBER

S-100



2 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

